



UPPER UWCHLAN TOWNSHIP
BOARD OF SUPERVISORS MEETING
AGENDA

OCTOBER 20, 2025
7:00 P.M.

LOCATION: Township Building, 140 Pottstown Pike, Chester Springs PA 19425

	Packet Page #
VII. LAND DEVELOPMENT	
A. Rockhill Real Estate/500 Pottstown Pike ~ Preliminary/Final Land Development Plan	87
- Consider Approval	
VIII. ADMINISTRATION	
A. Resolution ~ Act 537 Plan Revision re: Moore Road Sanitary Sewer Extension ~ Consider Adoption	135
B. Ordinance Amendments ~ Signs and Short-Term Rental ~ Consider Adoption	160
C. Ordinance Amendments ~ landscaping, screening, definitions -- Review	165
D. Pondview Way Trail ~ Discussion	
E. General Obligation Bond Issuance ~ Update	
IX. OPEN SESSION	
X. ADJOURNMENT	



Upper Uwchlan Township
Joint Boards and Commissions Workshop
September 9, 2025
4:00 p.m.
Minutes
DRAFT

Attendees:

Jenn Baxter, Chair
Andy Durkin, Vice-Chair
Sandy D'Amico, Member
Tony Scheivert, Township Manager
Gwen Jonik, Township Secretary
Rhys Lloyd, Codes Enforcement Officer
Anthony Campbell, Zoning Officer
Mike Esterlis, Public Works Director
Tom Jones, Police Chief
Dave Leh, Township Engineer
Chris Williams, Township Traffic Engineer
Kristin Camp, Esq., Township Solicitor

Matt Brown, Authority Administrator
Bob Watts, Municipal Authority Chair
Vivian McCardell, Historical Commission Chair
Sushila Subramanian, Park & Recreation Board Chair
Jim Greaney, Zoning Hearing Board Chair
Sally Winterton, Planning Commission Chair
Neil Phillips, Environmental Advisory Council Chair
Byron Nickerson, Emergency Management Planning
Commission Chair

The Workshop was held at the Township Building, 140 Pottstown Pike, Chester Springs PA 19425.

Jenn Baxter called the Workshop to order at 4:00 p.m., led the Pledge of Allegiance, offered a moment of silence, and asked if anyone planned to record the meeting. There were none. Two citizens attended.

Boards and Commissions Updates

Planning Commission (PC)

Sally Winteron reported the PC has been working on amending the landscaping ordinance, proposing a reduction in the quantity of replacement trees and use of native plants, trees, shrubs. They're also reviewing the Comprehensive Plan (compplan) implementation recommendations.

Technology Advisory Board (TAB)

Gwen Jonik reported on Ric Bassler's behalf. They haven't had much activity since the last Joint Boards & Commissions Workshop. Another member has moved out of the Township so there are a 2 few vacancies to fill.

Zoning Hearing Board (ZHB)

Jim Greaney spoke of the withdrawal of Gunner Properties' variance request for larger building footprint for apartments at Park Road-Little Conestoga Road-Route 100. He said a Hearing would've been a good opportunity to learn exactly what they had in mind, and to educate residents of the zoning hearing process and the misinformation that spreads due to speculation.

The ZHB held a Hearing in July for an applicant proposing a deck and sunroom to their home that would encroach the rear-yard setback. The variance was granted.

Sally Winterton was curious if a presentation or flow chart is available describing the processes for zoning variances, conditional use requests, subdivision/land development approvals, etc. Tony Scheivert noted the Township will craft the information.

Discussion turned to official maps and open space preservation. Official maps show the desires and vision of the Township – where they'd like open space, parks, trails, certain kinds of development -- and give the Township the right of first refusal when land becomes available. Anthony Campbell noted there are several vendors with interactive maps that might be helpful.

Emergency Management Planning Commission (EMPC)

Byron Nickerson had a handout listing the EMPC's activities since Spring. There was a storm damage assessment conducted after high winds went through the north west part of the Township; providing community awareness and emergency preparedness; developing the community assistance trailer; held the 4th annual roundtable with our emergency service providers; holding first aid and CPR training; trying to find people to volunteer during emergencies – get them trained beforehand; they hope to conduct next year an exercise for a chlorine tanker release; and Byron, the Township's Emergency Management Coordinator (EMC) is networking with regional EMCs.

Tony Scheivert commended Byron for checking door to door after that major storm that impacted properties on Styer Road, Revere Lane, and part of Font Road. Chief Jones noted one of the Limerick sirens near St. Elizabeth's went off in error this morning.

Environmental Advisory Council (EAC)

Neil Phillips reported the EAC sponsored the 4th annual Earth Day celebration with 19 vendors, music, food, a blue bird house presentation, distributed native wild flower seed packets and had a rain gauge program for the kids. They are sponsoring an E-waste event October 11, including lithium batteries; a litter clean up September 27 – perhaps they'll do a trail cleanup next year; participated in the block party; will participate in the Trunk or Treat; watching West Chester borough's stormwater litigation; and discussed solar panels with local vendor. May conduct a pilot program at 3 wastewater treatment facilities; working with HOAs for sustainable / green things. Plans for 2026 include carrying out compplan recommendations; holding a Repair Café in February; investigating a community garden, perhaps on Dorlan Mill Road; working on stormwater measures for the 144 Byers Road property.

Historical Commission (HC)

Vivian McCardell reported the HC has been busy with a variety of activities: reviewing the new construction impact of the Porsche service center; saving artifacts from the Windsor Baptist Church parsonage – once the trees and asbestos shingles were removed, it was a great example of Victorian Italianate architecture and German wooden quoins; the HC wants to weigh in on the development of the Wertz farm; and also the Route 100 pedestrian trail behind the John Griffith house; they are also interested in what happens with the Gunther property at Park Road and Route 100; the quarterly lectures are going well; the Upland Farm farmhouse museum openings on the last Sunday of the month are going very well; they participated in Struble Trail day and the block party; the Chester County History Center is open and free to all Township residents October 18 – they have wonderful exhibits; America250 celebration planning is toward a self-guided driving tour of resources built at and before 1800 and exhibits geared toward that; working on their webpage

revamp; historic resource house plaques; the compplan recommendations; and working on a historic resource protection and preservation ordinance (HRPP).

Municipal Authority (Authority)

Bob Watts and Matt Brown attended. Matt noted they are contemplating small windmills and solar arrays at the Route 100 WWTF, which could mean 1/3 savings in electricity; PaDEP sent a draft approval letter for the updated Act 537 Plan, which has been under review for over 3 years; construction of the Milford Farms pump station is nearing the end and Font Road will paved from Blackhorse Road to Route 100 in the coming months; the Meadow Creek expansion plans are progressing; the Authority is part of the Township's General Obligation Bond issue -- \$5.3M to extend sanitary sewer to the Highview and Meadow Lane neighborhood, extend sewer further east on Byers Road to Senn Drive and on Senn Drive and/or further out Byers Road. The Authority has to amend its Articles of Incorporation to extend its term for 50 more years. Working through the permitting process for the Senn property on E. Township Line Road; contacting the Reserve at Chester Springs HOA regarding the 47 acre tract on what was known as the Frame Parcel Lot C for disposal area; working on improved communications with residents – monthly updates on the website; there is 800,000 gpd treatment capacity at the Route 100 WWTF and 600,000 gpd disposal capacity – looking to the Senn property and Frame property for disposal areas.

Steve Egnaczyk asked why the Font Road and Milford Road intersection was where the Milford Farms pump station was located. He commented it needs to blend in with its surroundings. Matt Brown answered that location provided as much gravity flow as possible for the sewer extension and the property owner was amenable to placing it there. It will be fenced and screened.

Park and Recreation Board (P&R)

Sushila Subramanian highlighted P&R's activities: participated in the block party; the first garden tour (4 properties) was a hit and will probably become an annual event; summer concerts were good; bluebird box projects at Upland Farm Park; participated in the GEYA parade; co-sponsoring the annual trunk or treat – this year will be held at Pickering Valley Elementary School. They are working on proposing a “restaurant night”, a permanent digital board; their junior member prepared a sensory equipment proposal for Upland Farm - Tony Scheivert advised that due to vandalism on the trail in Upland Farm Park, perhaps it could go at Hickory Park - there are a lot of things to consider. A groundhog day celebration has been proposed and will be discussed at their next meeting.

Jenn Baxter called for a 5-minute recess at 5:28 p.m.

164 Byers Road ~ QBD Ventures

Tony Scheivert summarized QBD Ventures' request for the Board to consider modifying the existing Zoning Ordinance to allow for multi-family usage in the C1 Village Commercial District, in which the property is located. The existing zoning ordinance allows for mixed-use dwellings via conditional use approval. A mixed-use dwelling is dwelling unit(s) above or behind a nonresidential use within the same building. The Planning Commission reviewed the request and did not favor considering modifying the zoning ordinance. The Supervisors reviewed the request and do not favor modifying the zoning ordinance.

Byers Station Parcel 5C Lot 2B Commercial / Celebree ~ Amended PRD Plan Phase 2.

Alyson Zarro, Esq., Guy DiMartino - TPD, Allan Greenberg - Celebree, Gary Large, and Chris Puzinas – Bohler Engineering, were in attendance. Ms. Zarro noted in the Phase 2 Plan, a third 10,500 SF building is proposed in a different location than initially approved, and the extension of Iris Lane out to Route 100 is removed. They are aware the Township is concerned with traffic circulation and pedestrian access and spoke with Kristin Camp and Chris Williams and they now propose a few revisions to the Plan. They relocated the northern access point of the parking lot onto Begonia to align with the northern Iris Lane, removed what had been an access between both Iris Lane intersections, and propose a 4-way stop for traffic calming and pedestrian safety at both Iris Lane/Begonia intersections. Mr. DiMartino stated it won't cause a problem with queuing from Station Blvd. Three cars can stack there. They can also then move the dumpster out to where the middle access point would've been. Celebree enrollment is 185. The Board isn't sure that's enough room during the morning drop off times. Installing a raised crosswalk on Begonia rather than a 4-way stop was suggested; however, Begonia is a private/HOA controlled roadway so it would have to be discussed and approved by the HOA. Celebree suggested they'd construct it or escrow the funds for the HOA. The retail building under construction is fully leased now with 3 businesses. Chris Williams wants to see Guy DiMartino's data and reiterated traffic can't back up on to Station Blvd. Landscaped or raised medians help with speed but a raised crosswalk is more effective for safety. A raised crosswalk might impact the storm drains or flow – this has to be reviewed. Crossing guards could help with the Station Blvd. crossing but the school district would have to hire and pay them. Moving the sidewalk and the Station Blvd. crossing to the east side of Begonia isn't a solution as there isn't room next to the homes and the school wouldn't let the crossing be located elsewhere. any other place.

The engineers will make sure the speed hump or raised crosswalk is possible with grading and stormwater, then meet with the HOA. Otherwise they'll proceed with 4-way stop sign intersections. The Board took no action on approval of the Phase 2 Plan previously submitted nor the ones presented this evening.

Amendment to Municipal Authority Articles of Incorporation

Kristin Camp advised that the Board of Supervisors created the Municipal Authority for a specific term – 50 years. The Board is requested to approve an extension of that term for another 50 years. Andy Durkin moved, seconded by Sandy D'Amico, to adopt **Resolution #09-09-25-07** extending the term of the Municipal Authority an additional 50 years. The motion carried unanimously.

Open Session

Kristin Camp commented on other options, including denial, of the Parcel 5C Lot 2B Phase 2 Plan. Chris Williams is concerned with the daycare's peak drop off / pickup traffic timing being clustered within 15 minutes rather than spread over an hour. The Board may require the extension of Iris Lane to Route 100 access as a condition of approval.

Adjournment

There being no further business to be brought before the Board, Jenn Baxter adjourned the Workshop at 7:22 p.m.

Respectfully submitted,
Gwen A. Jonik
Township Secretary



TOWNSHIP OF UPPER UWCHLAN
BOARD OF SUPERVISORS MEETING
September 15, 2025
7:00 p.m.
DRAFT

Attending:

Board of Supervisors

Jennifer F. Baxter, Chair
Andrew P. Durkin, Vice-Chair
Sandra M. D'Amico, Member

Township Administration

Tony Scheivert, Township Manager
Lindsay Yeager, Assistant Township Manager
Gwen Jonik, Township Secretary
Jill Bukata, Township Treasurer
Rhys Lloyd, Director of Code Enforcement
Anthony Campbell, Zoning Officer
Tom Jones, Police Chief
Mike Esterlis, Public Works Director
Dave Leh, Township Engineer

LOCATION: Upland Farm Barn, 301 Pottstown Pike, Chester Springs PA 19425

Mrs. Baxter called the evening to order at 7:04 p.m., led the Pledge of Allegiance, and offered a moment of silence. No one planned to record the meeting. There were many citizens in attendance for the special recognitions.

Recognitions

Mrs. Baxter read **Resolution #09-15-25-08**, recognizing the achievements of the Glenmoore/Eagle Youth Association's (GEYA) U12 All Star Little League baseball team who made it all the way to the Little League World Series this year. She noted it's been so exciting to see all the enthusiasm throughout the community. Mrs. Baxter presented the Resolution to the players and extended congratulations to the boys, their parents, and the coaches!

Chief Jones thanked all who came out to help recognize Officer Paul Kemme's retirement from the ERT (SWAT) Team. Chief Jones noted Officer Kemme's duties and accomplishments throughout his tenure with the ERT and thanked the Kemme family for their support and the ERT members for the hard work they do all year long. Mrs. Baxter read **Resolution # 09-15-25-09** in recognition of Officer Kemme's 14 years of service with ERT. Officer Kemme also thanked the ERT members and asked everyone present to recognize them as well.

Mrs. Baxter announced a 5-minute recess. She reconvened the meeting at 7:19 p.m.

Approval of Minutes

Mr. Durkin moved, seconded by Mrs. D'Amico, to approve as presented the minutes of the August 12, 2025 Board of Supervisors Meeting. The motion carried unanimously.

Approval of Payments

Mr. Durkin moved, seconded by Mrs. D'Amico, to approve the payments to all vendors listed September 11, 2025. The motion carried unanimously.

Treasurer's Report

Jill Bukata reported a strong balance sheet; year-to-date revenues are at 76.2% of the budget; year-to-date expenses are at 62.0% of the budget; earned income tax receipts as of August 31 are near \$77,000 higher than at that time last year.

Transfer from General Fund to Capital Fund. The Board is requested to authorize a \$310,000 transfer from the General Fund to the Capital Fund as planned for and included in the 2025 Budget. Mr. Durkin AD moved, seconded by Mrs. D'Amico, to approve the transfer of \$310,000 from the General Fund to the Capital Fund. The motion carried unanimously.

Supervisor's Report

Pam Shauger, Hankin Branch Circulation, and Bill Connor, Board Member, presented informational slides concerning Hankin or Chester County branch libraries. Over 242,000 different kinds of items have been checked out by 11,794 electronic materials users, providing cost savings from what would've been spent buying Kindle and other program materials. There are 4,767 Upper Uwchlan Township citizens with library cards. What's new at the Library? Fifty-five items spanning 7 categories have been added, called the "library of things"; start a new hobby, be productive, play our collection, travel essentials, create content, do it yourself, crafting – "things" free to check out such as telescopes, metal detectors, document scanner, video to digital converter, projectors, screens, Nintendo switch (1 or 2), power adaptors, GoPro camera, etc. "Linked In Learning" provides 22,000+ online video classes for business, technology, creative skills. "Libby" is a one-stop shop for ebooks, audiobooks and now magazines. The Library can accept donations of things if all components are included and in good shape -- puzzles, board games, electronics.

Mrs. Baxter read the published calendar as follows: September 27, 2025 8:30-10:30 a.m. Litter Clean Up Event hosted by the Environmental Advisory Council; September 28, 2025 1:00-4:00 p.m. Upland Farm Farmhouse Museum is Open hosted by the Historical Commission; October 11, 2025 9:00-11:00 a.m. E-Waste Drop Off and shredding event at Public Works hosted by the Environmental Advisory Council; October 14, 2025 4:00 p.m. Board of Supervisors and Draft 2026 Budget Workshop; October 18, 2025 10:00-4:00 Upper Uwchlan Residents' Day at Chester County History Center, hosted by the Historical Commission; October 20, 2025 7:00 p.m. Board of Supervisors Meeting; October 25, 2025 3:00 p.m. Annual Trunk or Treat at Pickering Valley Elementary School, hosted by the Police Department and the Park & Recreation Board. Yard waste collection dates are September 24, October 8 and October 22.

Administration Reports

Township Engineer's Report

Dave Leh reported 500 Pottstown Pike Final land development plans have been submitted and are being reviewed by the consultants.

Building and Codes Department Report

Rhys Lloyd reported 58 building permits were issued last month, totaling \$21,628 in permit fees; 187 scheduled inspections took place; there were 9 resales; 5 new homes settled; and a couple dozen zoning complaints were investigated.

Police Chief's Report

Chief Jones reported there were 1,025 calls for service, 18 reportable crimes, 10 adult arrests, no juvenile arrests, and the safety tip of the month is: don't blow leaves into the roadways – leaves and wet weather lead to slippery road conditions.

Public Works Department Report

Mike Esterlis reported 159 workorders were received and completed; continued roadside tree trimming in preparation for milling and paving activities; on-going stormwater inlet repairs; installing generators at 2 wastewater treatment plants; routine maintenance of vehicles and facilities.

ADMINISTRATON

Signs, Short-Term Rental Ordinance Amendments.

The Board was requested to adopt ordinance amendments updating sign regulations and a few things regarding short-term rentals – requiring renters to be age 21 and over, added requirement

for an area of fencing for dogs. The Board discussed the renter's age and would like it to be 25 years and older. The amendment will be revised and sent to the County for review.

Open Session

Approximately 25 residents from the Enclave at Chester Springs expressed concerns with the land development plan for Byers Station Parcel 5C Lot 2B Commercial Phase 2. Phase 2 includes another 10,000+SF building and the elimination of the Iris Lane extension to Pottstown Pike, which means all traffic in and out would use Begonia Drive. Begonia Drive is a private HOA-owned and maintained roadway and they do not want to be responsible for the road handling the commercial and retail traffic. They think it should become a public road. They are concerned with peak hour traffic from the daycare, which would be near the same time as the bus stop. They've lived there 3 years and have not been made aware of what is happening with the commercial lot – Lot 2B. They have not received copy of the maintenance agreement between Lot 2A – the Enclave – and Lot 2B, the commercial property. They mentioned speeding, the sidewalk isn't usable due to construction fencing, and the street lights aren't working properly now.

Mrs. Baxter advised that Lot 2B has had a phased approach which caused alterations to the previously approved Planned Residential Development (PRD) plan. The Board spent significant time at their Workshop last week discussing the sidewalk and crosswalk safety, discussing options with Celebree. A 4-way stop at Iris Lane and Begonia Drive intersection was determined. The possibility of installing a sidewalk on the east side of Begonia Drive was suggested, though there doesn't seem to be space to do so. The Board has determined that they are not interested in approving a Plan that does not have direct access with Pottstown Pike. The previously approved plan – Phase 1 -- included a drive-through restaurant and a right-in / right-out access with Pottstown Pike. The Applicant had to come back to the Board if they wanted to do something different than the drive-through restaurant. It's not clear if the route 100 access would be approved by PennDOT without the restaurant in the Plan.

It was determined that Celebree's attorney would contact Enclave's HOA Management Company to coordinate a meeting to discuss these issues.

Once the Celebree school and the retail establishments are open, traffic conditions on Station Boulevard and Begonia Drive will be monitored and adjustments made if needed.

The residents asked if Police could be present on Station Boulevard for the morning bus stops. Mrs. Baxter thanked the residents for their input.

Adjournment

There being no further business to be brought before the Board, Mrs. Baxter adjourned the Meeting at 8:33 p.m.

Respectfully submitted,

Gwen A. Jonik
Township Secretary

Range of Checking Accts: GENERAL to GENERAL Range of Check Ids:
Report Type: All Checks Report Format: Super Condensed Check Type: Computer: Y Manual: Y Dir Deposit: Y

Check #	Check Date	Vendor	Amount Paid	Reconciled/Void Ref Num
09/15/25	BRIAN010	BRIAN HOSKINS FORD	704.86	09/30/25 3605
09/15/25	JAYDOR	THE JAYDOR COMPANY	580.00	09/30/25 3605
09/15/25	PLATELOG	PLATELOGIQ, LLC	5,300.00	09/30/25 3605
09/15/25	ROBWISE	ROBERT WISE	150.00	3605
09/15/25	ZMUID005	DANIEL ZMUIDA	210.00	09/30/25 3605
09/25/25	EMANTIRE	EMANUEL TIRE MANAGEMENT PA LLC	324.00	09/30/25 3610
10/01/25	SKYSHOOT	SKYSHOOTER DISPLAYS BY ZY PYRO	5,500.00	3614
10/01/25	SCHO0005	SCHOOL OF ROCK - DOWNTOWN	300.00	3615
10/02/25	PRPSDIS3	PRPS DISTRICT 3	105.00	3616
10/20/25	108EMERG	10-8 EMERGENCY VEHICLE SERVICE	2,426.02	3625
10/20/25	21ST	21st CENTURY MEDIA PHILLY	841.46	3625
10/20/25	ADVAN010	ADVANCED HORTICULTURAL SOLN	12,932.00	3625
10/20/25	ALLTRAFF	ALL TRAFFIC SOLUTIONS	3,540.00	3625
10/20/25	AQUAP010	AQUA PENNSYLVANIA	1,921.15	3625
10/20/25	BABMAAS	BABETTE MAAS	1,101.02	3625
10/20/25	BINAVITH	BINA VITHLANI	698.75	3625
10/20/25	BRANDWIN	BRANDYWINE CONSERVANCY	60.00	3625
10/20/25	BUCKL010	BUCKLEY, BRION, MCGUIRE, MORRI	1,496.00	3625
10/20/25	CAMPBANT	ANTHONY CAMPBELL	50.00	3625
10/20/25	CAPJUNK	CAPTAIN JUNK	1,500.00	3625
10/20/25	CCHPN005	CCHPN MEMBERSHIP RENEWAL	15.00	3625
10/20/25	CHARLHIG	CHARLES A HIGGINS & SONS	419.50	3625
10/20/25	COLLIFL	COLLIFLOWER, INC	12.29	3625
10/20/25	COMCA010	COMCAST	1,936.04	3625
10/20/25	CRAFCO	CRAFCO, INC	3,687.65	3625
10/20/25	DELAW030	DELAWARE VALLEY HEALTH TRUST	64,591.59	3625
10/20/25	DELTRUST	DELAWARE VALLEY PROP&LIA TRST	40,956.50	3625
10/20/25	DIFFSAND	SANDRA M. DIFFENDAL	69.44	3625
10/20/25	DWVCT	DELAWARE VALLEY WORKERS COMP	19,902.75	3625
10/20/25	EAGLE130	EAGLE TERMITE & PEST CONTROL	200.00	3625
10/20/25	EAGLEPEQ	EAGLE POWER & EQUIPMENT	3,078.22	3625
10/20/25	EAGLHARD	EAGLE HARDWARE	39.98	3625
10/20/25	ECKERTSE	ECKERT SEAMANS	2,950.00	3625
10/20/25	EVIDENT	EVIDENT, INC.	413.19	3625
10/20/25	FLEXIBEN	FLEXIBLE BENEFIT ADMINISTRATOR	56.00	3625
10/20/25	GENESIS	GENESIS	1,710.00	3625
10/20/25	GILMO020	GILMORE & ASSOCIATES, INC	8,709.75	3625
10/20/25	GLASG010	GLASGOW, INC.	12,715.65	3625
10/20/25	HATH0010	H A THOMSON CO INC	2,486.00	3625
10/20/25	HAWEI010	H.A. WEIGAND, INC.	200.00	3625
10/20/25	HEIDELBE	HEIDELBERG MATERIALS	3,642.92	3625
10/20/25	HELPNOW	HELP-NOW, LLC	4,422.28	3625
10/20/25	INDEPGR	INDEPENDENT GRAPHICS	3,319.15	3625
10/20/25	INTER010	INTERCON TRUCK EQUIPMENT	59.83	3625
10/20/25	IRONM010	IRON MOUNTAIN	862.62	3625
10/20/25	JOHNST01	JOHNSTONE SUPPLY	96.38	3625
10/20/25	KEENC010	KEEN COMPRESSED GAS COMPANY	53.70	3625
10/20/25	KENCOR	KENCOR, LLC	3,200.00	3625
10/20/25	KEYSTCOL	KEYSTONE COLLECTIONS GROUP	11,640.45	3625
10/20/25	KIMBALLW	KIMBALL MIDWEST	1,919.46	3625
10/20/25	LEVEN010	LEVENGOOD SEPTIC SERVICE	603.00	3625

Check #	Check Date	Vendor	Amount Paid	Reconciled/Void Ref Num
10/20/25		LOGOMAT LOGOMAT CENTRAL LLC	562.40	3625
10/20/25		MARSH020 MARSH CREEK SIGNS	991.00	3625
10/20/25		MCMAH010 BOWMAN CONSULTING GROUP, LTD	11,482.73	3625
10/20/25		NANCYCOO NANCY COPP	66.25	3625
10/20/25		NAPA0010 NAPA AUTO PARTS	350.64	3625
10/20/25		NEWHO010 NEW HOLLAND AUTO GROUP	5,091.54	3625
10/20/25		NICKERSO BYRON NICKERSON	551.07	3625
10/20/25		NMSLABS NMS LABS	250.00	3625
10/20/25		NOVUS NOVUS MAINTENANCE, LLC	11,169.38	3625
10/20/25		OFFIC020 OFFICE SERVICE COMPANY	233.94	3625
10/20/25		PEC00010 PECO	6,904.83	3625
10/20/25		PPCLUB PPC LUBRICANTS, LLC	1,245.70	3625
10/20/25		PRED0010 PREDOC	2,702.32	3625
10/20/25		PRIMO01 PRIMO BRANDS	103.14	3625
10/20/25		RGSASSOC RGS ASSOCIATES, INC	5,078.10	3625
10/20/25		SEMPERON SEMPERON	1,175.83	3625
10/20/25		SHRWILWC THE SHERWIN WILLIAMS CO.	87.28	3625
10/20/25		SNAPON01 SNAP-ON TOOLS	991.25	3625
10/20/25		STAPLES STAPLES	566.78	3625
10/20/25		STEPHEQU STEPHENSON EQUIPMENT, INC.	283.49	3625
10/20/25		STRATIX STRATIX SYSTEMS, INC	774.72	3625
10/20/25		STYER010 STYER PROPANE	95.31	3625
10/20/25		TMOBILE T-MOBILE	580.94	3625
10/20/25		TONYSCHE TONY SCHEIVERT	100.00	3625
10/20/25		TRAISR TRAISR, LLC	2,699.25	3625
10/20/25		TREASCC1 TREASURER COUNTY OF CHESTER	160.00	3625
10/20/25		VERIZ010 VERIZON	468.06	3625
10/20/25		VERIZFIO VERIZON	124.99	3625
10/20/25		VERIZOSP VERIZON - SPECIAL PROJECTS	434.28	3625
10/20/25		WESTB010 WEST BRADFORD TOWNSHIP	37.36	3625
10/20/25		WIGGISHR WIGGINS SHREDDING	900.00	3625
<hr/>				
Report Totals		<u>Paid</u>	<u>Void</u>	<u>Amount Paid</u>
	Checks:	82	0	289,972.18
	Direct Deposit:	0	0	0.00
	Total:	82	0	289,972.18
				<u>Amount Void</u>
				0.00
				0.00
				0.00

Range of Checking Accts: GENERAL Report Type: All Checks			to GENERAL Report Format: Detail			Range of Check Ids: Check Type: Computer: Y Manual: Y Dir Deposit: Y		
Check #	Check Date	Vendor	Amount	Paid	Charge Account	Account Type	Reconciled/Void Ref	Ref Num
PO #	Item	Description				Contract	Seq	Acct
25-01233	09/15/25	BRIAN010 BRIAN HOSKINS FORD					09/30/25	3605
	1	engine block/power train	704.86		01-410-000-235 Vehicle Maintenance	Expenditure		5 1
25-01232	09/15/25	JAYDOR THE JAYDOR COMPANY					09/30/25	3605
	1	repair sally port door	580.00		01-409-003-250 Maintenance & Repairs	Expenditure		4 1
25-01231	09/15/25	PLATELOG PLATELOGIQ, LLC					09/30/25	3605
	1	vipr at annual service	5,300.00		01-410-000-450 Contracted Services	Expenditure		3 1
25-01229	09/15/25	ROBWISE ROBERT WISE						3605
	1	lecture/historic architecture	150.00		01-459-000-450 Contracted Services	Expenditure		1 1
25-01230	09/15/25	ZMUID005 DANIEL ZMUIDA					09/30/25	3605
	1	dexter boarding 8/26-8/21	210.00		01-410-000-221 K-9	Expenditure		2 1
25-01259	09/25/25	EMANTIRE EMANUEL TIRE MANAGEMENT PA LLC					09/30/25	3610
	1	i-pass-per-ton-clean	324.00		01-438-000-245 Highway Supplies	Expenditure		1 1
25-01263	10/01/25	SKYSHOOT SKYSHOOTER DISPLAYS BY ZY PYRO						3614
	1	50% deposit - 2026 blockparty	5,500.00		01-454-001-202 Community Day	Expenditure		1 1
25-01264	10/01/25	SCH00005 SCHOOL OF ROCK - DOWNTONTOWN						3615
	1	donation-trunk or treat	300.00		01-454-001-201 Park & Rec Special Events	Expenditure		1 1
25-01265	10/02/25	PRPSDIS3 PRPS DISTRICT 3						3616
	1	2025 golf outing	105.00		01-400-000-460 Meeting & Conferences	Expenditure		1 1
25-01275	10/20/25	108EMERG 10-8 EMERGENCY VEHICLE SERVICE						3625
	1	install k9 sensors	2,426.02		01-410-000-235 Vehicle Maintenance	Expenditure		2 1
25-01276	10/20/25	21ST 21st CENTURY MEDIA PHILLY						3625
	1	amend ordinance chapter 200	462.88		01-414-001-368 Advertising	Expenditure		3 1
25-01276	10/20/25	2 snow removal bids	307.14		01-400-000-341 Advertising	Expenditure		4 1
25-01276	10/20/25	3 bos meeting location change	71.44		01-400-000-341 Advertising	Expenditure		5 1
			841.46					

Check #	Check Date	Vendor	Amount Paid Charge Account			Reconciled/Void	Ref Num
PO #	Item	Description	Account Type	Contract	Ref Seq	Acct	
	10/20/25	ADVAN010 ADVANCED HORTICULTURAL SOLN					3625
25-01277	1	ff-bio fert turf	2,936.00	01-454-003-450 Contracted Services	Expenditure	6	1
25-01277	2	hp-compost application	1,630.00	01-454-002-450 Contracted Services	Expenditure	7	1
25-01277	3	HP-bio fert and weed turf	3,625.00	01-454-002-450 Contracted Services	Expenditure	8	1
25-01277	4	larkins-bio fert and weed turf	856.00	01-454-004-450 Contracted Services	Expenditure	9	1
25-01277	5	ff-lawn overseeding	1,650.00	01-454-003-450 Contracted Services	Expenditure	10	1
25-01277	6	ff-liquid biological	2,235.00	01-454-003-450 Contracted Services	Expenditure	11	1
			12,932.00				
	10/20/25	ALLTRAFF ALL TRAFFIC SOLUTIONS					3625
25-01320	1	shield 12b speed display	3,540.00	01-409-004-250 Maintenance & repairs	Expenditure	99	1
	10/20/25	AQUAP010 AQUA PENNSYLVANIA					3625
25-01279	1	twp	118.17	01-409-003-360 Utilities	Expenditure	12	1
25-01279	2	twp	228.11	01-409-003-360 Utilities	Expenditure	13	1
25-01279	3	pw	222.35	01-409-001-360 Utilities	Expenditure	14	1
25-01279	4	pw	455.78	01-409-001-360 Utilities	Expenditure	15	1
25-01279	5	upland	274.89	01-454-005-360 Utilities	Expenditure	16	1
25-01279	6	ff	159.29	01-454-003-360 Utilities	Expenditure	17	1
25-01279	7	hp	179.10	01-454-002-360 Utilities	Expenditure	18	1
25-01279	8	milford	30.00	01-409-004-360 Utilities	Expenditure	19	1
25-01279	9	upland	253.46	01-454-005-360 Utilities	Expenditure	20	1
			1,921.15				
	10/20/25	BABMAAS BABETTE MAAS					3625
25-01280	1	edmunds conference miles/tolls	67.22	01-401-000-317 Parking/Travel	Expenditure	21	1
25-01280	2	edmunds conference marriott	1,033.80	01-401-000-316 Training & Seminars	Expenditure	22	1
			1,101.02				
	10/20/25	BINAVITH BINA VITHLANI					3625
25-01281	1	custom cookies for 11/29	698.75	01-454-001-201 Park & Rec Special Events	Expenditure	23	1

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PO #	Item	Description								
10/20/25	BRANDWIN BRANDYWINE CONSERVANCY									3625
25-01310	1	general planning assistance	60.00		01-414-002-367 General Planning	Expenditure		90	1	
10/20/25	BUCKL010 BUCKLEY, BRION, MCGUIRE, MORRI									3625
25-01284	1	twp-september services	1,496.00		01-404-000-311 Non Reimbursable Legal	Expenditure		31	1	
10/20/25	CAMPBANT ANTHONY CAMPBELL									3625
25-01288	1	telephone reimbursement	50.00		01-413-000-320 Telephone	Expenditure		34	1	
10/20/25	CAPJUNK CAPTAIN JUNK									3625
25-01356	1	e-waste/shred event	1,500.00		01-455-000-450 EAC - Contracted Services	Expenditure		173	1	
10/20/25	CCHPN005 CCHPN MEMBERSHIP RENEWAL									3625
25-01291	1	fall workshop	15.00		01-459-000-200 Supplies	Expenditure		35	1	
10/20/25	CHARLHIG CHARLES A HIGGINS & SONS									3625
25-01292	1	rt100/ticon & rt100/township	419.50		01-434-000-450 Contracted Services	Expenditure		36	1	
10/20/25	COLLIFL COLLIFLOWER, INC									3625
25-01293	1	hose barb	12.29		01-438-000-200 Supplies	Expenditure		37	1	
10/20/25	COMCA010 COMCAST									3625
25-01294	1	hp	366.44		01-454-002-450 Contracted Services	Expenditure		38	1	
25-01294	2	twp	779.77		01-409-003-450 Contracted Services	Expenditure		39	1	
25-01294	3	pw	373.35		01-409-001-450 Contracted Services	Expenditure		40	1	
25-01294	4	upland	416.48		01-454-005-450 Contracted Services	Expenditure		41	1	
			1,936.04							
10/20/25	CRAFCO CRAFCO, INC									3625
25-01296	1	wiper blade/squeegee assembly	145.00		01-438-000-245 Highway Supplies	Expenditure		42	1	
25-01296	2	flex a fill (2250)	1,732.50		01-438-000-245 Highway Supplies	Expenditure		43	1	
25-01296	3	duck bill valve w/slot	77.65		01-438-000-245 Highway Supplies	Expenditure		44	1	
25-01364	1	FLEX A FILL ROAD SEALER	1,732.50		01-438-000-245 Highway Supplies	Expenditure		175	1	
			3,687.65							
10/20/25	DELAW030 DELAWARE VALLEY HEALTH TRUST									3625
25-01297	1	admin	6,498.36		01-401-000-156 Employee Benefit Expens	Expenditure		45	1	

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PO #	Item	Description	Account Type	Contract	Ref Seq	Acct	
DELAWARE VALLEY HEALTH TRUST		Continued					
25-01297	2	pd	33,441.47	01-410-000-156 Employee Benefit Expense	Expenditure	46	1
25-01297	3	codes	3,950.92	01-413-000-156 Employee Benefit Expenses	Expenditure	47	1
25-01297	4	pw	17,650.48	01-438-000-156 Employee Benefit Expense	Expenditure	48	1
25-01297	5	facilities	3,050.36	01-438-001-156 Employee Benefit Expense	Expenditure	49	1
			64,591.59				
10/20/25	DELTRUST	DELAWARE VALLEY PROP&LIA TRST					3625
25-01300	1	q4 - twp bldg	9,698.36	01-409-003-351 Insurance Property	Expenditure	56	1
25-01300	2	q4 - 520 milford	1,385.48	01-409-004-351 Insurance - property	Expenditure	57	1
25-01300	3	q4 - hp	2,770.96	01-454-002-351 Insurance-Property	Expenditure	58	1
25-01300	4	q4 - upland	2,770.96	01-454-005-351 Insurance - Building	Expenditure	59	1
25-01300	5	q4 - pw bldg	8,312.88	01-409-001-351 Insurance-Property	Expenditure	60	1
25-01300	6	q4 - ff	2,770.96	01-454-003-351 Insurance Property	Expenditure	61	1
25-01300	7	q4 - general gov't	6,453.40	01-400-000-352 Insurance-Liability	Expenditure	62	1
25-01300	8	q4 - exec	72.25	01-401-000-352 Insurance - Liability	Expenditure	63	1
25-01300	9	q4 - pd	3,877.75	01-410-000-352 Insurance - Liability	Expenditure	64	1
25-01300	10	q4 - codes	72.25	01-413-000-352 Insurance - Liability	Expenditure	65	1
25-01300	11	q4 - pw	378.40	01-438-000-352 Insurance - Liability	Expenditure	66	1
25-01300	12	q4 - pw facilities	378.40	01-438-001-352 Insurance - Liability	Expenditure	67	1
25-01300	13	q4 - exec	135.22	01-401-000-353 Insurance - Vehicle	Expenditure	68	1
25-01300	14	q4 - pd	662.25	01-410-000-353 Insurance - Vehicles	Expenditure	69	1
25-01300	15	q4 - codes	135.22	01-413-000-353 Insurance - Vehicle	Expenditure	70	1
25-01300	16	q4 - pw	540.88	01-438-000-353 Vehicle Insurance	Expenditure	71	1
25-01300	17	q4 - pw facilities	540.88	01-438-001-353 Vehicle Insurance	Expenditure	72	1
			40,956.50				
10/20/25	DIFFSAND	SANDRA M. DIFFENDAL					3625
25-01301	1	edmunds conference-mileage	69.44	01-401-000-317 Parking/Travel	Expenditure	73	1

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PO #	Item	Description	Amount	Paid	Charge Account	Account Type	Contract	Ref Seq	Acct
	10/20/25	DVWCT DELAWARE VALLEY WORKERS COMP							3625
25-01299	1	q4-codes		199.03	01-413-000-354 Insurance - Workers Comp	Expenditure		50	1
25-01299	2	q4-admin		199.03	01-401-000-354 Insurance-Workers Comp	Expenditure		51	1
25-01299	3	q4-pw		3,582.50	01-438-000-354 Insurance Workers Com	Expenditure		52	1
25-01299	4	q4-facilities		2,388.33	01-438-001-354 Insurance - Workers Comp -	Expenditure	Facilities	53	1
25-01299	5	q4-pd		12,538.73	01-410-000-354 Insurance - Workers Com	Expenditure		54	1
25-01299	6	q4-parks		995.13	01-454-001-354 Insurance - Workers Com	Expenditure		55	1
				19,902.75					
	10/20/25	EAGLE130 EAGLE TERMITE & PEST CONTROL						3625	
25-01304	1	twp qtrly service		105.00	01-409-003-450 Contracted Services	Expenditure		80	1
25-01304	2	upland qtrly service		95.00	01-454-005-450 Contracted Services	Expenditure		81	1
				200.00					
	10/20/25	EAGLEPEQ EAGLE POWER & EQUIPMENT						3625	
25-01303	1	mini ex-assy panel		357.45	01-438-001-235 Vehicle Maintenance - Facilities	Expenditure		76	1
25-01303	2	mini ex-assy panel		1,824.22	01-438-001-235 Vehicle Maintenance - Facilities	Expenditure		77	1
25-01303	3	mini ex-assy motor		401.59	01-438-001-235 Vehicle Maintenance - Facilities	Expenditure		78	1
25-01303	4	pipe, hydraulic		494.96	01-438-001-235 Vehicle Maintenance - Facilities	Expenditure		79	1
				3,078.22					
	10/20/25	EAGLHARD EAGLE HARDWARE						3625	
25-01302	1	folding utility knife		16.99	01-454-005-200 Supplies	Expenditure		74	1
25-01302	2	5pc carb hamm bit set		22.99	01-438-000-200 Supplies	Expenditure		75	1
				39.98					
	10/20/25	ECKERTSE ECKERT SEAMANS						3625	
25-01368	1	pd personnel service		2,950.00	01-404-000-450 Contracted Services	Expenditure		180	1
	10/20/25	EVIDENT EVIDENT, INC.						3625	
25-01366	1	evidence bags		193.09	01-410-000-200 Supplies	Expenditure		177	1
25-01366	2	nitrile gloves		220.10	01-410-000-200 Supplies	Expenditure		178	1
				413.19					

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PO #	Item	Description	Account Type	Contract	Ref Seq	Acct	
	10/20/25	FLEXIBEN FLEXIBLE BENEFIT ADMINISTRATOR					3625
25-01305	1	august services	56.00	01-410-000-450 Contracted Services	Expenditure	82	1
	10/20/25	GENESIS GENESIS					3625
25-01306	1	kbg blend 300 lb-mountain view	1,710.00	01-454-001-200 Supplies	Expenditure	83	1
	10/20/25	GILM0020 GILMORE & ASSOCIATES, INC					3625
25-01308	1	monthly services ending 8/31	1,352.95	01-408-000-367 General Planning	Expenditure	84	1
25-01308	2	struble trail head improvement	80.50	01-408-000-310 Reimbursable Engineer	Expenditure	85	1
25-01308	3	ms4 permit-1004088t	3,389.50	01-408-000-368 MS4 Expenses	Expenditure	86	1
25-01308	4	monthly services ending 9/28	2,213.55	01-408-000-367 General Planning	Expenditure	87	1
25-01308	5	ms4 permit-1004088	1,633.00	01-408-000-368 MS4 Expenses	Expenditure	88	1
25-01308	6	eagleview lot 7	40.25	01-408-000-310 Reimbursable Engineer	Expenditure	89	1
			8,709.75				
	10/20/25	GLASG010 GLASGOW, INC.					3625
25-01312	1	fellowship road repairs	12,715.65	01-438-000-450 Contracted Services	Expenditure	91	1
	10/20/25	HATH0010 H A THOMSON CO INC					3625
25-01313	1	2026 treasurer bond-jb	2,486.00	01-400-000-350 Insurance-Bonding	Expenditure	92	1
	10/20/25	HAWEI010 H.A. WEIGAND, INC.					3625
25-01314	1	24x30 r2-1 (35)	200.00	01-433-000-200 Supplies	Expenditure	93	1
	10/20/25	HEIDELBE HEIDELBERG MATERIALS					3625
25-01315	1	9.5mm & 25mm material	3,486.05	01-438-000-245 Highway Supplies	Expenditure	94	1
25-01315	2	subbase 2a	156.87	01-438-000-245 Highway Supplies	Expenditure	95	1
			3,642.92				
	10/20/25	HELPNOW HELP-NOW,LLC					3625
25-01317	1	monthly service tickets	166.25	01-407-000-450 Contracted Services	Expenditure	96	1
25-01317	2	monthly guardian services	4,256.03	01-407-000-450 Contracted Services	Expenditure	97	1
			4,422.28				
	10/20/25	INDEPGR A INDEPENDENT GRAPHICS					3625
25-01318	1	fall newsletter (4927)	3,319.15	01-400-000-342 Printing	Expenditure	98	1

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PO #	Item	Description								
10/20/25	INTER010	INTERCON TRUCK EQUIPMENT						3625		
25-01365	1	mini right and left rotary	59.83		01-438-000-235 Vehicle Maintenance	Expenditure		176	1	
10/20/25	IRONM010	IRON MOUNTAIN						3625		
25-01321	1	storage period 10/01-12/31	862.62		01-401-000-450 Contracted Services	Expenditure		100	1	
10/20/25	JOHNST01	JOHNSTONE SUPPLY						3625		
25-01370	1	pump condensate/blue monster	96.38		01-409-001-250 Maint & Repair	Expenditure		181	1	
10/20/25	KEENC010	KEEN COMPRESSED GAS COMPANY						3625		
25-01322	1	cylinder rental	53.70		01-438-000-200 Supplies	Expenditure		101	1	
10/20/25	KENCOR	KENCOR, LLC						3625		
25-01367	1	full load state mandated test	3,200.00		01-409-003-250 Maintenance & Repairs	Expenditure		179	1	
10/20/25	KEYSTCOL	KEYSTONE COLLECTIONS GROUP						3625		
25-01323	1	cre bills jan-dec 2025	11,640.45		01-403-000-450 Contracted Services	Expenditure		102	1	
10/20/25	KIMBALLW	KIMBALL MIDWEST						3625		
25-01324	1	protectant/shine/cleaner	673.44		01-438-000-200 Supplies	Expenditure		103	1	
25-01324	2	protectant/shine/cleaner	527.76		01-438-000-200 Supplies	Expenditure		104	1	
25-01324	3	protectant	407.04		01-438-000-200 Supplies	Expenditure		105	1	
25-01324	4	ss cs/terminal	311.22		01-438-000-200 Supplies	Expenditure		106	1	
			1,919.46							
10/20/25	LEVEN010	LEVENGOD SEPTIC SERVICE						3625		
25-01325	1	hp-pumped holding tank	301.50		01-454-002-450 Contracted Services	Expenditure		107	1	
25-01325	2	hp-pumped holding tank	301.50		01-454-002-450 Contracted Services	Expenditure		108	1	
			603.00							
10/20/25	LOGOMAT	LOGOMAT CENTRAL LLC						3625		
25-01326	1	4'x6' nonskid mat	562.40		01-410-000-260 Small Tools & Equipment	Expenditure		109	1	
10/20/25	MARSH020	MARSH CREEK SIGNS						3625		
25-01327	1	pollinator signs	166.00		01-454-005-200 Supplies	Expenditure		110	1	
25-01327	2	trailer & escape logos	825.00		01-410-000-235 Vehicle Maintenance	Expenditure		111	1	
			991.00							

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10/20/25	MCMAH010	BOWMAN CONSULTING GROUP, LTD						3625
25-01283	1	blown fuses 310018-01-001	170.00	01-408-000-311	Traffic Engineering	Expenditure	24	1
25-01283	2	general consult 311430-01-001	1,440.00	01-408-000-311	Traffic Engineering	Expenditure	25	1
25-01283	3	blown fuses 310018-01-001	1,020.00	01-408-000-311	Traffic Engineering	Expenditure	26	1
25-01283	4	general consult 311430-01-001	985.00	01-408-000-311	Traffic Engineering	Expenditure	27	1
25-01283	5	pa100 gateways 314108-01-002	559.03	01-408-000-313	Non Reimbursable	Expenditure	28	1
25-01283	6	pa100 gateways 314108-01-002	3,914.95	01-408-000-313	Non Reimbursable	Expenditure	29	1
25-01283	7	general consult 311430-01-001	3,393.75	01-408-000-311	Traffic Engineering	Expenditure	30	1
			11,482.73					
10/20/25	NANCYCOO	NANCY COPP						3625
25-01274	1	andiron reimbursement	66.25	01-459-000-200	Supplies	Expenditure	1	1
10/20/25	NAPA0010	NAPA AUTO PARTS						3625
25-01328	1	oil filters for 3/4 ton pu	15.46	01-438-000-235	Vehicle Maintenance	Expenditure	112	1
25-01328	2	brake spring plyers/pick set	22.76	01-438-000-260	Small Tools & Equipment	Expenditure	113	1
25-01328	3	led	94.82	01-438-000-235	Vehicle Maintenance	Expenditure	114	1
25-01328	4	led return	94.82-	01-438-000-235	Vehicle Maintenance	Expenditure	115	1
25-01328	5	battery core deposit refund	36.00-	01-438-000-235	Vehicle Maintenance	Expenditure	116	1
25-01328	6	battery core deposit refund	81.00-	01-438-000-235	Vehicle Maintenance	Expenditure	117	1
25-01328	7	battery w/core deposit	429.42	01-438-000-235	Vehicle Maintenance	Expenditure	118	1
			350.64					
10/20/25	NEWHO010	NEW HOLLAND AUTO GROUP						3625
25-01330	1	spring up	19.42	01-438-000-235	Vehicle Maintenance	Expenditure	119	1
25-01330	2	shoe kit/springs/brakes	300.12	01-438-000-235	Vehicle Maintenance	Expenditure	120	1
25-01330	3	lamp assembly #3204	709.80	01-410-000-235	Vehicle Maintenance	Expenditure	121	1
25-01330	4	ab adapter	774.20	01-438-000-235	Vehicle Maintenance	Expenditure	122	1
25-01330	5	filters/brakes/rotors #t4	1,808.13	01-438-000-235	Vehicle Maintenance	Expenditure	123	1
25-01330	6	cover and container	191.55	01-438-000-235	Vehicle Maintenance	Expenditure	124	1
25-01330	7	starter & core	422.75	01-438-000-235	Vehicle Maintenance	Expenditure	125	1

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NEW HOLLAND AUTO GROUP		Continued					
25-01330	8	ac sensor trk 2	138.10	01-438-000-235 Vehicle Maintenance	Expenditure	126	1
25-01330	9	clockspring	555.00	01-438-000-235 Vehicle Maintenance	Expenditure	127	1
25-01330	10	ab wheel seals	172.47	01-438-000-235 Vehicle Maintenance	Expenditure	128	1
			5,091.54				
10/20/25		NICKERSO BYRON NICKERSON				3625	
25-01286	1	kema conference/meals	177.87	01-415-000-316 Training/Seminar	Expenditure	32	1
25-01286	2	kema conference parking/travel	373.20	01-415-000-317 Parking/Travel	Expenditure	33	1
			551.07				
10/20/25		NMSLABS NMS LABS				3625	
25-01331	1	aug 13 services	250.00	01-410-000-450 Contracted Services	Expenditure	129	1
10/20/25		NOVUS MAINTENANCE, LLC				3625	
25-01332	1	twp	3,600.00	01-409-003-450 Contracted Services	Expenditure	130	1
25-01332	2	pw	400.00	01-409-001-450 Contracted Services	Expenditure	131	1
25-01332	3	upland	1,100.00	01-454-005-450 Contracted Services	Expenditure	132	1
25-01332	4	twp supplies	709.38	01-409-003-200 Supplies	Expenditure	133	1
25-01332	5	twp	3,200.00	01-409-003-450 Contracted Services	Expenditure	134	1
25-01332	6	pw	400.00	01-409-001-450 Contracted Services	Expenditure	135	1
25-01332	7	upland	1,760.00	01-454-005-450 Contracted Services	Expenditure	136	1
			11,169.38				
10/20/25		OFFIC020 OFFICE SERVICE COMPANY				3625	
25-01333	1	copier paper- 4 cases	155.96	01-401-000-200 Supplies	Expenditure	137	1
25-01333	2	copier paper- 2 cases	77.98	01-410-000-200 Supplies	Expenditure	138	1
			233.94				
10/20/25		PECO0010 PECO				3625	
25-01371	1	520 milford rd-pump hse	108.82	01-409-004-360 Utilities	Expenditure	182	1
25-01371	2	301 pottstown pike-upland barn	1,322.88	01-454-005-360 Utilities	Expenditure	183	1
25-01371	3	140 pottstown-street lights	600.63	01-409-003-360 Utilities	Expenditure	184	1
25-01371	4	140 pottstown-traffic lights	98.56	01-409-003-360 Utilities	Expenditure	185	1

Check #	Check Date	Vendor	Amount	Paid	Charge Account	Account Type	Reconciled/Void	Ref Num
PO #	Item	Description				Contract	Ref Seq	Acct
PECO								
25-01371	5	132 oscar way-pw bldg	395.70		01-409-001-360 Utilities	Expenditure		186 1
25-01371	6	351 park rd-hickory park	63.77		01-454-002-360 Utilities	Expenditure		187 1
25-01371	7	140 pottstown-twp bldg	1,852.96		01-409-003-360 Utilities	Expenditure		188 1
25-01371	8	144 byers rd	160.88		01-409-002-360 Utilities	Expenditure		189 1
25-01371	9	341 fellowship rd	2,300.63		01-454-003-360 Utilities	Expenditure		190 1
				6,904.83				
10/20/25 PPCLUB PPC LUBRICANTS, LLC								
25-01334	1	drum-oil, washer fluid,drydene	1,245.70		01-438-000-245 Highway Supplies	Expenditure		3625 139 1
10/20/25 PREDOC								
25-01335	1	520 milford-backflow test	110.00		01-409-004-450 Contracted Services	Expenditure		3625 140 1
25-01335	2	520 milford-pump & haul	525.00		01-409-004-450 Contracted Services	Expenditure		141 1
25-01335	3	520 milford-high alarm call	2,067.32		01-409-004-450 Contracted Services	Expenditure		142 1
			2,702.32					
10/20/25 PRIMO01 PRIMO BRANDS								
25-01336	1	kitchen supplies	103.14		01-409-001-200 Township properties - supplies	Expenditure		3625 143 1
10/20/25 RGSASSOC RGS ASSOCIATES, INC								
25-01337	1	zoning consult services	5,078.10		01-414-003-366 Ordinance Update	Expenditure		3625 144 1
10/20/25 SEMPERON SEMPERON								
25-01338	1	twp	1,070.49		01-409-003-320 Telephone	Expenditure		3625 145 1
25-01338	2	pw	105.34		01-409-001-320 Telephone	Expenditure		146 1
			1,175.83					
10/20/25 SHRWILWC THE SHERWIN WILLIAMS CO.								
25-01363	1	external paint for aed box	87.28		01-454-004-250 Maintenance & Repairs	Expenditure		3625 174 1
10/20/25 SNAPON01 SNAP-ON TOOLS								
25-01340	1	brake shoe tool	76.25		01-438-000-260 Small Tools & Equipment	Expenditure		3625 148 1
25-01340	2	brake spring tool/seal&bearing	541.00		01-438-000-260 Small Tools & Equipment	Expenditure		149 1
25-01340	3	battery cover	37.00		01-438-000-260 Small Tools & Equipment	Expenditure		150 1

Check #	Check Date	Vendor	Amount Paid Charge Account			Reconciled/Void	Ref Num
PO #	Item	Description	Account Type	Contract	Ref Seq	Acct	
SNAP-ON TOOLS							
25-01340	4	puller set bolt grip	337.00	01-438-000-260 Small Tools & Equipment	Expenditure	151	1
			<u>991.25</u>				
10/20/25	STAPLES	STAPLES				3625	
25-01341	1	twp	414.02	01-401-000-200 Supplies	Expenditure	152	1
25-01341	2	pd	152.76	01-410-000-200 Supplies	Expenditure	153	1
			<u>566.78</u>				
10/20/25	STEPHEQU	STEPHENSON EQUIPMENT, INC.				3625	
25-01339	1	repair tank motor/pumps/bars	283.49	01-438-000-450 Contracted Services	Expenditure	147	1
10/20/25	STRATIX	STRATIX SYSTEMS, INC				3625	
25-01342	1	copier contract 9/23-12/22	569.00	01-401-000-450 Contracted Services	Expenditure	154	1
25-01342	2	color copies 6/23-9/22	205.72	01-401-000-200 Supplies	Expenditure	155	1
			<u>774.72</u>				
10/20/25	STYER	010 STYER PROPANE				3625	
25-01343	1	hp-64 gal	95.31	01-454-002-231 Propane	Expenditure	156	1
10/20/25	TMOBILE	T-MOBILE				3625	
25-01344	1	admin	34.83	01-400-000-320 Telephone	Expenditure	157	1
25-01344	2	pd	313.38	01-410-000-320 Telephone	Expenditure	158	1
25-01344	3	codes	34.83	01-413-000-320 Telephone	Expenditure	159	1
25-01344	4	pw	69.63	01-438-000-320 Telephone	Expenditure	160	1
25-01344	5	pw ipad	21.34	01-438-000-322 Ipad Expense	Expenditure	161	1
25-01344	6	routers	106.93	01-410-000-320 Telephone	Expenditure	162	1
			<u>580.94</u>				
10/20/25	TONYSCHE	TONY SCHEIVERT				3625	
25-01345	1	telephone	100.00	01-400-000-320 Telephone	Expenditure	163	1
10/20/25	TRAISR	TRAISR, LLC				3625	
25-01347	1	august services	2,699.25	01-407-000-220 Software	Expenditure	164	1
-----	10/20/25	TREASCC1	TREASURER COUNTY OF CHESTER			3625	
25-01348	1	50 yard range-aug 6	160.00	01-410-000-316 Training/Seminar	Expenditure	165	1

Check #	Check Date	Vendor	Amount Paid Charge Account			Reconciled/Void	Ref Num
PO #	Item	Description	Account Type	Contract	Ref Seq	Acct	
10/20/25 25-01350	1	VERIZ010 VERIZON milford	307.86 01-409-004-320 Telephone	Expenditure	3625 167	1	
25-01350	2	pw	160.20 01-409-001-320 Telephone	Expenditure	168	1	
			<hr/> 468.06				
10/20/25 25-01349	1	VERIZF10 VERIZON ff	124.99 01-454-003-320 Telephone	Expenditure	3625 166	1	
10/20/25 25-01351	1	VERIZOSP VERIZON - SPECIAL PROJECTS september services	217.14 01-434-000-450 Contracted Services	Expenditure	3625 169	1	
25-01351	2	october services	217.14 01-434-000-450 Contracted Services	Expenditure	170	1	
			<hr/> 434.28				
10/20/25 25-01352	1	WESTB010 WEST BRADFORD TOWNSHIP 2025-26 sodium chloride bid	37.36 01-438-000-341 Advertisting	Expenditure	3625 171	1	
10/20/25 25-01353	1	WIGGISHR WIGGINS SHREDDING e-waste/shred event	900.00 01-455-000-450 EAC - Contracted Services	Expenditure	3625 172	1	

Report Totals	Paid	Void	Amount Paid	Amount Void
Checks:	82	0	289,972.18	0.00
Direct Deposit:	0	0	0.00	0.00
Total:	82	0	<hr/> 289,972.18	<hr/> 0.00

Range of Checking Accts: GENERAL EFTS to GENERAL EFTS Range of Check Ids:
Report Type: All Checks Report Format: Super Condensed Check Type: Computer: Y Manual: Y Dir Deposit: Y

Check #	Check Date	Vendor	Amount Paid	Reconciled/Void Ref Num
10/06/25		HARTFORD THE HARTFORD	3,030.73	3617
10/10/25		LOWES020 LOWES BUSINESS ACCOUNT	55.00	3618
10/06/25		WEXBANK WEX BANK	9,804.08	3621
10/06/25		BANKAMER BANK OF AMERICA	8,832.33	3622
10/23/25		AQUAP010 AQUA PENNSYLVANIA	8,030.24	3624

Report Totals	<u>Paid</u>	<u>Void</u>	<u>Amount Paid</u>	<u>Amount Void</u>
Checks:	5	0	29,752.38	0.00
Direct Deposit:	0	0	0.00	0.00
Total:	<u>5</u>	<u>0</u>	<u>29,752.38</u>	<u>0.00</u>

Range of Checking Accts: GENERAL EFTS to GENERAL EFTS Range of Check Ids:
 Report Type: All Checks Report Format: Detail Check Type: Computer: Y Manual: Y Dir Deposit: Y

Check #	Check Date	Vendor	Amount	Paid	Charge Account	Account Type	Reconciled/Void	Ref Num	Ref Seq	Acct
25-01266	10/06/25	HARTFORD THE HARTFORD		381.36	01-401-000-156 Employee Benefit Expens	Expenditure		3617		
25-01266	1	admin		1,736.82	01-410-000-156 Employee Benefit Expense	Expenditure		1	1	
25-01266	2	pd		200.35	01-413-000-156 Employee Benefit Expens	Expenditure		2	1	
25-01266	3	codes		538.83	01-438-000-156 Employee Benefit Expense	Expenditure		3	1	
25-01266	4	pw		173.37	01-438-001-156 Employee Benefit Expense	Expenditure		4	1	
25-01266	5	facilities			Employee Benefit Expense	Expenditure		5	1	
				3,030.73						
25-01267	10/10/25	LOWES020 LOWES BUSINESS ACCOUNT		55.00	01-454-005-200 Supplies	Expenditure		3618		
25-01270	1	gardening supplies						1	1	
25-01270	10/06/25	WEXBANK WEX BANK		5,577.19	01-410-000-230 Gasoline & oil	Expenditure		3621		
25-01270	1	pd		147.30	01-401-000-230 Gasoline & oil	Expenditure		1	1	
25-01270	2	admin		281.46	01-413-000-230 Gasoline & oil	Expenditure		2	1	
25-01270	3	codes		1,966.05	01-438-000-230 Gasoline & oil	Expenditure		3	1	
25-01270	4	pw		705.70	01-438-001-230 Gasoline & oil - Facilities	Expenditure		4	1	
25-01270	5	facilities		1,126.38	01-495-000-000 Expense Reklass	Expenditure		5	1	
25-01270	6	municipal authority gasoline						6	1	
				9,804.08						
25-01271	10/06/25	BANKAMER BANK OF AMERICA		14.99	01-410-000-420 Dues/Subscription/Memb	Expenditure		3622		
25-01271	1	amazon prime		93.97	01-410-000-238 Clothing/Uniforms	Expenditure		1	1	
25-01271	2	witmer - belts		400.00	01-410-000-316 Training/Seminar	Expenditure		2	1	
25-01271	3	alm training-ballistic shield		53.99	01-409-003-200 Supplies	Expenditure		3	1	
25-01271	4	amazon-trashbags/for cleaners		40.20	01-410-000-200 Supplies	Expenditure		4	1	
25-01271	5	amazon-gun cleaning kit		78.97	01-410-000-340 Public Relations	Expenditure		5	1	
25-01271	6	rons-bereavement/st elizabeth		1,253.00	01-407-000-450 Contracted Services	Expenditure		6	1	
25-01271	7	msft		83.56	01-407-000-220 Software	Expenditure		7	1	
25-01271	8	adobe-(4)						8	1	

Check #	Check Date	Vendor	Amount	Paid	Charge Account	Account Type	Reconciled/Void	Ref Num
PO #	Item	Description					Contract	Ref Seq
BANK OF AMERICA								
		Continued						
25-01271	9	amazon-sand art/summer concert	15.99		01-454-001-201 Park & Rec Special Events	Expenditure		9 1
25-01271	10	amazon-tape dispenser	15.84		01-401-000-200 Supplies	Expenditure		10 1
25-01271	11	expedia-empc hotel	777.00		01-415-000-316 Training/Seminar	Expenditure		11 1
25-01271	12	kema conference byron & steve	400.00		01-415-000-316 Training/Seminar	Expenditure		12 1
25-01271	13	agbservice-trip insurance	56.86		01-415-000-316 Training/Seminar	Expenditure		13 1
25-01271	14	american airline-edmunds conf	1,141.94		01-401-000-316 Training & Seminars	Expenditure		14 1
25-01271	15	sharis berries-bereavement	89.34		01-400-000-340 Public Relations	Expenditure		15 1
25-01271	16	ezpass-refill	35.00		01-410-000-317 Parking & travel	Expenditure		16 1
25-01271	17	amazon-popcorn bag/geya parade	29.64		01-400-000-340 Public Relations	Expenditure		17 1
25-01271	18	vistaprint	106.91		01-454-005-200 Supplies	Expenditure		18 1
25-01271	19	american united cab	91.20		01-438-000-317 Parking & Travel	Expenditure		19 1
25-01271	20	american public works	60.00		01-438-000-316 Training/Seminar	Expenditure		20 1
25-01271	21	vu rooftop bar	27.67		01-438-000-316 Training/Seminar	Expenditure		21 1
25-01271	22	starbucks	15.68		01-438-000-316 Training/Seminar	Expenditure		22 1
25-01271	23	chicago firehouse	80.47		01-438-000-316 Training/Seminar	Expenditure		23 1
25-01271	24	lou malnatis	20.09		01-438-000-316 Training/Seminar	Expenditure		24 1
25-01271	25	12 cermak-transportation	3.00		01-438-000-317 Parking & Travel	Expenditure		25 1
25-01271	26	vu rooftop bar	27.67		01-438-000-316 Training/Seminar	Expenditure		26 1
25-01271	27	expresspark	105.15		01-438-000-317 Parking & Travel	Expenditure		27 1
25-01271	28	hilton-chicago/pw expo	1,061.28		01-438-000-316 Training/Seminar	Expenditure		28 1
25-01271	29	staples-printer ink	67.33		01-438-000-200 Supplies	Expenditure		29 1
25-01271	30	amazon-car airfreshners	38.98		01-438-001-235 Vehicle Maintenance - Facilities	Expenditure		30 1
25-01271	31	amazon-bathroom cleaner/soap	231.74		01-438-001-200 Supplies - Facilities	Expenditure		31 1
25-01271	32	peach trader ice maker	360.40		01-409-001-250 Maint & Repair	Expenditure		32 1
25-01271	33	commercial equip/repair svc	564.00		01-409-001-450 Contracted Services	Expenditure		33 1
25-01271	34	amazon-earplugs	168.62		01-438-000-260 Small Tools & Equipment	Expenditure		34 1

Check #	Check Date	Vendor	Amount	Paid	Charge Account	Account Type	Reconciled/Void	Ref Num
PO #		Item Description					Contract	Ref Seq
BANK OF AMERICA								
25-01271	35	tsc-rubber boots		44.99	01-438-000-260 Small Tools & Equipment	Expenditure		35 1
25-01271	36	gardners landscape lawn care		137.79	01-454-001-200 Supplies	Expenditure		36 1
25-01271	37	autozone-body & interior prod		64.08	01-438-000-260 Small Tools & Equipment	Expenditure		37 1
25-01271	38	icc membership - 2025		300.00	01-413-000-316 Training/Seminar	Expenditure		38 1
25-01271	39	acme-employee lunch		253.35	01-401-000-200 Supplies	Expenditure		39 1
25-01271	40	acne-geya parage		13.64	01-400-000-340 Public Relations	Expenditure		40 1
25-01271	41	philly hots truck-geya parade		408.00	01-400-000-340 Public Relations	Expenditure		41 1
					8,832.33			
10/23/25 AQUAP010 AQUA PENNSYLVANIA								
25-01273	1	217 hydrants		7,026.46	01-411-000-451 Hydrant expenses-Aqua	Expenditure		3624 1 1
25-01273	2	31 hydrants		1,003.78	01-411-000-451 Hydrant expenses-Aqua	Expenditure		2 1
					8,030.24			
Report Totals								
				<u>Paid</u>	<u>Void</u>	<u>Amount Paid</u>	<u>Amount Void</u>	
		Checks:		5	0	29,752.38	0.00	
		Direct Deposit:		0	0	0.00	0.00	
		Total:		<u>5</u>	<u>0</u>	<u>29,752.38</u>	<u>0.00</u>	

October 16, 2025
10:47 AM

Upper Uwchlan Township
Check Register By Check Id

Page No: 1

Range of Checking Accts: LIQUID FUELS to LIQUID FUELS Range of Check Ids:
Report Type: All Checks Report Format: Super Condensed Check Type: Computer: Y Manual: Y Dir Deposit: Y

Check #	Check Date	Vendor	Amount Paid	Reconciled/Void Ref Num
10/20/25	GLASG010	GLASGOW, INC.	464,287.22	3626
<hr/>				
Report Totals			<u>Paid</u>	<u>Void</u>
	Checks:	1	0	464,287.22
	Direct Deposit:	0	0	0.00
	Total:	<u>1</u>	<u>0</u>	<u>464,287.22</u>
			<u>Amount Paid</u>	<u>Amount Void</u>
				0.00
				0.00
				0.00

October 16, 2025
10:47 AM

Upper Uwchlan Township
Check Register By Check Id

Page No: 1

Range of Checking Accts: LIQUID FUELS to LIQUID FUELS Range of Check Ids:
Report Type: All Checks Report Format: Detail Check Type: Computer: Y Manual: Y Dir Deposit: Y

Check #	Check Date	Vendor	Amount Paid	Charge Account	Reconciled/Void	Ref Num		
PO #		Item Description			Account Type	Contract	Ref Seq	Acct
10/20/25		GLASG010 GLASGOW, INC.						3626
25-01311	1	resurfacing	464,287.22	04-439-001-250 Resurfacing	Expenditure		1	1

Report Totals	<u>Paid</u>	<u>Void</u>	<u>Amount Paid</u>	<u>Amount Void</u>
Checks:	1	0	464,287.22	0.00
Direct Deposit:	0	0	0.00	0.00
Total:	<u>1</u>	<u>0</u>	<u>464,287.22</u>	<u>0.00</u>

Range of Checking Accts: SOLID WASTE to SOLID WASTE Range of Check Ids:
Report Type: All Checks Report Format: Super Condensed Check Type: Computer: Y Manual: Y Dir Deposit: Y

Check #	Check Date	Vendor	Amount Paid	Reconciled/Void Ref Num
10/20/25	AJBL0010	A.J. BLOSENSKI	89,992.94	3627
10/20/25	BUCKL010	BUCKLEY, BRION, MCGUIRE, MORRI	46.00	3627
10/20/25	CCSWA010	CCSWA	35,635.75	3627
10/20/25	GBCHACKO	GEORGE & BAMBINO CHACKO	315.00	3627
10/20/25	TOTALREC	TOTAL RECYCLE	5,210.43	3627

Report Totals	<u>Paid</u>	<u>Void</u>	<u>Amount Paid</u>	<u>Amount Void</u>
Checks:	5	0	131,200.12	0.00
Direct Deposit:	0	0	0.00	0.00
Total:	<u>5</u>	<u>0</u>	<u>131,200.12</u>	<u>0.00</u>

Range of Checking Accts: SOLID WASTE to SOLID WASTE Range of Check Ids:
 Report Type: All Checks Report Format: Detail Check Type: Computer: Y Manual: Y Dir Deposit: Y

Check #	Check Date	Vendor	Amount Paid	Charge Account	Account Type	Reconciled/Void	Ref Num
PO #	Item	Description			Contract	Ref Seq	Acct
10/20/25	AJBL0010	A.J. BLOSENSKI					3627
25-01278	1	october trash service	60,936.75	05-427-000-450 Contracted Services	Expenditure	1	1
25-01278	2	october recycling service	29,056.19	05-427-000-460 Contracted Services - Recycling	Expenditure	2	1
			89,992.94				
10/20/25	BUCKL010	BUCKLEY, BRION, MCGUIRE, MORRI					3627
25-01285	1	delinquent trash collections	46.00	05-427-000-314 Legal Fees	Expenditure	3	1
10/20/25	CCSWA010	CCSWA					3627
25-01287	1	sw-9/2-9/5	7,010.64	05-427-000-700 Tipping Fees	Expenditure	4	1
25-01287	2	sw-9/8-9/15	8,834.04	05-427-000-700 Tipping Fees	Expenditure	5	1
25-01287	3	sw-9/16-9/22	5,045.57	05-427-000-700 Tipping Fees	Expenditure	6	1
25-01287	4	sw-9/23-9/30	9,713.58	05-427-000-700 Tipping Fees	Expenditure	7	1
25-01287	5	sw-10/6-10/7	5,031.92	05-427-000-700 Tipping Fees	Expenditure	8	1
			35,635.75				
10/20/25	GBCHACKO GEORGE & BAMBINO CHACKO						3627
25-01289	1	refund trash overpayment	315.00	05-495-000-000 Expense Reclass	Expenditure	9	1
10/20/25	TOTALREC TOTAL RECYCLE						3627
25-01346	1	september services	5,210.43	05-427-000-725 Tipping Fees - Recycling	Expenditure	10	1

Report Totals	Paid	Void	Amount Paid	Amount Void
Checks:	5	0	131,200.12	0.00
Direct Deposit:	0	0	0.00	0.00
Total:	5	0	131,200.12	0.00

Range of Checking Accts: STORM WATER MGT to STORM WATER MGT Range of Check Ids:

Report Type: All Checks

Report Format: Super Condensed Check Type: Computer: Y Manual: Y Dir Deposit: Y

Check #	Check Date	Vendor	Amount Paid	Reconciled/Void Ref Num
10/20/25		CONTICON CONTINENTAL CONCRETE PRODUCTS	300.00	3628
10/20/25		GILM0020 GILMORE & ASSOCIATES, INC	40.25	3628
10/20/25		HEIDELBE HEIDELBERG MATERIALS	1,878.69	3628
10/20/25		NAPA0010 NAPA AUTO PARTS	62.18	3628
10/20/25		WOLFI010 WOLFINGTON BODY COMPANY, INC.	354.58	3628

Report Totals	<u>Paid</u>	<u>Void</u>	<u>Amount Paid</u>	<u>Amount Void</u>
Checks:	5	0	2,635.70	0.00
Direct Deposit:	0	0	0.00	0.00
Total:	<u>5</u>	<u>0</u>	<u>2,635.70</u>	<u>0.00</u>

Range of Checking Accts: STORM WATER MGT to STORM WATER MGT Range of Check Ids:

Report Type: All Checks

Report Format: Detail

Check Type: Computer: Y Manual: Y Dir Deposit: Y

Check #	Check Date	Vendor	Amount	Paid	Charge Account	Reconciled/Void	Ref Num	Ref Seq	Acct
PO #		Item Description				Account Type	Contract		
25-01295	10/20/25	CONTICON CONTINENTAL CONCRETE PRODUCTS							3628
		6" inlet extensions (2)	300.00		08-446-000-200 Supplies	Expenditure		1	1
25-01309	10/20/25	GILM0020 GILMORE & ASSOCIATES, INC		40.25	08-408-000-010 Engineering expenses	Expenditure		2	1
25-01316	10/20/25	HEIDELBE HEIDELBERG MATERIALS		1,520.63	08-446-000-250 Maintenance & repair	Expenditure		3	1
25-01316	10/20/25	9.5mm, 19mm, 25mm materials		358.06	08-446-000-250 Maintenance & repair	Expenditure		4	1
					1,878.69				
25-01329	10/20/25	NAPA0010 NAPA AUTO PARTS		62.18	08-446-000-235 Vehicle Maintenance	Expenditure		5	1
25-01354	10/20/25	WOLFI010 WOLFINGTON BODY COMPANY, INC.		354.58	08-446-000-235 Vehicle Maintenance	Expenditure		6	1

Report Totals	Paid	Void	Amount Paid	Amount Void
Checks:	5	0	2,635.70	0.00
Direct Deposit:	0	0	0.00	0.00
Total:	5	0	2,635.70	0.00

October 16, 2025
11:00 AM

Upper Uwchlan Township
Check Register By Check Id

Page No: 1

Range of Checking Accts: STORM WATER EFT to STORM WATER EFT Range of Check Ids:

Report Type: All Checks

Report Format: Super Condensed Check type: computer: Y Manual: Y Dir Deposit: Y

Check #	Check Date	Vendor	Amount Paid	Reconciled/Void Ref Num
10/10/25	LOWES020	LOWES BUSINESS ACCOUNT	239.17	3620
<hr/>				
Report Totals			<u>Paid</u>	<u>Void</u>
	Checks:	1	0	239.17
	Direct Deposit:	0	0	0.00
	Total:	<u>1</u>	<u>0</u>	<u>239.17</u>
			<u>Amount Paid</u>	<u>Amount Void</u>
			239.17	0.00
			0.00	0.00

Range of Checking Accts: STORM WATER EFT to STORM WATER EFT Range of Check Ids:

Report Type: All Checks

Report Format: Detail

Check Type: Computer: Y Manual: Y Dir Deposit: Y

Check #	Check Date	Vendor	Amount Paid	Charge Account	Reconciled/Void	Ref Num		
PO #		Item Description			Account Type	Contract	Ref Seq	Acct
10/10/25		LOWES020 LOWES BUSINESS ACCOUNT						3620
25-01269	1	quikrete 60lb cement	239.17	08-446-000-200 Supplies	Expenditure		1	1

Report Totals	<u>Paid</u>	<u>Void</u>	<u>Amount Paid</u>	<u>Amount Void</u>
Checks:	1	0	239.17	0.00
Direct Deposit:	0	0	0.00	0.00
Total:	<u>1</u>	<u>0</u>	<u>239.17</u>	<u>0.00</u>

October 16, 2025
10:50 AM

Upper Uwchlan Township
Check Register By Check Id

Page No: 1

Range of Checking Accts: CAPITAL
Report Type: All Checks

to CAPITAL

Range of Check Ids:
Report Format: Super Condensed

Check Type: Computer: Y Manual: Y Dir Deposit: Y

Check #	Check Date	Vendor	Amount Paid	Reconciled/Void Ref Num
10/20/25		CHARLHIG CHARLES A HIGGINS & SONS	57,074.40	3629
10/20/25		GILM0020 GILMORE & ASSOCIATES, INC	778.25	3629
10/20/25		MCMAH010 BOWMAN CONSULTING GROUP, LTD	2,747.50	3629
10/20/25		THOMKEYE THOMAS G KEYES, INC.	2,077.00	3629
10/20/25	YSM	YSM	2,625.80	3629

Report Totals	<u>Paid</u>	<u>Void</u>	<u>Amount Paid</u>	<u>Amount Void</u>
Checks:	5	0	65,302.95	0.00
Direct Deposit:	0	0	0.00	0.00
Total:	<u>5</u>	<u>0</u>	<u>65,302.95</u>	<u>0.00</u>

Range of Checking Accts: CAPITAL to CAPITAL Range of Check Ids:
Report Type: All Checks Report Format: Detail Check Type: Computer: Y Manual: Y Dir Deposit: Y

Check #	Check Date	Vendor	Amount Paid	Charge Account	Account Type	Reconciled/Void	Ref Num
PO #	Item	Description			Contract	Ref Seq	Acct
10/20/25	CHARLHIG CHARLES A HIGGINS & SONS						3629
25-01290	1	potts/graphite mine new pole	53,474.40	30-439-000-100 Traffic Signals	Expenditure		4 1
25-01290	2	rt100/station mast arm rental	3,600.00	30-439-000-100 Traffic Signals	Expenditure		5 1
			57,074.40				
10/20/25	GILM0020 GILMORE & ASSOCIATES, INC						3629
25-01307	1	144/128 Byers rd site eval	778.25	30-409-002-625 Capital Construction - 128 Byers Road	Expenditure		6 1
10/20/25	MCMAH010 BOWMAN CONSULTING GROUP, LTD						3629
25-01282	1	graphite accident mitigation	1,982.50	30-439-000-100 Traffic Signals	Expenditure		1 1
25-01282	2	graphite accident mitigation	340.00	30-439-000-100 Traffic Signals	Expenditure		2 1
25-01282	3	graphite accident services	425.00	30-439-000-100 Traffic Signals	Expenditure		3 1
			2,747.50				
10/20/25	THOMKEYE THOMAS G KEYES, INC.						3629
25-01369	1	goulds submersible pump 10gpm	2,077.00	30-409-002-625 Capital Construction - 128 Byers Road	Expenditure		8 1
10/20/25	YSM YSM						3629
25-01355	1	hp project-21 uut-02	2,625.80	30-454-001-600 Capital Construction - Hickory	Expenditure		7 1

Report Totals	Paid	Void	Amount Paid	Amount Void
Checks:	5	0	65,302.95	0.00
Direct Deposit:	0	0	0.00	0.00
Total:	5	0	65,302.95	0.00

October 16, 2025
10:52 AM

Upper Uwchlan Township
Check Register By Check Id

Page No: 1

Range of Checking Accts: DEV ESCROW
Report Type: All Checks

to DEV ESCROW

Range of Check Ids:

Report Format: Super Condensed Check Type: Computer: Y Manual: Y Dir Deposit: Y

Check #	Check Date	Vendor	Amount Paid	Reconciled/Void Ref Num
10/20/25	ARROC010	ARRO CONSULTING, INC.	1,985.00	3630
10/20/25	BUCKL010	BUCKLEY, BRION, MCGUIRE, MORRI	3,234.00	3630
10/20/25	CHRISFRA	CHRISTOPHER FRANTZ	45.00	3630
10/20/25	GILMO020	GILMORE & ASSOCIATES, INC	27,823.34	3630
10/20/25	MCMAH010	BOWMAN CONSULTING GROUP, LTD	7,503.75	3630

Report Totals	<u>Paid</u>	<u>Void</u>	<u>Amount Paid</u>	<u>Amount Void</u>
Checks:	5	0	40,591.09	0.00
Direct Deposit:	0	0	0.00	0.00
Total:	<u>5</u>	<u>0</u>	<u>40,591.09</u>	<u>0.00</u>

Range of Checking Accts: DEV ESCROW Report Type: All Checks			to DEV ESCROW Report Format: Detail			Range of Check Ids: Check Type: Computer: Y Manual: Y Dir Deposit: Y		
Check #	Check Date	Vendor	Amount	Paid	Charge Account	Account Type	Contract	Reconciled/Void Ref Num Ref Seq Acct
PO #	Item	Description						
25-01357	1	ARROCO10 ARRO CONSULTING, INC. preserve phase II-toll	788.00	248-2-035 PMC SEWER PHASE III		Project		3630 1 1
25-01357	2	preserve-mckee	1,197.00	248-035 THE PRESERVE @ MARSH CREEK SEW		Project		2 1
			1,985.00					
25-01359	1	BUCKL010 BUCKLEY, BRION, MCGUIRE, MORRI preserve phase II-fetters	22.00	248-1-035 THE PRESERVE @ MARSH CREEK CON		Project		3630 9 1
25-01359	2	prosperity 5c 2b	1,540.00	248-046 Prosperity Byers 5C 2B		Project		10 1
25-01359	3	rockhill/500 pottstown	1,672.00	248-051 ROCKHILL REAL ESTATE ENTERPRIS		Project		11 1
			3,234.00					
25-01360	1	CHRISFRA CHRISTOPHER FRANTZ mckee dedication	45.00	248-035 THE PRESERVE @ MARSH CREEK SEW		Project		3630 12 1
25-01362	1	GILM0020 GILMORE & ASSOCIATES, INC preserve phase II	2,435.80	248-1-035 THE PRESERVE @ MARSH CREEK CON		Project		3630 13 1
25-01362	2	preserve phase III	1,390.05	248-3-035 PMC CONSTRUCTION PHASE III		Project		14 1
25-01362	3	preserve phase I	3,703.35	248-1-035 THE PRESERVE @ MARSH CREEK CON		Project		15 1
25-01362	4	windsor	80.50	248-031 WINDSOR BAPTIST CHURCH		Project		16 1
25-01362	5	eagleview lot 1a	190.65	248-049 EAGLEVIEW LOT 1A		Project		17 1
25-01362	6	rockhill/500 pottstown	2,925.33	248-051 ROCKHILL REAL ESTATE ENTERPRIS		Project		18 1
25-01362	7	prosperity 5c 2b	1,565.55	248-046 Prosperity Byers 5C 2B		Project		19 1
25-01362	8	eagleview lot 1a	173.60	248-049 EAGLEVIEW LOT 1A		Project		20 1
25-01362	9	preserve phase II	2,435.55	248-1-035 THE PRESERVE @ MARSH CREEK CON		Project		21 1
25-01362	10	preserve phase III-toll	1,431.35	248-3-035 PMC CONSTRUCTION PHASE III		Project		22 1
25-01362	11	preserve phase I	3,945.40	248-1-035 THE PRESERVE @ MARSH CREEK CON		Project		23 1
25-01362	12	rockhill/500 pottstown	5,556.16	248-051 ROCKHILL REAL ESTATE ENTERPRIS		Project		24 1
25-01362	13	prosperity 5c 2b	1,869.30	248-046 Prosperity Byers 5C 2B		Project		25 1

Check #	Check Date	Vendor	Amount Paid Charge Account			Reconciled/Void	Ref Num
PO #	Item	Description	Account Type	Contract	Ref Seq	Acct	
		GILMORE & ASSOCIATES, INC	Continued				
25-01362	14	behrndt/127 st andrews	120.75	248-058 BEHRNDT	Project		26 1
				27,823.34			
10/20/25	MCMAH010	BOWMAN CONSULTING GROUP, LTD					3630
25-01358	1	prosperity 5c 2b	1,907.50	248-046 Prosperity Byers 5C 2B	Project		3 1
25-01358	2	prosperity 5c 2b	675.00	248-046 Prosperity Byers 5C 2B	Project		4 1
25-01358	3	rockhill/500 pottstown	947.50	248-051 ROCKHILL REAL ESTATE ENTERPRIS	Project		5 1
25-01358	4	rockhill/500 pottstown	548.75	248-051 ROCKHILL REAL ESTATE ENTERPRIS	Project		6 1
25-01358	5	prosperrity 5c 2b	900.00	248-046 Prosperity Byers 5C 2B	Project		7 1
25-01358	6	rockhill/500 pottstown	2,525.00	248-051 ROCKHILL REAL ESTATE ENTERPRIS	Project		8 1
				7,503.75			

Report Totals	<u>Paid</u>	<u>Void</u>	<u>Amount Paid</u>	<u>Amount Void</u>
Checks:	5	0	40,591.09	0.00
Direct Deposit:	0	0	0.00	0.00
Total:	5	0	40,591.09	0.00

October 16, 2025
11:00 AM

Upper Uwchlan Township
Check Register By Check Id

Page No: 1

Range of Checking Accts: PAYROLL EFTS to PAYROLL EFTS Range of Check Ids:
Report Type: All Checks Report Format: Super Condensed Check Type: Computer: Y Manual: Y Dir Deposit: Y

Check #	Check Date	Vendor	Amount Paid	Reconciled/Void Ref Num
10/15/25	AFLAC010	AFLAC	1,231.41	3623
<hr/>				
Report Totals			<u>Paid</u>	<u>Void</u>
	Checks:	1	0	1,231.41
	Direct Deposit:	0	0	0.00
	Total:	<u>1</u>	<u>0</u>	<u>1,231.41</u>
			<u>Amount Paid</u>	<u>Amount Void</u>
			0.00	0.00
			0.00	0.00

Range of Checking Accts: PAYROLL EFTS to PAYROLL EFTS Range of Check Ids:
Report Type: All Checks Report Format: Detail Check Type: Computer: Y Manual: Y Dir Deposit: Y

Check #	Check Date	Vendor	Amount Paid	Charge Account	Account Type	Reconciled/Void	Ref Num
PO #	Item	Description			Contract	Ref Seq	Acct
25-01272	10/15/25	AFLAC010 AFLAC					3623
25-01272	1	payroll benefit deduction	1,171.01	01-221-000-000 Benefit Deduction- Aflac (AFL)	Expenditure	1	1
25-01272	2	payroll benefit deduction	60.40	01-221-000-100 Aflac After Tax	Expenditure	2	1
			1,231.41				

Report Totals	<u>Paid</u>	<u>Void</u>	<u>Amount Paid</u>	<u>Amount Void</u>
Checks:	1	0	1,231.41	0.00
Direct Deposit:	0	0	0.00	0.00
Total:	<u>1</u>	<u>0</u>	<u>1,231.41</u>	<u>0.00</u>



UPPER UWCHLAN TOWNSHIP

MEMORANDUM

TO: BOARD OF SUPERVISORS

FROM: Jill Bukata, Township Treasurer

RE: Status Update

DATE: September 15, 2025

Finance has worked on the following items during the month

- Received and processed 522 trash and 738 sewer payments (9/11/2025 to 10/15/2025)

Highlights of the September, 2025 financial statements

- The balance sheet remains strong with cash of nearly **\$10.4 million** - of that amount **approximately \$4.5 million** is not available for the routine operations of the Township as it is reserved for specific purposes, ie. Liquid Fuels and Act 209 for highways, Turf Field for replacement of the Turf Field, Capital Projects for capital improvements etc.
- Combined revenue and expense status (General Fund & Solid Waste Fund):
 - Percentage through the year 75.0%
 - YTD revenues \$ 8,891,851 87.1%
 - YTD expenses \$ 7,341,770 73.2%
 - YTD net income \$ 1,550,081 (before transfers)
 - YTD transfers out \$ 2,414,096
 - **YTD net income (after transfers)** \$ **(864,015)**
 - Budgeted 2025 net income/(loss) \$ 175,367 (before transfers)
 - Budgeted 2025 net income (after) \$ (870,633) (after transfers)
- Earned income taxes received as of September 30 were nearly \$110,000 higher than at the same time last year and the Township is on target to exceed the 2025 budget.
- During September the Township received the Foreign Fire Premium Tax from the Commonwealth of Pennsylvania in the amount of \$125,601 and the State Pension Aid in the total amount of \$353,280 for the defined benefit pension plans.

Upper Uwchlan Township

Treasurer's Report

Cash Balances As of September 30, 2025

General Fund

Meridian Bank	\$ 3,581,290
Meridian Bank - Payroll	101,815
Meridian Bank - ARPA Funds	21
Meridian Bank MMA - restricted	41,545
Meridian Bank-restricted-Meadow Creek	1,115,060
First Resource Bank	237,074
Fulton Bank	-
First Resource Bank - Turf Field	334,320
Petty cash	300
Total General Fund	5,411,425

Certificate of Deposit - 1/2/2026 (First Resource)	307,874
Certificate of Deposit - Fulton	278,074
	585,948

Total General Fund \$ **5,997,373**

Solid Waste Fund

Meridian Bank - Solid Waste	409,672
First Resource Bank	656,538
Fulton Bank - Solid Waste	-
Total Solid Waste Funds	1,066,210

Total Solid Waste Fund \$ **1,066,210**

Liquid Fuels Fund

First Resource Bank/Fulton	768,632
Certificate of Deposit -	554,528
	1,323,160

Total Liquid Fuels Fund \$ **1,323,160**

Capital Projects Fund

First Resource Bank	178,938
PSDLAF	5,110
Fulton Bank - 2019 Bond Proceeds, ICS Sweep	-
Total Capital Projects Fund	184,048

Total Capital Projects Fund \$ **184,048**

Act 209 Impact Fund

First Resource Bank	59,016
Certificate of Deposit - First Resource	1,117,710
	1,176,726

Total Act 209 Impact Fund \$ **1,176,726**

Water Resource Protection Fund

First Resource/Fulton	520,135
	520,135

Total Water Resource Protection Fund \$ **520,135**

Sewer Fund

PSDLAF	84
First Resource Bank/Fulton Bank	115,412
	115,496

Total Sewer Fund \$ **115,496**

Total - Upper Uwchlan Township \$ **10,383,147**

Municipal Authority \$ **5,736,171**

Developer's Escrow Fund \$ **207,527**

Upper Uwchlan Township
Schedule of Investments

As of September 30, 2025

	Institution	Amount Invested	Type of Investment	Maturity Date	Interest Rate	Market Value
<i><u>General Fund</u></i>						
General Fund	First Resource Bank	250,000.00	Certificate of Deposit	1/2/2026	4.980%	250,000.00
		46,788.88	Interest accrued			46,788.88
	Accrued interest - YTD	11,085.03				11,085.03
		<u>307,873.91</u>				<u>307,873.91</u>
General Fund	Fulton Bank	250,000.00	Certificate of Deposit	5/19/2026	3.100%	250,000.00
		19,092.72				19,092.72
	Accrued interest - YTD	8,981.01	Interest accrued			8,981.01
		<u>278,073.73</u>				<u>278,073.73</u>
<hr/>						
<i><u>Liquid Fuels Fund</u></i>						
Liquid Fuels	Presence Bank	500,000.00	Certificate of Deposit	4/18/2026	3.580%	500,000.00
		35,680.07				35,680.07
	Accrued interest - YTD	18,937.53	Interest accrued			18,937.53
		<u>554,617.60</u>				<u>554,617.60</u>
<hr/>						
<i><u>Act 209 Fund</u></i>						
Act 209	First Resource Bank	1,047,633.90	Certificate of Deposit	4/28/2026	3.900%	1,047,633.90
		33,266.36				33,266.36
	Accrued interest - YTD	36,810.00	Interest accrued			36,810.00
		<u>1,117,710.26</u>				<u>1,117,710.26</u>
<hr/>						
<i><u>Sewer Fund - General Obligation Bonds (2014 Bonds)</u></i>						
Sewer Fund	PSDLAF	83.59	MAX account (MMF)			83.59
	PSDLAF	-	MAX account (MMF)	-	0.02%	-
		<u>83.59</u>				<u>83.59</u>
<hr/>						
<i><u>Capital Fund</u></i>						
Capital Fund	PSDLAF	5,109.71	Collateralized CD Pool		0.100%	5,109.71
		<u>5,109.71</u>				<u>5,109.71</u>
	Fulton Bank - 2019	0.55				0.55
		<u>0.55</u>				<u>0.55</u>
	Total Capital Fund	<u>5,110.26</u>				<u>5,110.26</u>

Upper Uwchlan Township
 Accounts Receivable
 As of September 30, 2025

Engineering and Legal Receivables - 01-145-000-200 and 300

Reimbursable CU Fees - 01-145-000-021

	Total Amount Due 9/30/2025	Total Amount Due 8/31/2025	Less than 30 days	31 - 60	61 - 90	Over 90 days	Over 180 days	Total
Alpha Phylte Fitness	827.55	827.55	-	-	-	827.55	-	827.55
Chester Co./Struble	2,722.00	2,722.00	-	-	2,722.00	-	-	2,722.00
Hankin	-	-	-	-	-	-	-	-
Montesano	-	-	-	-	-	-	-	-
Toll Brothers - Greenbridge Rd	-	-	-	-	-	-	-	-
Natural Lands Trust	-	-	-	-	-	-	-	-
Michaela Kolbe	58.00	-	58.00	-	-	-	-	58.00
Moser	642.50	642.50	-	-	-	642.50	-	642.50
Joshua Verner	-	-	-	-	-	-	-	-
Balance at September 30, 2025	\$ 4,250.05	\$ 4,192.05	\$ 58.00	\$ -	\$ 2,722.00	\$ 1,470.05	\$ -	\$ 4,250.05

Upper Uwchlan Township
 Accounts Receivable
 As of September 30, 2025

Turf and Field Fees Receivable - Account 01-145-000-080 and 085

	Total Amount 9/30/2025	Total Amount 8/31/2025	Less than 30 days	31 - 60	61 - 90	Over 90 days	Over 180 days	Total
GEYA Soccer	-	-	-	-	-	-	-	-
Next Level Sports	40.00	40.00	-	-	-	40.00	-	40.00
Downington Dawgs Lacrosse	220.00	220.00	-	-	-	220.00	-	220.00
Kirk Oates	50.00	50.00	-	-	-	50.00	-	50.00
Freedom LAX	-	-	-	-	-	-	-	-
Downington Rugby	385.00	-	385.00	-	-	-	-	385.00
Balance at September 30, 2025	\$ 695.00	\$ 310.00		\$ 385.00	\$ -	\$ 310.00	\$ -	\$ 695.00

Upper Uwchlan Township
 Accounts Receivable
 As of September 30, 2025

Misc Accounts Receivable - Account 01-145-000-095

	Amount 9/30/2025	Amount 8/31/2025	Aging					Total
			Less than 30 days	30 days	60 days	90 days	180 days & over	
Franchise fees	-	-	-	-	-	-	-	-
Inspira	-	-	-	-	-	-	-	-
Chester County cell tower	6,000.00	2,000.00	4,000.00	2,000.00				6,000.00
Balance at September 30, 2025	\$ 6,000.00	\$ 2,000.00	4,000.00	2,000.00	-	-	-	6,000.00

Upper Uwchlan Township
General Fund
Balance Sheet
As of September 30, 2025

ASSETS

Cash			
01-100-000-150	General Checking - First Resource Bank	\$	237,074.36
01-100-000-200	Meridian Bank		3,581,290.35
01-100-000-210	Meridian Bank - Payroll		101,815.37
01-100-000-220	Meridian Bank MMA - restricted		41,544.57
01-100-000-230	Meridian Bank - ARPA		20.79
01-100-000-250	Fulton Bank - Turf Field		-
01-100-000-255	First Resource Bank - Turf Field		334,319.88
01-100-000-260	Meridian Bank - Meadow Creek Lane		1,115,060.18
01-100-000-300	Petty Cash		300.00
	Total Cash		<u>5,411,425.50</u>
Investments			
01-120-000-100	Certificate of Deposit - First Resource		307,873.91
01-120-000-110	Certificate of Deposit - Fulton		278,073.73
01-120-000-120	Certificate of Deposit - Meadow Creek		-
01-120-000-130	Certificate of Deposit - ARPA		-
			<u>585,947.64</u>
Accounts Receivable			
01-145-000-020	Engineering Fees Receivable		3,295.00
01-145-000-021	Engineering Fees Receivable-CU		675.55
01-145-000-030	Legal Fees Receivable		279.50
01-145-000-040	R/E Taxes Receivable		15,375.78
01-145-000-050	Hydrant Tax Receivable		-
01-145-000-060	Domestic Relations Receivable		-
01-145-000-080	Field Fees Receivables		695.00
01-145-000-085	Turf Field Receivables		-
01-145-000-086	EIT Receivable		15,282.52
01-145-000-090	RE Transfer Tax Receivable		87,453.91
01-145-000-095	Misc accounts receivable		6,000.00
01-145-000-096	Traffic Signals Receivable		-
01-145-000-097	Advertising Fees Reimbursable		158.64
	Total Accounts Receivable		<u>129,215.90</u>
Other Current Assets			
01-130-000-001	Due From Municipal Authority		-
01-130-000-003	Due From Liquid Fuels		-
01-130-000-004	Due from ACT 209 Fund		-
01-130-000-005	Due From Capital Fund		(7,053.48)
01-130-000-006	Due from Solid Waste Fund		6,717.09
01-130-000-007	Due from Water Resource Protection Fund		-
01-130-000-008	Due from the Sewer Fund		-
01-130-000-009	Due from Developer's Escrow Fund		-
01-131-000-000	Suspense Account		-
	Total Other Current Assets		<u>(336.39)</u>
Prepaid Expense			
01-155-000-000	Prepaid expenses		-
	Total Prepaid Expense		<u>-</u>

Total Assets \$ **6,126,252.65**

**Upper Uwchlan Township
General Fund
Balance Sheet
As of September 30, 2025**

LIABILITIES AND FUND BALANCE

Accounts Payable		
01-200-000-000	Accounts Payable	-
01-252-000-001	Deferred Revenues	-
	Total Accounts Payable	-

Other Current Liabilities

01-199-000-000	Suspense Account	
01-210-000-000	Payroll Liabilities	
01-210-000-001	Federal Tax Withheld	
01-211-000-000	FICA Tax Withheld	
01-212-000-000	Earned Income Tax W/H	11,081.19
01-214-000-000	Non-Uniform Pension	
01-214-000-100	NU Pension Plan #2	
01-215-000-000	Police Pension Withheld	
01-216-000-000	Domestic Relation W/H	
01-217-000-000	State Tax Withheld	
01-218-000-000	Police Association Dues	3,600.00
01-219-000-000	LST Tax Withheld	10.00
01-220-000-000	State Unemployment W/H	627.87
01-221-000-000	Benefit Deduction-Aflac	312.99
01-221-000-100	Benefit Deduction-Aflac After Tax	
01-222-000-000	457 Contribution Deduction	
01-223-000-000	Direct Deposit	
01-224-000-000	Payroll Deduction Adjustments	
01-239-000-001	Due to Municipal Authority	
01-239-000-002	Due to MA Capital Fund	
01-239-000-003	Due To Liquid Fuels	
01-239-000-004	Due to Act 209 Fund	
01-239-000-005	Due to Capital Fund	1,065.00
01-239-000-006	Due to Solid Waste Fund	
01-239-000-007	Due to Water Resource Protection Fund	2,182.00
01-239-000-008	Due to Developer's Escrow Fund	
01-258-000-000	Accrued Expenses	164,033.58
	Total Other Current Liabilities	182,912.63
	Total Liabilities	\$ 182,912.63

Total Liabilities \$ 182,912.63

EQUITY

01-272-000-000	Opening Balance Equity	812,921.60
01-272-000-001	Retained Earnings	6,519,396.17
	Current Period Net Income (Loss)	(1,388,977.75)
	Total Equity	5,943,340.02
	Total Fund Balance	\$ 5,943,340.02

Total Fund Balance \$ 5,943,340.02

Total Liabilities & Fund Balance \$ 6,126,252.65

Upper Uwchlan Township
General Fund
Statement of Revenues and Expenditures
For the Period Ended September 30, 2025

GL Account #	Account Description	2025 YTD Actual	2025 Budget	Over (Under) Budget	Actual as % of Budget
REVENUES					
01-301-000-010	Current Real Estate Taxes	\$ 1,105,912.61	\$ 1,222,603.00	\$ (116,690.39)	90.5%
01-301-000-013	Real Estate Tax Refunds	-	(3,000.00)	3,000.00	0.0%
01-301-000-030	Delinquent Real Estate Taxes	34,533.45	30,000.00	4,533.45	115.1%
01-301-000-071	Hydrant Tax	67,338.66	68,000.00	(661.34)	99.0%
01-301-000-072	Delinquent Hydrant Taxes	-	500.00	(500.00)	0.0%
01-310-000-010	Real Estate Transfer Taxes	492,857.77	695,000.00	(202,142.23)	70.9%
01-310-000-020	Earned Income Taxes	4,146,185.17	4,750,000.00	(603,814.83)	87.3%
01-310-000-021	EIT commissions paid	(49,709.33)	(64,600.00)	14,890.67	76.9%
01-320-000-010	Building Permits	268,593.80	475,000.00	(206,406.20)	56.5%
01-320-000-011	Building Permits - credit card fees	(924.50)	-	(924.50)	#DIV/0!
01-320-000-020	Use & Occupancy Permit	8,660.00	12,000.00	(3,340.00)	72.2%
01-320-000-030	Sign Permits	-	100.00	(100.00)	0.0%
01-320-000-040	Contractors Permit	1,400.00	2,000.00	(600.00)	70.0%
01-320-000-050	Refinance Certification Fees	1,410.00	3,000.00	(1,590.00)	47.0%
01-321-000-080	Cable TV Franchise Fees	134,113.60	186,000.00	(51,886.40)	72.1%
01-331-000-010	Vehicle Codes Violation	47,993.80	75,000.00	(27,006.20)	64.0%
01-331-000-011	Reports/Fingerprints	890.00	2,000.00	(1,110.00)	44.5%
01-331-000-012	Solicitation Permits	315.00	500.00	(185.00)	63.0%
01-331-000-013	Donations for Police Department	19,200.00	1,000.00	18,200.00	1920.0%
01-331-000-050	Reimbursable Police Wages	1,213.04	5,000.00	(3,786.96)	24.3%
01-341-000-001	Interest Earnings	194,323.66	230,601.00	(36,277.34)	84.3%
01-342-000-001	Rental Property Income	18,000.00	24,000.00	(6,000.00)	75.0%
01-354-000-010	County Grants	-	-	-	#DIV/0!
01-354-000-020	State Grants	-	-	-	#DIV/0!
01-354-000-030	Police Grants	-	-	-	#DIV/0!
01-354-000-035	Other Grants	-	-	-	#DIV/0!
01-355-000-001	PURTA	-	6,500.00	(6,500.00)	0.0%
01-355-000-004	Alcoholic Beverage Tax	1,800.00	800.00	1,000.00	225.0%
01-355-000-005	State Aid, Police Pension	277,799.70	122,000.00	155,799.70	227.7%
01-355-000-006	State Aid, Non-Uniform Pension	75,480.75	60,000.00	15,480.75	125.8%
01-355-000-007	Foreign Fire Insurance Tax	125,601.18	110,000.00	15,601.18	114.2%
01-360-000-010	Vehicle Storage Fees	-	1,000.00	(1,000.00)	0.0%
01-361-000-030	Zoning/SubDivision Land Development	8,300.00	6,000.00	2,300.00	138.3%
01-361-000-032	Fees from Engineering	(3,794.37)	40,000.00	(43,794.37)	-9.5%
01-361-000-033	Admin Fees from Engineering	(115.22)	4,000.00	(4,115.22)	-2.9%
01-361-000-035	Admin Fees from Legal	-	1,000.00	(1,000.00)	0.0%
01-361-000-036	Legal Services Fees	66.00	30,000.00	(29,934.00)	0.2%
01-361-000-038	Sale of Maps & Books	225.00	250.00	(25.00)	90.0%
01-361-000-039	Fire Inspection Fees	-	2,000.00	(2,000.00)	0.0%
01-361-000-040	Fees from Engineering - CU	725.75	5,000.00	(4,274.25)	14.5%
01-361-000-041	Property Inspection Fees	-	8,000.00	(8,000.00)	0.0%
01-361-000-042	Copies	2.50	100.00	(97.50)	2.5%
01-361-000-043	Fees from Traffic Signals Reimbursables	-	500.00	(500.00)	0.0%
01-361-000-044	Fees from Advertising Reimbursables	489.80	-	489.80	#DIV/0!
01-367-000-010	Recreation Donations	-	-	-	#DIV/0!
01-367-000-014	Pavillion Rental	230.00	500.00	(270.00)	46.0%
01-367-000-020	Tennis Fees	-	-	-	#DIV/0!
01-367-000-021	Field Programs	23,480.00	35,000.00	(11,520.00)	67.1%
01-367-000-025	Turf Field Fees	30,710.00	50,000.00	(19,290.00)	61.4%
01-367-000-030	Community Events Donations	18,500.00	20,000.00	(1,500.00)	92.5%
01-367-000-040	History Book Revenue	5.00	200.00	(195.00)	2.5%
01-367-000-045	Upland Farms Barn Rental Fees	24,060.00	35,000.00	(10,940.00)	68.7%
01-367-000-089	Donations for Park Equipment	-	-	-	#DIV/0!
01-380-000-001	Miscellaneous Revenue	20,025.98	20,000.00	25.98	100.1%
01-380-000-010	Insurance Reimbursement	-	10,000.00	(10,000.00)	0.0%

**Upper Uwchlan Township
General Fund
Statement of Revenues and Expenditures
For the Period Ended September 30, 2025**

GL Account #	Account Description	2025 YTD Actual	2025 Budget	Over (Under) Budget	Actual as % of Budget
01-392-000-008	Municipal Authority Reimbursement	234,889.65	272,195.00	(37,305.35)	86.3%
01-392-000-020	Transfer from Capital Fund	-	-	-	#DIV/0!
01-392-000-030	Transfer from Solid Waste Fund	-	-	-	#DIV/0!
01-395-000-000	Refund of Prior Year Expenses	-	-	-	#DIV/0!
Total Revenue		\$ 7,330,788.45	\$ 8,554,749.00	\$ (1,223,960.55)	85.7%
 GENERAL GOVERNMENT					
01-400-000-113	Supervisors Wages	\$ 7,312.50	\$ 9,750.00	(2,437.50)	75.0%
01-400-000-150	Payroll Tax Expense	559.44	746.00	(186.56)	75.0%
01-400-000-320	Telephone	1,387.99	2,000.00	(612.01)	69.4%
01-400-000-340	Public Relations	2,270.02	2,000.00	270.02	113.5%
01-400-000-341	Advertising	1,943.60	7,500.00	(5,556.40)	25.9%
01-400-000-342	Printing	5,753.61	5,000.00	753.61	115.1%
01-400-000-344	Community Notice	-	2,000.00	(2,000.00)	0.0%
01-400-000-350	Insurance-Bonding	2,807.00	3,166.00	(359.00)	88.7%
01-400-000-352	Insurance-Liability	19,360.20	25,814.00	(6,453.80)	75.0%
01-400-000-420	Dues/Subscriptions/Memberships	2,583.00	3,100.00	(517.00)	83.3%
01-400-000-460	Meeting & Conferences	6,123.50	6,000.00	123.50	102.1%
01-400-000-461	Bank Fees	175.00	2,000.00	(1,825.00)	8.8%
01-400-000-463	Misc expenses	11,970.76	2,000.00	9,970.76	598.5%
01-400-000-464	Wallace Twp. Tax Agreement	-	4,700.00	(4,700.00)	0.0%
		62,246.62	75,776.00	(13,529.38)	82.1%
 EXECUTIVE					
01-401-000-100	Administration Wages	463,204.18	641,362.00	(178,157.82)	72.2%
01-401-000-150	Payroll Tax Expense	35,566.94	49,064.00	(13,497.06)	72.5%
01-401-000-151	PSATS Unemployment Compensation	630.01	542.00	88.01	116.2%
01-401-000-156	Employee Benefit Expense	52,139.91	83,677.00	(31,537.09)	62.3%
01-401-000-157	ACA Fees	343.33	326.00	17.33	105.3%
01-401-000-159	Employer HSA Contribution	11,550.00	11,550.00	-	100.0%
01-401-000-160	Non-Uniform Pension	59,832.28	59,832.00	0.28	100.0%
01-401-000-165	Employer 457 Match	-	12,000.00	(12,000.00)	0.0%
01-401-000-174	Tuition Reimbursements	-	5,000.00	(5,000.00)	0.0%
01-401-000-181	Longevity Pay	7,050.00	9,150.00	(2,100.00)	77.0%
01-401-000-183	Overtime Wages	2,679.90	5,000.00	(2,320.10)	53.6%
01-401-000-200	Supplies	13,861.23	15,000.00	(1,138.77)	92.4%
01-401-000-205	Meals & Meal Allowances	-	200.00	(200.00)	0.0%
01-401-000-215	Postage	3,979.32	4,500.00	(520.68)	88.4%
01-401-000-230	Gasoline & Oil	1,488.87	2,200.00	(711.13)	67.7%
01-401-000-235	Vehicle Maintenance	543.93	1,000.00	(456.07)	54.4%
01-401-000-252	Repair & Maintenance	-	2,000.00	(2,000.00)	0.0%
01-401-000-316	Training & Seminars	5,734.59	8,000.00	(2,265.41)	71.7%
01-401-000-317	Parking/Travel	150.64	1,200.00	(1,049.36)	12.6%
01-401-000-322	Ipad Expenses	-	600.00	(600.00)	0.0%
01-401-000-352	Insurance - Liability	216.75	289.00	(72.25)	75.0%
01-401-000-353	Insurance-Vehicle	405.66	541.00	(135.34)	75.0%
01-401-000-354	Insurance-Workers Compensation	716.45	796.00	(79.55)	90.0%
01-401-000-420	Dues/Subscriptions/Memberships	3,297.89	5,100.00	(1,802.11)	64.7%
01-401-000-450	Contracted Services	10,064.09	61,685.00	(51,620.91)	16.3%
		673,455.97	980,614.00	(307,158.03)	68.7%

Upper Uwchlan Township
General Fund
Statement of Revenues and Expenditures
For the Period Ended September 30, 2025

GL Account #	Account Description	2025 YTD Actual	2025 Budget	Over (Under) Budget	Actual as % of Budget
AUDIT					
01-402-000-450	Contracted Services	30,300.00	30,300.00	-	100.0%
		30,300.00	30,300.00	-	100.0%
TAX COLLECTION					
01-403-000-110	Deputy Treasurer Expense	11,640.45	13,000.00	(1,359.55)	89.5%
01-403-000-200	Supplies	-	-	-	#DIV/0!
01-403-000-215	Postage	-	-	-	#DIV/0!
01-403-000-350	Insurance-Bonding	-	-	-	#DIV/0!
01-403-000-450	Contracted Services	786.55		786.55	#DIV/0!
		12,427.00	13,000.00	(573.00)	95.6%
LEGAL					
01-404-000-305	Reimbursable Legal Fees - CU	1,837.70	500.00	1,337.70	367.5%
01-404-000-310	Reimbursable Legal Fees	3,430.00	9,500.00	(6,070.00)	36.1%
01-404-000-311	Non Reimbursable Legal	19,152.25	65,200.00	(46,047.75)	29.4%
01-404-000-450	Contracted Services	10,089.00	5,000.00	5,089.00	201.8%
		34,508.95	80,200.00	(45,691.05)	43.0%
MUNICIPAL AUTHORITY ADMINISTRATOR					
01-406-000-100	Administrator Wages	61,051.43	86,400.00	(25,348.57)	70.7%
01-406-000-101	Employee Cost Transferred to MA	(63,493.92)	(93,100.00)	29,606.08	68.2%
01-406-000-150	Payroll Tax Expense	2,352.49	6,610.00	(4,257.51)	35.6%
01-406-000-151	PSATS Unemployment Compensation	90.00	90.00	-	100.0%
		0.00	-	0.00	#DIV/0!
TECHNOLOGY					
01-407-000-200	Supplies	-	2,000.00	(2,000.00)	0.0%
01-407-000-220	Software	48,594.16	88,748.00	(40,153.84)	54.8%
01-407-000-222	Hardware	-	12,000.00	(12,000.00)	0.0%
01-407-000-240	Web Page	17,544.82	7,000.00	10,544.82	250.6%
01-407-000-450	Contracted Services	53,345.02	65,000.00	(11,654.98)	82.1%
		119,484.00	174,748.00	(55,264.00)	68.4%
ENGINEERING					
01-408-000-305	Reimbursable Conditional Use	-	25,000.00	(25,000.00)	0.0%
01-408-000-310	Reimbursable Engineering	1,048.50	75,000.00	(73,951.50)	1.4%
01-408-000-311	Traffic Engineering	13,426.00	25,000.00	(11,574.00)	53.7%
01-408-000-313	Non Reimbursable Engineering	46,063.06	30,000.00	16,063.06	153.5%
01-408-000-365	Act 209	-			
01-408-000-366	Ordinance Update	-	4,500.00	(4,500.00)	0.0%
01-408-000-367	General Planning	23,857.82	10,000.00	13,857.82	238.6%
01-408-000-368	MS4 Expenses	12,233.03	-	12,233.03	#DIV/0!
01-408-000-369	Reimbursable Traffic Signals	-	-	-	#DIV/0!
01-408-000-370	Reimbursable Advertising	-	-	-	#DIV/0!
		96,628.41	169,500.00	(72,871.59)	57.0%
TOWNSHIP PROPERTIES					
<i>Public Works Building</i>					
01-409-001-200	Supplies	1,549.35	2,000.00	(450.65)	77.5%
01-409-001-231	Propane & heating - PW bldg	12,517.34	15,000.00	(2,482.66)	83.4%
01-409-001-250	Maint & Repair	9,699.75	20,500.00	(10,800.25)	47.3%
01-409-001-320	Telephone	2,543.86	4,000.00	(1,456.14)	63.6%
01-409-001-351	Insurance - property	24,938.64	33,252.00	(8,313.36)	75.0%
01-409-001-360	Utilities	7,460.43	10,000.00	(2,539.57)	74.6%
01-409-001-450	Contracted Services	9,640.74	12,000.00	(2,359.26)	80.3%

**Upper Uwchlan Township
General Fund
Statement of Revenues and Expenditures
For the Period Ended September 30, 2025**

GL Account #	Account Description	2025 YTD Actual	2025 Budget	Over (Under) Budget	Actual as % of Budget
<u>128/144 Byers Road Property</u>					
01-409-002-200	Supplies	-	-	-	#DIV/0!
01-409-002-250	Maint & Repair	94.76	-	94.76	#DIV/0!
01-409-000-351	Insurance - property	-	-	-	#DIV/0!
01-409-002-360	Utilities	210.24	-	210.24	#DIV/0!
01-409-002-450	Contracted Services	-	-	-	#DIV/0!
<u>Township Building</u>					
01-409-003-101	Employee Cost Allocated	-	-	-	#DIV/0!
01-409-003-200	Supplies	937.01	4,000.00	(3,062.99)	23.4%
01-409-003-231	Propane & Heating Oil	-	5,000.00	(5,000.00)	0.0%
01-409-003-250	Maintenance & Repairs	1,497.91	3,000.00	(1,502.09)	49.9%
01-409-003-320	Telephone	9,386.95	7,000.00	2,386.95	134.1%
01-409-003-351	Insurance Property	29,095.08	38,793.00	(9,697.92)	75.0%
01-409-003-360	Utilities	18,917.52	25,000.00	(6,082.48)	75.7%
01-409-003-450	Contracted Services	33,047.67	40,000.00	(6,952.33)	82.6%
<u>Milford Road</u>					
01-409-004-200	Supplies	-	500.00	(500.00)	0.0%
01-409-004-231	Propane	(1,344.35)	2,000.00	(3,344.35)	-67.2%
01-409-004-250	Maintenance & Repairs	-	5,000.00	(5,000.00)	0.0%
01-409-004-320	Telephone	2,609.90	3,000.00	(390.10)	87.0%
01-409-004-351	Insurance - property	4,156.44	5,542.00	(1,385.56)	75.0%
01-409-004-360	Utilities	1,150.07	2,000.00	(849.93)	57.5%
01-409-004-450	Contracted Services	-	5,000.00	(5,000.00)	0.0%
		168,109.31	242,587.00	(74,477.69)	69.3%
<u>POLICE EXPENSES</u>					
01-410-000-100	Police Wages	1,430,726.52	2,009,903.00	(579,176.48)	71.2%
01-410-000-105	Police Wages - Part time	27,644.25	45,000.00	(17,355.75)	61.4%
01-410-000-110	Police Wages - WC reimbursement	-	-	-	#DIV/0!
01-410-000-150	Payroll Tax Expense	120,114.68	157,200.00	(37,085.32)	76.4%
01-410-000-151	PSATS Unemployment Compensation	1,743.74	1,800.00	(56.26)	96.9%
01-410-000-156	Employee Benefit Expense	318,947.92	401,259.00	(82,311.08)	79.5%
01-410-000-158	Medical Expense Reimbursements	5,547.39	12,000.00	(6,452.61)	46.2%
01-410-000-159	Employer HSA Contribution	52,250.00	52,250.00	-	100.0%
01-410-000-160	Pension Expense	418,854.99	418,855.00	(0.01)	100.0%
01-410-000-161	Pension Expense - Non Uniform	2,718.89	2,719.00	(0.11)	100.0%
01-410-000-165	Employer 457 Match	-	36,000.00	(36,000.00)	0.0%
01-410-000-174	Tuition Reimbursement	4,011.00	12,000.00	(7,989.00)	33.4%
01-410-000-181	Longevity Pay	27,100.00	34,100.00	(7,000.00)	79.5%
01-410-000-182	Education Incentive	6,250.00	5,750.00	500.00	108.7%
01-410-000-183	Overtime - Patrol Functions	31,085.17	45,000.00	(13,914.83)	69.1%
01-410-000-184	Overtime - Shift Coverage	18,271.38	38,000.00	(19,728.62)	48.1%
01-410-000-185	Overtime - Holiday Worked	29,614.66	35,236.00	(5,621.34)	84.0%
01-410-000-186	PD Overtime Reimbursement	3,020.12	-	3,020.12	#DIV/0!
01-410-000-187	Courttime Wages	12,049.22	14,000.00	(1,950.78)	86.1%
01-410-000-190	ARPA - COVID Pay	-	-	-	#DIV/0!
01-410-000-191	Uniform/Boot Allowances	17,375.00	17,550.00	(175.00)	99.0%
01-410-000-200	Supplies	5,907.87	12,000.00	(6,092.13)	49.2%
01-410-000-215	Postage	25.90	750.00	(724.10)	3.5%
01-410-000-221	K-9	23,487.88	10,000.00	13,487.88	234.9%
01-410-000-230	Gasoline & Oil	42,369.49	50,000.00	(7,630.51)	84.7%
01-410-000-235	Vehicle Maintenance	31,331.59	20,000.00	11,331.59	156.7%
01-410-000-238	Clothing/Uniforms	19,458.68	17,000.00	2,458.68	114.5%
01-410-000-250	Maintenance & Repairs	-	-	-	#DIV/0!

**Upper Uwchlan Township
General Fund**
Statement of Revenues and Expenditures
For the Period Ended September 30, 2025

GL Account #	Account Description	2025 YTD	2025	Over (Under)	Actual as
		Actual	Budget	Budget	% of Budget
01-410-000-260	Small Tools & Equipment	1,579.00	17,000.00	(15,421.00)	9.3%
01-410-000-270	Tactical Supplies	11,140.43	-	11,140.43	#DIV/0!
01-410-000-311	Non-Reimbursable-Legal	-	-	-	#DIV/0!
01-410-000-316	Training/Seminar	14,108.28	28,838.00	(14,729.72)	48.9%
01-410-000-317	Parking & travel	2,279.82	1,000.00	1,279.82	228.0%
01-410-000-320	Telephone	6,156.46	7,000.00	(843.54)	87.9%
01-410-000-322	Ipad Expense	-	-	-	#DIV/0!
01-410-000-327	Radio Equipment M & R	949.35	1,000.00	(50.65)	94.9%
01-410-000-340	Public Relations	9,549.18	10,000.00	(450.82)	95.5%
01-410-000-342	Police Accreditation	2,010.00	4,000.00	(1,990.00)	50.3%
01-410-000-352	Insurance - Liability	15,511.00	15,511.00	-	100.0%
01-410-000-353	Insurance - Vehicles	2,649.00	2,649.00	-	100.0%
01-410-000-354	Insurance - Workers Compensation	50,155.00	50,155.00	-	100.0%
01-410-000-420	Dues/Subscriptions/Memberships	1,635.18	1,000.00	635.18	163.5%
01-410-000-450	Contracted Services	21,028.07	53,064.00	(32,035.93)	39.6%
01-410-000-740	Computer/Furniture	3,758.02	7,000.00	(3,241.98)	53.7%
		2,792,415.13	3,646,589.00	(854,173.87)	76.6%

FIRE/AMBULANCE

01-411-000-354	Insurance - Workers Compensation	32,525.28	7,100.00	25,425.28	458.1%
01-411-000-420	Dues/Subscriptions/Memberships	-	-	-	#DIV/0!
01-411-000-450	Contracted Services	-	-	-	#DIV/0!
01-411-000-451	Hydrant expenses-Aqua	69,625.43	70,000.00	(374.57)	99.5%
01-411-001-001	Ludwigs	99,196.00	99,196.00	-	100.0%
01-411-001-002	Lionville	99,360.00	99,360.00	-	100.0%
01-411-001-003	Lionville Capital	-	-	-	100.0%
01-411-001-004	Glenmoore	11,435.00	11,435.00	-	100.0%
01-411-001-005	E. Brandywine	23,139.50	46,279.00	(23,139.50)	50.0%
01-411-001-006	Reimbursement - Uwchlan Township	-	2,300.00	(2,300.00)	0.0%
01-411-001-007	Reimbursement - East Brandywine Twp.	-	1,000.00	(1,000.00)	0.0%
01-411-002-530	Contributions-Fire Relief	125,601.18	110,000.00	15,601.18	114.2%
		460,882.39	446,670.00	14,212.39	103.2%

AMBULANCE

01-412-000-540	Uwchlan Ambulance	85,000.00	85,000.00	-	100.0%
01-412-000-544	Uwchlan Ambulance - Capital	30,000.00	-	30,000.00	#DIV/0!
		115,000.00	85,000.00	30,000.00	135.3%

CODES ADMINISTRATION

01-413-000-100	Code Adminstrator Wages	203,203.74	287,140.00	(83,936.26)	70.8%
01-413-000-150	Payroll Tax Expenses	15,845.24	21,966.00	(6,120.76)	72.1%
01-413-000-151	PSATS Unemployment Compensation	270.00	270.00	-	100.0%
01-413-000-156	Employee Benefit Expense	37,048.63	51,338.00	(14,289.37)	72.2%
01-413-000-159	Employer HSA Contribution	8,250.00	8,250.00	-	100.0%
01-413-000-160	Pension	32,357.40	32,357.00	0.40	100.0%
01-413-000-165	Employer 457 Match	-	6,000.00	(6,000.00)	0.0%
01-413-000-181	Longevity Pay	6,000.00	6,750.00	(750.00)	88.9%
01-413-000-183	Overtime	-	2,000.00	(2,000.00)	0.0%
01-413-000-200	Supplies	2,136.95	2,000.00	136.95	106.8%
01-413-000-230	Gasoline & Oil	2,590.70	3,600.00	(1,009.30)	72.0%
01-413-000-235	Vehicle Maintenance	-	1,200.00	(1,200.00)	0.0%
01-413-000-316	Training/Seminar	1,038.00	3,000.00	(1,962.00)	34.6%
01-413-000-317	Parking/Travel	-	400.00	(400.00)	0.0%
01-413-000-320	Telephone	883.99	3,100.00	(2,216.01)	28.5%
01-413-000-322	Ipad Expense	-	-	-	#DIV/0!
01-413-000-352	Insurance - Liability	289.00	289.00	-	100.0%

Upper Uwchlan Township
General Fund
Statement of Revenues and Expenditures
For the Period Ended September 30, 2025

GL Account #	Account Description	2025 YTD	2025	Over (Under)	Actual as
		Actual	Budget	Budget	% of Budget
01-413-000-353	Insurance - Vehicle	541.00	541.00	-	100.0%
01-413-000-354	Insurance - Workers Compensation	796.00	796.00	-	100.0%
01-413-000-420	Dues/Subscriptions/Memberships	290.00	3,000.00	(2,710.00)	9.7%
01-413-000-450	Contracted Services	2,680.00	3,000.00	(320.00)	89.3%
01-413-000-460	Meetings & Conferences	-	1,000.00	(1,000.00)	0.0%
		314,220.65	437,997.00	(123,776.35)	71.7%
PLANNING & ZONING					
01-414-001-116	Compensation	-	-	-	#DIV/0!
01-414-001-200	Supplies	-	500.00	(500.00)	0.0%
01-414-001-301	Court Reporter	400.00	1,500.00	(1,100.00)	26.7%
01-414-001-315	Legal Fees	-	3,000.00	(3,000.00)	0.0%
01-414-001-365	Comp Plan Update	4,341.72	25,000.00	(20,658.28)	17.4%
01-414-001-366	Ordinance Update	-	20,000.00	(20,000.00)	0.0%
01-414-001-367	General Planning	-	3,000.00	(3,000.00)	0.0%
01-414-001-368	Advertising	3,119.08	500.00	2,619.08	623.8%
01-414-001-451	ACT 209	-	-	-	#DIV/0!
		7,860.80	53,500.00	(45,639.20)	14.7%
VILLAGE CONCEPT					
01-414-002-367	General Planning	19,428.48	1,000.00	18,428.48	1942.8%
		19,428.48	1,000.00	18,428.48	1942.8%
ZONING					
01-414-003-100	Compensation	-	800.00	(800.00)	0.0%
01-414-003-301	Court Reporter	1,221.75	2,000.00	(778.25)	61.1%
01-414-003-315	Legal Fees	2,915.64	6,000.00	(3,084.36)	48.6%
01-414-003-366	Ordinance Update	10,210.00	-	10,210.00	#DIV/0!
01-414-003-450	Contracted Services	1,605.22	1,000.00	605.22	160.5%
		15,952.61	9,800.00	6,152.61	162.8%
EMERGENCY OPERATIONS					
01-415-000-200	Supplies	7,505.99	3,100.00	4,405.99	242.1%
01-415-000-260	Small Tools & Equipment	3,393.03	23,500.00	(20,106.97)	14.4%
01-415-000-316	Training/Seminar	247.35	1,250.00	(1,002.65)	19.8%
01-415-000-317	Parking/Travel	776.86	500.00	276.86	155.4%
01-415-000-320	Telephone	-	250.00	(250.00)	0.0%
01-415-000-330	Other Services/Charges	-	350.00	(350.00)	0.0%
01-415-000-420	Dues/subscriptions/memberships	442.00	250.00	192.00	176.8%
01-415-000-450	Contracted Services	35.99	500.00	(464.01)	7.2%
01-415-000-740	Computer/Office Equipment	1,028.80	750.00	278.80	137.2%
		13,430.02	30,450.00	(17,019.98)	44.1%
ANIMAL CONTROL/OTHER					
01-422-000-530	Contributions - SPCA	12,870.80	9,200.00	3,670.80	139.9%
01-422-000-601	Contributions - DARC	24,189.00	25,398.00	(1,209.00)	95.2%
01-422-000-603	Downington Senior Center	-	2,000.00	(2,000.00)	0.0%
01-422-000-605	Natural Lands Trust	-	-	-	-
		37,059.80	36,598.00	461.80	101.3%
SIGNS					
01-433-000-200	Supplies	2,410.70	8,000.00	(5,589.30)	30.1%
01-433-000-450	Contracted Services	-	1,000.00	(1,000.00)	0.0%
		2,410.70	9,000.00	(6,589.30)	26.8%

**Upper Uwchlan Township
General Fund**
Statement of Revenues and Expenditures
For the Period Ended September 30, 2025

GL Account #	Account Description	2025 YTD Actual	2025 Budget	Over (Under) Budget	Actual as % of Budget
SIGNALS					
01-434-000-450	Contracted Services	7,104.52	64,200.00	(57,095.48)	11.1%
		7,104.52	64,200.00	(57,095.48)	11.1%
PUBLIC WORKS					
01-438-000-100	Public Works Wages	400,768.88	573,611.00	(172,842.12)	69.9%
01-438-000-101	Employee Cost Allocated	(19,387.94)	(24,988.00)	5,600.06	77.6%
01-438-000-150	Payroll Tax Expense	32,736.86	43,881.00	(11,144.14)	74.6%
01-438-000-151	PSATS Unemployment Compensation	720.00	720.00	-	100.0%
01-438-000-156	Employee Benefit Expense	121,343.82	183,658.00	(62,314.18)	66.1%
01-438-000-159	Employer HSA Contribution	24,750.00	21,450.00	3,300.00	115.4%
01-438-000-160	Pension	42,924.08	42,924.00	0.08	100.0%
01-438-000-165	Employer 457 Match	-	16,000.00	(16,000.00)	0.0%
01-438-000-181	Longevity	6,300.00	7,350.00	(1,050.00)	85.7%
01-438-000-183	Overtime Wages	22,648.22	26,000.00	(3,351.78)	87.1%
01-438-000-200	Supplies	40,393.18	40,000.00	393.18	101.0%
01-438-000-205	Meals & Meal Allowances	-	600.00	(600.00)	0.0%
01-438-000-230	Gasoline & Oil	26,650.38	45,000.00	(18,349.62)	59.2%
01-438-000-235	Vehicle Maintenance	36,767.20	30,000.00	6,767.20	122.6%
01-438-000-238	Uniforms	5,056.20	6,000.00	(943.80)	84.3%
01-438-000-245	Highway Supplies	16,095.22	35,000.00	(18,904.78)	46.0%
01-438-000-260	Small Tools & Equipment	6,014.44	16,000.00	(9,985.56)	37.6%
01-438-000-316	Training/Seminar	2,923.98	7,500.00	(4,576.02)	39.0%
01-438-000-317	Parking & travel	52.50	800.00	(747.50)	6.6%
01-438-000-320	Telephone	851.27	4,300.00	(3,448.73)	19.8%
01-438-000-322	Ipad Expense	224.65	1,200.00	(975.35)	18.7%
01-438-000-341	Advertising	316.94	-	316.94	#DIV/0!
01-438-000-342	Accreditation	-	5,000.00	(5,000.00)	0.0%
01-438-000-352	Insurance - Liability	1,514.00	1,514.00	-	100.0%
01-438-000-353	Vehicle Insurance	2,164.00	2,164.00	-	100.0%
01-438-000-354	Insurance - Workers Compensation	14,330.00	14,330.00	-	100.0%
01-438-000-420	Dues and Subscriptions	410.00	500.00	(90.00)	82.0%
01-438-000-450	Contracted Services	15,711.49	87,100.00	(71,388.51)	18.0%
01-438-000-463	Miscellaneous	-	-	-	#DIV/0!
01-438-000-720	Road Resurfacing	-	10,000.00	(10,000.00)	0.0%
		802,279.37	1,197,614.00	(395,334.63)	67.0%
<u>Public Works - Facilities Division</u>					
01-438-001-100	Wages	199,414.80	266,399.00	(66,984.20)	74.9%
01-438-001-101	Employee Costs Allocated	(198,445.78)	(242,429.00)	43,983.22	81.9%
01-438-001-150	Payroll Tax Expense	16,338.61	20,380.00	(4,041.39)	80.2%
01-438-001-151	PSATS Unemployment Compensation	552.73	630.00	(77.27)	87.7%
01-438-001-156	Employee Benefit Expense	22,569.88	45,839.00	(23,269.12)	49.2%
01-438-001-159	Employer HSA Contribution	9,900.00	8,250.00	1,650.00	120.0%
01-438-001-160	Pension Expense	16,808.36	16,808.00	0.36	100.0%
01-438-001-165	Employer 457 Match	-	6,000.00	(6,000.00)	0.0%
01-438-001-174	Tuition Reimbursement	-	-	-	#DIV/0!
01-438-001-181	Longevity	4,050.00	4,050.00	-	100.0%
01-438-001-183	Overtime Wages	9,473.44	8,000.00	1,473.44	118.4%
01-438-001-200	Supplies	2,427.08	2,500.00	(72.92)	97.1%
01-438-001-230	Gasoline & Oil	8,655.12	18,000.00	(9,344.88)	48.1%
01-438-001-235	Vehicle Maintenance	8,164.66	15,000.00	(6,835.34)	54.4%
01-438-001-238	Uniforms	-	1,500.00	(1,500.00)	0.0%
01-438-001-260	Small Tools & Equipment	518.11	500.00	18.11	103.6%
01-438-001-316	Training & Seminars	-	1,600.00	(1,600.00)	0.0%

**Upper Uwchlan Township
General Fund**
Statement of Revenues and Expenditures
For the Period Ended September 30, 2025

GL Account #	Account Description	2025 YTD	2025	Over (Under)	Actual as
		Actual	Budget	Budget	% of Budget
01-438-001-352	Insurance - Liability	1,514.00	1,514.00	-	100.0%
01-438-001-353	Insurance - Vehicles	2,164.00	2,164.00	-	100.0%
01-438-001-354	Insurance - Workers Compensation	9,553.00	9,553.00	-	100.0%
01-438-001-450	Contracted Services	70.00	-	70.00	#DIV/0!
		113,728.01	186,258.00	(72,529.99)	61.1%

ROAD CONSTRUCTION

01-439-000-752	East West Link	-	-	-	#DIV/0!
		-	-	-	#DIV/0!

PARK & RECREATION

Parks - General

01-454-000-150	Scholarships for Youth Groups	-	-	-	#DIV/0!
01-454-001-101	Park wages allocation	198,445.78	242,429.00	(43,983.22)	81.9%
01-454-001-200	Supplies	6,453.85	18,000.00	(11,546.15)	35.9%
01-454-001-201	Park & Rec Special Events	4,525.75	21,000.00	(16,474.25)	21.6%
01-454-001-202	Community Day	26,257.97	30,000.00	(3,742.03)	87.5%
01-454-001-230	Gasoline & Oil	-	-	-	#DIV/0!
01-454-001-235	Vehicle Maintenance	-	1,500.00	(1,500.00)	0.0%
01-454-001-250	Maintenance & Repairs	1,007.65	1,000.00	7.65	100.8%
01-454-001-260	Small Tools & Equipment	38.69	6,500.00	(6,461.31)	0.6%
01-454-001-316	Training/Seminars	-	1,000.00	(1,000.00)	0.0%
01-454-001-340	Public Relations	-	-	-	#DIV/0!
01-454-001-354	Insurance - Workers Compensation	3,582.19	3,981.00	(398.81)	90.0%
01-454-001-420	Dues/Subscriptions/Memberships	-	300.00	(300.00)	0.0%
01-454-001-427	Waste Disposal	-	1,500.00	(1,500.00)	0.0%
01-454-001-450	Contracted Services	500.00	-	500.00	#DIV/0!
		240,811.88	327,210.00	(86,398.12)	73.6%

HICKORY PARK

01-454-002-200	Supplies-Hickory	2,888.04	6,000.00	(3,111.96)	48.1%
01-454-002-231	Propane	1,043.72	2,000.00	(956.28)	52.2%
01-454-002-250	Maintenance & Repairs	9,427.16	8,000.00	1,427.16	117.8%
01-454-002-312	Engineering Fees	-	-	-	#DIV/0!
01-454-002-351	Insurance-Property	8,312.88	11,084.00	(2,771.12)	75.0%
01-454-002-360	Utilities	2,461.70	5,000.00	(2,538.30)	49.2%
01-454-002-450	Contracted Services	29,628.32	38,000.00	(8,371.68)	78.0%
		53,761.82	70,084.00	(16,322.18)	76.7%

FELLOWSHIP FIELDS

01-454-003-200	Supplies	46.03	3,000.00	(2,953.97)	1.5%
01-454-003-250	Maintenance & Repairs	913.80	10,000.00	(9,086.20)	9.1%
01-454-003-312	Engineering Fees	-	-	-	#DIV/0!
01-454-003-320	Telephone	1,124.91	2,500.00	(1,375.09)	45.0%
01-454-003-351	Insurance Property	8,312.88	11,084.00	(2,771.12)	75.0%
01-454-003-360	Utilities	4,951.65	12,000.00	(7,048.35)	41.3%
01-454-003-450	Contracted Services	27,265.50	20,000.00	7,265.50	136.3%
		42,614.77	58,584.00	(15,969.23)	72.7%

LARKINS FIELD

01-454-004-200	Supplies-Larkins	-	500.00	(500.00)	0.0%
01-454-004-250	Maintenance & Repair	64.00	500.00	(436.00)	12.8%
01-454-004-312	Engineering Fee-Larkins	-	-	-	#DIV/0!
01-454-004-450	Contracted Services	3,831.00	3,000.00	831.00	127.7%
		3,895.00	4,000.00	(105.00)	97.4%

Upper Uwchlan Township
General Fund
Statement of Revenues and Expenditures
For the Period Ended September 30, 2025

GL Account #	Account Description	2025 YTD Actual	2025 Budget	Over (Under) Budget	Actual as % of Budget
UPLAND FARMS					
01-454-005-200	Supplies	3,311.70	7,500.00	(4,188.30)	44.2%
01-454-005-231	Propane & Heating Oil	3,197.77	2,500.00	697.77	127.9%
01-454-005-250	Repairs & Maintenance	12,457.58	20,000.00	(7,542.42)	62.3%
01-454-005-351	Insurance - Building	8,312.88	11,084.00	(2,771.12)	75.0%
01-454-005-360	Utilities	17,704.44	25,000.00	(7,295.56)	70.8%
01-454-005-450	Contracted Services	13,936.32	25,000.00	(11,063.68)	55.7%
01-454-005-513	Engineering Fees	-	-	-	#DIV/0!
		58,920.69	91,084.00	(32,163.31)	64.7%
	Total Parks and Recreation	400,004.16	550,962.00	(150,957.84)	72.6%
LIBRARY and EAC					
01-455-000-450	EAC Contracted Services	5,353.81	10,000.00	(4,646.19)	53.5%
01-456-000-530	Library Contributions	-	5,000.00	(5,000.00)	0.0%
		5,353.81	15,000.00	(9,646.19)	35.7%
HISTORICAL COMMISSIONS					
01-459-000-200	Supplies	729.57	2,500.00	(1,770.43)	29.2%
01-459-000-320	Telephone	-	250.00	(250.00)	0.0%
01-459-000-450	Contracted Services	650.00	14,500.00	(13,850.00)	4.5%
		1,379.57	17,250.00	(15,870.43)	8.0%
	Total Expenditures Before Operating Transfers	6,305,670.28	8,554,613.00	(2,248,942.72)	73.7%
	Excess of Revenues over Expenses Before Operating Transfers	1,025,118.17	136.00	1,024,982.17	753,763.4%
OPERATING TRANSFERS					
01-492-000-030	Transfer from Turf Field Cash account	-	-	-	#DIV/0!
01-492-000-031	Transfer to Capital Projects Fund	2,414,095.92	860,000.00	1,554,095.92	280.7%
01-492-000-031	Transfer to Solid Waste Fund	-	-	-	#DIV/0!
01-492-000-033	Transfer to Developer's Escrow Fund	-	-	-	#DIV/0!
01-492-000-034	Transfer to Act 209 Fund	-	-	-	#DIV/0!
01-492-000-035	Transfer to Municipal Authority	-	-	-	#DIV/0!
01-492-000-036	Transfer to Water Resource Protection Fund	-	186,000.00	(186,000.00)	0.0%
		2,414,095.92	1,046,000.00	1,368,095.92	230.8%
	Total Expenditures after Operating Transfers	8,719,766.20	9,600,613.00	(880,846.80)	90.8%
EXCESS OF REVENUES OVER EXPENSES					
		\$ (1,388,977.75)	\$ (1,045,864.00)	\$ (343,113.75)	132.8%

Upper Uwchlan Township
Liquid Fuels Fund
Balance Sheet
As of September 30, 2025

ASSETS

Cash		
04-100-000-100	Cash - First Resource Bank	768,631.93
	Total Cash	768,631.93
Investments		
04-120-000-100	Certificate of Deposit - Presence Bank	554,527.60
	Total Certificates of Deposit	554,527.60
Other Current Assets		
04-130-000-001	Due from General Fund	-
04-130-000-002	Due from Capital Fund	-
04-132-000-000	Other Assets	-
	Total Other Current Assets	-
	Total Assets	\$ 1,323,159.53

LIABILITIES AND FUND BALANCE

Accounts Payable		
04-200-000-000	Accounts Payable	-
04-258-000-000	Accrued Expenses	464,287.21
	Total Accounts Payable	464,287.21
Other Current Liabilities		
	Other Liabilities	
04-230-000-010	Due To General Fund	-
04-252-000-000	Deferred Revenues	-
	Total Other Current Liabilities	-
	Total Liabilities	464,287.21

Equity		
04-272-000-001	Opening Balance Equity	192,790.66
04-272-000-002	Retained Earnings	914,013.60
04-272-000-003	Transfer from Other Funds	-
	Unrestricted Net Assets	-
	Current Period Net Income (Loss)	(247,931.94)
	Total Equity	858,872.32
	Total Fund Balance	\$ 858,872.32

Total Liabilities & Fund Balance **\$ 1,323,159.53**

**Upper Uwchlan Township
Liquid Fuels Fund
Statement of Revenues and Expenditures
For the Period Ending September 30, 2025**

GL Account #	Account Description	2025 YTD Actual	2025 Budget	Over (Under) Budget	Actual as % of Budget
REVENUES					
04-341-000-000	Interest Earnings	\$ 44,044.73	\$ 50,000.00	(5,955.27)	88%
04-355-000-002	Motor Fuel Vehicle Taxes	404,743.94	390,888.00	13,855.94	104%
04-389-000-001	Winter Snow Agreement	-	600.00	(600.00)	0%
04-389-000-002	Turnback Maintenance	14,520.00	14,520.00	-	100%
	Total Revenues	\$ 463,308.67	\$ 456,008.00	\$ 7,300.67	292%
EXPENDITURES					
Equipment					
04-400-000-074	Equipment Purchases	146,657.00	245,000.00	(98,343.00)	60%
	Total Equipment	146,657.00	245,000.00	(98,343.00)	60%
Snow					
04-432-000-239	Snow & Ice Supplies	85,546.40	77,250.00	8,296.40	111%
04-432-000-250	Vehicle Maintenance & Repair	-	4,120.00	(4,120.00)	0%
04-432-000-450	Snow & Ice Contracted Services	14,750.00	24,720.00	(9,970.00)	60%
	Total Snow	100,296.40	106,090.00	(5,793.60)	170%
Road Projects					
04-438-000-239	Road Project Supplies	-	31,930.00	(31,930.00)	0%
04-438-000-450	Road Project Contracted Services	-	-	-	#DIV/0!
	Total Road Projects	-	31,930.00	(31,930.00)	#DIV/0!
Highway Construction					
04-439-001-250	Resurfacing	464,287.21	565,813.00	(101,525.79)	82%
04-439-002-250	Base Repairs - Pa. Drive	-	6,180.00	(6,180.00)	0%
	Total Highway Construction	464,287.21	571,993.00	(107,705.79)	0.82
	Total Expenditures	\$ 711,240.61	\$ 955,013.00	\$ (243,772.39)	74%
	Excess of Revenues over Expenditures	\$ (247,931.94)	\$ (499,005.00)	\$ 251,073.06	50%

**Upper Uwchlan Township
Solid Waste Fund
Balance Sheet
As of September 30, 2025**

ASSETS

Cash			
05-100-000-010	Meridian Bank	\$	409,672.45
05-100-000-120	Cash - First Resources		656,537.52
	Total Cash		1,066,209.97

05-130-000-045	WIPP Receivable from MA	132,424.99
05-145-000-010	Solid Waste Receivable	104,584.83
05-145-000-095	Misc. Receivable	-
		237,009.82

Other Current Assets

05-130-000-010	Due from General Fund	-
05-130-000-020	Due from Capital Fund	-
05-130-000-050	Due from Municipal Authority	2,414.33
05-155-000-010	Prepaid Attorney Fees	-
	Other Assets	-
	Total Other Current Assets	2,414.33

Total Assets \$ 1,305,634.12

LIABILITIES AND FUND BALANCE

Accounts Payable		
05-200-000-020	Accounts Payable	-
05-258-000-000	Accrued Expenses	-
	Total Accounts Payable	-

05-239-000-010	Due To General Fund	6,717.09
05-239-000-020	Due To Capital Fund	-
05-239-000-030	Due to Liquid Fuels Fund	-
05-239-000-040	Due to Act 209 Fund	-
05-239-000-050	Due to Municipal Authority	-
05-239-000-055	Due to Water Resource Protection Fund	-
05-252-000-010	Deferred Revenues	77,668.23
	Total Other Current Liabilities	84,385.32

Total Liabilities **84,385.32**

Equity		
05-272-000-001	Opening Balance Equity	984,603.98
05-272-000-004	Unrestricted Net Assets	(288,318.91)
	Current Period Net Income (Loss)	524,963.73
	Total Equity	1,221,248.80

Total Fund Balance \$ 1,221,248.80

Total Liabilities & Fund Balance \$ 1,305,634.12

**Upper Uwchlan Township
Solid Waste Fund**
Statement of Revenues and Expenditures
For the Period Ending September 30, 2025

GL Account #	Account Description	2025 YTD Actual	2025 Budget	Over (Under) Budget	Actual as % of Budget
REVENUES					
05-341-000-000	Interest Earnings	\$ 32,916.70	\$ 36,161.00	(3,244.30)	91%
05-364-000-010	Solid Waste Income	1,471,568.21	1,583,776.00	(112,207.79)	93%
05-364-000-015	Resident Refunds	(55.01)	(2,000.00)	1,944.99	3%
05-364-000-020	Recycling Income	52,788.38	5,000.00	47,788.38	1056%
05-364-000-025	Hazardous Waste Event	1,911.26	2,000.00	(88.74)	96%
05-364-000-030	Leaf Bags Sold	115.00	500.00	(385.00)	23%
05-364-000-032	Mattress Tags Sold	1,620.00			
05-364-000-035	Scrap Metal Sold	198.80	500.00	(301.20)	40%
05-364-000-040	Equipment Purchase Grant (Pa.)	-	-	-	#DIV/0!
05-380-000-000	Performance Grant	-	25,000.00	(25,000.00)	0%
	Misc Income	-	-	-	#DIV/0!
	Total Revenues	\$ 1,561,063.34	\$ 1,650,937.00	\$ (91,493.66)	#DIV/0!
EXPENDITURES					
Operations					
05-427-000-101	Employee Cost Allocation	19,387.94	24,988.00	(5,600.06)	78%
05-427-000-150	Bank Fees	-	200.00	(200.00)	0%
05-427-000-200	Supplies	300.00	2,000.00	(1,700.00)	15%
05-427-000-210	Utility Billing Expenses	2,547.04	3,000.00	(452.96)	85%
05-427-000-220	Postage	3,160.51	2,300.00	860.51	137%
05-427-000-230	Toters	6,529.00	36,069.00	(29,540.00)	18%
05-427-000-314	Legal Fees	3,173.19	10,000.00	(6,826.81)	32%
05-427-000-316	Training & Seminars	-	500.00	(500.00)	0%
05-427-000-420	Dues/Subscriptions/Memberships	-	200.00	(200.00)	0%
05-427-000-450	Contracted Services - Solid Waste	526,735.75	702,563.00	(175,827.25)	75%
05-427-000-460	Contracted Services - Recycling	250,262.51	334,888.00	(84,625.49)	75%
05-427-000-700	Tipping Fees	192,004.49	280,000.00	(87,995.51)	69%
05-427-000-725	Tipping Fees - Recycling	29,422.51	60,000.00	(30,577.49)	49%
05-427-000-800	Recycling Disposal	-	9,000.00	(9,000.00)	0%
05-427-000-805	Electronic Waste Event	-	8,000.00	(8,000.00)	0%
05-427-000-810	Hazardous Waste Event	2,576.67	2,000.00	576.67	129%
	Total Operations	1,036,099.61	1,475,708.00	(439,608.39)	70%
Operating Transfers					
05-492-000-030	Transfer to Capital Fund	-	-	-	#DIV/0!
	Transfer to General Fund	-	-	-	#DIV/0!
	Total Operating Transfers	-	-	-	#DIV/0!
	Total Expenditures	\$ 1,036,099.61	\$ 1,475,708.00	\$ (439,608.39)	70%
	Excess of Revenues over Expenditures	\$ 524,963.73	\$ 175,229.00	\$ 348,114.73	300%

**Upper Uwchlan Township
Water Resource Protection Fund
Balance Sheet
As of September 30, 2025**

ASSETS

Cash		
08-100-000-200	Cash - First Resources	\$ 520,135.38
	Total Cash	<u>520,135.38</u>
Other Current Assets		
08-130-000-010	Due from General Fund	-
08-130-000-020	Due from Municipal Authority	-
08-130-000-030	Due from Solid Waste Fund	-
08-145-000-095	Misc. Receivable	-
	Total Other Current Assets	<u>-</u>
	Total Assets	\$ 520,135.38

LIABILITIES AND FUND BALANCE

Accounts Payable		
08-200-000-000	Accounts Payable	-
08-258-000-000	Accrued Expenses	-
	Total Accounts Payable	<u>-</u>
Other Current Liabilities		
08-230-000-010	Due To General Fund	-
08-230-000-020	Due to Municipal Authority	-
08-230-000-030	Due to Capital Fund	-
	Deferred Revenues	-
	Total Other Current Liabilities	<u>-</u>
	Total Liabilities	-
Equity		
08-272-000-100	Unrestricted Net Assets	677,739.14
08-272-000-200	Restricted Net Assets	(153,468.80)
	Current Period Net Income (Loss)	(4,134.96)
	Total Equity	<u>520,135.38</u>
	Total Fund Balance	\$ 520,135.38
	Total Liabilities & Fund Balance	\$ 520,135.38

**Upper Uwchlan Township
Water Resource Protection Fund
Statement of Revenues and Expenditures
For the Period Ending September 30, 2025**

GL Account #	Account Description	2025 YTD Actual	2025 Budget	Over (Under) Budget	Actual as % of Budget
REVENUES					
08-341-000-010	Interest Earnings	\$ 17,573.21	\$ 12,500.00	\$ 5,073.21	141%
08-351-000-010	Federal Grants	-	-	-	#DIV/0!
08-354-000-010	County Grants	-	-	-	#DIV/0!
08-354-000-020	State Grants	-	275,000.00	(275,000.00)	0%
08-361-000-100	Water Resource Protection Fees	-	186,000.00	(186,000.00)	0%
08-392-000-010	Transfer from the General Fund	-	-	-	#DIV/0!
08-392-000-020	Transfer from Municipal Authority	-	-	-	#DIV/0!
08-395-000-000	Refund of Prior Year Expenditures	-	-	-	#DIV/0!
	Miscellaneous Revenue	-	-	-	#DIV/0!
Total Revenues		\$ 17,573.21	\$ 473,500.00	\$ (455,926.79)	4%
EXPENDITURES					
<i>Operations</i>					
08-404-000-310	Wage Allocation	-	-	-	#DIV/0!
08-404-000-311	Legal Fees	-	-	-	#DIV/0!
08-406-000-010	Grant Application Fees	-	-	-	#DIV/0!
08-406-000-340	Public Relations	-	-	-	#DIV/0!
08-408-000-010	Engineering	-	5,000.00	(5,000.00)	0%
08-408-000-020	Feasibility Studies	-	-	-	#DIV/0!
08-420-000-035	Permits	2,500.00	-	2,500.00	#DIV/0!
08-420-000-260	Small Tools & Equipment	1,678.08	1,500.00	178.08	112%
08-446-000-101	Allocated Wages	-	-	-	#DIV/0!
08-446-000-200	Supplies	900.00	27,112.00	(26,212.00)	3%
08-446-000-230	Gasoline & Oil	-	2,400.00	(2,400.00)	0%
08-446-000-235	Vehicle maintenance	7,555.65	10,000.00	(2,444.35)	76%
08-446-000-250	Maintenance & Repair	6,012.05	25,600.00	(19,587.95)	23%
08-446-000-316	Training & Seminars	-	2,000.00	(2,000.00)	0%
08-446-000-450	Contracted Services	3,062.39	20,000.00	(16,937.61)	15%
08-446-000-600	Construction	-	-	-	#DIV/0!
08-446-004-600	Construction - Upland Farms	-	-	-	#DIV/0!
08-446-005-600	Construction - Marsh Creek	-	-	-	#DIV/0!
08-446-001-250	Maintenance & Repair - MA	-	-	-	#DIV/0!
08-446-001-600	Construction - MA	-	-	-	#DIV/0!
Total Operations		21,708.17	\$ 93,612.00	\$ (71,903.83)	23%
Operating Transfers					
	Transfer to General Fund	-	-	-	#DIV/0!
	Total Operating Transfers	-	-	-	#DIV/0!
Total Expenditures		\$ 21,708.17	\$ 93,612.00	\$ (71,903.83)	23%
Excess of Revenues over Expenditures		\$ (4,134.96)	\$ 379,888.00	\$ (384,022.96)	-1%

Upper Uwchlan Township
Act 209 Fund
Balance Sheet
As of September 30, 2025

ASSETS

Cash		
09-100-000-020	Cash - First Resources	\$ 59,016.00
	Total Cash	59,016.00
Investments		
09-120-000-100	Certificate of Deposit	1,117,710.26
	Total Certificates of Deposit	1,117,710.26
Other Current Assets		
09-130-000-000	Due from General Fund	-
09-130-000-001	Due from Capital Fund	-
09-191-000-000	Other Assets	-
	Reserve - Accounts Receivable	-
	Total Other Current Assets	-
	Total Assets	\$ 1,176,726.26

LIABILITIES AND FUND BALANCE

Accounts Payable		
09-200-000-000	Accounts Payable	-
09-258-000-000	Accrued Expenses	-
	Total Accounts Payable	-
Other Current Liabilities		
09-297-000-000	Other Liabilities	-
09-297-000-001	Due To General Fund	-
09-297-000-002	Due To Capital Fund	-
	Total Other Current Liabilities	-
	Total Liabilities	\$ -
Equity		
09-272-000-001	Opening Balance Equity	299,600.19
09-272-000-002	Permanently Restricted Net Assets	-
09-272-000-003	Retained Earnings	587,060.08
09-272-000-004	Temporarily Restricted Net Assets	-
09-272-000-005	Unrestricted Net Assets	251,305.53
	Current Period Net Income (Loss)	38,760.46
	Total Equity	1,176,726.26
	Total Fund Balance	\$ 1,176,726.26
	Total Liabilities & Fund Balance	\$ 1,176,726.26

Upper Uwchlan Township
Act 209 Fund
Statement of Revenues and Expenditures
For the Period Ended September 30, 2025

GL Account #	Account Description	2025 YTD Actual	2025 Budget	Over (Under) Budget	Actual as % of Budget
09-341-000-000	Interest Income	\$ 38,760.46	\$ 40,000.00	\$ (1,239.54)	96.9%
09-354-000-030	Grant Revenue - Federal	-	-	-	#DIV/0!
09-354-000-140	Grant Revenue - State (ARLE)	-	-	-	#DIV/0!
09-379-000-010	Transportation Impact Fees	-	-	-	#DIV/0!
09-379-000-020	Transportation Impact Fees - Reserve	-	-	-	#DIV/0!
09-380-000-000	Misc Revenue	-	-	-	#DIV/0!
09-395-000-100	Transfer from General Fund	-	-	-	#DIV/0!
09-395-000-200	Transfer from Capital Fund	-	-	-	#DIV/0!
Total Revenue		38,760.46	40,000.00	(1,239.54)	#DIV/0!
09-427-000-150	Bank Fees	-	150.00	-	-
09-489-000-000	Arle Grant - Act 209	-	-	-	#DIV/0!
09-489-000-010	Engineering Fees	-	-	-	#DIV/0!
09-489-000-020	Construction	-	-	-	#DIV/0!
09-489-000-045	Contracted Services	-	-	-	#DIV/0!
09-489-000-600	Capital Construction	-	-	-	#DIV/0!
Total Expenditures		-	150.00	-	#DIV/0!
Excess of Revenues over Expenditures		\$ 38,760.46	\$ 39,850.00	\$ (1,239.54)	#DIV/0!

**Upper Uwchlan Township
Sewer Fund
Balance Sheet
As of September 30, 2025**

ASSETS

Cash		
15-100-000-110	Cash - First Resource Bank	\$ 115,412.30
15-100-000-200	Cash - Construction Fund (PSDLAF)	83.59
	Total Cash	<u>115,495.89</u>

Other Current Assets

15-130-000-001	Due from General Fund	-
15-130-000-002	Due from Municipal Authority	-
15-136-000-100	Interest Receivable	-
	Other Assets	<u>-</u>
	Total Other Current Assets	-

Long-Term Assets

15-130-000-005	Due from Municipal Authority - 2019 Bonds	5,205,556.07
15-161-000-100	Sewer Easements	-
15-163-000-100	Capital Assets - Plant	26,452,253.00
15-163-000-110	Construction in Progress	-
15-163-000-200	Capital Assets - Expansion	116,592.00
15-163-000-500	Accumulated Depreciation	(6,365,336.08)
15-157-000-100	Discount on Bonds - Series of 2019	24,042.35
15-157-000-110	OID Amortization - Series of 2019	(4,818.91)
		<u>25,428,288.43</u>

Total Assets \$ 25,543,784.32

LIABILITIES AND FUND BALANCE

Current Liabilities

15-200-000-000	Accounts Payable	-
15-230-000-001	Due To General Fund	-
15-230-000-002	Due to Municipal Authority	-
15-258-000-000	Accrued Expenses	-
15-258-000-045	Retainage Payable	-
15-258-000-100	Interest Payable on Bonds - 2014	-
15-258-000-105	Interest Payable on Bonds - 2019	67,764.52
15-258-000-110	Interest Payable on Bonds - Series A of 2019	37,058.40
	Total Accounts Payable	<u>104,822.92</u>

Long Term Liabilities

15-261-000-100	General Obligation Bonds- Series of 2014	-
15-261-000-105	General Obligation Bonds- Series of 2019	5,115,000.00
15-261-000-110	General Obligation Bonds- Series A of 2019	4,015,000.00
15-261-000-200	Premium on Bonds - Series of 2014	76,705.65
15-261-000-210	Premium on Bonds - Series A of 2019	139,547.90
15-261-000-250	Accrued Amortization on Bond Premium - 2014	-
15-261-000-260	Accrued Amortiz on Bond Premium - Series of 2019	(41,532.14)
		<u>9,304,721.41</u>

Total Liabilities \$ 9,409,544.33

Equity

15-272-000-100	Unrestricted Net Assets	16,206,969.26
	Current Period Net Income (Loss)	(72,729.27)
	Total Equity	<u>16,134,239.99</u>

Total Fund Balance \$ 16,134,239.99

Total Liabilities & Fund Balance \$ 25,543,784.32

**Upper Uwchlan Township
Sewer Fund
Statement of Revenues and Expenditures
For the Period Ending September 30, 2025**

GL Account #	Account Description	2025 YTD Actual	2025 Budget	Over (Under) Budget	Actual as % of Budget
REVENUES					
15-341-000-000	Interest Earnings	\$ 3,617.53	\$ 7,000.00	(3,382.47)	52%
15-342-000-200	Operations Mgmt Agreement Fees - 2019 bonds	101,591.70	238,294.00	(136,702.30)	43%
15-342-000-300	Operations Mgmt Agreement Fees - Series A of 2019 (MA)	55,554.49	331,175.00	(275,620.51)	17%
Total Revenues		\$ 160,763.72	\$ 576,469.00	\$ (415,705.28)	111%
EXPENDITURES					
General					
15-400-000-461	Bank Fees	1,000.00	1,000.00	-	100%
15-400-000-463	Misc Expenses	-	1,000.00	(1,000.00)	0%
15-404-000-100	Legal Fees	-	-	-	#DIV/0!
		<u>1,000.00</u>	<u>2,000.00</u>	<u>(1,000.00)</u>	<u>1.00</u>
Bond expenses					
15-472-000-105	Bond Interest Expense - Series of 2019	152,327.57	203,294.00	(50,966.43)	75%
15-472-000-110	Bond Interest Expense - Series A of 2019	83,073.31	111,175.00	(28,101.69)	75%
15-472-000-200	Bond Issuance Costs	-	-	-	#DIV/0!
15-472-000-300	Bond Amortization Expense - 2014 Bonds	-	-	-	#DIV/0!
15-472-000-305	Bond Amortization Expense - 2019 Bonds	414.68	829.00	(414.32)	50%
15-472-000-310	Bond Amortization Expense - 2019A Bonds	(3,322.57)	(6,645.00)	3,322.43	50%
	Total Debt Expenses	<u>232,492.99</u>	<u>308,653.00</u>	<u>(79,068.12)</u>	<u>#DIV/0!</u>
Other					
15-493-000-083	Depreciation	-	-	-	#DIV/0!
		<u>-</u>	<u>-</u>	<u>-</u>	<u>#DIV/0!</u>
Total Expenditures before Transfers		\$ 233,492.99	\$ 310,653.00	\$ (80,068.12)	75%
Transfers					
15-492-000-010	Transfer to Municipal Authority	-	-	-	#DIV/0!
	Total Transfers	-	-	-	#DIV/0!
		<u>-</u>	<u>-</u>	<u>-</u>	<u>#DIV/0!</u>
Total Expenditures and Transfers		233,492.99	310,653.00	(80,068.12)	#DIV/0!
Excess of Revenues over Expenditures					
		\$ (72,729.27)	\$ 265,816.00	\$ (335,637.16)	-27%

**Upper Uwchlan Township
Capital Projects Fund
Balance Sheet
As of September 30 2025**

ASSETS

Cash		
30-100-000-015	Cash - First Resource Bank	\$ 178,938.32
30-100-000-020	PSDLAF	5,109.71
30-110-000-100	Fulton Bank - 2019 Bond Proceeds	
30-110-000-200	Fulton Bank - 2019 Bond Proceeds - ICS	0.55
	Total Cash	<u>184,048.58</u>
Accounts Receivable		
30-130-000-001	Due from General Fund	42,194.00
30-130-000-002	Due From Municipal Authority	-
30-130-000-003	Due from Escrow Fund	-
30-130-000-004	Due from Solid Waste Fund	-
30-130-000-005	Due From Liquid Fuels Fund	-
30-130-000-006	Due from Act 209 Fund	-
30-130-000-007	Due from Water Resource Protection Fund	-
30-130-000-008	Due from MA Capital Fund	-
	Total Accounts Receivable	<u>42,194.00</u>
Other Current Asset		
30-155-000-000	Prepaid Expenses	33,280.00
30-191-000-000	Other Assets	-
	Total Other Current Asset	<u>33,280.00</u>
	Total Assets	\$ 259,522.58

LIABILITIES AND FUND BALANCE

Accounts Payable		
30-200-000-000	Accounts Payable	-
30-258-000-000	Accrued Expenses	-
30-258-000-100	Interest Payable - 2019 Bonds	57,066.60
30-261-000-100	General Obligation Bonds - Series of 2019	4,495,000.00
30-261-000-150	Premium on GO Bonds - Series of 2019	247,103.30
30-261-000-160	Accrued Amortization - Series of 2019	(74,130.97)
	Total Accounts Payable	<u>4,725,038.93</u>
Long Term Liabilities		
30-297-000-000	Other Liabilities	-
	Total Long Term Liabilities	<u>-</u>
Other Current Liabilities		
30-230-000-000	Due to General Fund	34,375.52
30-230-000-001	Due To Liquid Fuels	-
30-230-000-002	Due to Act 209	-
30-230-000-003	Due to Solid Waste Fund	-
30-230-000-004	Due to Municipal Authority	-
30-230-000-005	Due To Escrow Fund	-
30-230-000-006	Due to MA Capital Fund	931.98
	Total Other Current Liabilities	<u>35,307.50</u>
	Total Liabilities	\$ 4,760,346.43

Equity		
30-272-000-001	Opening Balance Equity	948,398.39
30-272-000-004	Unrestricted Net Assets	(5,501,743.23)
	Current Period Net Income (Loss)	52,520.99
	Total Equity	<u>(4,500,823.85)</u>
	Total Fund Balance	\$ (4,500,823.85)

	Total Liabilities & Fund Balance	\$ 259,522.58
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**Upper Uwchlan Township
Capital Projects Fund
Statement of Revenues and Expenditures
For the Period Ending September 30, 2025**

GL Account #	Account Description	2025 YTD Actual	2025 Budget	Over (Under) Budget	Actual as % of Budget
REVENUES					
30-341-000-000	Interest Earnings	\$ 5,710.14	10,000.00	(4,289.86)	57%
30-354-000-010	Grant Revenue - County		-	-	#DIV/0!
30-354-000-020	Grant Revenue - State	183,749.64	100,000.00	83,749.64	184%
30-354-000-030	Grant Revenue - Federal		-	-	#DIV/0!
30-354-000-040	Grant Revenue - Other		5,800.00	(5,800.00)	0%
30-391-000-100	Sale of Fixed Assets	41,494.00	5,000.00	36,494.00	830%
30-392-000-001	Transfer from General Fund	2,414,095.92	860,000.00	1,554,095.92	281%
30-392-000-005	Transfer from Solid Waste Fund		-	-	#DIV/0!
30-392-000-020	Transfer from Act 209 Fund	-	-	-	#DIV/0!
30-392-000-030	Transfer from the Municipal Authority	-	-	-	#DIV/0!
30-393-000-000	Capital Income	-	-	-	#DIV/0!
30-393-000-020	Proceeds from Long Term Debt	-	-	-	#DIV/0!
30-393-000-400	Other financing sources	-	-	-	#DIV/0!
		2,645,049.70	980,800.00	1,664,249.70	270%
Total Revenues					
		\$ 2,645,049.70	\$ 980,800.00	\$ 1,664,249.70	270%
CAPITAL EXPENSES					
Township Properties					
30-409-000-700	Capital Purchases-General	20.00	-	20.00	#DIV/0!
30-409-001-700	Capital Purchases-Executive	32,975.00	40,000.00	(7,025.00)	82%
30-409-002-600	Capital Construction - Township Bldg	25,146.52	-	25,146.52	#DIV/0!
30-409-002-610	Township Bldg Expansion 2018-2020	-	-	-	#DIV/0!
30-409-002-625	Capital Construction - 128 Byers Road	1,599,089.67		1,599,089.67	#DIV/0!
30-409-002-700	Capital Purchases - Twp Bldg	-	-	-	#DIV/0!
30-409-003-600	Capital Construction - PW Bldg	-	-	-	#DIV/0!
30-409-003-700	Capital Purchases - PW Bldg	-	-	-	#DIV/0!
30-409-004-600	Capital Construction - Milford Rd.	-	-	-	#DIV/0!
30-409-004-700	Capital Purchases - Milford Rd.	-	-	-	#DIV/0!
	Total Township	1,657,231.19	40,000.00	1,617,231.19	4143%
Police					
30-410-000-700	Capital Purchases- Police	137,053.35	119,500.00	17,553.35	115%
	Future Purchase	-	-	-	#DIV/0!
		137,053.35	119,500.00	17,553.35	115%
Codes					
30-413-000-700	Capital Purchases	-	-	-	#DIV/0!
		-	-	-	#DIV/0!
Emergency Management					
30-415-000-700	Capital Purchases	-	-	-	#DIV/0!
		-	-	-	#DIV/0!
Public Works					
30-438-000-700	Capital Purchases-Vehicles	-	-	-	#DIV/0!
30-438-000-701	Capital Purchases - Equipment	245,074.80	278,000.00	(32,925.20)	88%
	Total Public Works	245,074.80	278,000.00	(32,925.20)	#DIV/0!
Roads					
30-439-000-100	Traffic Signals	370,654.89	11,093.00	359,561.89	3341%
	Little Conestoga Road Crosswalk	-	-	-	#DIV/0!
	Lyndell Road Bridge	-	-	-	#DIV/0!
		370,654.89	11,093.00	359,561.89	3341%

**Upper Uwchlan Township
Capital Projects Fund
Statement of Revenues and Expenditures
For the Period Ending September 30, 2025**

Parks					
All Parks					
30-454-000-700	Capital Purchases - All Parks	26,525.00	-	26,525.00	#DIV/0!
<i>Hickory Park</i>					
30-454-001-600	Capital Construction - Hickory	19,251.65	-	19,251.65	#DIV/0!
30-454-001-700	Capital Purchases - Hickory	-	-	-	#DIV/0!
<i>Fellowship Fields</i>					
30-454-002-600	Capital Construction - Fellowship	-	-	-	#DIV/0!
30-454-002-700	Capital Purchases - Fellowship	-	-	-	#DIV/0!
<i>Larkins Field</i>					
30-454-003-600	Capital Construction - Larkins	-	-	-	#DIV/0!
30-454-003-700	Capital Purchases - Larkins	-	-	-	#DIV/0!
<i>Upland Farms</i>					
30-454-004-600	Capital Construction - Upland	-	-	-	#DIV/0!
30-454-004-610	Fund Raising - Upland	-	-	-	#DIV/0!
30-454-004-700	Capital Purchases - Upland	15,102.96	-	15,102.96	#DIV/0!
<i>Village of Eagle Pocket Park</i>					
30-506-000-100	Design	-	-	-	#DIV/0!
30-506-000-600	Capital Construction	-	-	-	#DIV/0!
30-506-000-700	Capital Purchases	-	-	-	#DIV/0!
	Total Parks Capital	60,879.61	-	60,879.61	#DIV/0!
Trails					
30-455-000-650	Grant-Trails/Bridge - Struble Trail	-	-	-	#DIV/0!
30-455-000-651	Phase IV-Pk Rd Trail	-	250,000.00	(250,000.00)	0%
30-455-000-652	Side Path Project	-	-	-	#DIV/0!
	Total Trails	250,000.00	(250,000.00)	0%	0%
Debt Service					
30-472-000-100	Interest Expense - Series of 2019	127,812.45	171,200.00	(43,387.55)	75%
30-472-000-200	Cost of Issuance - Series of 2019	-	-	-	#DIV/0!
30-472-000-300	Bond Amortization Expense - Series of 2019	(6,177.58)	(12,355.00)	6,177.42	50%
30-500-471-003	Capital Lease - Principal	-	-	-	#DIV/0!
30-500-472-003	Capital Lease - Interest	-	-	-	#DIV/0!
	Total Debt Service	121,634.87	158,845.00	(37,210.13)	77%
Village Concept					
30-506-000-100	Design - Village of Eagle	-	-	-	#DIV/0!
30-506-000-600	Construction - Village of Eagle	-	-	-	#DIV/0!
30-507-000-010	Misc Expenses	-	-	-	#DIV/0!
		-	-	-	#DIV/0!
	Total Expenditures before Operating Transfers	\$ 2,592,528.71	\$ 857,438.00	\$ 1,735,090.71	302%
Operating Transfers					
30-505-000-010	Transfers to the General Fund	-	-	-	#DIV/0!
30-505-000-020	Transfers to the Solid Waste Fund	-	-	-	#DIV/0!
30-505-000-030	Transfers to the Act 209 Fund	-	-	-	#DIV/0!
	Total Operating Transfers	-	-	-	#DIV/0!
	Excess of Revenues over Expenditures and Operating Transfers	\$ 52,520.99	\$ 123,362.00	\$ (70,841.01)	42.57%

**Upper Uwchlan Township
Developers Escrow Fund
Balance Sheet
As of September 30, 2025**

ASSETS

Cash		
40-100-000-200	Cash - First Resource Bank	207,526.81
	Total Cash	207,526.81
Other Current Assets		
40-130-000-010	Due from General Fund	2,219.00
40-130-000-020	Due from Solid Waste Fund	-
40-130-000-030	Due from Municipal Authority	340.00
	Total Other Current Assets	2,559.00
	Total Assets	\$ 210,085.81

LIABILITIES AND FUND BALANCE

Accounts Payable		
40-200-000-000	Accounts Payable	-
	Total Accounts Payable	-
Other Current Liabilities		
40-230-000-010	Due To General Fund	-
40-230-000-020	Due to Solid Waste Fund	-
40-230-000-030	Due to Municipal Authority	-
	<u>Due to Developers:</u>	
40-248-000-001	Toll Brothers	-
40-248-000-004	Columbia Gas Transmission LLC	8,150.24
40-248-000-005	Chester County - Radio Tower	-
40-248-000-006	Executive Land Holdings	-
40-248-000-007	Park Road Townhomes	-
40-248-000-009	Open Community Corp.	(20,197.91)
40-248-000-010	Sunoco Reed Road	4,147.14
40-248-000-011	McHugh	-
40-248-000-012	Marsh Lea	-
40-248-000-013	Eagle Pointe	-
40-248-000-014	Grashof	-
40-248-000-015	McKee Fettters	-
40-248-000-017	Vantage Point Retirement	-
40-248-000-018	CarSense	-
40-248-000-019	Village at Byers	-
40-248-000-020	Milford Rd. Associates	-
40-248-000-021	Townes at Chester Springs	-
40-248-000-022	Eagle Village Parking	-
40-248-000-023	Fish Eye	21,807.66
40-248-000-024	Jankowski	-
40-248-000-025	Eagleview Lot 1C	2,080.77
40-248-000-026	Lot 1B Maintenance Area	4,408.28
40-248-000-027	122 Oscar Way	-
40-248-000-028	Commercial 5C	-
40-248-000-030	Profound Technologies	-
40-248-000-031	Windsor Baptist Church	4,391.93
40-248-000-032	Eagle Village Parking Expansion	-
40-248-000-033	Chester Springs Crossing	8.81
40-248-000-034	Starbucks @ Eaglepoint Village	-
40-248-000-035	The Preserve at Marsh Creek SD	(10,246.97)
40-248-000-036	McKee Toll Traffic Impact Fee	63.75
40-248-000-500	Gunner Properties Performance	-
40-248-000-038	Enclave at Chester Springs	3,012.46

**Upper Uwchlan Township
Developers Escrow Fund
Balance Sheet
As of September 30, 2025**

40-248-000-039	164 Byers Rd QBD	-
40-248-000-040	Aurora Greenridge	-
40-248-000-041	Aurora Greenridge	-
40-248-000-042	DeWees 363 Byers Road	-
40-248-000-043	Black Horse Farm	-
40-248-000-044	Aecom Technology	-
40-248-000-045	11 Senn Drive Parking	432.45
40-248-000-046	Byers Station Parcel 5C Lot 2B	679.18
40-248-000-047	461 Font Road	-
40-248-000-048	301 Park Road	4,864.49
40-248-000-049	Eagleview Lot 1A	7,669.23
40-248-000-050	Eagle Animal Hospital	3,353.26
40-248-000-051	Rockhill Real Estate Enterprises	255.12
40-248-000-052	100 Greenridge Road	2,442.41
40-248-000-053	J Downend Landscaping	-
40-248-000-054	241 Park Road	(1,086.25)
40-248-000-055	Rotelle Development Co.	2,373.40
40-248-000-056	RDS Enterprises	5,025.04
40-248-000-057	31-37 Pottstown Pike	7,026.31
40-248-001-017	VP Maintenance Bond	7,847.09
40-248-001-019	Villages Dedication	26,064.60
40-248-001-032	Gunner Parking Exp Construction	-
40-248-001-033	Crossings Dedication	-
40-248-001-035	The Preserve at Marsh Creek Sewer	(18,521.98)
40-248-001-038	Enclave at Chester Springs site	48,737.91
40-248-001-046	Celebree Construction	-
40-248-001-054	241 PR Partners Traffic Impact	81,878.77
40-248-002-035	PMC Sewer Phase III	(1,054.50)
40-248-002-038	Enclave Station Blvd Improvements	21,015.47
40-248-003-035	PMC Construction Phase III	(6,542.35)

Total Other Current Liabilities \$ 210,085.81

40-258-000-000 Accrued Expenses -

Total Liabilities \$ 210,085.81

Equity

40-279-000-000	Opening Balance Equity	-
	Current Period Net Income (Loss)	-
	Total Equity	-

Total Fund Balance \$ -

Total Liabilities & Fund Balance \$ 210,085.81

Upper Uwchlan Township
Developers Escrow Fund
Statement of Revenues and Expenditures
For the Period Ended September 30, 2025

GL Account #	Account Description	2025 YTD Actual	2025 Budget	Over (Under) Budget	Actual as % of Budget
40-341-000-000	Interest Income	\$ 5,912.05	\$ -	\$ 5,912.05	-
40-341-000-010	Interest Income - allocated to Developers	(5,912.05)	-	(5,912.05)	-
40-392-000-100	Transfer from General Fund	-	-	-	-
	Total Revenue	-	-	-	-
40-400-000-461	Bank Fees	-	-	-	-
	Total Expenditures	-	-	-	-
	Excess of Revenues over Expenditures	\$ -	\$ -	\$ -	-



Toys for Tots Drive

OCTOBER 1 - DECEMBER 6

**DROP OFF YOUR
DONATIONS* AT:**

Upper Uwchlan Township
140 Pottstown Pike
Chester Springs, PA 19425

Monday to Thursday
7:30 AM to 5:00 PM

Friday
7:30 AM - 1:00 PM

***Accepting new, unwrapped toys**

INVITATION FOR FREE ACCESS TO THE CHESTER COUNTY HISTORY CENTER

**SATURDAY, NOVEMBER 8TH IS UPPER
UWCHLAN TOWNSHIP RESIDENTS DAY
AT THE CHESTER COUNTY HISTORY
CENTER - FREE ADMISSION!**

THE HISTORY CENTER COLLECTION

Find regional furniture, textiles and decorative arts objects and material representing all aspects of life in southeastern PA including over 80,000 artifacts.

CHILDREN'S SECTION

Includes "please touch" sections for kids of all ages to imagine themselves in olden times.

A FAMILY LEARNING EXPERIENCE

Your visit to the History Center will help your entire family come to better understand the people, places, and events that made Chester County what it is today!

LOCATION



225 North High Street in West Chester, PA 19380
{North of Gay and High Street intersection}



Museum is open from 10 am - 4 pm on Saturday
<https://mycchc.org/about-us/>



Light Up Upper Uwchlan



9TH ANNUAL TREE LIGHTING AT UPLAND FARM PARK

NOVEMBER 29, 2025 STARTING AT 4 PM



TREE LIGHTING AT DUSK



COOKIES & HOT COCOA



A VISIT FROM SANTA



FIREWORKS AT 6:30 PM



...AND SO MUCH MORE!



UPPERUWCHLAN-PA.GOV/LIGHTUP





ENGINEER'S REPORT – UPPER UWCHLAN TOWNSHIP

Date: October 16, 2025

To: Tony Scheivert - Township Manager
Board of Supervisors

From: David Leh, P.E.

The following is an overview of engineering activities for the previous month:

199 Fellowship Road / 480 Pottstown Pike – A sketch plan application has been received proposing a 70,632 SF indoor active recreation facility with associated improvements. The project will require conditional use due to the size of the proposed building. The plan is under review by the consultants and will be formally reviewed by the Planning Commission at their November 13th meeting.

500 Pottstown Pike (Rockhill Real Estate Enterprises) – The Applicant has now submitted Final Plans which the Planning Commission recommended for approval at their October 9th meeting. The Applicant will be before the Board at their October 20th meeting requesting Preliminary / Final Approval.

Construction continues at the following developments with no significant issues:

- Preserve at Marsh Creek
- Byers Station (Parcel 5C – Lot 2B)- [Commercial]
- Eagleview Lot 1A (Temporarily paused)



DEVELOPMENT UPDATE – UPPER UWCHLAN TOWNSHIP

Date: October 16, 2025

To: Board of Supervisors

From: David Leh, P.E.

Bold items have been additions since our last report.

100 Greenridge Road (Toll) – The Board granted approval for the Conditional Use for a 64-home subdivision at their October 11th, 2022, meeting. Toll Brothers has now submitted Preliminary Land Development Plans for the project. Consistent with the conditional use approval, 64 homes are proposed. The Planning Commission accepted the plans at their April 13th 2023 meeting. The plans have been reviewed by the Township Consultants, and a review letter has been issued. The Zoning Hearing Board's decision regarding the disturbance of Prohibitive Steep Slopes has been appealed.

199 Fellowship Road / 480 Pottstown Pike – A sketch plan application has been received proposing a 70,632 SF indoor active recreation facility with associated improvements. The project will require conditional use due to the size of the proposed building. The plan is under review by the consultants and will be formally reviewed by the Planning Commission at their November 13th meeting.

301 Park Road (PJ Reilly) - A preliminary land development plan has been submitted by PJ Reilly Contractors for a new 8,400 SF office and equipment storage facility. The plan was reviewed by the consultants and the Planning Commission at their December 8th meeting. No action was taken. Revised plans were reviewed by The Planning Commission at their April 13, 2023 meeting, no action was taken. The applicant sought and received zoning relief from the Zoning Hearing Board at their August 30th 2023 meeting. Updated land development plans were reviewed by the Planning Commission at their May 9th Meeting. No action was taken. The Applicant attended the Planning Commission's June 13th, 2024 meeting to obtain further input prior to revising their plans. The Applicant has provided an MPC Clock extension until January 31, 2026 for plan resubmission and consideration by the Board.

Reference: Development Update

File No. 9991080
October 16, 2025

500 Pottstown Pike (Rockhill Real Estate Enterprises) – The Applicant has submitted a conditional use application for a 415-space service and storage facility. The Board granted approval for the conditional use at their July 15th , 2024 meeting. Land development plans have been submitted for this application and reviewed by the consultants. The Applicant has elected to revise the plans to address the consultants' comments prior to appearing before the Planning Commission. Revised land development plans were reviewed by the Planning Commission at their May 8th meeting, no action was requested or taken. The Planning Commission reviewed the revised Preliminary plans at their August 14th meeting and recommended approval. **The Applicant has now submitted Final Plans which the Planning Commission recommended for approval at their October 9th meeting. The Applicant will be before the Board at their October 20th meeting requesting Preliminary / Final Approval.**

Byers Station (Parcel 5C – Lot 2B)- [Commercial] – The Board granted approval for this application at their May 20th , 2024 Meeting. Plans have been recorded, and construction has commenced. A “Phase 2” which had been submitted for this site which proposed an additional 10,500 SF commercial building on the north end of the property has been formally withdrawn. The plans were reviewed by the consultants and by the Planning Commission at their July 10th meeting where a recommendation of plan approval was received. The application was before the Board at the August 12th meeting; no action was taken. **The Phase 2 application has now been formally withdrawn.**

Eagleview Lot 1A – Hankin has submitted a Preliminary / Final Land Development Application for a one-story, 60,600 SF Flex Use office / warehouse building to be located along Arrowhead Drive. The plan was reviewed by the Planning Commission at their March 9th meeting. No action was taken with regard to plan approval; however, the Planning Commission did recommend the granting of several waivers. The Board granted the requested waivers at their March 20, 2023 meeting. Revised land development plans have been submitted and reviewed by the consultants. The Board granted Preliminary / Final Approval to the application at their June 19, 2023 meeting. Plans have now been recorded, and construction has commenced. **Site work is temporarily paused presumably until a specific tenant has been determined.**

Preserve at Marsh Creek (Fetters Property) - The Board granted Final Land Development Approval at their October 16th, 2017, meeting. Site construction continues in all 3 phases. (i.e.- The entire development) We have received grading permit applications for **369** of the 376 building units to date. Phases 1 and 2 are

Reference: Development Update

File No. 9991080
October 16, 2025

nearing completion and as such, we are in the process of generating punchlists for the site improvements. **Punchlists have now been completed, and final paving of these phases will occur later this month.**

Struble Trail Extension – Chester County has submitted an application to reopen the Conditional Use Hearing as well as land development plans to allow for the continuance of the trail from where it currently terminates to a point on the west side of Dorlan Mill Road. The Planning Commission reviewed the application at their June 13th, 2019, and July 11th, 2019, meetings and recommended Conditional Use Approval as well as Preliminary Land Development approval. The County has submitted revised land development plans which have been reviewed by the consultants. The Planning Commission reviewed the application at their June 8th meeting and recommended conditional use as well as Preliminary / Final Land Development Approval. The Board granted conditional Use and land development approval at their July 17th Meeting. The design engineer has advised us they are still working through the Pa-DOT approval process.



UPPER UWCHLAN TOWNSHIP

MEMORANDUM

ADMINISTRATION

TO: The Board of Supervisors

FROM: Kathi McGrath *Kathi*
Administrative Assistant

RE: Building/Codes Department Activity Report

DATE: October 16, 2025

=====

Attached, please find the Building Department Activity Report for the month of September, 2025.

Attachments:
Activity Report

/km

UPPER UWCHLAN TOWNSHIP

Permit Analysis

2022-2025

2022				2023				2024				2025				
# of Permits	Fees	YTD Permits	YTD Fees	# of Permits	Fees	YTD Permits	YTD Fees	# of Permits	Fees	YTD Permits	YTD Fees	# of Permits	Fees	YTD Permits	YTD Fees	
Jan	83	\$ 88,198.96	83	\$ 88,198.96	39	\$16,560.04	39	\$16,560.04	65	\$46,474.10	65	\$46,474.10	44	\$ 9,598.00	44	\$ 9,598.00
Feb	39	\$ 25,249.00	122	\$ 113,447.96	58	\$115,689.00	97	\$132,249.04	53	\$29,120.38	118	\$75,594.48	42	\$ 29,544.00	86	\$ 39,142.00
Mar	77	\$ 52,822.55	199	\$ 166,270.51	72	\$ 32,216.00	169	\$ 164,465.04	56	\$ 46,201.34	174	\$ 121,795.82	72	\$ 72,825.00	158	\$ 111,967.90
Apr	84	\$ 63,858.84	283	\$ 230,129.35	51	\$ 37,396.20	220	\$ 201,864.24	57	\$ 48,358.00	231	\$ 170,153.82	43	\$ 18,396.00	201	\$ 130,363.90
May	65	\$ 44,000.00	348	\$ 274,129.35	82	\$ 38,301.00	302	\$ 240,165.24	66	\$ 27,447.00	297	\$ 197,600.82	65	\$ 25,225.00	266	\$ 155,588.90
Jun	96	\$ 28,606.00	444	\$ 302,735.35	66	\$ 26,909.50	368	\$ 267,074.74	62	\$ 38,947.57	359	\$ 236,548.39	62	\$ 34,038.28	328	\$ 189,627.18
Jul	68	\$ 37,917.72	512	\$ 340,653.07	77	\$ 127,398.14	445	\$ 394,472.88	62	\$ 18,548.38	421	\$ 255,096.77	70	\$ 34,169.00	398	\$ 223,796.18
Aug	68	\$ 112,113.82	580	\$ 452,766.89	65	\$ 68,299.92	510	\$ 462,772.80	73	\$ 29,601.00	494	\$ 284,697.77	58	\$ 21,628.00	456	\$ 252,424.18
Sept	73	\$ 46,052.92	653	\$ 498,819.91	52	\$ 20,696.00	562	\$ 483,468.80	68	\$ 94,664.42	562	\$ 379,362.19	59	\$ 38,102.12	515	\$ 290,526.63
Oct	54	\$ 42,196.00	707	\$ 541,015.91	59	\$ 35,511.00	621	\$ 518,979.80	96	\$ 72,313.59	658	\$ 451,675.78				
Nov	45	\$ 21,304.00	752	\$ 562,319.91	57	\$ 32,429.00	678	\$ 551,408.80	56	\$ 24,214.95	714	\$ 475,890.73				
Dec	47	\$22,295.00	799	\$584,614.91	27	\$ 11,076.28	705	\$ 562,485.08	36	\$ 26,840.00	750	\$ 502,730.79				



SEPTEMBER 2025 REPORT UPPER UWCHLAN TOWNSHIP PUBLIC WORKS DEPARTMENT

The following projects were underway since we last met:

Ongoing:

- Aside from regular routine maintenance, the following work orders were submitted last month.

Tracking of work orders through Traisr: 134

- Municipal Authority & PA 1-calls
 - 89 Work orders completed
- Parks
 - 3 Work orders completed
- Public Works
 - 6 Work orders completed
- Solid Waste
 - 26 Work orders completed
- Vehicles and Equipment (All Depts.)
 - 10 Work orders completed
- Base repairs on Fellowship Road, approximately 53 tons of asphalt.
- Milling and paving completed in Eagle Hunt and Byers Station.
- Prepared and submitted MS-4 Report to Gilmore Associates.
- Prepared Public Works and Solid Waste Budget for 2026.
- Replaced 30' feet of pipe on Dorothy Lane and replaced the inlet.
- Inlet repairs on Heather Hill and Leona Drive.

- Assisted with the Summer Concert held at Upland on September 7th.
- Assist with new generator installs at Marsh Harbor and Walter Court.
- Continue road mowing throughout the township.
- Repaired multiple potholes throughout the Township.
- Collected trash, recycling and yard waste that was missed by the haulers.
- Minor maintenance issues were handled at the Township Building.
- Tree trimming for sight distance at intersections and along roadways where trees are hanging into the road.
- Sign replacements at various locations.
- Cleared inlets on multiple roadways throughout the Township.
- Toter swaps and deliveries were done as requested.
- Preventive maintenance, repairs, and Pa State Inspections.
- Serviced Police vehicles.
- PA 1-Calls were responded to as they came in.

Workforce

- Jeff Giannini attended Vegetation Management Training on September 16, 2025
- Public Works attended Winter Wise Salt Class for MS-4 credits, September 25, 2025.
- Lithium ion battery disposal training from Reworld and Chester County Solid Waste Authority, September 24, 2025.

Respectfully submitted,

Michael Esterlis
Public Works Director
Upper Uwchlan Township



UPPER UWCHLAN TOWNSHIP

MOTION OF THE BOARD OF SUPERVISORS OF UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA GRANTING APPROVAL OF THE PRELIMINARY AND FINAL LAND DEVELOPMENT APPLICATIONS AND PLANS FOR VEHICULAR SERVICE BUILDING AND VEHICULAR STORAGE AT 500 POTTSTOWN PIKE, CHESTER COUNTY TAX PARCEL NO. 32-1-34.1.C.

The Board of Supervisors of Upper Uwchlan Township (the "Board") renders this Motion granting approval of the Preliminary and Final Land Development Applications filed by Rockhill Real Estate Enterprises, XVII, LP ("Applicant"). On October 3, 2024, Applicant filed a preliminary land development application seeking approval of the development of a vehicular service establishment with a building footprint of approximately 45,774 square feet (60,704 square feet of gross floor area) with 358 off-street parking spaces, drive aisles, stormwater management facilities and utilities on a 13.79 acre vacant lot located at 500 Pottstown Pike in Upper Uwchlan Township, identified as Chester County Tax Parcel No. 32-1-34.1.C (the "Property").

The Property is located in the C-3 Highway Commercial District. The Board of Supervisors (the "Board") granted conditional use approval pursuant to Sections 200-39.B(1), (7) and (9) of the Upper Uwchlan Township Zoning Ordinance of 1989, as amended (the "Ordinance") in a Conditional Use Decision and Order dated July 15, 2024 (the "CU Order") to allow the Property to be developed with a building to be used for vehicular service and to allow the parking lot to be used for the storage of vehicles that are sold off site. The Board also approved a conditional use pursuant to Sections 200-107.D(3)(b)[1] and [4] of the Ordinance to allow a portion of the new service building and sanitary and storm sewers to be located in precautionary steep slopes.

In a Decision dated October 11, 2024, issued by the Township's Zoning Hearing Board (the "ZHB Order"), Applicant also obtained a variance from Section 200-107.D(2) of the Ordinance to allow the construction of portions of the parking lot, drive aisles, stormwater management facilities and utilities in areas of man-made prohibitive steep slopes.

Applicant submitted preliminary land development plans titled, "Chester Springs Service Center", prepared by T & M Associates, consisting of 39 sheets, dated August 1, 2024, last revised July 17, 2025 (the "Preliminary Plans").

On or about September 3, 2025, Applicant submitted a final land development application and final land development plans titled, "Final Land Development Plans Chester Springs Service Center", prepared by T & M Associates, consisting of 37 sheets, dated August 1, 2024, last revised September 3, 2025 (the "Final Plans").

The Township consultants reviewed the Preliminary Plans and the Final Plans and issued various review comments in consolidated letters issued by Gilmore & Associates, Inc., with the most recent letter dated October 1, 2025 (the "Review Letter").

At the August 1, 2025 public meeting, the Township Historical Commission recommended Applicant implement certain measures to mitigate the impact of the proposed development on the John Keely house located across Pottstown Pike.

At the August 14, 2025 public meeting, the Township Planning Commission recommended that the Board grant preliminary land development approval and approve all waivers requested by Applicant, provided Applicant satisfies any outstanding comments in the Township consultant review letter dated August 7, 2025, pays a fee in lieu of the required replacement plantings in an amount determined by the Township and adds photometrics to the Plans.

At the October 9, 2025 public meeting, the Township Planning Commission recommended that the Board grant final land development approval and approve all waivers requested by Applicant, provided Applicant satisfies any outstanding comments in the Review Letter and pays a fee in lieu of the required replacement plantings in an amount determined by the Township. The Planning Commission also requested Applicant to revise the design of a decorative wall that is proposed to be installed along the frontage of the Property.

DECISION

AND NOW, this 20th day of October, 2025 the Board of Supervisors of Upper Uwchlan Township hereby **GRANTS** approval of the Final Plans and the waivers identified below subject to Applicant's compliance with all of the notes and conditions therein contained, and all of the foregoing conditions.

The Board grants waivers from the following sections of the Upper Uwchlan Township Subdivision and Land Development Ordinance (the "SALDO") and Stormwater Management Ordinance:

- Section 162-9.H (5) to not require Applicant to update the HRIS to add information concerning the John Keely House which has been adaptively reused as a WSFS Bank;
- Section 162-55.B.(3)(a) to allow Applicant to pay a fee in lieu in an amount set forth below instead of planting the minimum number of plantings that this section would require;
- Section 162-55.B(6) to allow Applicant to pay a fee in lieu in an amount set forth below instead of planting the minimum number of plantings that this section would require;
- Section 162-55.B(7) to allow Applicant to pay a fee in lieu in an amount set forth below instead of planting the minimum number of plantings that this section would require;
- Section 162-57.A(2) to provide less than a 20 foot wide buffer along the northern perimeter of the Property adjacent to the Styer propane operation;

- Section 162-57.D(1) to provide less than the required number of plantings that this section would require for new developments;
- Section 152-301.T to allow disturbance of existing ground cover within 75 feet of the wetlands on the Property;
- Section 152-305.A to not meet the required volume controls because the soils on the Property do not infiltrate;
- Section 152-306.D to not require infiltration of the first ½ inch of runoff volume due to the soils on the Property which do not infiltrate;
- Section 152-311.H(1) to allow the maximum depth of the constructed wetland basin to be greater than two feet;
- Section 152-311.H(3) to allow the downslope of the emergency spillway within the wetland buffer area to be lined with a Typar Grassprotecta product as opposed to monoslab pavers; and
- Section 152-402.B(8)(q) to allow disturbance of existing ground cover within 75 feet of the wetlands on the Property.

CONDITIONS OF APPROVAL

1. The development depicted on the Final Plans shall comply with all relevant terms and provisions of the Ordinance, the SALDO, the Stormwater Ordinance and all other applicable regulations, except as otherwise modified and/or waived by the Board in the CU Order, approved by the Zoning Hearing Board or by the Board in this Motion.

2. Applicant shall comply with any outstanding comments in the Review Letter to the satisfaction of the Township and its consultants.

3. Applicant shall comply with all conditions in the CU Order.

4. Applicant shall comply with all conditions in the ZHB Order.

5. Applicant shall pay a transportation impact fee in the amount of \$224,064.00 in accordance with Chapter 79 of the Upper Uwchlan Township Code.

6. Consistent with condition 13 in the CU Order, Applicant shall install a stone decorative wall along the frontage of the Property in the location depicted on sheet 7B of the Final Plans. The wall shall be substantially in conformance with the detail set forth on the Stone Wall Exhibit prepared by T & M Associates dated October 16, 2025.

7. There shall be no disturbance of the 25-foot riparian buffer surrounding the wetlands.

8. Applicant shall install a six-foot-tall chain link fence or other suitable fence approved by the Township engineer around the wetland basin.

9. Consistent with the CU Order, Applicant shall install a right turn deceleration lane for vehicles travelling northbound on Pottstown Pike or a taper at the driveway intersection, whichever is approved by PennDOT in the HOP permit. If the HOP permit does not require Applicant to install the right turn deceleration lane as part of the development approved in this Motion, Applicant must install the right turn deceleration lane if the Township determines there is a safety or operational issue at this intersection in the future after the service building is open. If Applicant submits a future application seeking zoning and land use approval to expand the vehicular sales operations on the Property, it must submit an updated traffic study which evaluates if warrants are met for the installation of a right turn deceleration lane. If warranted and approved by PennDOT, Applicant shall design and build the right turn deceleration lane as part of the land development approval for the expanded vehicular sales development.

10. Subject to PennDOT approval, Applicant shall install a traffic signal at the intersection of Pottstown Pike and Font Road.

11. Applicant shall install a 10-foot wide asphalt multi-use trail along the Property frontage as shown on the Final Plans. The trail shall be maintained by Applicant but subject to an easement to allow the public to use the trail as part of the Township trail network.

12. Consistent with condition 11 in the CU Order, Applicant shall grant to the Township a 15-foot wide easement on the northern and western Property line in the location depicted in blue on the attached Easement Exhibit prepared by T & M Associates dated October 8, 2025 to allow future construction of a public trail. This easement shall be memorialized with notes on the Final Plans and in a separate agreement that shall be recorded with the Final Plans. In addition, Applicant shall pay a fee in lieu of the cost to construct the trail in the amount of Twenty-Five Thousand (\$25,000.00) Dollars.

13. Applicant shall grant to the Township a 30-foot wide easement along the existing private drive that is along the northern edge of the Property in the location depicted in green on the attached Easement Exhibit prepared by T & M Associates dated October 8, 2025 to accommodate a future "Yield Roadway." This easement shall be memorialized with notes on the Final Plan and in a separate agreement that shall be recorded with the Final Plans.

14. Applicant shall provide public sewer to the development. Applicant shall obtain all necessary approvals and permits for the Upper Uwchlan Municipal Authority to provide public sewer to the development and purchase the necessary capacity as determined by the Authority.

15. Applicant shall execute a Development Agreement and Financial Security Agreement and post financial security in an amount approved by the Township Engineer and in form and substance acceptable to the Township, the Township Engineer and the Township Solicitor prior to the Plan being released for recording.

16. Applicant shall obtain all necessary outside agency permits to develop the Property as depicted on the Plans, including but not limited to planning module approval or exemption from PaDEP, an NPDES permit from PaDEP, an adequacy letter from Chester County Conservation District; a highway occupancy permit from the Pennsylvania Department

of Transportation (“PennDOT”) and traffic signal permit from PennDOT. If the NPDES permit contemplates a design for the stormwater facilities that is different than what is depicted on the Final Plans, Applicant must obtain the Board’s approval for such changes in the design of the stormwater management facilities.

17. Applicant shall tender a deed of dedication to the Township for the additional right of way along Pottstown Pike in the location depicted in red on the attached Easement Exhibit prepared by T & M Associates dated October 8, 2025.

18. This Decision and conditions contained herein are binding on Applicant, its successors, and assigns, for the benefit of the Township in general and the ultimate users/property owners of the subject Property.

APPROVED this _____ day of _____, 2025.

ATTEST:

**UPPER UWCHLAN TOWNSHIP
BOARD OF SUPERVISORS**

Gwen A. Jonik, Secretary

Jennifer F. Baxter, Chair

Andrew P. Durkin, Vice-Chair

Sandra M. D’Amico, Member



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

October 1, 2025

File No. 23-01103

VIA E-MAIL ONLY

Mr. Tony Scheivert
Upper Uwchlan Township Manager
140 Pottstown Pike
Chester Springs, PA 19425

Reference: 500 Pottstown Pike – Chester Springs Service Center
Final Land Development Plan – First Review
Upper Uwchlan Township, Chester County, PA

Dear Tony:

Gilmore & Associates, Inc. (G&A) is in receipt of the following documents prepared by T&M Associates, unless otherwise stated:

1. Letter from Riley Riper Hollin & Colagreco to Upper Uwchlan Township dated September 3, 2025 regarding Final Land Development Plan submission.
2. Letter to Upper Uwchlan Township dated September 3, 2025, responding to review comments in G&A's August 7, 2025 review letter.
3. Letter to Upper Uwchlan Township dated September 3, 2025, regarding revision to the Stormwater Report.
4. Letter regarding Plantings Fee in Lieu Upper Uwchlan Township dated September 3, 2025.
5. Subdivision / Land Development Application Final Submittal signed and dated September 3, 2025.
6. Fiscal Impact Analysis (Updated) Memorandum from EH Creative Services LLC to T and M Associates dated August 29, 2005.
7. Plan set consisting of thirty-nine (39) sheets titled "Final Land Development Plans Chester Springs Service Center," dated August 1, 2024, and last revised September 3, 2025.
8. Chester Springs Service Center Stormwater Management Report dated September 25, 2024, and last revised September 2, 2025.
9. Automotive Service Center Development Transportation Impact Assessment dated April 10, 2025 prepared by TPD.

BUILDING ON A FOUNDATION OF EXCELLENCE

401 Plymouth Road | Suite 150 | Plymouth Meeting, PA 19462
Phone: 610-489-4949 | Fax: 610-489-8447
www.gilmore-assoc.com

Mr. Tony Scheivert
Upper Uwchlan Township Manager
Reference: 500 Pottstown Pike – Chester Springs Service Center
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Upper Uwchlan Township, Chester County, PA

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G&A as well as the other Township Consultants have completed our first review of the above referenced documents for compliance with the applicable sections of the Township's Zoning Ordinance, Subdivision and Land Development Ordinance, and Stormwater Management Ordinance, and wish to submit the following comments for your consideration.

Please note that comments within the G&A portion of the letter with an **(RW)** require relief from the Township Ordinances. An **(RW)** denotes a requested waiver. Comments in *italics* are from our previous review letter, and comments in **bold text** require resolution from the applicant. Previous comments that have been satisfactorily addressed are not repeated herein.

I. OVERVIEW

The application proposes the construction of a Service Center building ($\pm 45,774$ SF) with associated parking and a stormwater management basin on a 13.79-acre parcel (TMP# 32-1-34.1C). The property, currently vacant, is located at 500 Pottstown Pike in the C-3 Highway Commercial District.

II. TOWNSHIP ZONING OFFICER COMMENTS

No comments at this time.

III. CONDITIONAL USE ORDER REVIEW

1. *Conditions of Approval #11 requires that an attempt be made to provide a location for a public trail to provide a connection to the trails at the Township's Park at Fellowship Road. Nothing is shown on the plans per this requirement.*

Per the response letter, a trail connection to Fellowship Fields could not be accommodated as requested as it is infeasible to connect to the private drive located in the rear yard of the property. In addition to general safety and security concerns, any trail would require zoning relief and special permitting with the state to construct within existing regulated wetland areas.

We defer to the Township as to whether this Condition of Approval has been adequately satisfied.

2. *Conditional Use Condition of Approval #13 requires an entrance feature consistent with other entrance features in the vicinity of the property.*

Plans show a "Monument Sign" location at the entrance to the property.

A "Monument Sign" detail has been added (Sheet 17). **We understand that a "decorative wall" is also proposed; a detail for this wall shall be provide and added to the plans to permit the Township to determine whether this Condition of Approval has been satisfied.**

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**IV. TOWNSHIP ENGINEER'S COMMENTS – ZONING ORDINANCE
GILMORE & ASSOCIATES**

No comments at this time.

**V. TOWNSHIP ENGINEER'S COMMENTS – SUBDIVISION & LAND DEVELOPMENT ORDINANCE
GILMORE & ASSOCIATES**

1. (RW) Section 162-9.H(5) – An historic resources impact statement is required when land development plans which will lead to the new construction of buildings, structures, roads, driveways, parking area, etc. is proposed within 250 feet of an historic resource. The site is within 250 feet of the “John Keeley House”.

An Historic Resources Impact Statement dated June 17, 2025, prepared by kd2 has been submitted. A waiver is being requested from this section to omit historic resource background information for the John Keeley House (WSFS bank). We defer to the Historical Commission on this matter.

It is our understanding that the Historical Commission is satisfied with the submitted documentation and supports the waiver.

2. Section 162-9.H.(4) – The Fiscal Impact Study shall be revised per comments in the CU review letter dated April 8, 2024.

Per the response letter, the revised fiscal impact study (included with this resubmission) was updated using 2025 values for Township Expenditures.” Clarify “NOTES: 2. Township cost information from Upper Uwchlan Township Budget, 2024” under Table 3, pg. 5 of the study. Additionally, the Fiscal Impact Analysis has two separate tables labeled as “Table 4”. The “Table 4 – Summary of Project Details and Fiscal Impacts” on page 8 should revised to “Table 5.”

3. (RW) Section 162-55.B(3)(a) – Woodland and hedgerow disturbance in excess of 10,000 square feet of existing area of woodland or hedgerow for each principal use permitted on any lot or tract shall require woodland replacement in accordance with Subsections B(6) through B(9). The plans show that 89,926 SF of existing woodland is proposed for disturbance.

A waiver is requested to provide a fee in lieu of required plantings that cannot be accommodated onsite pursuant to Section 162-55.B(12).

4. (RW) Section 162-55.B(6) – Where woodland or hedgerow disturbance involves more than the maximum area permitted, one tree and two shrubs shall be planted for each 300 square feet of woodland or hedgerow disturbance area, in excess of the maximum permitted area of disturbance.

A waiver is requested from Section 162-55.B(6) to the extent required to provide a fee in lieu of required plantings pursuant to Section 162-55.B(12).

Based on 89,926 SF of woodland disturbance proposed, 79,926 SF is in excess of the permitted area. Therefore, 266 trees (3½" caliper) and 532 shrubs (24"-30" in height) are required to be planted (as indicated in the Landscape Requirements Table). A Plantings Requirement Fee in Lieu cost summary has been provided by the applicant. The Fee-in-lieu of 266 Deciduous Trees and 532 Shrubs was calculated to be \$119,700. **However, we recommend that \$500 be used as the cost for the 3½" caliper deciduous trees; the Fee in Lieu should be revised accordingly.** We calculate the Fee to be \$172,900.

5. (RW) Section 162-55.B(7) – *In addition to the vegetation replacement standards established in B(6), for each tree greater than six inches dbh removed, replacement trees shall be planted based on the requirements in this section. A waiver is being requested from Section 162-55.B(7) to the extent required to provide a fee in lieu of required plantings.*

A waiver is requested to provide a fee in lieu of required plantings pursuant to Section 162-55.B(12).

Based on the 90 trees (6" - 18" caliper) proposed for removal in the Landscape Requirements Table, the Table indicates 115 (3½" caliper) trees are required to be planted, or (66) 3½" caliper trees, (46) 4½" caliper trees and (1) 5½" caliper tree are required to be planted. A Plantings Requirement Fee in Lieu cost summary has been provided by the applicant; however please note that the Fee-in-lieu of 115 Deciduous Trees (3½" caliper) was incorrectly calculated (used incorrect price for deciduous tree); \$34,500 appears to be what the amount should have been. **However, we recommend a cost of \$500 for 3½" caliper deciduous trees be used; the Fee in Lieu should be revised accordingly. The Demolition Plan appears to show 87 trees to be removed, which should be verified.** If 90 trees is correct, we calculate the Fee to be \$57,500.

6. Section 162-55.B(12) – *In lieu of actual tree replacement, the Township may, at its sole discretion, require the applicant to place the equivalent cash value, as agreed upon by the Township and the applicant, of some or all of the required replacement trees into a special fund established for that purpose. Such funds shall be utilized for the purchase and installation of trees elsewhere in the Township at the discretion of the Township, especially if the site in question cannot accommodate the replacement trees required pursuant to this chapter. The applicant shall discuss this with the Township.*

A Plantings Requirement Fee in Lieu cost summary has been provided. Based on this, the total Fee-in-lieu of 473 Deciduous Trees, 112 Evergreen Trees and 532 Shrubs appears to be incorrectly totaled as \$226,200 (\$204,200?). **However, we recommend that \$500 be used as the cost of 3½" caliper deciduous trees and that \$350 be used as the cost for evergreens; the Fee in Lieu should be revised accordingly.**

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7. (RW) Section 162-57.A(2) – *The entire perimeter of any tract subject to land development approval shall include a minimum 20-foot-wide perimeter buffer planting strip which will act as an effective separation between uses. The width of the proposed buffer along the northern property line appears to be less than required with only shrubs proposed along the property line.*

A waiver is requested to provide less than the required buffer width along the northern perimeter of site adjacent to the Styer Propane operation.

This section is in the Landscape Requirements Table twice: No. 1 and No. 5, which shall be verified / revised.

8. (RW) Section 162-57.D(1) – *All required landscaping shall meet the minimum planting requirements outlined herein. A waiver is being requested to permit providing less than the required number of plantings.*

The total number of plantings required shall be no less than the total calculated from all columns in the table herein and shall be in addition to any required replacement plantings due to woodland disturbance.

The Landscape Requirements Table (Sheet 12) indicates that 198 deciduous trees, 180 evergreen trees and 896 shrubs are the required minimum plantings, and that 110 deciduous trees, 68 evergreen trees and 896 shrubs are proposed; this results in a required plantings deficit of 88 deciduous trees and 112 evergreen trees. The required replacement trees for woodland disturbance are (140) 3½" caliper trees or (67) 3½" caliper trees, (23) 4½" caliper trees and (1) 5½" caliper tree. A waiver is being requested to provide a fee in lieu of required plantings pursuant to Section 162-55.B(12). If this waiver is granted, a fee shall be determined prior to Final Plan Approval.

A Plantings Requirement Fee in Lieu cost summary has been provided. Based on this, the Fee-in-lieu of 92 Deciduous Trees and 112 Evergreen Trees was calculated to be \$50,000. However, the number of deficient deciduous trees should be verified as it appears to be incorrect. Additionally, we recommend that \$500 be used as the cost of 3½" caliper deciduous trees and that \$350 be used as the cost for evergreens; the Fee in Lieu should be revised accordingly. If 92 deciduous trees is correct, we calculate the Fee to be \$85,200.

**VI. TOWNSHIP ENGINEER'S COMMENTS – STORMWATER MANAGEMENT ORDINANCE
GILMORE & ASSOCIATES**

1. (RW) Section 152-301.T – *Disturbance of existing ground cover during construction of the proposed regulated activity is prohibited within 75 feet of top-of-bank of all perennial and intermittent waterways, water bodies (lakes, ponds, etc.) and wetlands, except for activities otherwise approved by state or local agencies (e.g. stream restoration projects, road crossings, subsurface utility projects, etc. The plans show disturbance less than 75-feet from wetlands. The applicant is seeking a waiver from this requirement.*

A waiver from this section is being requested. Being as the water bodies in question are all manmade and a product of the fuel containment areas from the previous use of the site, we have no objection to this waiver.

2. Section 152-303.A(1) – A "letter of adequacy" from the Conservation District and an NPDES permit are required for the project. Copies of all correspondence shall be provided to the Township.
3. (RW) Section 152-305.A – The post-construction total runoff volume shall not exceed the predevelopment total runoff volume for all storms equal to or less than the two-year, twenty-four-hour duration precipitation (design storm). Infiltration is not proposed, as the testing showed the site does not infiltrate. Please provide verification the required volume will be managed by the MRC Basin.

Infiltration testing results have been provided which show that the site does not provide acceptable infiltration rates; as such a waiver must be requested. We would support the waiver as an MRC (Slow Release Basin) is being proposed.

While the response letter states that a waiver has been requested, it is not included in the waiver request letter.

While the response letter states that this waiver request has been added in the updated waiver request letter included in this resubmission, no such letter was included. We note that this section is included on Sheet 1 under "Following Waivers Are Pending". Due to the results of the on-site infiltration testing indicating the site will not infiltrate, we have no objection to this waiver.

4. (RW) Section 152-306.D – Only if a minimum infiltration of the first $\frac{1}{2}$ inch of runoff volume cannot be physically accomplished on the site, shall a waiver from Section 152-306 be considered by the municipality. Infiltration testing indicates the site does not infiltrate.

As stated above, due to the results of the on-site infiltration testing indicating the site will not infiltrate, we have no objection to this waiver.

5. (RW) Section 152-311.H(1) – The maximum depth of water in a detention or retention basin shall be two feet as a result of a 2-year, twenty-four-hour storm event and five feet as a result of a 100-year, twenty-four-hour storm event. The plans and report indicate there will be a permanent water depth in the basin of five feet, with a total depth of 6.65-feet during the 2-yr. storm event and a total depth of 8.48-feet during the 100-yr. storm event. Therefore, the water depth maximums have been exceeded and a waiver will need to be sought.

A waiver from this section is being requested. If this waiver is granted, we would recommend a minimum 6-foot high chain-link, or other suitable fencing, be placed around the basin to prohibit unauthorized access to the basin.

Upper Uwchlan Township Manager

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6. (RW) Section 152-311.H(3) – Emergency spillways for facilities which may attenuate more than three feet of water, shall be paved with concrete monoslab pavers which shall run off the sides and down each side of the berm. Revise the spillway detail accordingly.

A partial waiver from this section is being requested to not require providing monoslab pavers within the wetland buffer area (on the downslope side of the emergency spillway), but to provide Typar Grassprotecta on the downslope side of the spillway without disturbance of land within the buffer. We have no objection to this waiver request.

7. (RW) Section 152-402.B(8)(g) – Boundaries of a seventy-five-foot construction non-disturbance buffer to protect streams (intermittent and perennial), wetlands and other water bodies during construction of the proposed regulated activity shall be shown on the PCSM plan. We note the applicant is requesting a waiver from this requirement in Section 152-301.T.

A waiver should be requested from this section as well.

While the response letter states that this waiver request has been added in the updated waiver request letter included in this resubmission, no such letter was included. We note that this section is included on Sheet 1 under “Following Waivers Are Pending”. As stated above, being as the water bodies in question are all manmade and a product of the fuel containment areas from the previous use of the site, we have no objection to this waiver.

8. Section 152-402.F – The documents outlined in this section shall be prepared and submitted to the municipality for review and approval as part of the SWM site plan for each BMP and conveyance included in the SWM site plan. Verify that all applicable items are provided.

Per the response letter, these will be provided prior to final plan approval.

As this is a Final Plan Application, these documents should be provided at this time.

9. Sections 152-701.D, 152-701.E, 152-701.F and 152-703 – All agreements and plans (i.e., O&M agreement, O&M plan, deed restrictions, right of entry, covenants, etc.) shall be provided for approval and recorded as outlined in these sections.

Per the response letter, these will be provided prior to final plan approval.

As this is a Final Plan Application, these documents should be provided at this time.

**VII. TOWNSHIP ENGINEER'S COMMENTS – GENERAL
GILMORE & ASSOCIATES**

1. *Verify/provide the location of proposed bearings and distances related to the Ultimate Right-of-way and verify whether a legal description is required.*

The bearings and distances have been shown in the “Required Right-of-Way (To Be Deeded To Upper Uwchlan Township” table on the Site Plan (Sheet 7A). **The Township should determine whether this will be accepted; if not the right-of-way will need to be clarified.** Per the response letter, the legal description is provided in this submission. However, no legal description was provided.

2. **The PECO UP 10 5 6903 with lamp and overhead lines is located within the entrance drive should not be shown on proposed conditions plans and shall be shown to be removed.**
3. **The light pole at the entrance is located on the curb and should be relocated.**
4. **The three (3) light poles along the northern parking spaces should be aligned with striping.**
5. **Four (4) light poles (along north and east parking) are in conflict with the proposed fencing, which should be revised.**

VIII. TOWNSHIP TRAFFIC ENGINEER'S COMMENTS
BOWMAN

Based on our review, we offer the following comments for the Township's consideration.

1. Condition 6 – The applicant shall fund and install a traffic signal at the site access intersection with Pottstown Pike/Font Road. If PennDOT ultimately does not approve a traffic signal, then the applicant shall be responsible to fund and install other intersection improvements or restrict turning movements at the access intersection. The applicant should continue to coordinate with the Township and copy the Township on all correspondence with PennDOT.

The plans include a leader arrow to the intersection and a note on Sheet 7B which reads “Intersection to be signalized”. The plans also include a note on Sheet 1 which reads “No certificate of occupancy shall be issued for the project until such time as PennDOT has reviewed and approved the required Highway Occupancy Permit (HOP) for all improvements proposed within the Pottstown Pike right-of-way, and evidence of said approval has been submitted to the Township”. Furthermore, at a March meeting with the applicant's team, the Township and PennDOT, PennDOT offered support for the traffic signal at this intersection. Based on all of this, our office is comfortable with the applicant's intent to install a traffic signal at this location. However, we note that formal approval of the signal warrant by PennDOT in writing has not yet occurred, as this will occur as part of the HOP plan submission. At this time HOP plans have not yet been submitted to the Township or PennDOT. As discussed at a meeting with the applicant's team on September 10, 2025, Township land development approval should be delayed until HOP plans have been submitted and at least one round of PennDOT comments have been received. In this manner, the Township should have confidence that PennDOT will approve the traffic signal and the improvements design has progressed sufficiently to ultimately obtain the HOP permit.

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2. Condition 7 – As required by this condition, the land development plans show a 125-foot southbound Pottstown Pike left-turn lane for traffic entering the site. The access improvements design will be reviewed further during the HOP plan review. The plans include a leader arrow and note on Sheet 7B which reads “Improvements to Route 100 are conceptually shown. Refer to plans by others”. Please amend the note to reference the HOP application number and the engineer preparing the plans.
3. Condition 8 – Subject to PennDOT approval, the plans shall be revised to show a northbound Pottstown Pike right-turn deceleration lane or taper at the driveway intersection. The land development plans have been revised to show a 125-foot long, 10-foot wide curbed right-turn deceleration lane. There is limited information on the land development plans to complete a full review, and therefore, this lane shall be reviewed as part of the PennDOT HOP plans. However, we note that PennDOT typically requires a 14-foot wide curbed right-turn lane. The applicant should continue to coordinate with the Township and copy the Township on all correspondence with PennDOT. The land development plans should be revised to reflect the layout of the final access improvements subject to further evaluation and coordination with the Township and PennDOT.
4. Condition 10 – As required by this condition, the land development plans show a 10-foot-wide multi-use trail along the site frontage.
5. Condition 11 – As required by this condition, the applicant shall coordinate with the Township to provide a public trail on this property to provide a connection to the trails at the Township Park on Fellowship Road. As discussed with the applicant’s team at a meeting with the Township on September 10, 2025, the applicant shall provide to the Township an easement along the northern and western property line for future construction of a trail, as well as a fee in lieu of actually building the trail.
6. Condition 12 – The proposed development is located in the Township’s Act 209 Transportation Service Area, and as such, this development is subject to the Township’s Transportation Impact Fee of \$2,334 per weekday afternoon peak hour trip. Based on the traffic study, the site will generate 96 weekday afternoon peak hour trips, and therefore, the Transportation Impact Fee is \$224,064.
7. The plans should show the existing legal right-of-way along Route 100.
8. The location of the proposed 10-foot wide asphalt trail along Route 100 should be revised to provide a minimum five-foot wide verge area between the back of the curb and the trail as recommended in the Township’s Active Transportation Plan.
9. As part of the traffic signal design at the site access intersection with Route 100, a pedestrian crossing should be provided across Route 100, as recommended by the Township’s Active

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Transportation Plan. The pedestrian crossing should connect the proposed multi-use trail with the existing trail on the southwest corner of the intersection.

10. ZO Section 200-75.H(3) – The information provided on Sheet 5 is insufficient to complete a full review of the available sight distances at the site access intersection. Additional information is required, as follows:

- a. The plans should dimension and label the required and available sight distances for traffic exiting the proposed driveway looking to the right.
- b. The plans should dimension and label the required and available sight distances for left-turn vehicles entering the proposed driveway looking ahead and behind.
- c. The plan should show the site access layout and the lane improvements along Route 100.
- d. Based on the information provided on the plans, it appears the sight distance for traffic exiting the access looking to the left may be obstructed by vegetation and a wall on the adjacent property. This should be further reviewed as part of the HOP design.
- e. The plans should include the following sight distance note. The available and required sight distances shown on the plan should match the information provided in the traffic study.

“All sight distance obstructions (including but not limited to embankments and vegetation) shall be removed by the applicant to provide a minimum of XXX sight distance to the left and XXX sight distance to the right for a driver exiting the proposed driveways onto the through highway. The driver must be considered to be positioned ten feet from the near edge of the closest highway through travel lane (from the curbline if curbing is present) at an eye height of three feet six inches (3' 6”) above the pavement surface located in the center of the closest highway travel lane designated for use by approaching traffic. This sight distance shall be maintained by the applicant.”

11. The Township’s Active Transportation Plan envisions a “Yield Roadway” along the alignment of the private drive through the northern edge of the property. As discussed with the applicant’s team at the meeting with the Township on September 10, 2025, provide a 30-foot-wide easement along the existing private drive to accommodate this future yield roadway.

12. Detailed designs for all proposed curb ramps located within public right-of-way or for public use should be provided for review. The detailed designs should include separate grading details (including spot elevations at all proposed grade changes), and all dimensions for construction, including widths, lengths, and all slopes. In addition, label all proposed curb ramp types, and provide the appropriate PennDOT curb ramp details and notes on the detail sheets. The applicant’s engineer indicates this information will be provided as part of the PennDOT HOP design.

13. Based on the truck turning templates shown on Sheets 37 and 38, a WB-67 vehicle will require the entire width of the driveway to enter the site via a right-turn. As such, we recommend deliveries to the site should occur during off-peak hours in order to avoid conflicts between traffic exiting the site and entering delivery vehicles. In addition, all delivery and car carrier trucks must be prohibited

Mr. Tony Scheivert
Upper Uwchlan Township Manager
Reference: 500 Pottstown Pike – Chester Springs Service Center
Final Land Development Plan – First Review
Upper Uwchlan Township, Chester County, PA

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October 1, 2025

from stopping/parking along Route 100. A note should be added to the plans noting these restrictions.

IX. TOWNSHIP PLANNER COMMENTS
BRANDYWINE CONSERVANCY

The Conservancy notes that the applicant has acknowledged our prior comments from August 2025 and has addressed them to the best of their ability given the constraints of the site. We have no further comments on this proposal.

We also note the applicant has requested a fee in lieu of the vegetative requirements given the irregularity of the lot, location of existing wetlands and vegetation, and the proposed layout. The Conservancy suggests the Township accept this fee for plantings at more suitable sites elsewhere in the Township.

X. TOWNSHIP SEWER AUTHORITY ENGINEER COMMENTS
ARRO

1. The plans propose the construction of a 45,774 square foot (SF) service center, with a lot for vehicular sales and service uses of 358 spaces on the site. The capacity needed for the proposed site is 600 gallon per day (GPD), which is generated by employees on-site. The required capacity will need to be purchased by the applicant prior to connection into the sanitary sewer system.
2. The sanitary sewer rim elevation at the proposed building should be verified.
3. Landscaping shrubbery and/or tree should not be located within the proposed 20-feet sanitary sewer easement.
4. The existing gravity main as it should be shown to be 8-inches in diameter.
5. General note should be revised as follows:
 - a. No. 8 Contractor shall contact *ARRO Consulting* when sewer piping is being tested on site.
 - b. No. 9 all proposed sanitary sewer shall comply with *the Upper Uwchlan Township Municipal Authority Technical Specifications for Construction of Sewer Mains and Appurtenances*.
6. The necessary financial security shall be posted with the Township, which shall be in a form and amount acceptable to the Township.

XI. TOWNSHIP FIRE MARSHAL COMMENTS

Comments (if any) will be provided under separate cover.

Mr. Tony Scheivert
Upper Uwchlan Township Manager
Reference: 500 Pottstown Pike – Chester Springs Service Center
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XII. HISTORICAL COMMISSION COMMENTS

Comments (if any) will be provided under separate cover.

This concludes our first review of the above referenced final land development application. We would recommend the plans be revised to address the above referenced comments. If you have any questions, please do not hesitate to contact me.

Sincerely,

David N. Leh

David N. Leh, P.E.
Vice President
Gilmore & Associates, Inc.

cc: Upper Uwchlan Township Board of Supervisors
Upper Uwchlan Planning Commission
Gwen Jonik – Township Secretary
Rhys Lloyd – Director of Code Enforcement
Anthony Campbell – Zoning Officer
Mathew Brown, PE – Upper Uwchlan Township Authority
Kristin Camp, Esq. – BBM&M, LLC
Chris Williams, PE Bowman Associates
Dave Schlott, PE – Arro Consulting
Rob Daniels – Brandywine Conservancy
Robert DiStanislao – RDS (Applicant)
Alyson Zarro, Esq. – RRH&C
Erik Hetzel AICP/PP – EH Creative Services LLC.
Matt Hammond, PE – TPD
Jacob Tackett – T&M Associates, Inc. Cameron Wolfson, Esq. – RRHC



YOUR GOALS. OUR MISSION.

September 3, 2025

Mr. Tony Scheivert
Upper Uwchlan Township Manager
140 Pottstown Pike
Chester Springs, PA 19425

**RE: 500 Pottstown Pike – Chester Springs Service Center
Preliminary Land Development Plan – Third Review
Upper Uwchlan Township, Chester County, PA
T&M Associates Project No. PORS00021**

Dear Mr. Scheivert:

The following is our response to the review comments in the Gilmore & Associates, Inc. review letter dated August 7, 2025, regarding the above referenced project. (Original comments are depicted below following the format of the review letter. Our responses are provided in **bold**.)

III. CONDITIONAL USE ORDER REVIEW

1. Conditions of Approval #11 requires that an attempt be made to provide a location for a public trail to provide a connection to the trails at the Township's Park at Fellowship Road. Nothing is shown on the plans per this requirement.

Per the response letter, a trail connection to Fellowship Fields could not be accommodated as requested as it is infeasible to connect to the private drive located in the rear yard of the property. In addition to general safety and security concerns, any trail would require zoning relief and special permitting with the state to construct within existing regulated wetland areas.

T&M Response: Comment Acknowledged. We understand this comment to be addressed per the response letter. A multi-use trail has been placed along the property frontage in the Pottstown Pike Right-of-Way to meet the intent of enhancing Upper Uwchlan's Trail Network Master Plan.

2. Conditional Use Condition of Approval #13 requires an entrance feature consistent with other entrance features in the vicinity of the property.

Plans show a "Monument Sign" location at the entrance to the property. The response letter states the final sign location shall be in conformance with the approved HOP plans. Details shall be provided for the proposed entrance feature.

Per the response letter "the monument sign still requires internal franchise approval and will be circulated under separate cover when it becomes available." We recommend the detail be provided on the plans prior to Final Plan approval. Once the detail has been provided, the proposed landscaping should be verified; i.e., will it work as currently shown.

T&M Response: Comment Addressed. The monument sign detail has been added to the plans. (Sheet 16). The proposed landscaping has been verified.



IV. TOWNSHIP ENGINEER'S COMMENTS – ZONING ORDINANCE GILMORE & ASSOCIATES

1. Section 200-73.B(3) – Pedestrian paths shall be provided from the parking areas to the entrances of buildings and adjacent street sidewalks. Pedestrian walks crossing any parking and driveway aisles shall be delineated by either stripes or a different paving material.

The Applicant has indicated “Final locations of pedestrian paths will be clearly delineated prior to final plan approval.”

T&M Response: Comment Addressed. Striping along the walking path at the entrance has been added as well as in public parking/access locations throughout the site.

V. TOWNSHIP ENGINEER'S COMMENTS – SUBDIVISION & LAND DEVELOPMENT ORDINANCE GILMORE & ASSOCIATES

1. Sections 162-9.D(1)(d) and (f) – General Notes #10 (Sheet 4) states that watercourses and wetlands shown are under review by the US Army Corps (PJD Application NAP-2009-01363-100). This note shall be on a Record Plan, updated to cite required information on the Assessment, and shall include the date of the JD (when obtained). Wetlands shall be clearly indicated on all plan view sheets, with Legends defining all wetland flag / data point symbols.

All applicable sheet Legends shall be verified / revised to include the wetlands line type / symbol; for example, Sheet 7 Legend defines the line type used for Wetlands on the plan view as an Easement Line.

Sheets 7A and 7B should be revised to use the wetland flag / data point symbol line type used on all other plan sheets for the wetlands; revise the Legends on these Sheets as well.

T&M Response: Comment Addressed. The sheets 7A and 7B line type and legend notation have been updated to reflect the wetland flag symbol.

2. Sections 162-9.E(1)(f) – The Conservation Plan (Sheet 4) shall show all applicable items from these sections.

The ephemeral features to be filled are shaded on the Conservation Plan which shall be clarified. The LOD appears incorrect on the Conservation Plan as well (excludes an area of woods to be removed and does not appear to completely include the well TBR).

T&M Response: Comment Addressed. The wooded area to be removed has been updated per the limit of disturbance on the Conservation Plan (Sheet 5). The callout has been revised for the well to be decommissioned rather than removed/demolished on the demo plan (Sheet 6).

3. (RW) Section 162-9.H(5) – An historic resources impact statement is required when land development plans which will lead to the new construction of buildings, structures, roads, driveways, parking area, etc. is proposed within 250 feet of an historic resource. The site is within 250 feet of the “John Keeley House.”

An Historic Resources Impact Statement dated June 17, 2025, prepared by kd2 has been submitted. A waiver is being requested from this section to omit historic resource background information for the John Keeley House (WSFS bank). We defer to the Historical Commission on this matter.

T&M Response: Comment Acknowledged. The Historical Commission issued their approval and support of the submitted documentation at their August 5th meeting. We believe this comment to be satisfactorily addressed at this time.



4. Section 162-9.H.(4) – The Fiscal Impact Study shall be revised per comments in the CU review letter dated April 8, 2024.

Per the response letter the revised fiscal impact study will be revised prior to final plan approval.

Per the response letter, “this comment is acknowledged, and it should be clarified that this item will be provided prior to final approval of plans, not necessarily at the time of approval issued by the Board of Supervisors. We request this element be considered a condition of approval and not necessarily be required prior to the Township issuing an approval with conditions.” We are unclear on this response. If the intent to permit final plan approval with the condition the study will be revised, we continue to recommend the study be revised beforehand.

T&M Response: Comment Acknowledged. The revised fiscal impact study has been included with this resubmission. It should be noted that it was updated using 2025 values for Township Expenditures.

5. Section 162-47.A(1) &(4) – Permanent stone or concrete monuments shall be accurately placed at the intersection of all lines forming angles and at changes in directions of lines in the boundary (perimeter) of the property being subdivided. Currently rebar is proposed. Sheet 7 should be revised to clearly show where stone or concrete monuments are proposed.

Sheets 7A and 7B label the proposed stone monuments “if required.” The “if required” shall be removed unless there are existing monuments at these locations.

T&M Response: Comment Addressed. The labels have been updated to remove the “if required” as all property corners will include stone monuments (Sheets 7A and 7B).

6. (RW) Section 162-55.B(3)(a) – Woodland and hedgerow disturbance in excess of 10,000 square feet of existing area of woodland or hedgerow for each principal use permitted on any lot or tract shall require woodland replacement in accordance with Subsections B(6) through B(9). The plans show that 40,287 SF of existing woodland is proposed for disturbance. A waiver is being requested from Section 162-55.B(3)(a) to the extent required to provide a fee in lieu of required plantings.

A waiver is requested to provide a fee in lieu of required plantings that cannot be accommodated onsite pursuant to Section 162-55.B(12). The waiver request from Section 162-55.B(3) in the Table (Sheet 12) should be revised to indicate subsection (a). Additionally, the Table (No. 2) indicates 40,287 SF existing woodland disturbed for this section but indicates 89,926 SF woodland disturbance (No. 3 in the Table) which shall be clarified.

T&M Response: Comment Addressed. The waiver request from Section 162-55.B(3) now indicates subsection (a). The Table (no. 2) has been revised to accurately show the 89,926 SF woodland disturbance.

7. Section 162-55.B(5)(a) – Revise the Landscape Plan (Sheet 10) to include tree protection fencing. The Tree Protection and Pruning detail as well as the Orange Construction Fence / Tree Protection Fence (TPF) detail shall be added to the Landscaping notes and details sheet.

Tree protection fencing and details have been provided. However, note 17 on the Demolition Plan (Sheet 6) and Note 18 on the Landscape Plan (Sheet 13) shall be revised to include “roots shall not be cut within the dripline of any trees to remain” to demonstrate compliance with the ordinance.

T&M Response: Comment Addressed. The notes have been updated to include “roots shall not be cut within the dripline of any trees to remain”. (Sheets 6 and 13).



8. (RW) Section 162-55.B(6) – Where woodland or hedgerow disturbance involves more than the maximum area permitted, one tree and two shrubs shall be planted for each 300 square feet of woodland or hedgerow disturbance area, in excess of the maximum permitted area of disturbance. A waiver is being requested from Section 162-55.B(6) to the extent required to provide a fee in lieu of required plantings.

Based on 89,926 SF of woodland disturbance proposed, 79,926 SF is in excess of the .permitted area. The Landscape Requirements Table calculation for this section (No. 3) is incorrectly shown as "72,926/300" which shall be revised to "79,926/300"; the quantity is correct. Therefore, 266 trees (3½" caliper) and 532 shrubs (24"-30" in height) are required to be planted (as indicated in the Landscape Requirements Table). A waiver is requested from Section 162-55.B(6) to the extent required to provide a fee in lieu of required plantings pursuant to Section 162-55.B(12). If this waiver is granted, a fee shall be determined prior to Final Plan Approval.

T&M Response: Comment Addressed. The calculation for (No. 3) has been revised to accurately show "79,926/300".

9. (RW) Section 162-55.B(7) – In addition to the vegetation replacement standards established in B(6), for each tree greater than six inches dbh removed, replacement trees shall be planted based on the requirements in this section. A waiver is being requested from Section 162-55.B(7) to the extent required to provide a fee in lieu of required plantings.

Based on the 91 trees (6" - 24" caliper) proposed for removal, the Table indicates 140 (3½" caliper) trees are required to be planted, or (67) 3½" caliper trees, (23) 4½" caliper trees and (1) 5½" caliper tree are required to be planted. Applicant shall indicate how the quantity of 140 trees was computed. A waiver is requested to provide a fee in lieu of required plantings pursuant to Section 162-55.B(12). If this waiver is granted, a fee shall be determined prior to Final Plan Approval.

T&M Response: Comment Addressed. The number of 3½" caliper trees required has been revised to be 115, with supporting calculations in (No. 4) of the table.

10. Section 162-55.B(12) – In lieu of actual tree replacement, the Township may, at its sole discretion, require the applicant to place the equivalent cash value, as agreed upon by the Township and the applicant, of some or all of the required replacement trees into a special fund established for that purpose. Such funds shall be utilized for the purchase and installation of trees elsewhere in the Township at the discretion of the Township, especially if the site in question cannot accommodate the replacement trees required pursuant to this chapter. The applicant shall discuss this with the Township.

T&M Response: Comment Acknowledged. A cost estimate enumerating the vegetative requirements that cannot be accommodated onsite has been provided as part of the resubmission.

11. (RW) Section 162-57.A(2) – The entire perimeter of any tract subject to land development approval shall include a minimum 20-foot-wide perimeter buffer planting strip which will act as an effective separation between uses. The width of the proposed buffer along the northern property line appears to be less than required with only shrubs proposed along the property line.

A waiver is requested to provide less than the required buffer width along the northern perimeter of site adjacent to the Styer Propane operation. However, Landscape Requirements Table does not list what is proposed / what is deficient. Prior to the Township considering this waiver, the Table shall be revised to include the number of plantings required / the number deficient.



T&M Response: Comment Addressed. The proposed buffer has been added to the Landscape Requirements Table. Additionally, the Deficiency Table has been added to show the deficiencies where waivers are requested.

12. Sections 162-57.C(6)(b) and (c) – Street trees. Any subdivision or land development shall provide street trees along the entire length of any public street. The spacing between street trees shall be no greater than 50 feet. At the time of planting, street trees shall be at least 14 feet to 16 feet in height and three-inch to three-and-one-half-inch caliper in size. The Landscape Requirements Table (No. 4, Sheet 12) lists this section; however, "Street Trees" should be added to the third column, the "Requirement" section as it appears incomplete. Verify the number of street trees "Proposed" as the existing road frontage is 315 LF (therefore 6 trees appear to be required) and revise the caliper of the Street Trees in the Plant Schedule.

T&M Response: Comment Addressed. The number of street trees has been revised to 6, as is required. The caliper has been revised accordingly. "Street trees" has been added to third column in (No. 5) in the Table.

13. (RW) Section 162-57.D(1) – All required landscaping shall meet the minimum planting requirements outlined herein. A waiver is being requested to permit providing less than the required number of plantings.

The total number of plantings required shall be no less than the total calculated from all columns in the table herein and shall be in addition to any required replacement plantings due to woodland disturbance.

The Landscape Requirements Table (Sheet 12) indicates that 198 deciduous trees, 180 evergreen trees and 896 shrubs are the required minimum plantings, and that 108 deciduous trees, 68 evergreen trees and 896 shrubs are proposed; this results in a required plantings deficit of 90 deciduous trees and 112 evergreen trees. The required replacement trees for woodland disturbance are (140) 3½" caliper trees or (67) 3½" caliper trees, (23) 4½" caliper trees and (1) 5½" caliper tree. A waiver is being requested to provide a fee in lieu of required plantings pursuant to Section 162-55.B(12). If this waiver is granted, a fee shall be determined prior to Final Plan Approval.

Additionally, the following discrepancies were found on the Plant Schedule (Sheet 14) that shall be revised:

- a. 17 Tilia Tomentosa "Sterling" (TS) only 16 are shown on the plan.
- b. 105 Rhus aromatica 'grow-low' (RAG) only 99 shown on the plan.
- c. 81 Vaccinium angustifolium 'Brunswick' (VB) only 75 are shown on the plan.
- d. 76 Panicum virgatum 'Heavy Metal' (PH) only 71 are shown on the plan.

T&M Response: Comment Addressed. The Tilia Tomentosa have been revised to be 17 Ulmus Americana 'Princeton' (UP) trees. The plans have been revised to show 17 (UP) trees in both the plan view and the schedule. The plans have been revised to show 105 (RAG) shrubs in both the plan view and the schedule. The plans have been revised to show 81 (VB) shrubs in both the plan view and the schedule. The plans have been revised to show 76 (PH) plantings in both the plan view and the schedule.

14. Section 162-57.D(4)(a) – Plantings used to comply with the minimum number of plantings required per 162-57.D(1) shall be as listed below; revise the Planting Schedule accordingly.
 - a. Deciduous trees: 3" to 3½" caliper, minimum.
 - b. Shrubs: 24" to 30" in height, minimum.

T&M Response: Comment Addressed. The Plant Schedule has been revised accordingly to show Deciduous Trees with a 3" to 3½" minimum caliper and Shrubs with a 24" to 30" minimum height.



1. (RW) Section 152-301.T – Disturbance of existing ground cover during construction of the proposed regulated activity is prohibited within 75 feet of top-of-bank of all perennial and intermittent waterways, water bodies (lakes, ponds, etc.) and wetlands, except for activities otherwise approved by state or local agencies (e.g. stream restoration projects, road crossings, subsurface utility projects, etc. The plans show disturbance less than 75-feet from wetlands. The applicant is seeking a waiver from this requirement. Per Section 152-111.C, the Board of Supervisors cannot grant a waiver or modification of any regulated stormwater activity involving earth disturbance greater than or equal to one acre unless that action is approved in advance by PADEP or the Chester County Conservation District. Please provide approval from PADEP or the Chester County Conservation District for the Boards consideration.

Please provide approval from PADEP or the Chester County Conservation District for the Boards consideration.

A waiver from this section is being requested. As indicated previously, we are not sure the Board may take action on this waiver, without prior concurrence from PA-DEP.

T&M Response: Comment acknowledged. The NPDES permit approval will be provided upon receipt. Both the Conservation District and DEP have confirmed that neither agency will issue opinions on local ordinance waivers, as this is outside their purview.

At the August 14th Planning Commission meeting, it was discussed and agreed that the Township is permitted to consider and support stormwater waivers contingent upon the receipt of the project's NPDES permit.

The Planning Commission subsequently recommended approval of the waivers outlined in the stormwater ordinance. We respectfully request that the Board of Supervisors approve the requested waivers for both preliminary and final plan approval, contingent upon the acquisition of the NPDES permit for this project.

2. Section 152-303.A(1) – A "letter of adequacy" from the Conservation District and an NPDES permit are required for the project. Copies of all correspondence shall be provided to the Township.

T&M Response: Comment Acknowledged. Approval will be provided upon receipt.

3. (W) Section 152-305.A – The post-construction total runoff volume shall not exceed the predevelopment total runoff volume for all storms equal to or less than the two-year, twenty-four-hour duration precipitation (design storm). Infiltration is not proposed, as the testing showed the site does not infiltrate. Please provide verification the required volume will be managed by the MRC Basin.

Infiltration testing results have been provided which show that the site does not provide acceptable infiltration rates; as such a waiver must be requested. We would support the waiver as an MRC (Slow Release Basin) is being proposed.

While the response letter states that a waiver has been requested, it is not included in the waiver request letter.

T&M Response: Comment Addressed. This waiver request has been added in the updated waiver request letter included in this resubmission.

4. (RW) Section 152-306.D – Only if a minimum infiltration of the first $\frac{1}{2}$ inch of runoff volume cannot be physically accomplished on the site, shall a waiver from Section 152-306 be considered by the municipality in accordance with Section 152-111 (the Board of Supervisors cannot grant a waiver or modification of any regulated stormwater activity involving earth disturbance greater than or equal to one acre unless that action is approved in advance by PADEP or the Chester County Conservation District). Infiltration testing indicates the site does not infiltrate. Please provide approval from PADEP or the Chester County Conservation District for the Boards' consideration.



The Applicant has indicated in his response letter Approval from PADEP will be forwarded once received. It is important to note, it is our understanding the Board cannot take action on this application until this is received.

A waiver from this section is being requested. As indicated previously, we are not sure the Board may take action on this waiver, without prior concurrence from PA-DEP.

T&M Response: Comment Acknowledged. Please see response from comment VI.1.

5. (RW) Section 152-311.H(1) – The maximum depth of water in a detention or retention basin shall be two feet as a result of a 2-year, twenty-four-hour storm event and five feet as a result of a 100-year, twenty-four-hour storm event. The plans and report indicate there will be a permanent water depth in the basin of five feet, with a total depth of 6.65-feet during the 2-yr. storm event and a total depth of 8.48-feet during the 100-yr. storm event. Therefore, the water depth maximums have been exceeded and a waiver will need to be sought. In accordance with Section 152-111, the Board of Supervisors cannot grant a waiver or modification of any regulated stormwater activity involving earth disturbance greater than or equal to one acre unless that action is approved in advance by PADEP or the Chester County Conservation District. Please provide approval from PADEP or the Chester County Conservation District for the Boards' consideration.

The Applicant has indicated in his response letter Approval from PADEP will be forwarded once received. It is important to note, it is our understanding the Board cannot take action on this application until this is received.

A waiver from this section is being requested. As indicated previously, we are not sure the Board may take action on this waiver, without prior concurrence from PA-DEP. However, if this waiver is considered, we would recommend a minimum 6-foot high chain-link, or other suitable fencing, be placed around the basin to prohibit unauthorized access to the basin.

T&M Response: Comment Addressed. A 6' high, chain link fence has been proposed surrounding the basin on the site plan (Sheet 7B).

6. (RW) Section 152-311.H(3) – Emergency spillways for facilities which may attenuate more than three feet of water, shall be paved with concrete monoslab pavers which shall run off the sides and down each side of the berm. Revise the spillway detail accordingly.

A partial waiver from this section is being requested to not require providing monoslab pavers within the wetland buffer area (on the downslope side of the emergency spillway), but to provide Typar Grassprotecta on the downslope side of the spillway without disturbance of land within the buffer. A detail for Typar Grassprotecta is provided on Sheet 27; this detail shall also be provided on the PCSM Detail Sheet. Relocate the "DP-001" label, which is currently "over" the limits of the Typar Grassprotecta on the PCSM Plan (Sheet 29), and show the riparian buffers. Show the riparian buffers on the E&S Plans. We have no objection to this waiver request.

T&M Response: Comment Addressed. The Typar detail has been added to the PCSM Detail Sheet (Sheet 30). The DP-001 callout has been relocated to no longer cover the Typar hatching (Sheet 29). The riparian buffers have been added to the PCSM plan and E&S Plans (Sheet 29 and Sheets 24-26).

7. (W) Section 152-402.B(8)(q) – Boundaries of a seventy-five-foot construction non-disturbance buffer to protect streams (intermittent and perennial), wetlands and other water bodies during construction of the proposed regulated activity shall be shown on the PCSM plan. We note the applicant is requesting a waiver from this requirement in Section 152-301.T.

A waiver should be requested from this section as well.

T&M Response: Comment Addressed. This waiver request has been added in the updated waiver request letter included in this resubmission.



8. Section 152-402.F – The documents outlined in this section shall be prepared and submitted to the municipality for review and approval as part of the SWM site plan for each BMP and conveyance included in the SWM site plan. Verify that all applicable items are provided.

Per the response letter, these will be provided prior to final plan approval.

T&M Response: Comment Acknowledged. For clarification, the applicant requests this condition be considered a condition of final approval. To satisfy these requirements, the following responses are offered:

- An O+M plan and Agreement, shall be submitted for review and approval by the Township prior to recordation.
- A blanket easement note (#27) is provided on Sheet 2 (Legend and Notes) for the purposes of inspection and enforcement of the requirements of Chapter 152.
- Required documents shall be recorded as determined necessary.
- It is not anticipated that written approval or easement agreements are required for stormwater discharge

9. Sections 152-701.D, 152-701.E, 152-701.F and 152-703 – All agreements and plans (i.e., O&M agreement, O&M plan, deed restrictions, right of entry, covenants, etc.) shall be provided for approval and recorded as outlined in these sections.

Per the response letter, these will be provided prior to final plan approval.

T&M Response: Comment Acknowledged. For clarification, the applicant requests this condition be considered a condition of final approval. To satisfy these requirements, the following are proposed:

- §152-701.D an O+M agreement and PCSM plan shall be recorded as part of the recording process once final approval is granted
- §152-701.E a blanket easement note (#27) is provided on Sheet 2 (Legend and Notes) for the purposes of inspection and enforcement of the requirements of Chapter 152.
- §152-701.F is a comment acknowledged that all O&M and other agreements, covenants, easements and deed restrictions will be submitted for review and approval prior to recordation.
- §152-703.A acknowledges the requirements and process for the O+M. we also acknowledge the requirements in subsection B and C.

VII. TOWNSHIP ENGINEER'S COMMENTS – GENERAL GILMORE & ASSOCIATES

1. Verify/provide the location of proposed bearings and distances related to the Ultimate Right- of-way and verify whether a legal description is required.

T&M Response: Comment Addressed. The bearings and distances have been shown in a table on the Site Plan (Sheet 7A). The legal description is provided in this submission.

2. Verify / remove Reference Plans Note #7, as it is currently blank.

T&M Response: Comment Addressed. Note 7 has been removed from the legend and notes (Sheet 2).

VIII. TOWNSHIP TRAFFIC ENGINEER'S COMMENTS BOWMAN

1. Condition 6 – The applicant shall fund and install a traffic signal at the site access intersection with Pottstown Pike/Font Road. If PennDOT ultimately does not approve a traffic signal, then the applicant shall be responsible to fund and install other intersection improvements or restrict turning movements at the access intersection. The applicant should continue to coordinate with the Township and copy the Township on all correspondence with PennDOT.



T&M Response: Comment acknowledged. The Traffic Impact Study (TIS), last revised on April 10, 2025, addresses the traffic signal warrant on page 10 (PDF page 14). In addition, the March 7, 2025 meeting minutes with PennDOT and Township representatives (included on PDF page 27) further document discussions regarding the warrant. At that meeting, PennDOT indicated general support for a signal provided the warrants are met, which the April 10 report reflects.

Please refer to the SITE PLAN for clarification of signal implementation, which we understand to be approved by PennDOT based on the warrant analysis in the April 10 report.

It is understood that, should PennDOT ultimately not approve a signal, the applicant will be responsible for implementing alternative intersection improvements as determined through the HOP process.

2. Condition 7 – As required by this condition, the land development plans show a 125-foot southbound Pottstown Pike left-turn lane for traffic entering the site. The access improvements design will be reviewed further during the HOP plan review.

T&M Response: Comment Acknowledged. This feature has been placed on the plans. As acknowledged previously, the final improvement condition will be reflected on approved HOP plans.

A note has been to the cover sheet which states “No certificate of occupancy shall be issued for the project until such time as PennDOT has reviewed and approved the required Highway Occupancy Permit (HOP) for all improvements proposed within the Pottstown Pike right-of-way, and evidence of said approval has been submitted to the Township.”

We request the Township Board of Supervisors support preliminary and final plan approval contingent upon receiving PennDOT approval for the HOP associated with this project.

3. Condition 8 – Subject to PennDOT approval, the plans shall be revised to show a northbound Pottstown Pike right-turn deceleration lane or taper at the driveway intersection. The detailed design of the access intersection and the right-turn deceleration taper (or lane) will be reviewed as part of the PennDOT HOP plan submission. The applicant should continue to coordinate with the Township and copy the Township on all correspondence with PennDOT. The land development plans should be revised to reflect the final access improvements subject to further evaluation and coordination with the Township and PennDOT.

Furthermore, we understand the applicant proposes to modify and expand operations at this site in the future to also allow auto sales. At that time, an updated traffic study will be required to verify the access operations, including an updated evaluation of the warrants for a right-turn deceleration lane.

T&M Response: Comment Acknowledged. This feature has been placed schematically on the plans. As acknowledged previously, the final improvement condition will be reflected on approved HOP plans.

A note has been to the cover sheet which states “No certificate of occupancy shall be issued for the project until such time as PennDOT has reviewed and approved the required Highway Occupancy Permit (HOP) for all improvements proposed within the Pottstown Pike right-of-way, and evidence of said approval has been submitted to the Township.”

We request the Township Board of Supervisors support preliminary and final plan approval contingent upon receiving PennDOT approval for the HOP associated with this project.

4. Condition 10 – As required by this condition, the land development plans show a 10-foot-wide multi-use trail along the site frontage.

T&M Response: Comment Acknowledged. A multi-use trail has been placed along the property frontage in the Pottstown Pike Right-of-Way to meet the intent of enhancing Upper Uwchlan’s Trail Network Master Plan.

5. Condition 11 – As required by this condition, the applicant shall coordinate with the Township to provide a public trail on this property to provide a connection to the trails at the Township Park on Fellowship Road. The



applicant's engineer states this was discussed with the Planning Commission in May, and it was determined to be infeasible. As stated in our prior review letter, we recommend the applicant schedule a meeting with our office and Township staff to review this further. If it is agreed the trail connection is infeasible, then it may be appropriate to consider other options in lieu of a full trail connection.

T&M Response: Comment acknowledged. A direct trail connection to Fellowship Fields cannot be accommodated, as it would require access through a private drive in the rear yard of the property. Beyond general safety and security concerns, such a connection would also necessitate zoning relief and state-level permitting to construct within existing regulated wetland areas. This matter has been reviewed and discussed at several Township Planning Commission meetings.

We understand this comment to be addressed based on the response letter. To advance the intent of enhancing Upper Uwchlan's Trail Network Master Plan, a multi-use trail has instead been incorporated along the property frontage within the Pottstown Pike Right-of-Way.

6. Condition 12 – The proposed development is located in the Township's Act 209 Transportation Service Area, and as such, this development is subject to the Township's Transportation Impact Fee of \$2,334 per weekday afternoon peak hour trip. Based on the traffic study, the site will generate 96 weekday afternoon peak hour trips, and therefore, the Transportation Impact Fee is \$224,064.

T&M Response: Comment noted. As confirmed at the March 7, 2025 meeting with PennDOT and Township representatives, and reflected in the April 10, 2025 revised Traffic Impact Study, the Font Road/Pottstown Pike intersection meets the warrant for a traffic signal. Given the Township's direct benefit from this improvement and because of the significant cost of this work, we are working with the Township to determine an appropriate reduction or potential elimination of the Transportation Impact Fee so that resources are directed toward the signal.

7. The traffic study should be updated relative to the proposed traffic signal at the Pottstown Pike/Font Road intersection.

T&M Response: Comment Acknowledged. This element was addressed in the traffic engineer's April 10th, 2025 revised TIS. A copy of this study has been included with this resubmission package.

8. As part of the traffic signal design at the site access intersection with Route 100, a pedestrian crossing should be provided across Route 100, as recommended by the Township's Active Transportation Plan. The pedestrian crossing should connect the proposed multi-use trail with the trail on the existing trail on the southwest corner of the intersection.

T&M Response: Comment Acknowledged; this will be addressed as part of the HOP review and approval process. The Township will be provided copies of HOP plans with each cycle of review and submission.

A note has been to the cover sheet which states "No certificate of occupancy shall be issued for the project until such time as PennDOT has reviewed and approved the required Highway Occupancy Permit (HOP) for all improvements proposed within the Pottstown Pike right-of-way, and evidence of said approval has been submitted to the Township."

We request the Township Board of Supervisors support preliminary and final plan approval contingent upon receiving PennDOT approval for the HOP associated with this project.

9. ZO Section 200-75.H(3) – As previously requested, the limits of the plan information along Pottstown Pike should be expanded to show the full extent of the labeled sight distances. As currently shown, we are unable to verify the sight distance lines. At minimum, the plans should be updated to show the site layout overlaid onto an aerial photograph in order to label the full length of the sight distances. The plans should also dimension and label the sight distances for left-turn vehicles entering the proposed driveway looking ahead and behind. Furthermore, the plans should include a PennDOT-style sight distance note. The available and required sight distances shown on the plan should match the information provided in the traffic study.



T&M Response: Comment Addressed. The sight distances have been shown on the conservation Plan (Sheet 5). Please note that due to traffic signalization implementation it is anticipated that only a right-turn-on-red stopping site distance is warranted for this driveway connection. Should adequate distance not be provided, it is understood that right-turn-on-red may not be permitted.

10. SALDO Section 162-28.A – The ultimate right-of-way shown along the PA Route 100 frontage should be dedicated to the Township and it should be labeled as “Required Right-of-Way (To Be Deeded to Upper Uwchlan Township)”.

T&M Response: Comment Addressed. The Ultimate Right of Way has been relabeled as “Required Right-of-Way (To Be Deeded to Upper Uwchlan Township)” (Sheet 7A & 7B).

11. The Township's Active Transportation Plan envisions a “Yield Roadway” along the alignment of the private drive through the northern edge of the property. We recommend a 30-foot-wide easement should be provided along the existing private drive to accommodate this future yield roadway. The applicant's engineer indicates that this comment requires additional coordination with the Township and shall be satisfied prior to final plan approval. We recommend the applicant set up a meeting with the Township to discuss prior to the next plan submission.

T&M Response: Comment Acknowledged. The applicant takes no exception to the requested 30-foot-wide easement. Post final approval, but prior to the issuance of a certificate of occupancy, the engineer will submit a legal description and easement exhibit for the approval of the Township.

12. Detailed designs for all proposed curb ramps located within public right-of-way or for public use should be provided for review. The detailed designs should include separate grading details (including spot elevations at all proposed grade changes), and all dimensions for construction, including widths, lengths, and all slopes. In addition, label all proposed curb ramp types, and provide the appropriate PennDOT curb ramp details and notes on the detail sheets. The applicant's engineer indicates this information will be provided as part of the PennDOT HOP design.

T&M Response: Comment Acknowledged; this will be addressed as part of the HOP review and approval process. The Township will be provided copies of HOP plans with each cycle of review and submission.

A note has been to the cover sheet which states “No certificate of occupancy shall be issued for the project until such time as PennDOT has reviewed and approved the required Highway Occupancy Permit (HOP) for all improvements proposed within the Pottstown Pike right-of-way, and evidence of said approval has been submitted to the Township.”

We request the Township Board of Supervisors support preliminary and final plan approval contingent upon receiving PennDOT approval for the HOP associated with this project.

IX. TOWNSHIP PLANNER COMMENTS BRANDYWINE CONSERVANCY

Comments will be provided under separate cover.

X. TOWNSHIP SEWER AUTHORITY ENGINEER COMMENTS ARRO

1. The plans propose the construction of a 45,774 square foot (SF) service center, with a lot for vehicular sales and service uses of 358 spaces on the site. The capacity needed for the proposed site is 600 gallon per day (GPD). This should be shown on the plan. The required capacity will need to be purchased by the applicant prior to connection into the sanitary sewer system.

T&M Response: Comment Acknowledged. Note 6 has been added to the Utility Plan (Sheet 10) stating the 600 GPD capacity requirement.



2. The applicant has opted to tie directly into the sanitary sewer system rather than use a temporary holding tank. The proposed sanitary sewer piping including both the on-site and off-site portions, where connection occurs into the sanitary sewer main, needs to be shown in plan and profile within the plan set. The design shall be in accordance with the Authority's sanitary sewer specifications and needs to be reviewed by the Authority's Engineer.

T&M Response: Comment Addressed. The temporary holding tank has been removed from scope and a private connection to the existing gravity fed sanitary infrastructure has been designed and submitted to the Sewer Authority for approval. The proposed connection to the exiting sanitary system has been shown in plan view on sheet 10 and in profile view on sheet 36. The design has been preliminarily vetted and conceptually approved by the Sewer Authority.

3. The location of the proposed oil and water separator needs to be shown on the plan.

T&M Response: Comment Addressed. The oil and water separator has been added to the Utility plan sheet (Sheet 10).

4. The appropriate Standard Authority Sanitary Sewer Details shall be added to the plans.

T&M Response: Comment Addressed. The appropriate Standard Authority Sanitary Sewer Details have been added to the Sanitary Sewer Details plan (Sheet 20).

5. The necessary financial security shall be posted with the Township, which shall be in a form and amount acceptable to the Township.

T&M Response: Comment Acknowledged.

XI. TOWNSHIP FIRE MARSHAL COMMENTS

Comments (If any) will be provided under separate cover.

XII. HISTORICAL COMMISSION COMMENTS

Comments attached following this letter.

Thank you very much for the opportunity to respond to these comments. If you have any questions, please feel free to contact me.

Very truly yours,
T&M Associates

A handwritten signature in black ink, appearing to read 'Jacob Tackett'.

Jacob Tackett
Principal Staff Designer



YOUR GOALS. OUR MISSION.

Issued: September 3, 2025

Revised: October 9, 2025

Mr. Tony Scheivert
Township Manager, Upper Uwchlan Township
140 Pottstown Pike
Chester Springs, PA 19425

RE: Waiver Request Letter – Chester Springs Service Center
500 Pottstown Pike
Upper Uwchlan Township, Chester County, Pennsylvania
T&M Project No. PORSO0021

Below is a list of ten (10) waiver requests for the Chester Springs Service Center Project. The list below identifies ordinance chapter, ordinance section, ordinance requirement, waiver request and the justification for the request. We are requesting that the Upper Uwchlan Planning Commission review and make a recommendation to approve this waiver request as a part of the Application for Preliminary/Final Land Development.

WAIVER #1

Chapter: Chapter 152, Stormwater Management

Section: 152-301.T – General Requirements

Requirement: Disturbance of existing ground cover during construction of the proposed regulated activity is prohibited within 75 feet of top-of-bank of all perennial and intermittent waterways, water bodies (lakes, ponds, etc.) and wetlands, except for activities otherwise approved by state or local agencies (e.g. stream restoration projects, road crossings, subsurface utility projects, etc.).

Request: To develop within 75 feet of wetlands.

Justification: Due to the site's irregular shape, the location of wetlands, manmade slopes, and existing vegetation, the site design necessitated encroachment into the 75-foot buffer required by Section 152-301.T. The proposed layout—presented during the Conditional Use Hearing on June 10, 2024, and approved on July 15, 2024—includes development within this buffer. Additionally, the layout was discussed at the August 28, 2024 Zoning Hearing, during which it was confirmed that the 25-foot riparian buffer surrounding wetlands would not be disturbed. All proposed impervious cover within 75 feet of wetlands will be contained by curbing and collected by a conveyance system that directs runoff to a constructed wetland stormwater BMP, improving water quality prior to discharge into existing wetlands.

WAIVER #2

Chapter: Chapter 152, Stormwater Management

Section: 152-305.A – Water Quality and Runoff Volume Requirements

Requirement: The Post-construction total runoff volume shall not exceed the predevelopment total runoff volume for all storms equal to or less than the two-year, twenty-four-hour duration precipitation (design storm).

Request: To provide a slow-release basin in lieu of infiltrating the volume required.

Justification: Extensive stormwater infiltration testing has occurred, and results demonstrate this project location does not provide acceptable infiltration rates. The Township Engineer has confirmed support of the waiver contingent upon the stormwater basin being a slow-release design.

WAIVER #3

Chapter: Chapter 152, Stormwater Management

Section: 152-306.D – General Requirements

Requirement: Infiltration of the first 1/2 inch of runoff volume

Request: To not infiltrate stormwater runoff.

Justification: Extensive onsite infiltration testing has demonstrated that infiltration is not a viable stormwater management strategy for this site. As such, a waiver is requested due to the inability to accommodate infiltration onsite. The proposed stormwater management solution is a constructed wetland basin, which is specifically designed not to infiltrate. Both the County Conservation District and PADEP have reviewed and indicated that the constructed wetland basin is an acceptable and appropriate management measure for this project. Without approval of this waiver, the site would not be developable under current stormwater requirements.

WAIVER #4

Chapter: Chapter 152, Stormwater Management

Section: 152-311.H(1) – Other Conveyance and System Design Standards

Requirement: Maximum depth of detention or retention basins. The maximum depth of water in a detention or retention basin shall be two feet as a result of a two-year, twenty-four-hour storm event and five feet as a result of a 100-year, twenty-four-hour storm event.

Request: To pond greater than the maximum permitted depth of basins.

Justification: The constructed wetland basin features a permanent water surface with varying depths across different zones (low marsh, high marsh, and permanent pool). The additional depth to the permanent water surface elevation complies with section 152-311.H(1) (1.63 feet in a 2-year event, and 3.42 feet in a 100-year event). This waiver is essential as there is no feasible method to exclude these permanent water depths from consideration.

WAIVER #5 (Partial Waiver)

Chapter: Chapter 152, Stormwater Management

Section: 152-311.H(3) – Other Conveyance and System Design Standards

Requirement: Emergency spillway. All stormwater flow into any permanent detention, retention or infiltration facility exceeding design capacity shall be handled by an emergency spillway. Whenever possible, any emergency spillway shall be constructed on undisturbed ground. Emergency spillways for facilities which may attenuate more than three feet of water, shall be paved with concrete monoslab pavers which shall run off the sides and down each side of the berm.

Request: Partial waiver to provide a material that is not monoslab pavers within the wetland buffer.

Justification: The downslope side of the proposed emergency spillway is located partially within a riparian wetland buffer where disturbance is not permitted. The proposed solution is to line the downslope side of the emergency spillway with the “Typar Grass Protecta” product, which is a non-disturbance measure that protects and reinforces grass from accelerated erosion. To enforce the applicant to line the area in the riparian buffer with monoslab pavers, would require a variance from the Zoning ordinance. The proposed alternate solution would meet the spirit of the ordinance.

WAIVER #6

Chapter: Chapter 152, Stormwater Management

Section: 152-402.B(8)(q) – SWM Site Plan Contents

Requirement: Boundaries of a seventy-five-foot construction nondisturbance buffer to protect streams (intermittent and perennial), wetlands and other water bodies during construction of the proposed regulated activity.

Request: To develop within 75 feet of wetlands

Justification: Due to the site's irregular shape, the location of wetlands, manmade slopes, and existing vegetation, the site design necessitated encroachment into the 75-foot buffer required by Section 152-301.T. The proposed layout—presented during the Conditional Use Hearing on June 10, 2024, and approved on July 15, 2024—includes development within this buffer. Additionally, the layout was discussed at the August 28, 2024 Zoning Hearing, during which it was confirmed that the 25-foot riparian buffer surrounding wetlands would not be disturbed. All proposed impervious cover within 75 feet of wetlands will be contained by curbing and collected by a conveyance system that directs runoff to a constructed wetland stormwater BMP, improving water quality prior to discharge into existing wetlands.

WAIVER #7 (Partial Waiver)

Chapter: Chapter 162, Subdivision and Land Development

Section: 162-9.H(5) – Historic Impact Statement

Requirement: A historic resources impact statement is required when a subdivision or land development plan which will lead to the new construction of buildings, structures, roads, driveways, parking area, etc. is proposed within 250 feet of an historic resource as identified in the document entitled "Historic Resources Inventory: Upper Uwchlan Township, Chester County, Pennsylvania (Wise Preservation Planning, 2001)."

Request: To omit historic resource background information for the John Keeley House (WSFS bank).

Justification: The John Keeley House, a recognized historic resource located at 210 Font Road, has been adaptively redeveloped and currently operates as a WSFS Bank. As part of that redevelopment effort, background information regarding the historic resource was previously prepared and provided to the Township. The requested waiver seeks relief from repeating that effort, as the information already exists and remains relevant. In support of the current application, the applicant has prepared a Historic Impact Statement that addresses the requirements for assessing the potential effects of the proposed development at 500 Pottstown Pike and providing background information about 500 Pottstown Pike, as requested by the Historical Commission. Therefore, requiring the applicant to prepare the same information as previously provided for the John Keeley House would be duplicative.

WAIVER #8

Chapter: Chapter 162, Subdivision and Land Development

Section: 162-55.B(3)(a) – Woodland Replacement

Requirement: Where woodland and hedgerow disturbance exceeding 10,000 square feet of existing area of woodland or hedgerow for each principal use permitted on any lot or tract, replacement requirements shall be required.

Request: To provide a fee in lieu for required plantings that cannot be accommodated onsite pursuant to Section 162-55.B(12)

Justification: The site has been designed to meet the operational needs of the owner. Due to the irregular shape of the site, location of the existing wetlands and vegetation, the proposed layout that was presented as part of the Conditional Use Hearing dated June 10, 2024, and approved on July 15, 2024, cannot reasonably accommodate planting the required number of plantings set forth in 162-55.B. Because a fee in lieu option is permitted under subsection 162-55.B(12), applicant is seeking approval to provide a fee in lieu so other planting requirements can be met to the extent practicable. It should be noted that existing wooded areas are proposed to remain and be protected to the extent practicable. Providing additional plantings to fully comply with the ordinance would result in excessive density that could compromise the long-term health and viability of the vegetation. Strict adherence to the planting requirement would necessitate substantial modifications to the approved layout and hinder the project's functional intent.

WAIVER #9

Chapter: Chapter 162, Subdivision and Land Development

Section: 162-55.B(6) – Woodland Replacement

Requirement: Where woodland or hedgerow disturbance involves more than the maximum area permitted under Subsection B(3) above, one tree and two shrubs shall be planted for each 300 square feet of woodland or hedgerow disturbance area, or fraction thereof, in excess of the maximum permitted area of disturbance.

Request: To provide a fee in lieu for required plantings pursuant to Section 162-55.B(12)

Justification: The site has been designed to maximize the number of plantings that can be reasonably accommodated for this project. Due to the irregular shape of the site, location of the existing wetlands and vegetation, the proposed layout that was presented as part of the Conditional Use Hearing dated June 10, 2024, and approved on July 15, 2024, cannot reasonably accommodate planting the required number of plantings set forth in 162-55.B. Providing additional plantings to fully comply with the ordinance would result in excessive density that could compromise the long-term health and viability of the vegetation. Strict adherence to the planting requirement would necessitate substantial modifications to the approved layout and hinder the project's functional intent.

WAIVER #10

Chapter: Chapter 162, Subdivision and Land Development

Section: 162-55.B(7) – Woodland Replacement

Requirement: In addition to subsection B(6), for each tree removed that is greater than six inches DBH, replacement trees shall be planted in accordance with requirements of this section.

Request: To provide a fee in lieu for required plantings pursuant to Section 162-55.B(12)

Justification: The site has been designed to maximize the number of plantings that can be reasonably accommodated for this project. Due to the irregular shape of the site, location of the existing wetlands and vegetation, the proposed layout that was presented as part of the Conditional Use Hearing dated June 10, 2024, and approved on July 15, 2024, cannot reasonably accommodate planting the required number of plantings set forth in 162-55.B. Providing additional plantings to fully comply with the ordinance would result in excessive density that could compromise the long-term health and viability of the vegetation. Strict adherence to the planting requirement would necessitate substantial modifications to the approved layout and hinder the project's functional intent.

WAIVER #11

Chapter: Chapter 162, Subdivision and Land Development

Section: 162-57.A(2) – Landscape design, installation and maintenance standards.

Requirement: Perimeter buffer requirement. The entire perimeter of the tract shall be provided with a minimum twenty-foot-wide buffer planting strip which will act as an effective separation between uses.

Request: To provide less than the required buffer width along the northern perimeter of site adjacent to the Styer Propane operation.

Justification: The site has been designed to accommodate the operational needs of the owner, including providing employee parking in close proximity to the service center. The proposed improvements in this area respect the required 15-foot parking setback, and the 15 feet between the property line and the edge of parking will be buffered to meet the intent of the applicable ordinance section. Additionally, the adjacent zoning district and existing land use are consistent with the proposed use for this project. Requiring a 20-foot buffer along this area would necessitate significant changes to the layout that was generally approved during the Conditional Use process. The employee parking in this location cannot be reasonably relocated elsewhere on site without compromising its intended function.

WAIVER #12 (Partial Waiver)

Chapter: Chapter 162, Subdivision and Land Development

Section: 162-57.D(1) – Minimum Planting Standards

Requirement: The total number of plantings required shall be no less than the total calculated from all columns in the table located in section D.1 and shall be in addition to any required replacement plantings due to woodland disturbance. The total number of required plantings may be dispersed throughout the tract to meet the objectives of this section.

Request: To provide less than the required number of plantings set forth in this section.

Justification: The site has been designed to meet the operational needs of the owner. Due to the irregular shape of the site, location of the existing wetlands and vegetation, the proposed layout that was presented as part of the recent Conditional Use Hearing dated June 10, 2024, and approved on July 15, 2024, cannot reasonably accommodate the required number of plantings set forth in 162-57.D(1). It should be noted that the proposed plantings have been practicably maximized on site. Approximately 84% of the required plantings in this section are proposed onsite and proposing more would create a density that jeopardizes the health of proposed vegetation. To require the applicant to plant trees required to comply with 162-57.D(1) would substantially change the layout presented and generally approved as part of the Conditional Use process for this project.

If you have any questions or require any additional information, please do not hesitate to contact me by phone at 215-282-7853 or by email jtackett@tandmassociates.com.

Sincerely,
T&M Associates



Jacob Tackett
Supervising Designer



| YOUR GOALS. OUR MISSION.

Issued: September 3, 2025

Revised: October 09, 2025

Mr. Tony Scheivert
Upper Uwchlan Township Manager
140 Pottstown Pike
Chester Springs, PA 19425

RE: 500 Pottstown Pike – Chester Springs Service Center – Plantings requirement Fee in Lieu
Final Land Development Plan
Upper Uwchlan Township, Chester County, PA
T&M Associates Project No. PORS00021

Dear Mr. Scheivert:

Due to the irregular shape of the site, location of existing wetlands and vegetation, the proposed layout which was approved as part of both conditional use and zoning applications cannot reasonably accommodate the required number of plantings set forth in Sections 162-55.B(6), 162-55.B(7), and 162-57.D(1). Providing additional planting to comply with the ordinance would result in excessive density that could compromise the long-term health and viability of the vegetation, a fee in lieu of the required planting pursuant those sections has been requested.

The following is a breakdown of the estimated prices for plantings required for fee-in-lieu:

- *Average price for 3½" caliper deciduous tree = \$500*
- *Average price for 8-10' evergreen tree = \$350*
- *Average price for 24-30" shrub = \$75*

162-55.B(6) Woodland Replacement

Deficiency: 266 Deciduous Trees; 532 Shrubs

Fee-in-lieu: 266 x 500 = \$133,000; 532 x 75 = \$39,900

162-55.B(7) Woodland Replacement

Deficiency: 112 Deciduous Trees

Fee-in-lieu: 112 x 500 = \$56,000

162-57.D(1) Minimum Planting Standards

Deficiency: 88 Deciduous Trees ;112 Evergreen Trees

Fee-in-lieu: 88 x 500 = \$44,000; 112 x 350 = \$39,200

Total

Deficiency: 466 Deciduous Trees ;112 Evergreen Trees; 532 Shrubs

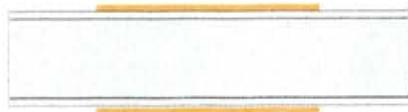
Fee-in-lieu: 466 x 500 = \$233,000; 112 x 350 = \$39,200; 532 x 75 = \$39,900

Total fee in lieu: \$312,100

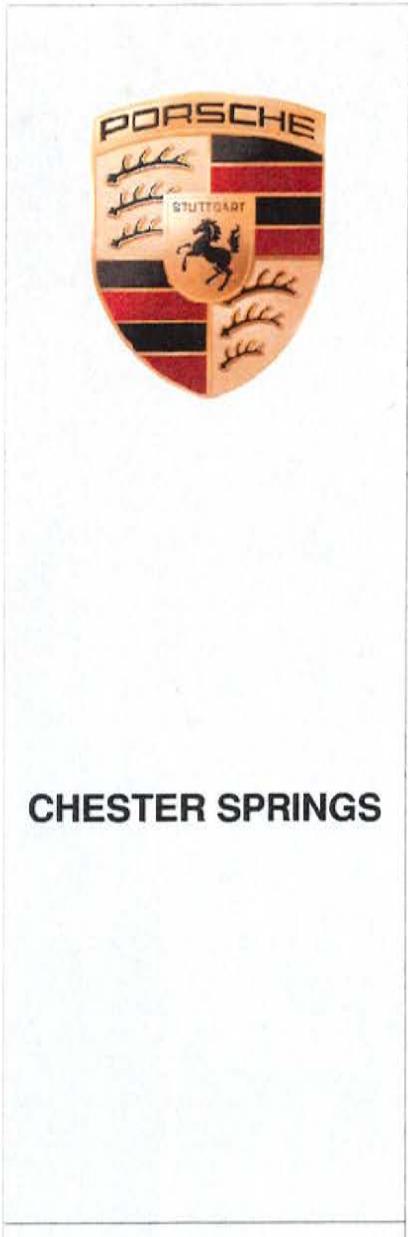
Very truly yours,
T&M Associates

A handwritten signature in black ink that reads 'Jacob Tackett'.

Jacob Tackett
Supervising Designer



Top View



TYPICAL PORSCHE MONUMENT SIGN

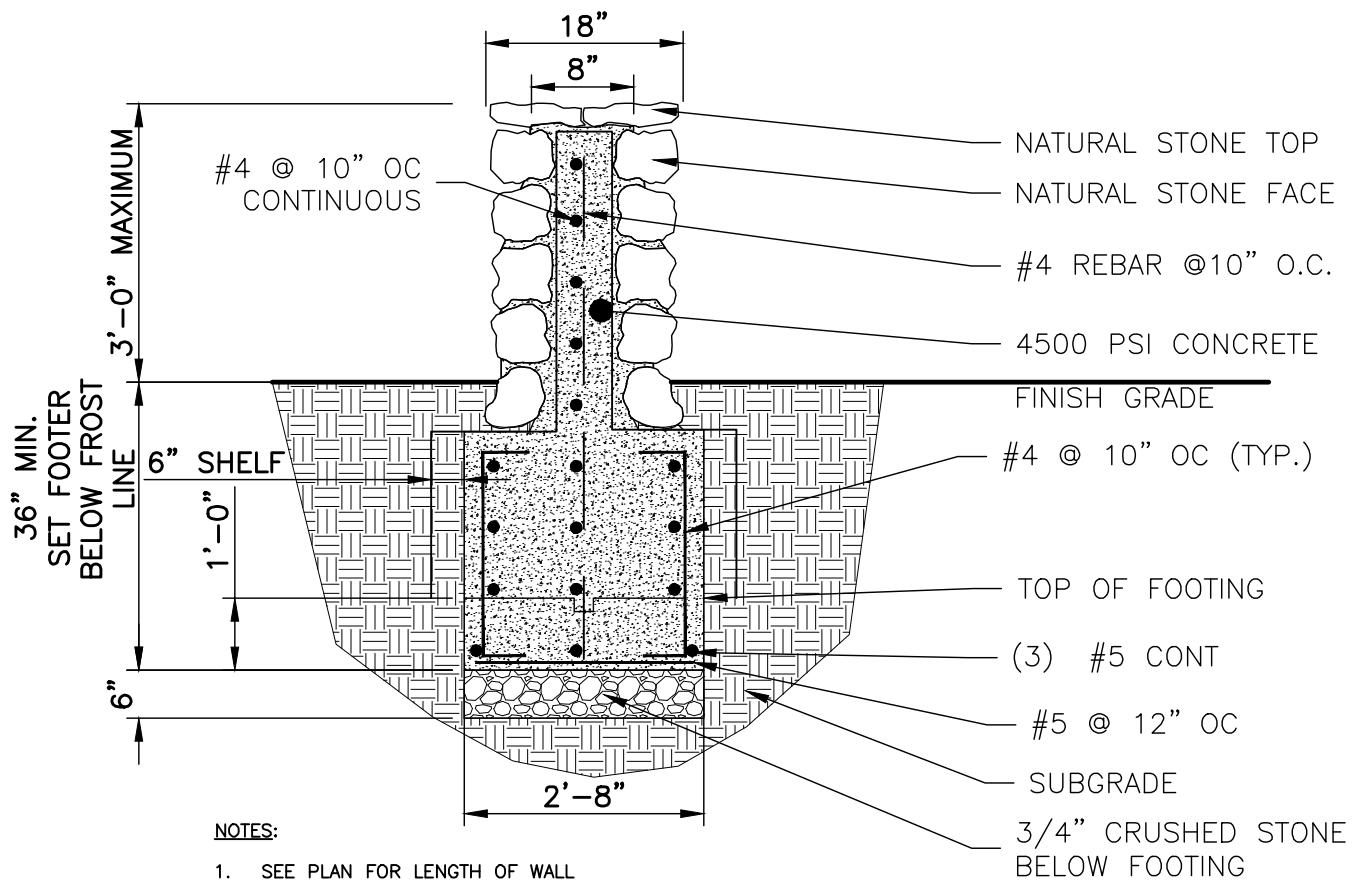
NOT TO SCALE

NOTES: PROPOSED MONUMENT SIGN SHALL COMPLY WITH UPPER UWCHLAN ORDINANCE REQUIREMENTS OR SEEK VARIANCE APPROVAL TO DEVIATE FROM PERMITTED ALLOWANCES INCLUDING BUT NOT LIMITED TO SIGN AREA AND/OR HEIGHT.

TYPICAL SIGN SHOWN FOR INFORMATIONAL PURPOSES ONLY



DETAIL

FREESTANDING STONE WALL DETAIL

NOT TO SCALE

CHESTER SPRINGS SERVICE CENTER
STONE WALL EXHIBIT

ISSUED: OCTOBER 16, 2025

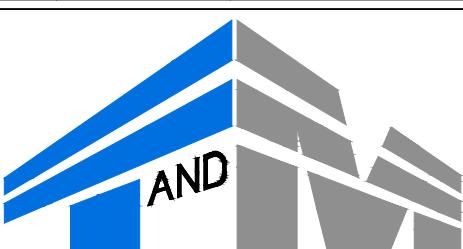
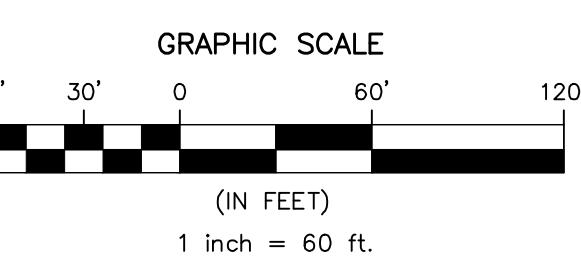




LEGEND

(ORIENTATION & SIZE MAY VARY)

- RIGHT-OF-WAY
- TRAIL ACCESS EASEMENT
- PRIVATE DRIVE ACCESS EASEMENT



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OHIO AND PENNSYLVANIA

DESIGNED BY	JDT	DRAWN BY	EXB
CHECKED BY	JDT/KAL	CHECKED BY	EXB
DRAWN BY	ERP	DRAWN BY	ERP
DATE	10/08/2025	SCALE	AS SHOWN
PROJ. NO.	PORS0021	REVISIONS	BY

CONDITIONAL USE APPLICATION

ORDER

AND NOW, this 15th day of July, 2024, the Board hereby approves the Application and grants the following approval:

1. A conditional use pursuant to Section 200-39.B(1) of the Ordinance to allow two principal uses on the Property, namely a vehicular sales and vehicular service establishment.
2. A conditional use pursuant to Section 200-39.B(7) of the Ordinance to allow the development of a vehicular sales establishment, that being the storage of vehicle inventory from Applicant's sales facility located in Newtown Square.
3. A conditional use pursuant to Section 200-39.B(9) of the Ordinance to allow the development of a vehicular service establishment.
4. A conditional use pursuant to Section 200-107.D(3)(b)[1] to disturb precautionary steep slopes in order to install a portion of the proposed Service Building as generally depicted on the Revised Plans.
5. A conditional use pursuant to Section 200-107.D(3)(b)[4] to disturb precautionary steep slopes in order to install sanitary sewers and storm sewers as generally depicted on the Revised Plans.

CONDITIONS OF APPROVAL

1. The development shall be built and designed generally in accordance with the Revised Plans which were admitted as Exhibit A-8 as such plans are revised to comply with this Order and to obtain final land development approval from the Board of Supervisors.

2. Prior to approval of the final land development plans for the proposed development of the Property, Applicant shall address to the satisfaction of the Board all outstanding comments in the Township consultants' review letter dated April 8, 2024 which was admitted as Exhibit B-9.

3. This approval only allows the use of a vehicular service establishment and storage of inventory for off premises vehicular sales. No sales of vehicles may be conducted from the Property until further conditional use approval is obtained from the Board.

4. The final landscaping plan for the development shall be approved by the Board during land development and shall comply with the Township Code unless the Board grants waivers of certain provisions of the Code. At a minimum, the landscaping plan shall retain as much of the existing mature and healthy vegetation along the northwestern corner of the Property as is feasible and sensible given the health of the vegetation. If necessary to provide an effective buffer of the development from Pottstown Pike and the John Keely House, the landscaping plan shall add additional trees and vegetation to this area so that there is a landscape buffer along Pottstown Pike in this location.

5. Applicant shall submit a lighting plan which complies with the Township Code prior to issuance of final land development approval.

6. During the land development approval process, Applicant shall coordinate its efforts with the Township traffic engineer and work with PennDOT to advocate for PennDOT's approval of the installation of a traffic signal at the intersection of the access driveway/For Road and Pottstown Pike. Provided that PennDOT approves the installation of such traffic signal, Applicant shall be responsible for the design, permitting and installation of the same, as well as any associated intersection improvements, as part of the land development for the Property. If PennDOT does not approve the installation of a traffic light at the intersection, Applicant shall coordinate with the Township and PennDOT to identify other appropriate intersection improvements, and the Applicant shall, subject to PennDOT approval of same, be responsible for the design and implementation of the other appropriate road improvements to improve the level of service and design of the intersection. If appropriate improvements are not identified, the Applicant shall restrict driveway turning movements at the intersection, subject to PennDOT approval of same.

7. Subject to PennDOT's approval of the necessary highway occupancy permit, the Revised Plans shall be revised to provide a 125 foot left turn lane on southbound Pottstown Pike as recommended in Applicant's TIA.

8. Subject to PennDOT's approval of the necessary highway occupancy permit, the Revised Plans shall be revised to provide a right turn deceleration lane or taper at the access driveway on northbound Pottstown Pike. Applicant's TIA found that a deceleration lane is warranted but that Applicant does not own sufficient land for the

ZONING HEARING BOARD APPROVAL

ORDER

AND NOW, this 11th day of October, 2024, upon consideration of the Application and testimony and evidence presented, the Application of Rockhill Real Estate Enterprises XVII, LP, for a variance from the steep slope provisions of Section 200.107.D(2) of the Upper Uwchlan Township Zoning Ordinance is hereby GRANTED

UNDER AND SUBJECT to the condition that Applicant will proceed in strict accordance with all of the testimony presented, and in accordance with the applicable Township and state laws, regulations and ordinances.

UPPER UWCHLAN TOWNSHIP
ZONING HEARING BOARD

James O'Leary
James O'Leary, Chairman
Peter Egan
Peter Egan, Vice Chairman
Joseph Cerebelli
Joseph Cerebelli, Member

ZACHARY H. RANSTEAD, P.E. LICENSED PROFESSIONAL ENGINEER	
UPPER UWCHLAN TOWNSHIP SUBDIVISION, CHESTERFIELD, PA 19325 UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PA	
COMMUNEAT-OF-PENNSYLVANIA LICENSE NO. 020708	
CONDITIONAL USE ORDER, VARIANCES & WAIVERS	
RDS AUTOMOTIVE GROUP CHESTER SPRINGS SERVICE CENTER	YOUR GOALS. OUR MISSION. AND YOUR GOALS. OUR MISSION. 2000 MARKET STREET, SUITE 800 PHILADELPHIA, PA 19103 TEL: 215-547-3450 FAX: 215-547-3459 www.rdsassociates.com
DESIGNED BY CHECKED BY DRAWN BY DATE SCALE PROJ. NO.	OFFICES LOCATED IN DELAWARE, INDIANA, KENTUCKY, MASSACHUSETTS, MICHIGAN, NEW JERSEY, OHIO AND PENNSYLVANIA DRAWING LEG-2 SHEET 3 OF 39 RECORD PLAN SHEET 3 OF 23



2000 MARKET STREET, SUITE 800
PHILADELPHIA, PA 19103
TEL: 215-547-3450
FAX: 215-547-3459
www.rdsassociates.com

DESIGNED BY
CHECKED BY
DRAWN BY
DATE
SCALE
PROJ. NO.

OF 39

GRADING | FGFND

GRADING LEGEND

(ORIENTATION & SIZE MAY VARY)

GRADING PLAN
WILDCARDS AUTOMOTIVE GROUP
WILDCARDS SPRINGS SERVICE CENTER
100 WILDCARDS SPRINGS, CHESTER SPRINGS, PA. 19425
WILDCARDS SPRINGS, CHESTER SPRINGS, PA. 19425
WILDCARDS SPRINGS, CHESTER SPRINGS, PA. 19425



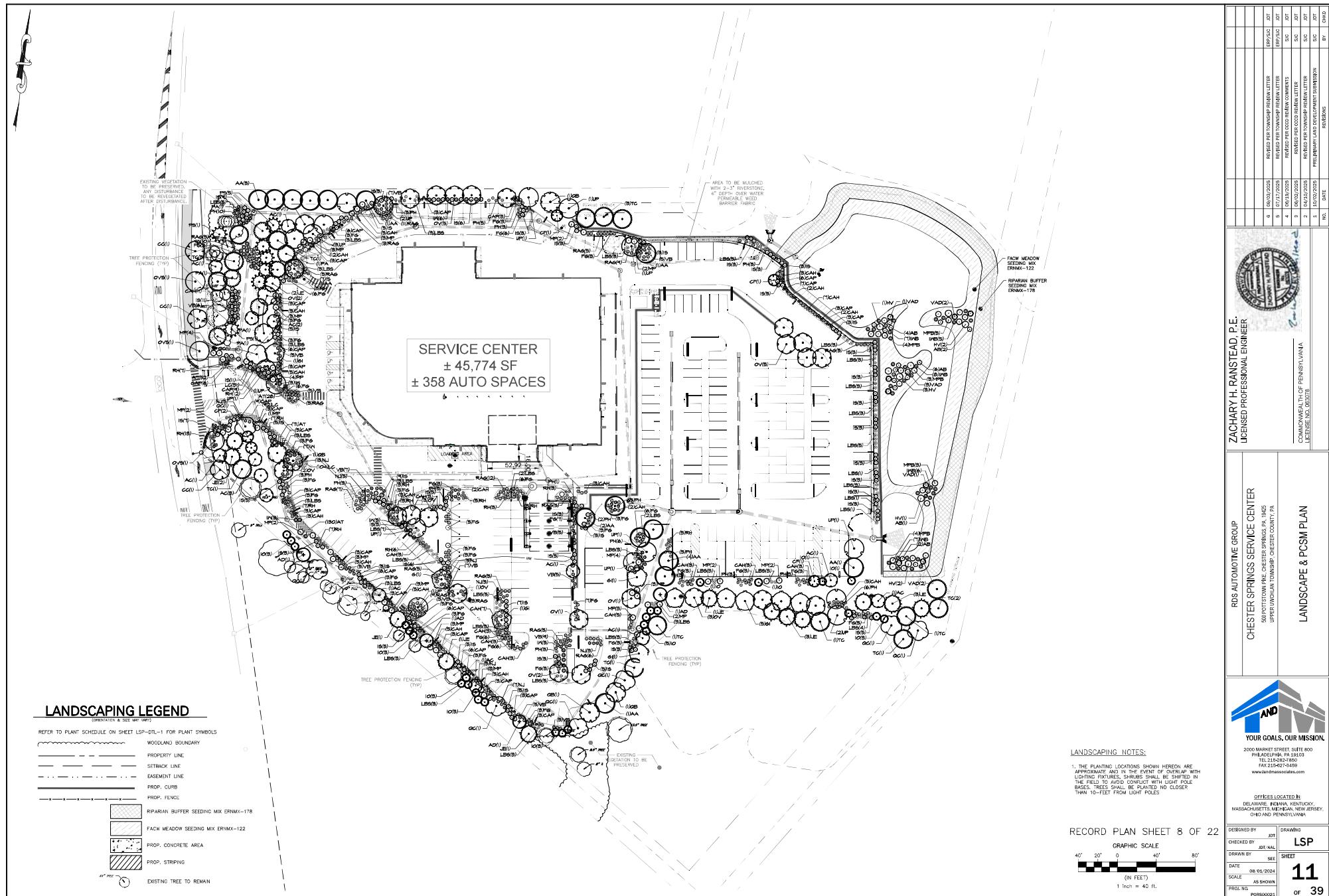
YOUR GOALS. OUR MISSION.

2000 MARKET STREET, SUITE 800
PHILADELPHIA, PA 19103
TEL 215-282-7850
FAX 215-627-3459
www.jandmassociates.com

OFFICES LOCATED IN:
DELAWARE, INDIANA, KENTUCKY,
MASSACHUSETTS, MICHIGAN, NEW JERSEY,
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UPPER UWCHLAN TOWNSHIP
CHESTER COUNTY, PENNSYLVANIA

RESOLUTION # _____

RESOLUTION FOR PLAN REVISION

RESOLUTION OF THE BOARD OF SUPERVISORS OF UPPER UWCHLAN TOWNSHIP,
CHESTER COUNTY, PENNSYLVANIA (hereinafter "the municipality").

WHEREAS, Section 5 of the Act of January 24, 1966, P.L. 1535, No. 537, known as the "Pennsylvania Sewage Facilities Act," as amended, and the Rules and Regulations of the Department of Environmental Protection (Department) adopted thereunder, Chapter 71 of Title 25 of the Pennsylvania Code, requires the municipality to adopt an Official Sewage Facilities Plan providing for sewage services adequate to prevent contamination of waters and/or environmental health hazards with sewage wastes, and to revise said plan whenever it is necessary to meet the sewage disposal needs of the municipality, and

WHEREAS, ARRO Consulting, Inc. has prepared a 3m Sewage Facilities Planning Module for Minor Act 537 Update Revision which provides for sewage facilities in a portion of Upper Uwchlan Township.

The alternative of choice to be implemented is expansion of the Lakeridge Wastewater Treatment Collection and Conveyance System. The key implementation activities/dates includes the construction of a public sanitary sewer main to provide public sewer service to single family residential homes along Moore Road between Walter Court and Ivystone Drive that currently have on-lot disposal systems.

WHEREAS, Upper Uwchlan Township finds that the Facility Plan described above conforms to applicable zoning, subdivision, other municipal ordinances and plans and to a comprehensive program of pollution control and water quality management.

NOW, THEREFORE, BE IT RESOLVED that the Supervisors of the Township of Upper Uwchlan hereby adopt and submit to the Department of Environmental Protection for its approval as a revision to the "Official Plan" of the municipality, the above referenced Facility Plan. The municipality hereby assures the Department of the complete and timely implementation of the said plan as required by law. (Section 5, Pennsylvania Sewage Facilities Act as amended).

I, Gwen A. Jonik, Secretary, Upper Uwchlan Township Board of Supervisors hereby certify that the foregoing is a true copy of Resolution # _____, adopted _____.

UPPER UWCHLAN TOWNSHIP
BOARD OF SUPERVISORS

Jennifer F. Baxter, Chair

Andrew P. Durkin, Vice-Chair

ATTEST:

Gwen A. Jonik, Township Secretary

Sandra M. D'Amico, Member

**Upper Uwchlan Township
Municipal Authority**

**Sewage Facilities Planning Module
(Component 3m)**

Moore Road Sanitary Sewer Extension

April 2025

Project No. 17000.00

Prepared by:

**ARRO Consulting, Inc.
321 North Furnace Street
Suite 200
Birdsboro, PA 19508
(610) 374-5285**

Project Narrative

An Act 537 Planning Module (Component 3m) is prepared for Upper Uwchlan Township (Township) and the Upper Uwchlan Township Municipal Authority (Authority) in accordance with Act 537 entitled the Pennsylvania Sewage Facilities Act, Title 25, Chapter 71 of the Pennsylvania Code and the Pennsylvania Department of Environmental Protection Act 537 Plan Content and Environmental Assessment Checklist. This planning module addresses the planning requirements necessary for the Authority to provide public sanitary sewer service to existing developed properties.

For this planning module, the following pertinent information applies:

1. Project Name: Moore Road Sanitary Sewer Extension
2. Project Description: Provide public sanitary sewer service for six (6) existing residential properties along Moore Road. Flows will be collected and conveyed in a gravity sewer extension within Moore Road and Ivystone Drive connecting to an existing gravity sewer in the Lakeridge WWTP sanitary sewer system. Flow will be conveyed to the existing Moore Road Pump Station that will ultimately be discharged to the existing Lakeridge WWTP, permitted at 40,000 gpd average annual flow, for treatment and disposal.
3. Applicant Name: Upper Uwchlan Township Municipal Authority
4. Applicant Contact: G. Matthew Brown, P.E., DEE, Authority Administrator
5. Applicant Contact Address: 140 Pottstown Pike, Chester Springs, PA 19425
6. Site Location: Upper Uwchlan Township, Moore Road between Ivystone Drive and Walter Court.
7. Municipality/County: Upper Uwchlan Township, Chester County

The primary focus of the planning module is to establish the means and methods for providing public sewer service to six (6) existing Moore Road residential properties. The six (6) residents are extremely eager to be connected and there is a pressing need of connections.

Flow projections identified in the planning module show the proposed ultimate wastewater flow of 1,350 gpd, which encompasses six (6) served properties at 225 gpd/EDU.

Alternate Analysis

In considering alternatives for this project, two (2) primary alternatives have been determined:

1. No action and continue to utilize the existing on-lot disposal systems (OLDS).
2. Provide public sewer service to the six (6) identified properties that are not currently connected to the Lakeridge WWTP sanitary sewer system and convey the sewage, by gravity, to an existing pump station and conveyance system to the WWTP for treatment and disposal.

The Upper Uwchlan Township Comprehensive Plan indicates that the Pennsylvania Department of Environmental Protection (PADEP) has identified a number of failing septic systems throughout Upper Uwchlan, and the Lakeridge Wastewater Treatment Plant will be able to treat the sewage from the six (6) identified homes. Although the township is committed to ensuring the integrity of the remaining operational septic systems, providing a sanitary sewer system extension to serve these properties agrees with the township comprehensive plan. With this being the case, to retain the existing on-lot disposal system per Alternative No. 1 may have a potential environmental impact due to failed systems.

Upon review of Alternative No. 2, providing public sewer service appears to be the better option. This would eliminate the need for continued malfunctioning, and potentially malfunctioning, OLDS. Alternative No. 2 implements gravity flow from served properties to an existing Township collection and conveyance system for ultimate treatment and disposal at the Lakeridge Wastewater Treatment Plant.

Institutional Evaluation

For the proposed sewer extension, the Upper Uwchlan Township Municipal Authority has had prepared by its Engineer detailed design plans and specifications. The Authority has obtained all necessary permits and will be responsible for paying the costs of the gravity sewer and lateral installation within the road and the right-of-way of Moore Road and Ivystone Drive. The individual property owners shall be responsible for contracting with a plumber and installing their own house service line to connect to the sewer main lateral.



U.S. DEPARTMENT OF THE INTERIOR
U.S. GEOLOGICAL SURVEY

The National Map
US Topo

DOWNTOWNS QUADRANGLE
PENNSYLVANIA - CHESTER COUNTY
7.5-MINUTE SERIES



Produced by the United States Geological Survey

Map accession Number 2019-000400

World Geodetic System 1984 (WGS84), Mercator, 1:250,000

1983 Vertical Datum (NGVD 1988)

This map is not a legal document. Boundaries may be

geographically inaccurate. Please consult the most recent

revision for accurate boundaries.

Map date: Aug 2017 | Data as of Dec 2017

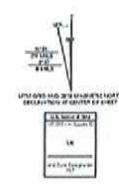
Scale: 1:250,000 | U.S. Grid | Bureau 1983

Horizontal: National Hydrography Dataset, 2012 | 2019

Vertical: National Elevation Dataset, 2012 | 2019

Boundaries: Multiple sources; see metadata file 2017-0018

Vertical: PNT, National Vertical Datum, 1988 | 2012



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North American Vertical Datum of 1988
This map was produced in accordance with the
National Map Accuracy Standard, USGS, 2011
A detailed PDF is available at the product's staff service URL



ROAD CLASSIFICATION
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DOWNTOWNS, PA
2019




 SEWAGE FACILITIES PLANNING MODULE
 FOR
 MINOR ACT 537 UPDATE REVISION
Code No.
Component 3m. Municipal or Authority Sponsored Minor Sewage Collection Project
(Return completed module package to appropriate municipality)

DEP USE ONLY				
DEP CODE #	CLIENT ID #	SITE ID #	APS ID #	AUTH ID #

This document provides a simplified planning format for municipalities and municipal authorities proposing the construction of a sewer extension primarily serving existing development. Typically, this format would be used for projects involving the extension of sewer service to no more than 100 equivalent dwelling units (EDUs) and where the majority of the project serves existing development. For projects where more than 50 percent of the proposed customers will result from new land development, a Component 3 Sewage Facilities Planning Module would typically be used. For larger projects or if the project would involve the construction or modification of a wastewater treatment facility, then a general Act 537 Update Revision, meeting all of the requirements of Title 25 Pennsylvania Code, Chapter 71 § 71.21, is appropriate.

DEP staff will make a final determination as to the appropriate type of planning for a given project based on the review of a plan of study. Eligibility for a grant to offset the cost of planning will be determined by DEP staff based upon review of a *Task/Activity Report* (3850-FM-BCW0005). The project sponsor submits both documents. **DO NOT** use this form without coordinating with your local DEP staff. Refer to the instructions.

This planning document, along with any other documents specified in the cover letter, must be completed and submitted to the municipality with jurisdiction over the project site for review and approval. All required documentation must be attached for the Sewage Facilities Planning Module to be complete. Refer to the instructions for help in completing this component.

A. PROJECT INFORMATION (See Section A of instructions)

 1. Project Name

Moore Road Sanitary Sewer Extension

 2. Brief Project Description

Connect six (6) Lakeridge subdivision homes along Moore Road to the Lakeridge WWTP by gravity sanitary sewer.

B. CLIENT (MUNICIPALITY) INFORMATION (See Section B of instructions)

Municipality Name	County	City	Boro	Twp
Upper Uwchlan Township	Chester	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Municipality Contact - Last Name	First Name	MI	Suffix	Title
Brown	Matthew			Authority Administrator
Additional Individual - Last Name	First Name	MI	Suffix	Title

Municipality Mailing Address Line 1 140 Pottstown Pike	Mailing Address Line 2
Address Last Line - City Chester Springs	State PA ZIP+4 19425
Phone + Ext. 610-646-7015	FAX (optional) Email (optional) authority@upperuwchlan-pa.gov

C. SITE INFORMATION (See Section C of instructions)

Site Name

Lakeridge Sanitary Sewer Extension

Site Location Line 1 Site Location Line 2
Moore Road

Site Location Last Line - City	State	ZIP+4	Latitude	Longitude
Downington	PA	19335	40.061495	-75.702033

Detailed Written Directions to Site

From intersection of State Route 100 (Pottstown Pike) and Park Road, follow Park Road west 3/4 mile to the intersection of Moore Road. Follow Moore Road 1.0 miles to site.

Description of Site

Existing residential area along Moore Road.

Site Contact - Last Name	First Name	MI	Suffix	Phone	Ext.
Brown	Matthew			610-646-7015	

Site Contact Title	Site Contact Firm (if none, leave blank)
--------------------	--

Authority Administrator

FAX	Email
	authority@upperuwchlan-pa.gov

Mailing Address Line 1	Mailing Address Line 2
------------------------	------------------------

140 Pottstown Pike

Mailing Address Last Line – City	State	ZIP+4
Chester Springs	PA	19425

D. PROJECT CONSULTANT INFORMATION (See Section D of instructions)

Last Name	First Name	MI	Suffix
Jackson	Jay	R	

Title	Consulting Firm Name
-------	----------------------

Senior Engineer ARRO Consulting, Inc.

Mailing Address Line 1	Mailing Address Line 2
321 N. Furnace Street	

Address Last Line - City	State	ZIP+4	Country
Birdsboro	PA	19508	USA

Email	Phone	Ext.	FAX
jay.jackson@arroconsulting.com	610.495.2103		

E. AVAILABILITY OF DRINKING WATER SUPPLY (See Section E of instructions)

The project will be provided with drinking water from the following source: (Check appropriate box)

- Individual wells or cisterns.
- A proposed public water supply.
- An existing public water supply.

If existing public water supply is to be used, provide the name of the water company and attach documentation from the water company stating that it will serve the project.

Name of water company: AQUA Pennsylvania

F. PROJECT NARRATIVE (See Section F of instructions)

A narrative has been prepared as described in Section E of the instructions and is attached.

The applicant may choose to include additional information beyond that required by Section E of the instructions.

G. SEWAGE DISPOSAL NEEDS IDENTIFICATION (See Section G of instructions)

Conduct sanitary and water supply surveys per DEP's publication entitled *Sewage Disposal Needs Identification*. This is highly recommended for all projects. It is required if PENNVEST funding is to be sought for the project, or if required by DEP as indicated by the checked box opposite this item.

H. EXISTING WASTEWATER FACILITIES (See Section H of instructions)**1. COLLECTION SYSTEM**

Provide requested information concerning the existing treatment facility.

a. Name of existing collection system Lakeridge Sanitary Sewer System

Clean Streams Law Permit Number 1590416

b. Name of interceptor N/A

Clean Streams Law Permit Number _____

2. WASTEWATER TREATMENT FACILITY

Provide requested information concerning the existing treatment facility.

Name of existing facility Lakeridge WWTP

NPDES Permit Number for existing facility 1590416

I. PROPOSED WASTEWATER FACILITIES (See Section I of instructions)

1. Provide an estimate of the immediate and five year projected flow from the proposed sewer extension. Address the capacity for this flow in the existing conveyance and treatment facilities in terms of the most recent wasteload management annual report for these facilities.

2. PLOT PLAN

The following information is to be submitted on a plot plan or map of the proposed project that clearly reflects the relationship between the proposed facilities and the identified features.

- a. Existing and proposed buildings.
- b. Lot lines and lot sizes.
- c. Adjacent lots.
- d. Existing and proposed sewerage facilities.
- e. Show tap-in or sewer extension to the point of connection to existing collection system.
- f. Existing and proposed water supplies and surface water (wells, springs, ponds, streams, etc.)
- g. Existing and proposed rights-of-way.
- h. Existing and proposed streets, roadways, access roads, etc.
- i. Any designated recreational or open space area
- j. Wetlands - from National Wetland Inventory Mapping and USGS Hydric Soils Mapping.
- k. Flood plains or Floodprone area soils, floodways, watercourses, water bodies (from Federal Flood Insurance Mapping)
- l. Prime Agricultural Land.
- m. Any other facilities (pipelines, power lines, etc.)
- n. Orientation to north.

I. PROPOSED WASTEWATER FACILITIES (continued)

3. WETLAND PROTECTION

YES NO

- a. Are there wetlands in the project area? If yes, indicate these areas on the plot plan as shown in the mapping or through on-site delineation.
- b. Are there any construction activities (encroachments, or obstructions) proposed in, along, or through the wetlands? If yes, Identify any proposed encroachments on wetlands and identify whether a General Permit or a full encroachment permit will be required. If a full permit is required, address time and cost impacts on the project. Note that wetland encroachments should be avoided where feasible. Also note that a feasible alternative **MUST BE SELECTED** to an identified encroachment on an exceptional value wetland as defined in Chapter 105. Identify any project impacts on HQ or EV streams and address impacts of the permitting requirements of said encroachments on the project.

4. PRIMARY AGRICULTURAL LAND PROTECTION

- a. Will your project involve the disturbance of any prime agricultural lands? If "yes" indicate any alternatives to this disturbance that were considered and the reasons they were not deemed feasible. Identify any primary or secondary impacts of the project on the Commonwealth's prime agricultural lands. Evaluate alternatives to avoid or mitigate undesirable impacts. The selected sewage facilities plan must be consistent with local measures in place to protect prime agricultural lands.

5. STORMWATER MANAGEMENT IMPACTS:

- a. Will the project impact an area covered by a DEP approved County Stormwater Management Plan? If yes show that the proposed facilities are consistent with that plan.

6. PENNSYLVANIA NATURAL DIVERSITY INDEX (PNDI) CONSISTENCY:

Check one:

- The "Pennsylvania Natural Diversity Inventory (PNDI) Project Environmental Review Receipt" resulting from my search of the PNDI database and all supporting documentation from jurisdictional agencies (when necessary) is/are attached.
- A *Manual Project Submission Form* was submitted to each jurisdictional agency and their responses are attached.
- A concurrent review has been requested. I realize that all supporting documentation from each jurisdictional agency must be submitted to the DEP before the end of the technical review due date or my planning module may be denied. Applicant or Consultant Initials _____

7. COMPREHENSIVE PLAN CONSISTENCY:

- A narrative and mapping to show that the proposed project is consistent with any comprehensive plan developed under the Pennsylvania Municipalities Planning Code (Act 247) is attached. Document that the proposed project is consistent with land use and all other requirements stated in the comprehensive plan.

8. COOPERATION WITH PA. HISTORICAL AND MUSEUM COMMISSION (PHMC):

- Applicants shall coordinate with the State Historic and Preservation Office (SHPO) and the Pennsylvania Historic and Museum Commission (PHMC) using the PA-SHARE online consultation tool at <https://www.pa.gov/agencies/phmc/pa-share.html>. The planning submittal must include the response received by the applicant from PA-SHARE. Note that the Commission may require archeological surveys if federal funds, including PENNVEST, will be used in the project. If PENNVEST funds are to be used, DEP cannot recommend the project to PENNVEST for consideration until any required surveys have been done and the project has been "cleared" by the Commission.

9. ADDITIONAL REQUIREMENTS FOR PENNVEST PROJECTS:

A copy of the additional information is attached. If PENNVEST funding is to be sought for the project, address these additional items in terms of any project impacts and measures to avoid or mitigate same.

- Cost Effectiveness
- Air quality
- Floodplains
- Wild and scenic rivers
- Coastal zone management
- Socio-economic impacts
- Water supplies
- Other environmentally sensitive areas

J. ALTERNATIVE SEWAGE FACILITIES ANALYSIS (See Section J of instructions)

An alternative sewage facilities analysis has been prepared as described in Section J of the instructions and is attached.

The applicant may choose to include additional information beyond that required by Section J of the instructions.

K. CHAPTER 94 CONSISTENCY DETERMINATION (See Section K of instructions)

Projects that propose the use of existing municipal collection, conveyance or wastewater treatment facilities, or the construction of collection and conveyance facilities to be served by existing municipal wastewater treatment facilities must be consistent with the requirements of Chapter 94 of DEP's rules and regulations (relating to Municipal Wasteload Management). If more than one municipality or authority will be affected by the project, please obtain the information required in this section for each. Additional sheets may be attached for this purpose.

1. Project Flows 1350 gpd
2. Total Sewage Flows to Facilities
 - a. Enter average and peak sewage flows for each proposed or existing facility as designed or permitted.
 - b. Enter the present average and peak sewage flows for the critical sections of existing facilities.
 - c. Enter the average and peak sewage flows projected for 5 years through the critical sections of existing facilities which includes existing, proposed, or future projects.

To complete the table, refer to Section K of instructions.

	a. Design and/or Permitted Capacity (gpd)		b. Present Flows (gpd)		c. Projected Flows in 5 years (gpd)	
	Average	Peak	Average	Peak	Average	Peak
Collection	550000		26790	29880	28570	30800
Conveyance	109440		26790	29880	28570	30800
Treatment	40000		26790	29880	28570	30800

3. Collection and Conveyance Facilities

The questions below are to be answered by the sewer authority, municipality, or agency responsible for completing the Chapter 94 report for the collection and conveyance facilities. These questions should be answered in coordination with the latest Chapter 94 annual report and the above table.

This project proposes sewer extensions or tap-ins. Will these actions create a hydraulic overload within five years on any existing collection or conveyance facilities that are part of the system? Yes No

- a. If yes, this sewage facilities planning module will not be accepted for review by the municipality, delegated local agency and/or DEP until all inconsistencies with Chapter 94 are resolved or unless there is an approved plan and schedule granting an allocation for this project. A letter granting allocations to this project under the plan and schedule must be attached to the module package.

b. If no, the sewer authority, municipality, or agency responsible for completing the Chapter 94 report for the collection and conveyance facilities must sign below to indicate that the collection and conveyance facilities have adequate capacity and are able to provide service to the proposed development in accordance with Chapter 94 requirements and that this proposal will not affect this status.

c. Collection System

Name of Agency, Authority, Municipality Upper Uwchlan Township Municipal Authority

Name of Responsible Agent G. Matthew Brown, P.E., DEE, Authority Administrator

Agent Signature G. Matthew Brown

Date 04/22/25

d. Conveyance System

Name of Agency, Authority, Municipality Upper Uwchlan Township Municipal Authority

Name of Responsible Agent G. Matthew Brown, P.E., DEE, Authority Administrator

Agent Signature G. Matthew Brown

Date 4/22/25

K. CHAPTER 94 CONSISTENCY DETERMINATION (continued)

4. Treatment Facility

The questions below are to be answered by the facility permittee in coordination with the information in the table and the latest Chapter 94 report.

This project proposes the use of an existing wastewater treatment plant for the disposal of sewage. Will this action create a hydraulic or organic overload within 5 years at that facility? Yes No

a. If yes, this planning module for sewage facilities will not be reviewed by the municipality, delegated local agency and/or DEP until this inconsistency with Chapter 94 is resolved or unless there is an approved plan and schedule granting an allocation for this project. A letter granting allocations to this project under the plan and schedule must be attached to the planning module.

b. If no, the treatment facility permittee must sign below to indicate that this facility has adequate treatment capacity and is able to provide wastewater treatment services for the proposed development in accordance with Chapter 94 requirements and that this proposal will not impact this status

c. Name of Agency, Authority, Municipality Upper Uwchlan Township Municipal Authority

Name of Responsible Agent G. Matthew Brown, P.E., DEE, Authority Administrator

Agent Signature G. Matthew Brown

Date 4/22/25

L. INSTITUTIONAL EVALUATION (See Section L of instructions)

An institutional evaluation is attached. Identify the entity which will design, obtain necessary permits, construct, own and operate the proposed facilities. If a low pressure vacuum or effluent sewer are proposed, discuss purchase, installation, operation and maintenance responsibilities for the individual pumping, valves, tanks, etc.

M. PROJECT COST AND FUNDING ANALYSIS (See Section M of instructions)

A detailed cost estimate and present worth analysis for the project is attached. Provide a financing plan for the project, identifying the funding source(s) and identifying estimated tap fees and user rates. For projects proposing the use of PENNVEST funds, see Section I. 9. ADDITIONAL REQUIREMENTS FOR PENNVEST PROJECTS. Complete the following table:

Cost and Funding Information (Estimated)	
COST	
Construction cost	\$ 300425
Administrative, legal, engineering cost	\$ 30000
Total project cost	\$ 330425
Annual O/M cost	\$
FUNDING	
Tap-in fees (\$ per EDU X no. EDUs)	\$
Proceeds from primary funding source	\$
Proceeds from other funding sources	\$
USER COSTS	
Initial user base	EDUs
Monthly debt service per EDU	\$
Monthly O/M cost per EDU	\$
Total estimated monthly user cost per EDU	\$

N. PROJECT IMPLEMENTATION SCHEDULE (See Section N of instructions)

A project implementation schedule showing milestone dates for submission of DEP permit applications, initiation and completion of construction and any other milestones significant to this particular project is attached to this component

O. PUBLIC NOTIFICATION REQUIREMENT (See Section O of instructions)

Attached is a copy of the public notice. All comments received as a result of the notice are attached.

Municipal response to these comments is attached.

No comments were received. A copy of the public notice is attached.

 P. ADDITIONAL CHAPTER 71 PLANNING ELEMENTS (See Section P of instructions)

a. Additional planning elements are required by DEP.

- None
- _____
- _____
- _____
- _____

Q. PLANNING AGENCY REVIEW (See Section Q of instructions)

- Local Planning Commission comments or Component 4a are attached.
- County, Area, Or Region Planning Commission comments or Component 4b are attached.
- County or Joint County Health Department comments (if appropriate) or Component 4c are attached.

R. RESOLUTION OF ADOPTION (See Section R of instructions)

- An original, signed, and sealed Resolution of Adoption is attached.

1. PROJECT INFORMATION

Project Name: **MOORE ROAD SANITARY SEWER EXTENSION**

Date of Review: **5/10/2024 09:09:33 AM**

Project Category: **Waste Transfer, Treatment, and Disposal, Liquid waste/Effluent, Sewer line (new - construction in new location)**

Project Area: **0.87 acres**

County(s): **Chester**

Township/Municipality(s): **UPPER UWCHLAN TOWNSHIP**

ZIP Code:

Quadrangle Name(s): **DOWNTON**

Watersheds HUC 8: **Brandywine-Christina**

Watersheds HUC 12: **Marsh Creek**

Decimal Degrees: **40.061524, -75.702097**

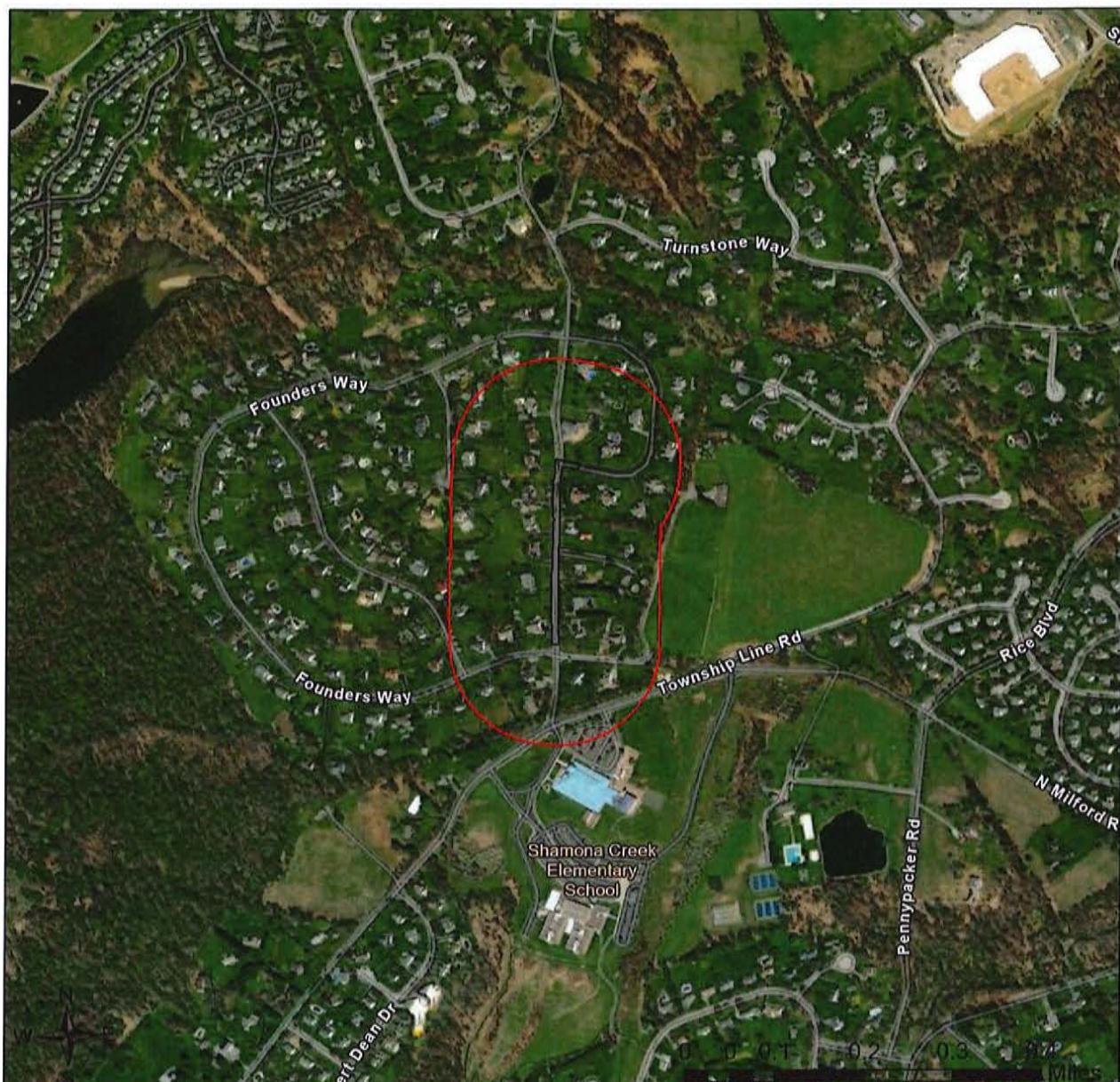
Degrees Minutes Seconds: **40° 3' 41.4847" N, 75° 42' 7.5482" W**

2. SEARCH RESULTS

Agency	Results	Response
PA Game Commission	No Known Impact	No Further Review Required
PA Department of Conservation and Natural Resources	No Known Impact	No Further Review Required
PA Fish and Boat Commission	No Known Impact	No Further Review Required
U.S. Fish and Wildlife Service	No Known Impact	No Further Review Required

As summarized above, Pennsylvania Natural Diversity Inventory (PNDI) records indicate no known impacts to threatened and endangered species and/or special concern species and resources within the project area. Therefore, based on the information you provided, no further coordination is required with the jurisdictional agencies. This response does not reflect potential agency concerns regarding impacts to other ecological resources, such as wetlands.

MOORE ROAD SANITARY SEWER EXTENSION

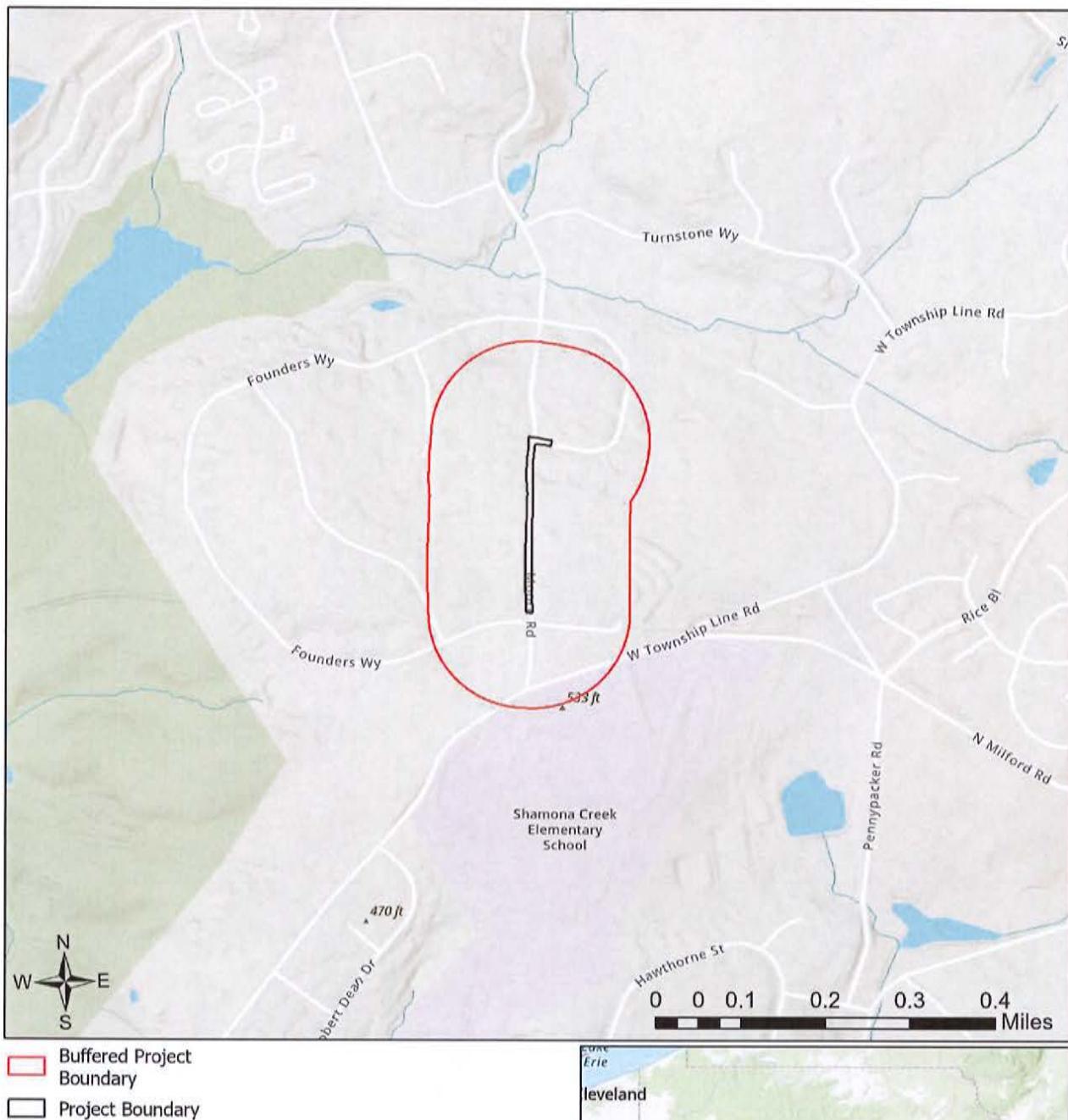


- Buffered Project Boundary
- Project Boundary



Sources: Esri, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatistyrelsen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap and the GIS user community

MOORE ROAD SANITARY SEWER EXTENSION



Sources: Esri, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap and the GIS user community

RESPONSE TO QUESTION(S) ASKED

Q1: Will the entire project occur within an existing building, parking lot, driveway, road, street, or maintained (periodically mowed) lawn?

Your answer is: Yes

Q2: Accurately describe what is known about wetland presence in the project area or on the land parcel. "Project" includes all features of the project (including buildings, roads, utility lines, outfall and intake structures, wells, stormwater retention/detention basins, parking lots, driveways, lawns, etc.), as well as all associated impacts (e.g., temporary staging areas, work areas, temporary road crossings, areas subject to grading or clearing, etc.). Include all areas that will be permanently or temporarily affected -- either directly or indirectly -- by any type of disturbance (e.g., land clearing, grading, tree removal, flooding, etc.). Land parcel = the lot(s) on which some type of project(s) or activity(s) are proposed to occur.

Your answer is: The entire project will occur in or on an existing building, parking lot, driveway, road, road shoulder, street, runway, paved area, or railroad bed.

Q3: Accurately describe what is known about wetland presence in the project area or on the land parcel by selecting ONE of the following. "Project" includes all features of the project (including buildings, roads, utility lines, outfall and intake structures, wells, stormwater retention/detention basins, parking lots, driveways, lawns, etc.), as well as all associated impacts (e.g., temporary staging areas, work areas, temporary road crossings, areas subject to grading or clearing, etc.). Include all areas that will be permanently or temporarily affected -- either directly or indirectly -- by any type of disturbance (e.g., land clearing, grading, tree removal, flooding, etc.). Land parcel = the lot(s) on which some type of project(s) or activity(s) are proposed to occur.

Your answer is: Someone qualified to identify and delineate wetlands (holding a natural resource degree or equivalent work experience) has investigated the site, and determined that NO wetlands are located in or within 300 feet of the project area. (A written report from the wetland specialist, and detailed project maps should document this.)

Q4: Aquatic habitat (stream, river, lake, pond, etc.) is located on or adjacent to the subject property and project activities (including discharge) may occur within 300 feet of these habitats?

Your answer is: No

3. AGENCY COMMENTS

Regardless of whether a DEP permit is necessary for this proposed project, any potential impacts to threatened and endangered species and/or special concern species and resources must be resolved with the appropriate jurisdictional agency. In some cases, a permit or authorization from the jurisdictional agency may be needed if adverse impacts to these species and habitats cannot be avoided.

These agency determinations and responses are **valid for two years** (from the date of the review), and are based on the project information that was provided, including the exact project location; the project type, description, and features; and any responses to questions that were generated during this search. If any of the following change: 1) project location, 2) project size or configuration, 3) project type, or 4) responses to the questions that were asked during the online review, the results of this review are not valid, and the review must be searched again via the PNDI Environmental Review Tool and resubmitted to the jurisdictional agencies. The PNDI tool is a primary screening tool, and a desktop review may reveal more or fewer impacts than what is listed on this PNDI receipt. The jurisdictional agencies **strongly advise against** conducting surveys for the species listed on the receipt prior to consultation with the agencies.

PA Game Commission

RESPONSE:

No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

PA Department of Conservation and Natural Resources

RESPONSE:

No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

PA Fish and Boat Commission

RESPONSE:

No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

U.S. Fish and Wildlife Service

RESPONSE:

No impacts to **federally** listed or proposed species are anticipated. Therefore, no further consultation/coordination under the Endangered Species Act (87 Stat. 884, as amended; 16 U.S.C. 1531 et seq. is required. Because no take of federally listed species is anticipated, none is authorized. This response does not reflect potential Fish and Wildlife Service concerns under the Fish and Wildlife Coordination Act or other authorities.

4. DEP INFORMATION

The Pa Department of Environmental Protection (DEP) requires that a signed copy of this receipt, along with any required documentation from jurisdictional agencies concerning resolution of potential impacts, be submitted with applications for permits requiring PNDI review. Two review options are available to permit applicants for handling PNDI coordination in conjunction with DEP's permit review process involving either T&E Species or species of special concern. Under sequential review, the permit applicant performs a PNDI screening and completes all coordination with the appropriate jurisdictional agencies prior to submitting the permit application. The applicant will include with its application, both a PNDI receipt and/or a clearance letter from the jurisdictional agency if the PNDI Receipt shows a Potential Impact to a species or the applicant chooses to obtain letters directly from the jurisdictional agencies. Under concurrent review, DEP, where feasible, will allow technical review of the permit to occur concurrently with the T&E species consultation with the jurisdictional agency. The applicant must still supply a copy of the PNDI Receipt with its permit application. The PNDI Receipt should also be submitted to the appropriate agency according to directions on the PNDI Receipt. The applicant and the jurisdictional agency will work together to resolve the potential impact(s). See the DEP PNDI policy at <https://conservationexplorer.dcnr.pa.gov/content/resources>.



5. ADDITIONAL INFORMATION

The PNDI environmental review website is a preliminary screening tool. There are often delays in updating species status classifications. Because the proposed status represents the best available information regarding the conservation status of the species, state jurisdictional agency staff give the proposed statuses at least the same consideration as the current legal status. If surveys or further information reveal that a threatened and endangered and/or special concern species and resources exist in your project area, contact the appropriate jurisdictional agency/agencies immediately to identify and resolve any impacts.

For a list of species known to occur in the county where your project is located, please see the species lists by county found on the PA Natural Heritage Program (PNHP) home page (www.naturalheritage.state.pa.us). Also note that the PNDI Environmental Review Tool only contains information about species occurrences that have actually been reported to the PNHP.

6. AGENCY CONTACT INFORMATION

PA Department of Conservation and Natural Resources

Bureau of Forestry, Ecological Services Section
400 Market Street, PO Box 8552
Harrisburg, PA 17105-8552
Email: RA-HeritageReview@pa.gov

PA Fish and Boat Commission

Division of Environmental Services
595 E. Rolling Ridge Dr., Bellefonte, PA 16823
Email: RA-FBPACENOTIFY@pa.gov

U.S. Fish and Wildlife Service

Pennsylvania Field Office
Endangered Species Section
110 Radnor Rd; Suite 101
State College, PA 16801
Email: IR1_ESPenn@fws.gov
NO Faxes Please

PA Game Commission

Bureau of Wildlife Management
Division of Environmental Review
2001 Elmerton Avenue, Harrisburg, PA 17110-9797
Email: RA-PGC_PNDI@pa.gov
NO Faxes Please

7. PROJECT CONTACT INFORMATION

Name: Mikah Schlesinger

Company/Business Name: ARRO Consulting, Inc.

Address: 1450 E. Boot Road

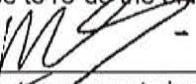
City, State, Zip: West Chester, PA 19380

Phone: (484) 999 6189 Fax: ()

Email: mikah.schlesinger@arroconsulting.com

8. CERTIFICATION

I certify that ALL of the project information contained in this receipt (including project location, project size/configuration, project type, answers to questions) is true, accurate and complete. In addition, if the project type, location, size or configuration changes, or if the answers to any questions that were asked during this online review change, I agree to re-do the online environmental review.


applicant/project proponent signature

5/10/2024

date

UPPER UWCHLAN TOWNSHIP MUNICIPAL AUTHORITY
CHESTER COUNTY, PENNSYLVANIA

MILFORD FARMS AND MOORE ROAD SANITARY SEWER EXTENSION

UNDERGROUND UTILITY LINE PROTECTION ACT

ABDO CONSULTING, INC. HONESTLY STATES THAT, PURSUANT TO THE PROVISIONS OF THE ACT OF SECT. 187A AS AMENDED BY ACT 121 OF 2005 OF THE PENNSYLVANIA LEGISLATURE, THE COMPANY HAS NOT MADE ANY UNDULately PROVISIONS OF THE ACT IN PREPARING THESE DEMANDS REGARDING THE PROPERTY OWNED BY THE COMPANY. THESE DEMANDS ARE BASED UPON THE POLITICAL SURVEY WHICH WAS DRAWN UP BY THE POLITICAL SURVEYOR(S) SHOWN ON THE DRAWING.

ABDO CONSULTING, INC. DOES NOT MAKE ANY REPRESENTATION, WARRANTY OR GUARANTEE AS TO THE ACCURACY OF THE INFORMATION CONTAINED PURSUANT TO THE ACT FROM THE FACILITY OWNER, AS THE FACILITY OWNER IS THE ONLY PERSON WHO CAN DETERMINE IF THE INFORMATION IS CORRECT OR ACCURATE.

DATE: 12/14/13 BY: ABDO CONSULTING INC.

THE REFERENCES ACT REQUIREMENTS FOR THE PREPARATION OF SURVEYS, CONSTRUCTIONS, OR OTHER PARTS INVOLVED IN SURVEYS, THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH.



UTILITY LIST

ADAM POMERANTZ INC
702 W. LAMBERT RD.
SUITE 1000
DETROIT, MI 48203
CONFIDENTIAL - UNITS WANTED, DIRECT CONTACT TO
EDDIE - FOLLOW BY FACULTY OWNER

CONTRACT DRUG COMMUNICATIONS INC
CLOUD - NO FACILITIES

CROWN CHEMICAL
CLOUD - NO FACILITIES

KEEN TRENCHING
CLOUD - NO FACILITIES

PEED ENERGY
C/O ERIC AND S. PETERSON, 100 ELM ST.
SUITE 100
DETROIT, MI 48203
CONFIDENTIAL - UNITS WANTED, DIRECT CONTACT TO
EDDIE - FOLLOW BY FACULTY OWNER

UPPER BROOKLYN TWP/
UPPER BROOKLYN MUN. ATPL
CLOUD - NO FACILITIES, DIRECT MARKED FOR MOORE

WYOMING POMERANTZ INC
1800 SHREVE BLVD. STE. 2100 ROOM R/W
DETROIT, MI 48203
CONFIDENTIAL - UNITS WANTED, DIRECT CONTACT TO
EDDIE - FOLLOW BY FACULTY OWNER, ORGANIZING COMPLETED
FOR WALTER TIGER

WYOMING GAS TRANSMISSION CORPORATION
CLOUD - NO FACILITIES

YACHT PARTNERS
CLOUD - NO FACILITIES

ZEPHYRUS PARTNERS
CLOUD - NO FACILITIES, DIRECT MARKED FOR MOORE

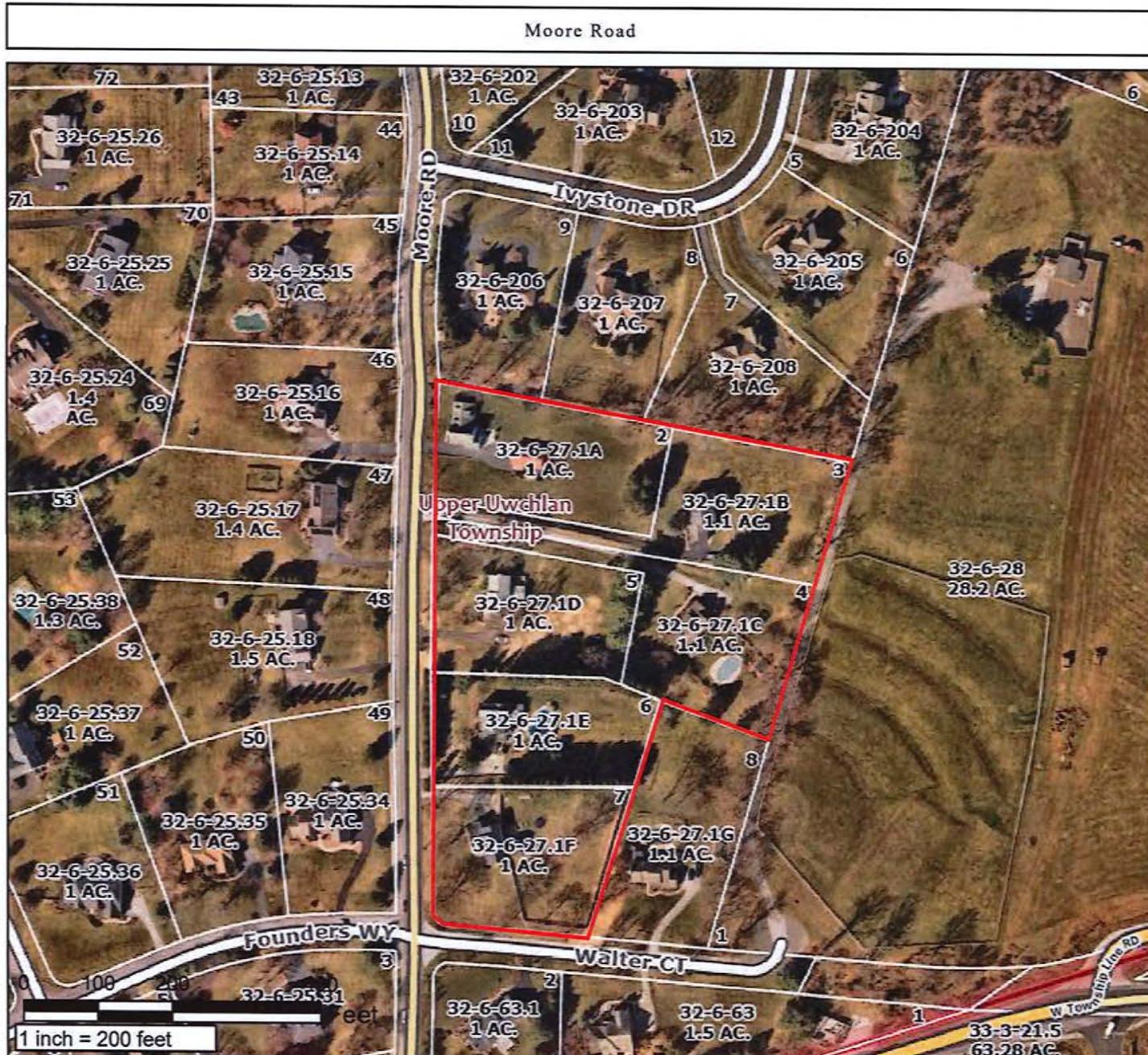
GENERAL NOTES

1. THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES ARE SHOWN IN AN APPROPRIATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES AND STRUCTURES BEFORE COMMENCING WORK.
2. THE CONTRACTOR MUST CONTACT THE PENNSYLVANIA ONE-CALL SYSTEM AT 1-800-242-1778 AT LEAST THREE WORKING DAYS PRIOR TO THE START OF EXCAVATION OR DEMOLITION WORK TO HAVE ALL UNDERGROUND UTILITIES MARKED IN THE AREA.
3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE ANY DEBRIS AND FLUSH OUT ALL EXISTING AND NEW STORM DRAINAGE FACILITIES WITH THE PROJECT UNITS AT THE COMPLETION OF THE EXCAVATION.
4. THE CONTRACTOR SHALL MAKE PROVISIONS TO PROTECT ALL TREES, SHRUBS, HALIDES, AND OTHER PLANTS. ALSO, PLANTS SHALL BE RESTRICTED TO PRE-CONSTRUCTION CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RESTORATION, INCLUDING PAVEMENT, LAWN, DRIVEWAY, SIDEWALK, ETC.
5. PROPERTY LINES SHOWN IN APPROPRIATE LOCATION.
6. PROPERTY LATRINES SHALL BE INSTALLED TO EACH EXISTING DWELLING UNIT. ALL LATERAL CONNECTIONS SHALL BE FILED LOCATED IN COORDINATION WITH PROPERTY OWNERS.
7. IF AT ANY POINT IN A RUN OF PIPE THE DEPTH EXCEEDS 12'-FT, THE ENTIRE RUN OF PIPE SHALL BE SCAFFOLDED, INCLUDING WIC'S, TEES AND LATRINES. ALL PIPE LESS THAN 12'-FT DEPTH SHALL BE SUPPORTED.



DRAWING INDEX

SHEET NO.		TITLE
<u>GENERAL</u>		
1	07 22	C-1 - TITLE SHEET
2	07 22	C-2 - VIEW KEY MAP
<u>EROSION AND SEDIMENT CONTROL PLAN</u>		
3	07 22	ES-1 - EROSION & SEDIMENTATION CONTROL - NOTES
4	07 22	ES-2 - EROSION & SEDIMENTATION CONTROL - DETAILS
<u>CML</u>		
5	07 22	C-1 - PLAN AND PROFILE - FRONT ROAD STATION -1+00 TO 2+75
6	07 22	C-2 - PLAN AND PROFILE - FRONT ROAD STATION 2+75 TO 8+00
7	07 22	C-3 - PLAN AND PROFILE - FRONT ROAD STATION 8+00 TO 13+50
8	07 22	C-4 - PLAN AND PROFILE - FRONT ROAD STATION 13+50 TO 19+00
9	07 22	C-5 - PLAN AND PROFILE - CARRIAGE DRIVE STATION 19+00 TO 24+50
10	07 22	C-6 - PLAN AND PROFILE - CARRIAGE DRIVE STATION 24+50 TO 31+00
11	07 22	C-7 - PLAN AND PROFILE - CARRIAGE DRIVE STATION 31+00 TO 11+00
12	07 22	C-8 - PLAN AND PROFILE - SURREY LANE STATION -50+00 TO 4+00
13	07 22	C-9 - PLAN AND PROFILE - SURREY LANE STATION 4+00 TO 8+50
14	07 22	C-10 - PLAN AND PROFILE - SURREY LANE STATION 8+50 TO 11+25
15	07 22	C-11 - SITE DETAILS - GRAVITY SEWER
16	07 22	C-12 - SITE DETAILS - RESTORATION AND MISCELLANEOUS
17	07 22	C-13 - PADDED TRAFFIC CONTROL PLAN
18	07 22	C-14 - COLUMBIA GAS TRANSMISSION LLC - RIGHT-OF-WAY USE RESTRICTIONS - SPECIFICATIONS
<u>MACHINICAL</u>		
19	07 22	M-1 - PUMP STATION - SITE PLAN
20	07 22	M-2 - PUMP STATION MECHANICAL - PLAN, SECTIONS AND DETAILS
<u>ELECTRICAL</u>		
21	07 22	E-1 - PUMP STATION ELECTRICAL - PLAN, SINGLE LINE DIAGRAM AND DETAILS
<u>MOORE ROAD</u>		
22	07 22	C-15 - PLAN AND PROFILE - MOORE ROAD STA 0+00 TO 10+65.57



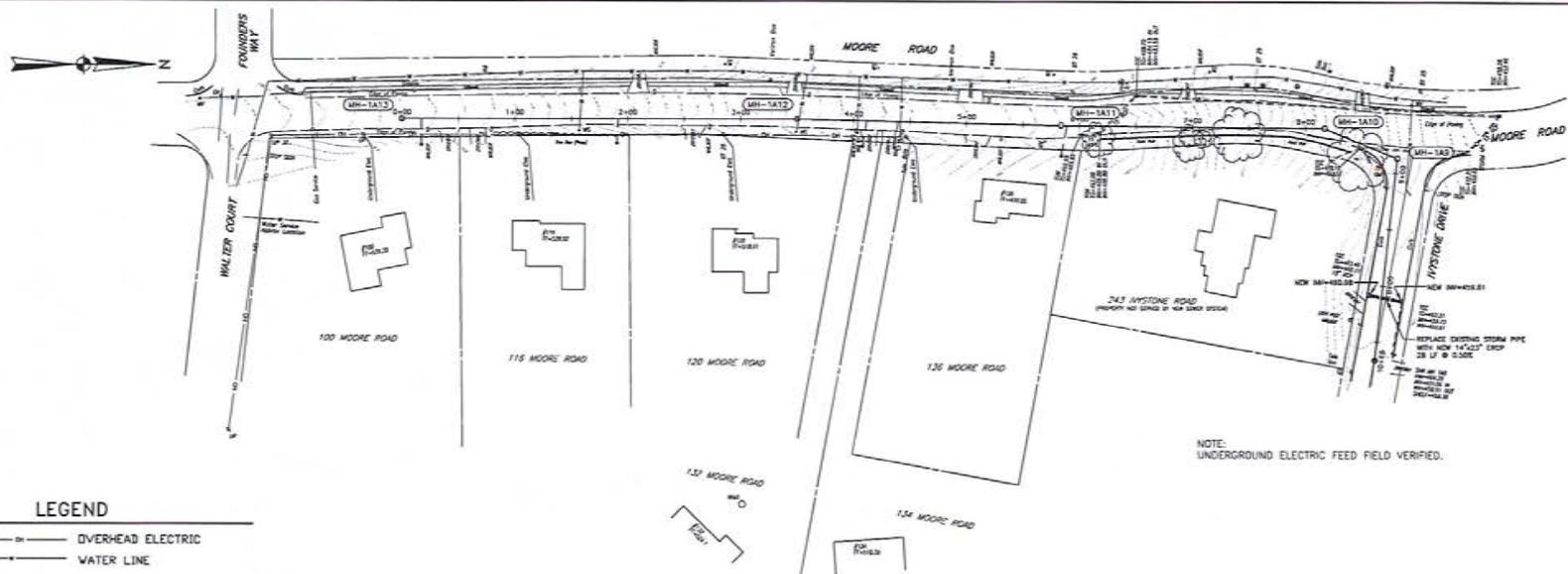
COUNTY OF CHESTER
PENNSYLVANIA



Map Created:
Monday, April 21, 2025

County of Chester

Limitations of Liability and Use:
County of Chester, Pennsylvania makes no claims to the completeness, accuracy, or content of any data contained herein, and makes no representation of any kind, including, but not limited to, the warranties of merchantability or fitness for a particular use, nor are any such warranties to be implied or inferred with respect to the information or data furnished herein. For information on data sources visit the GIS Services page listed at www.chesco.org/gis.



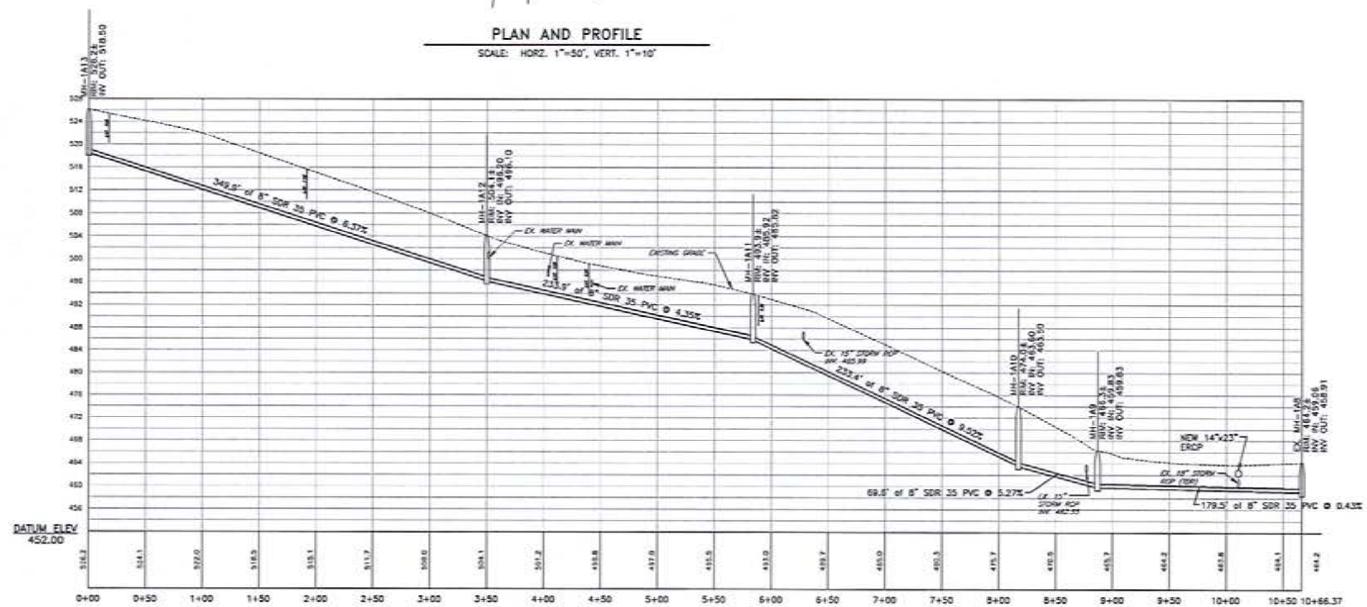
NOTE:
UNDERGROUND ELECTRIC FEED FIELD VERIFIED.

LEGEND

—————— DH —————— DH —————— OVERHEAD ELECTRIC
 —————— * —————— WATER LINE
 —————— L —————— UNDERGROUND ELECTRIC
 —————— — — — — ADJOINER PROPERTY
 —————— — — — — EASEMENT LINE
 —————— - - - - STORM SEWER LINE
 —————— — — — — PROPOSED SEWER LINE
 —————— - - - - PROPOSED SEWER LATERAL
 ○ SANITARY MANHOLE
 ● SANITARY CLEANOUT
 ↗ UTILITY POLE
 ○ STORM MANHOLE
 □ STORM INLET

PLAN AND PROFILE

SCALE: HORZ. 1"=50', VERT. 1"=10'



ISSUED FOR CONSTRUCTION						DAVID W. SCHLOTT, JR., PE RELEASED BY DESIGNER LIL DATE APRIL 2024			SEAL	CLIENT & PROJECT UPPER LUNCHLON TOWNSHIP MUNICIPAL AUTHORITY 140 POTTSSTOWN PIKE CHESTER SPRINGS, PENNSYLVANIA 19425		MOORE ROAD/IVYSTONE DRIVE PLAN AND PROFILE	
04/24/2024			Z			ADDRESS NO. 1 ISSUED FOR BD APPROV. LIL KC DATE APRIL 2024			SEAL	MILFORD FARMS SANITARY SEWER EXTENSION UPPER LUNCHLON TOWNSHIP, CHESTER COUNTY, PA	SCALE AS NOTED	SDG. NO. C-15	
NO	REVISION	DATE	BY	APP.	40	REVISION REVISION			DATE BY APP.	SURVEY SHEET 3/7/22 FIELD BOOK HOPKINS & SONS, INC 04/07/24	REGISTRED NO. 170000.00	SHEET NO. 22 OF 22	REV. 1



THE COUNTY OF CHESTER



COMMISSIONERS

Josh Maxwell
Marian D. Moskowitz
Eric M. Roe

JEANNE E. FRANKLIN, MPH, PMP
County Health Director

CHESTER COUNTY HEALTH DEPARTMENT

Chester County Government Services Center
601 Westtown Road, Suite 295
West Chester, PA 19380-0990
610-344-6225 FAX: 610-344-6727
www.chesco.org/health

Project Name: Moore Road Sanitary Sewer Extension

Code No.:

Municipality: Upper Uwchlan Township

Number of Lots/Type of Development: Six/Residential

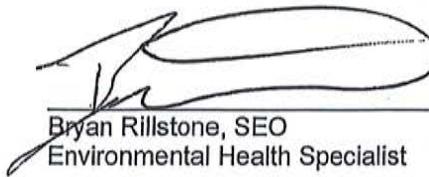
Applicant: Upper Uwchlan Township Municipal Authority

Owner: Upper Uwchlan Township Municipal Authority

The plan was prepared by ARRO Consulting, Inc., dated April 2025, and proposes connecting six (6) existing residential lots to the municipal wastewater authority public sewer system.

CHESTER COUNTY HEALTH DEPARTMENT

- Is the proposed revision consistent with the municipality's Official Sewage Facilities Plan?
- Are there any wastewater disposal needs in the area adjacent to the new land development that should be considered by the municipality?
- Is there any known groundwater degradation in the area of the proposed subdivision?
- The Chester County Health Department's recommendation concerning this revision is as follows: Chester County Health Department (CCHD) recommends accepting this revision to Upper Uwchlan Township's Act 537 Plan. If this plan changes at any point after the date of this approval, CCHD must be notified and a copy of the revised plan submitted for review



Bryan Rillstone, SEO
Environmental Health Specialist

03609
Certification
Number

September 2, 2025
Date

cc: Chester County Planning Commission
Upper Uwchlan Planning Commission
ARRO Consulting, Inc.
Pennsylvania Department of Environmental Protection
File

SEWAGE FACILITIES PLANNING MODULE

COMPONENT 4C - COUNTY OR JOINT HEALTH DEPARTMENT REVIEW

Note to Project Sponsor: To expedite the review of your proposal, one copy of your completed planning module package and one copy of this *Planning Agency Review Component* should be sent to the county or joint county health department for their comments.

SECTION A. PROJECT NAME (See Section A of instructions)

Project Name

Moore Road Sanitary Sewer Extension

SECTION B. REVIEW SCHEDULE (See Section B of instructions)

1. Date plan received by county or joint county health department July 22, 2025

Agency name Chester County Health Department

2. Date review completed by agency August 25, 2025

SECTION C. AGENCY REVIEW (See Section C of instructions)

Yes No

1. Is the proposed plan consistent with the municipality's Official Sewage Facilities Plan?
 If no, what are the inconsistencies? _____

2. Are there any wastewater disposal needs in the area adjacent to this proposal that should be considered by the municipality?
 If yes, describe _____

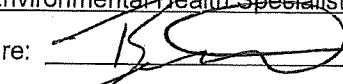
3. Is there any known groundwater degradation in the area of this proposal?
 If yes, describe _____

4. The county or joint county health department recommendation concerning this proposed plan is as follows: Chester County Health Department (CCHD) recommends accepting this revision to Upper Uwchlan Township's Act 537 Plan. If this plan changes at any point after the date of this approval, CCHD must be notified and a copy of the revised plan submitted for review

5. Name, title and signature of person completing this section:

Name: Bryan Rillstone

Title: Environmental Health Specialist

Signature: 

Date: August 25, 2025

Name of County Health Department: Chester County Health Department

Address: 601 Westtown Road, Suite 288, West Chester, PA 19380

Telephone Number: 484-746-9467

SECTION D. ADDITIONAL COMMENTS (See Section D of instructions)

This component does not limit county planning agencies from making additional comments concerning the relevancy of the proposed plan to other plans or ordinances. If additional comments are needed, attach additional sheets.



UPPER UWCHLAN TOWNSHIP
CHESTER COUNTY, PENNSYLVANIA
ORDINANCE _____

AN ORDINANCE OF THE TOWNSHIP OF UPPER UWCHLAN, CHESTER COUNTY, PENNSYLVANIA, AMENDING CHAPTER 200 OF THE UPPER UWCHLAN TOWNSHIP CODE TITLED "ZONING" TO AMEND CERTAIN SIGN REGULATIONS; SPECIFICALLY SECTIONS 200-94.B, 200-94.I, 200-94.O, 200-95.F, 200-95.K, 200-96, 200-98(C)(3), 200-98(C)(4), 200-98(D)(3); TO DELETE SECTIONS 200-94.E, 200-94.F, 200-94.G, 200-94.W AND 200-94.X; TO AMEND SECTION 200-62.B TO PROHIBIT COMMERCIAL VEHICLES OVER 26,001 POUNDS REGISTERED GROSS VEHICLE WEIGHT TO BE PARKED ON A LOT IN A RESIDENTIAL DISTRICT AND TO AMEND SECTION 200-73.2B TO ADD THREE REGULATIONS FOR A SHORT TERM RENTAL.

NOW THEREFORE, BE IT ENACTED AND ORDAINED by the Board of Supervisors of Upper Uwchlan Township that Chapter 200 of the Upper Uwchlan Township Code, titled "Zoning", shall be amended as follows:

SECTION 1. Section 200-94, titled, "Regulations applicable to all signs", subparagraph B shall be amended as follows:

"B. No sign shall be erected or maintained within the lines of, or project over, any public street or public sidewalk, or shall be closer to a street or sidewalk surface than 5 feet, unless said sign is a street sign or attached to a building.

SECTION 2. Section 200-94, titled, "Regulations applicable to all signs", subparagraph E shall be deleted and the section number reserved.

SECTION 3. Section 200-94, titled, "Regulations applicable to all signs", subparagraph F shall be deleted.

SECTION 4. Section 200-94, titled, "Regulations applicable to all signs", subparagraph G shall be deleted.

SECTION 5. Section 200-94, titled, "Regulations applicable to all signs", subparagraph I shall be revised as follows:

"I. Signs on vehicles denoting a business-related activity are business signs. Vehicles containing a business sign and parked in a residential district shall be permitted provided the vehicle is parked on the driveway or within a garage. This prohibition shall not apply where the vehicle owner is actually engaged in authorized repairs or construction at the location where the vehicle is parked."

SECTION 6. Section 200-94, titled, “Regulations applicable to all signs”, subparagraph O shall be revised as follows:

“O. Any sign which no longer advertises an existing use conducted on the premises shall be removed by the owner of the property within 30 days. The Zoning Officer, upon determining that a use has ceased while a sign remains, shall notify the owner of the premises, in writing, to remove said sign within 30 days from the date of such notice. Upon failure to comply with such notice within the prescribed period, the Zoning Officer may remove or cause the removal of such sign and collect the cost of such removal, together with any penalties, from the owner in a manner provided by law.”

SECTION 7. Section 200-94, titled, “Regulations applicable to all signs”, subparagraph W shall be deleted.

SECTION 8. Section 200-94, titled, “Regulations applicable to all signs”, subparagraph X shall be deleted.

SECTION 9. Section 200-95, titled, “Exempt signs”, subparagraph F shall be revised as follows:

“F. Permanent window signs shall not be included in the computation of total permitted sign area and shall not require a sign permit. The total area of all window signs, including both temporary and permanent window signs, shall be limited to 25% of the glass area and shall not obscure views from the outside to the interior of the commercial use.”

SECTION 10. Section 200-95, titled, “Exempt signs”, subparagraph K shall be revised as follows:

“K. The following temporary signs:

(1) One temporary sign per 1/4 acre of net lot area of property may be located on the owner's property for a period of 30 days prior to an election involving a voter referendum or candidates for a federal, state or local office that represents the district in which the property is located. Such signs shall not exceed 15 square feet and shall be removed within 14 days of the election.

(2) One temporary sign may be located on a property that is being offered for sale for a period of 7 days following the date on which the settlement occurs. Such signs shall not exceed 15 square feet.

(3) A temporary sign of contractors or artisans, erected and maintained on the premises during the period of their work or as established by any applicable building permit. Such signs shall not exceed 15 square feet.

(4) Temporary signs announcing special events, promotions and the temporary lawful sale of products, goods and/or services such as the sale of Christmas trees. Such signs shall not exceed 24 square feet and shall be removed within 14 days of the special event, promotion or temporary sale.

(5) Temporary signs advertising a community special event. Where such signs are in the form of banners proposed for suspension across public roads, the following standards shall apply in addition to the above standards:

- [a] The sign shall not exceed 3 feet high by 30 feet wide and the bottom edge of the sign shall be at least 15 feet above the road surface.
- [b] The Township shall be notified prior to the erection of such signs.
- [c] When the proposed banner spans a state road, the applicant shall also comply with the Pennsylvania Department of Transportation's (PennDOT) procedural requirements for the placement of signs or banners across state highways. Evidence of such compliance shall be supplied to the Township prior to the erection of the sign."
- [d] The sign shall be removed within 14 days of the special event."

SECTION 12. Section 200-96, titled, "Temporary sign regulations", shall be retitled "Portable signs" and shall be revised as follows:

"§ 200-96. Portable signs. A limit of one portable sign per commercial use shall be permitted and may be placed within the sidewalk, so long as each portable sign shall not exceed 9 square feet, and a minimum clear walking width of 5 feet shall be maintained on the sidewalk. Portable signs shall be constructed of weather-resistant materials, such as wood, plastic or metal. No portable sign shall create hazardous conditions to motorists, bicyclists, or pedestrians. No portable sign may contain lights of any kind. Portable signs must be sufficiently weighted or constructed to keep the sign in the approved location. All portable signs shall be taken indoors at the close of each business day. The area of portable signs shall not be included in the computation of total permitted sign area."

SECTION 13. Section 200-98, titled, "Signs in commercial, limited industrial and planned industrial/office districts", subparagraph C(1) shall be revised as follows:

"C(1). Not more than one freestanding sign (pole or monument) shall be permitted for an establishment occupying an individual structure on a single lot. In the case of uses in combination, shopping centers, industrial or office parks, only one freestanding sign shall be permitted to identify the combined uses. For tracts with street frontage in excess of 1,000 feet of frontage, one additional freestanding sign shall be permitted provided that such sign shall be located no closer than 400 feet from the other sign."

SECTION 14. Section 200-98, titled, "Signs in commercial, limited industrial and planned industrial/office districts", subparagraph C(3) shall be revised by deleting subparagraph (c).

SECTION 15. Section 200-98, titled, "Signs in commercial, limited industrial and planned industrial/office districts", subparagraph C(4) shall be revised as follows:

"C(4). No freestanding sign shall exceed 12 feet in height when measured from the ground level to the top of the sign."

SECTION 16. Section 200-98, titled, "Signs in commercial, limited industrial and planned industrial/office districts", subparagraph D(3) shall be revised to delete subparagraph (b) so that the section now reads:

"D(3). The maximum display area of a sign mounted on any wall of a building or structure shall not exceed one square foot for each linear foot of building frontage on which the sign is mounted, provided that the total display area of such sign shall not exceed 10% of the total area of the wall on which the sign is mounted."

SECTION 17. Section 200-98, titled, "Signs in commercial, limited industrial and planned industrial/office districts", subparagraph D(5) shall be deleted.

SECTION 18. Section 200-62.B(2) shall be revised as follows:

"B. No commercial vehicle, or part thereof or combination thereof, having a registered gross weight, either solely or in combination exceeding 26,001 pounds, or which is in excess of 18 feet in length, shall be parked, stored or maintained on any lot in any residential district established in § 200-8 of this chapter, except a construction vehicle or vehicles owned by a contractor or other tradesman temporarily engaged in the performance of actual work or delivery of materials to any such lot. The proper maintenance and storage of farm equipment, horse vans, boats, recreation vehicles or a motor home, a recreational trailer or a farm truck, as the latter terms are defined in the Pennsylvania Vehicle Code, on a lot owned or occupied by the owner of such equipment or vehicle, shall not be deemed to be prohibited by this section. For the purposes of this section, the term "registered gross weight" shall have the meaning ascribed to it in the definitions section of the Pennsylvania Vehicle Code."

SECTION 19. Section 200-72.3., titled, "Standards and criteria for short term rentals" shall be amended by adding new subparagraphs B(10), (11), (12) and (13) as follows:

- "(10) The conditional use approval for a short term rental shall be specific to the applicant and any zoning approval may not be assigned to a new owner.
- (11) If the owner of the short term rental permits their guests to bring animals, the maximum number of dogs that shall be permitted is two and the owner must provide a fenced in area in the rear or side yard for the animals.
- (12) The owner of the short term rental shall include in their rules and regulations that quiet hours are between 10:00 p.m. and 7:00 a.m.
- (13) The owner of the short term rental shall require the individuals who rent the short term rental to be a minimum of 25 years old."

SECTION 20. Severability. If any sentence, clause, section, or part of this Ordinance is for any reason found to be unconstitutional, illegal, or invalid, such unconstitutionality, illegality or invalidity shall not affect or impair any of the remaining provisions, sentences, clauses, sections, or parts hereof. It is hereby declared as the intent of the Board of Supervisors that

this Ordinance would have been adopted had such unconstitutional, illegal, or invalid sentence, clause, section, or part thereof not been included herein.

SECTION 21. Repealer. All ordinances or parts of ordinances conflicting with any provision of this Ordinance are hereby repealed insofar as the same affects this Ordinance.

SECTION 22. Effective Date. This Ordinance shall become effective five (5) days following the enactment as by law provided.

ENACTED AND ORDAINED this _____ day of _____, 2025.

ATTEST:

**UPPER UWCHLAN TOWNSHIP
BOARD OF SUPERVISORS**

Gwen A. Jonik, Secretary

Jennifer F. Baxter, Chair

Andrew P. Durkin, Vice-Chair

Sandra M. D'Amico, Member



LANCASTER
53 W. James St.
Suite 101
Lancaster, PA 17603
717.715.1396

YORK
221 W. Philadelphia St.
Suite 108E
York, PA 17401
717.854.3910

HARRISBURG
P.O. Box 841
Camp Hill, PA 17001
717.599.7615

PAOLI
41 Leopard Rd.
Suite 300
Paoli, PA 19301
610.408.9011

October 3, 2025

The Township of Upper Uwchlan has engaged RGS Associates to update the local township ordinance in respect to landscape requirements. The following text is a draft of the revised sections of the Upper Uwchlan Ordinance that pertain to landscape requirements.

Township of Upper Uwchlan,
Chapter 200. Zoning

Article XV. Common Regulations

§ 200-77. Screening.

A. Screening requirements shall be applicable under the following circumstances:

- (1) As applicable under Section 162-57.B
- (2) Any other instance where screening is required by this chapter or by the Township Code. Landscape screening requirements shall be applicable and shall comply with the requirements outlined under Section 162-57.B.
- (3) Water towers, storage tanks, processing equipment, fans, skylights, cooling towers, vents and any other structures or equipment which rises above the roof line shall be architecturally compatible or effectively shielded from view from any public or private street by an architecturally sound method which shall be approved, in writing, by the Township before construction or erection of said structures or equipment.

§ 200-78. Landscaping. [Amended 6-17-2002 by Ord. No. 02-04]

A. Applicability.

- (1) Except for individual lots existing at the time of adoption of this section and occupied or intended to be occupied by single-family or two-family dwellings, the provisions of §162-57 of Chapter 162, Subdivision and Land Development, shall apply to all uses and to any change in use in Upper Uwchlan Township, such standards incorporated herein by this reference.
- (2) Where any use or activity requires approval of any building or zoning permit, zoning variance, special exception or conditional use, such approval or permit shall be conditioned upon compliance with the provisions of said §162-57, including submission of a landscaping plan as set forth in §162-57. Plans accompanying zoning applications may be conceptual in nature but shall demonstrate the ability to achieve the objectives of §162-57.
- (3) It is the intention of this section that the provisions of said §162-57 shall apply independently under this chapter only where Chapter 162, Subdivision and Land Development, does not otherwise apply to the proposed use or activity. Therefore, where any use, activity, permit or approval is also subject to subdivision or land development review, there shall be no requirement for additional review under this chapter. Further, where and to the extent that modification(s) of any of the provisions of said §162-57 has/have been approved by the Upper Uwchlan Board of Supervisors in connection with any subdivision or land development review, the said requirements shall not be independently enforced pursuant to this chapter.

B. Modifications.

- (1) For any use or activity subject to subdivision or land development review, modification(s) to the provisions of §162-57 of Chapter 162, Subdivision and Land Development, may be requested, which modification(s) may be granted at the discretion of the Board of Supervisors pursuant to the provisions of that chapter.
- (2) For any use or activity not subject to subdivision or land development review, but where the use or activity is subject to application for approval of a conditional use, special exception, or zoning variance, modification(s) to the provisions of said §162-57 may be requested as part of such application.
- (3) For any use or activity not otherwise subject to permit or approval as provided in Subsection B(1) or (2) above, modification(s) to the provisions of said §162-57 may be requested in the form of an application for grant of a special exception by the Upper Uwchlan Zoning Hearing Board. Such applications shall be submitted to the Upper Uwchlan Planning Commission for review and comment prior to formal special exception application to the Zoning Hearing Board.
- (4) In approving any application pursuant to Subsection B(2) or (3) above, the Zoning Hearing Board or Board of Supervisors, as applicable, as a condition of approval of such application, may permit specific modification(s) to the provisions of said §162-57 subject to the following:
 - (a) The Zoning Hearing Board or Board of Supervisors, as applicable, shall determine that the specific nature of the lawful use or activity, existing site conditions, and/or safety considerations warrant such modification(s); and
 - (b) Permitted modifications shall be consistent with the purposes of said §162-57.

Chapter 162. Subdivision and Land Development**Article VI. Development Design Standards**

- § 162-44 General standards.
- § 162-45 Land requirements.
- § 162-46 Lot design.
- § 162-47 Monuments and iron pins.
- § 162-48 Wastewater treatment and disposal.
- § 162-49 Water supply.
- § 162-50 Other utilities.
- § 162-51 Erosion and sediment control.
- § 162-52 Stripping, piling, replacement or removal of topsoil.
- § 162-53 Design standards for land development.
- § 162-54 Community facilities and public open space.
- § 162-55 Natural and historic features conservation.
- § 162-56 Parking.
- § 162-57 Landscape design, installation and maintenance standards.
- § 162-58 Lighting.

§ 162-55 Natural and historic features conservation.

[Amended 12-15-2003 by Ord. No. 03-06]

A. General.

- (1) For all uses, activities, or improvements subject to this chapter or Chapter 200, Zoning, consideration shall be shown for the protection of all natural and historic features in Upper Uwchlan Township, including, but not limited to, woodlands, specimen trees, hedgerows, wetlands and watercourses, riparian buffers, prohibitive and precautionary slopes, trails, and historic resources which, if preserved, will add attractiveness and value to developed areas. The values of these natural and historic resources are documented and described in numerous Township documents and publications, most notably, Upper Uwchlan's Comprehensive Plan, as amended. The provisions of this section apply to all uses, activities, or improvements subject to this chapter or Chapter 200, Zoning, pursuant to § 200-108. Where any applicant demonstrates to the satisfaction of the Township that strict adherence to the provisions of this section will render the lot or tract unusable or unsuitable for development in accordance with applicable zoning district regulations or demonstrates that alternative design provisions shall achieve similar conservation objectives, the provisions of this section may be waived or modified as determined appropriate by the Board of Supervisors.
- (2) Where the proposed subdivision will be subject to a site analysis and impact plan (§162-9D of this chapter), the applicable narrative and plan submittal

requirements of this section can be made part of the site analysis and impact plan. The resource management, protection, and improvement requirements of this section can be included in the open space requirements of this chapter (§162-54) or Chapter 200, Zoning (§ 200-69), as applicable to the proposed project.

B. Woodlands and hedgerows. The purpose of this section is to promote conservation of woodlands, including specimen trees and hedgerows, throughout Upper Uwchlan Township through the establishment of specific provisions for land development activities, replacement requirements, and management planning.

- (1) Woodland and hedgerow disturbance resulting from any land development or land use change shall be minimized. No portions of tree masses or trees with a diameter at breast height (dbh) of 8" or greater shall be cleared unless demonstrated to be necessary and in accordance with this chapter. Applicants shall make all reasonable efforts to harmonize their plans with the preservation of existing woodlands and hedgerows.
- (2) No healthy, viable specimen tree(s) shall be removed from any lot or tract except where the applicant demonstrates to the satisfaction of the Board of Supervisors that such removal is essential to eliminate hazardous condition(s) or otherwise permit lawful use of the lot or tract; where permitted, removal of specimen trees shall be minimized.
- (3) Woodland and hedgerow disturbance of healthy and viable trees shall require woodland replacement in accordance with Subsections B(6) through B(9) below.
- (4) In determining where necessary woodland or hedgerow disturbance shall occur, applicants shall consider the following:
 - (a) The location(s) and benefit of conservation of healthy mature woodland or hedgerow stands.
 - (b) The impacts, in terms of functions and values to wildlife, of separating, dividing and/or encroaching on wildlife travel corridors and/or extensive habitat areas, especially woodlands and hedgerows exceeding 10 acres in area.
 - (c) The location of hedgerows relative to exterior or perimeter property lines as well as to existing or future trails, as consistent with applicable Township criteria such as the Open Space, Recreation, and Environmental Resources Plan (as amended), the Comprehensive Plan (as amended), or Trail Feasibility/Master Plan documents (as amended).
- (5) Calculation and estimation of existing trees shall be performed before any clearing commences and shall be based on the following procedure:
 - (a) Trees greater than 8" DBH, as measured at 4'-6" above natural grade, will be documented individually and noted on the landscape plan or existing conditions plan, unless section 162-55.B(7) is applicable.

(b) The quantity of all trees greater than 8" DBH in groupings larger than 20 trees may be estimated by the following method:

- i. Three 100' by 100' square areas will be staked out in locations acceptable to the owner/developer and the Township Engineer or Township Landscape Architect.
- ii. The quantity of trees in each area will be counted and the totals of each size range (8" to 12" DBH, 13" to 23" DBH and 24" DBH and above) will be averaged to determine the average number of trees per 10,000 sq. ft. of wooded area.
- iii. This average quantity per area will be used to determine both the quantity of trees being removed and the quantity of trees to remain in large masses.

(6) In areas of permitted woodland or hedgerow disturbance and areas adjacent to permitted woodland and hedgerow disturbance, care shall be exercised to protect remaining trees from damage. To the maximum extent practicable, procedures shall be utilized during construction in order to protect the remaining trees.

(a) Where existing trees are to remain, no change in existing grade shall be permitted within the dripline of the trees. Tree protection fencing shall be chain-link or wire mesh fence, 4'-6' in height and anchored 2' in the ground. Fencing shall have clear signage stating that area is in tree protection zone and no disturbance can occur without authorization from the Township. Fencing shall be placed at the dripline of trees to remain, wherever adjacent to proposed construction. Such fencing shall be maintained in place throughout the duration of construction activity.

- i. The holes for the posts shall be hand-excavated taking care not to disturb roots larger than 1.5" in diameter. If necessary, post spacing may be adjusted to not damage or injure roots.
- ii. A minimum of one 3' wide lockable gate shall be provided for each fenced area. The location of the gates shall be approved by the Township.
- iii. The tree protective zone signage shall have rigid or metal sheet signage legibly printed with nonfading lettering. The signage shall be weatherproof and at least 10" by 12" in area. The signage shall read: "TREE PROTECTION ZONE (TPZ) - KEEP OUT, No grade change, material storage, or equipment is permitted within this TPZ. The tree protection barrier must not be removed without the authorization of the Township. Call the Township to report violations."

- iv. One tree protection zone sign shall be installed per fence side spaced every 50'.
- (b) Roots shall not be cut within the dripline of any trees to remain.
- (c) Trees within 25' of a building, or bordering entrances or exits to building sites, shall be protected by tree protection fencing to be maintained in place throughout the duration of construction activity.
- (d) No boards or other material shall be nailed or otherwise attached to trees during construction.
- (e) Construction materials, equipment, soil and/or debris shall not be stored nor disposed of within the driplines of trees to remain, except for mulched vegetative matter used to prevent soil compaction.
- (f) Tree trunks, limbs, and exposed roots damaged during construction shall be protected from further damage through immediate treatment in accordance with accepted professional landscape procedures.

(7) Where woodland or hedgerow disturbance involves each tree greater than 8" dbh removed, replacement trees shall be planted in accordance with the following schedule.

For Each Healthy and Viable Tree to be Removed, at the Following Sizes, dbh (inches)	Minimum Number and Caliper of Replacement Trees
One, 8"-12" dbh	One, 2.5"-3" inch caliper tree
One, 13"-23" dbh	Two, 2.5"-3" inch caliper tree
One, greater than 24" dbh	Three, 2.5"-3" inch caliper tree

(8) Permitted Tree Replacement Substitutions:

- (a) A maximum of 30% of the replacement trees may be replaced with ornamental or evergreen trees at a ratio of two flowering trees (10'-12' ht.) or two evergreens (8'-10' ht.) per required 2.5"-3" caliper shade tree.
- (b) A maximum of 20% of the replacement trees may be replaced as shrubs with a minimum size of 24" ht. at a ratio of 6 shrubs per required 2.5"-3" caliper shade tree.
- (c) A maximum of 10% of the replacement trees may be replaced as groundcover at a ratio of 40 plants to one 2.5"-3" caliper shade tree. The minimum size of the ground cover shall be 1 gallon.

- (d) A maximum of 5% of the replacement trees may be replaced with plugs at a rate of 240 plugs 1.25" x 1.25" x 2.5" deep root zone for every 2.5"-3" caliper shade tree.
- (9) Applicant shall include provisions, in narrative and/or graphic form, of sufficient detail to satisfy the Township, for the long-term management of any woodland and hedgerow area not subject to woodland and hedgerow disturbance and any area selected for introduction of replacement plantings in accordance with this section. The submission shall include a statement of woodland and hedgerow management objectives and shall demonstrate the feasibility of intended management practices, aiming to ensure the success of stated objectives, including the viability of introduced plantings, deterrence of invasive species, and means to minimize any future woodland and hedgerow disturbance. Additional requirements include:
 - (a) The manner in which the woodland area will be owned and by whom it will be managed, maintained, and improved (the latter as necessary). See section 162-64.B. for further requirements.
 - (b) The conservation and/or land management techniques and practices that will be used to conserve and protect such areas, as applicable.
 - (c) The professional and personnel resources that are expected to be necessary to, and will be committed to, maintain and manage the woodland area.
 - (d) Applicants and responsible parties are strongly encouraged to seek woodland management assistance through the Pennsylvania "Forest Stewardship Program" administered by the Pennsylvania Bureau of Forestry.
- (10) Installation of woodland and hedgerow replacement plantings shall be installed, maintained, and guaranteed along with all other site improvements in accordance with §162-8.G and §162-61 (Release from Performance Guarantee) of this chapter. The costs of planting material and installation shall be considered in determining the amount of any performance guarantee required. At the Township's discretion, the applicant may be required to include sufficient funds in their financial security to guarantee the survival of existing vegetation that may be damaged during construction.
- (11) Any new trees (such as, but not limited to, the required trees per section 162-57) placed on the property may be credited toward the compensatory tree requirement, provided that such new trees meet the following size requirements:
 - (a) Deciduous shade or ornamental trees shall be a minimum of 2.5"-3" caliper at planting.
 - (b) Multi-stem shade or ornamental trees shall have a minimum height of

10'-12' at planting.

- (c) Evergreen trees shall have a minimum height of 8' at planting.
- (d) Large Shrubs shall have a minimum height of 30" at planting.
- (e) Small Shrubs shall have a minimum height of 24" at planting.

(12) In lieu of on-site tree replacement, the applicant may, upon mutual agreement with the Township, deposit into a fund established by the Township an amount equal to the value of some or all of the required replacement trees, as determined by the Township in consultation with the applicant. Said fund shall be used for the purchase, installation, and maintenance of trees on Township-owned property, at the discretion of the Township. This option may be exercised particularly in cases where the subject property cannot reasonably accommodate the number of replacement trees required pursuant to the provisions of this chapter.

SALDO

§ 162-57 Landscape design, installation and maintenance standards.

A. Applicability. Landscaping conforming to the provisions of this section shall be provided in any of the following situations:

- (1) Screening buffer.
 - (a) Where any use or activity is subject to the screening requirements of Subsection (B) below, the lot shall be provided with a minimum fifty-foot-wide buffer planting strip which will act as an effective separation between uses. The buffer strip shall be designed, installed, and maintained in compliance with the requirements of this section.
 - (b) Any situation where screening is imposed by the Zoning Hearing Board or otherwise by the Township as a condition of any approval or permit. In consideration of any approval or permit, the Township may require screening or buffering for the purpose of providing privacy for dwellings, separating incompatible land uses, shielding unattractive structures from view, noise abatement or reduction in light or glare.
- (2) Perimeter buffer. The entire perimeter of any tract subject to subdivision or land development approval, or any tract occupied by a use subject to the provisions of Sub Section B below, shall be provided with a minimum fifteen-foot-wide buffer planting strip which will act as an effective separation between uses. The buffer strip shall be designed, installed, and maintained in compliance with the requirements of this section

- (3) Site element screening. Site element screens are used to screen specific elements from views within the tract or views of said elements from other tracts. These elements shall be screened according to subsection B below.
- (4) Street Trees in accordance with subsection C below.
- (5) Parking lot landscaping requirements in accordance with subsection D below.
- (6) Building planting requirements in accordance with subsection E below.

B. Perimeter Buffer, Screening Buffer and Site Element Screen:

Landscaped perimeter buffers and screening buffers shall be used to mitigate views between a development and its surroundings and to provide opportunities for green links between properties. Site element screens are used to screen specific elements from views within the tract or views of said elements from other tracts. Three types of such landscaping are hereby established: screening buffer, perimeter buffer, and site element screen. The minimum planting requirements for these buffers and screens are contained in this section. Buffers between adjoining land uses shall be in accordance with the following table.

Screening and Perimeter Buffer Land Use Chart

Adjoining Land Use

Proposed Use	Com.	Ind.	Inst.	Ag./Open Space.	Rec.	Mun.	Res. SF	Res. MF	Utility
Commercial	P	S	S	S	S	S	S	S	S
Industrial	S	P	S	S	S	S	S	S	P
Institutional	S	S	P	S	P	P	S	S	S
Agriculture /Open Space	S	S	S	P	P	S	S	S	S
Recreation	S	S	P	P	P	S	S	S	S
Municipal	S	S	P	P	P	P	S	S	S
Residential SF	S	S	S	S	S	S	P	P	S
Residential MF	S	S	S	S	S	S	P	P	S
Utility	S	P	S	S	S	S	S	S	P

S= Screening Buffer

P= Perimeter Buffer

(1) Perimeter Buffer and Screening Buffer Requirements:

An on-site investigation by the design professional shall determine the adjacent land uses along each property boundary and street frontage. In the case of vacant land, the existing zoning district shall be used. The existing uses or zoning district shall be noted on the plan. In the case when several uses are

allowed on a site, the most restrictive landscaping requirements identified in the Table above shall apply as determined by the Zoning Officer.

- (a) Any of the following elements may be used in buffers and screens, provided that the minimum standards prescribed herein are met:
 - i. Existing vegetation and natural features
 - ii. Proposed new or transplanted vegetation
 - iii. Existing or proposed fences or walls
 - iv. Existing or proposed grading, including berms
- (b) Preserved existing natural features and transplanted material may be credited as prescribed in Section 162-57.G. of this chapter.
- (c) Fences, walls and berms shall be used in conjunction with required landscaping, not to replace it.
- (d) If berms are proposed, they shall conform to the following standards:
 - i. Berms shall be a minimum of 2' in height and shall not be steeper than 3' horizontal distance to 1' vertical distance.
 - ii. Berms should be located to work in conjunction with vegetation, fences and/or natural features to provide an effective buffer. They shall be laid out to replicate naturally occurring landforms. Their locations shall not adversely affect stormwater management.
- (e) The following methods shall be used for the purpose of calculating the amount of plant material required within a perimeter buffer or screening buffer:
 - i. A buffer length shall be measured at the property line or right-of-way line and shall include all existing or proposed driveway openings or easements.
 - ii. Where buffer yards overlap, as in the case of a front and side yard buffer, the most stringent requirement shall apply. For example, when a screening buffer and a perimeter buffer overlap at a property corner, the screening buffer length shall be calculated for the entire length required, and the perimeter buffer shall be reduced by the amount of the overlap.

- (f) The length of the perimeter buffer of stormwater management basins shall be measured along the elevation of the center of the top of the berm, around the circumference of the basin.
- (g) Site element screens, existing natural features, structural garden elements (such as gazebos and trellises), water features, sculpture, and project identification signs may be placed within the buffer, provided they do not replace or diminish the intended screening effect of the buffer.

(2) Screening Buffer:

Screening buffers shall be used between incompatible zoning districts, between land uses as required by § 162-57.B above, and adjacent to the higher classified street right-of-way on reverse frontage nonresidential lots where a high level of visual buffering is desirable as determined by the Township.

- (a) Screening buffers shall be 50' in width, adjacent to the property line.
- (b) Screening buffers shall comply with the following planting requirements:
 - i. One deciduous tree per 50' of length.
 - ii. One ornamental tree per 50' of length.
 - iii. Two evergreen trees per 50' of length.
 - iv. Ten small shrubs or five large shrubs per 50' of length.
 - v. Where calculation of the minimum number of plantings required above results in fractions of plants required, the minimum number of plants required shall be rounded up to the nearest whole number.

(3) Perimeter Buffers:

Perimeter buffers shall be used along all property boundary lines or residential subdivision tract boundary lines, along arterial street right-of-way lines, around the entire perimeter of stormwater management basins, and shall be used adjacent to the higher classified street right-of-way on reverse frontage residential lots where a low level of visual buffering is desirable as determined by the Township.

- (a) The Township may reduce or eliminate the perimeter buffer requirement where any tract abuts similar uses such that the Board agrees that buffering is not necessary or where the applicant can demonstrate to the

satisfaction of the Board that existing vegetation, structural and/or topographic conditions will, on a year-round basis, buffer the subject development or use from view from adjacent tracts.

- (b) Perimeter buffers shall be 15' in width, placed at the property line, right-of-way line, or around the circumference of stormwater management basins. Perimeter buffers shall comply with the following planting requirements:
 - i. One deciduous tree per 100' of length.
 - ii. One ornamental tree per 100' of length.
 - iii. Two evergreen trees per 100' of length.
 - iv. Five large shrubs per 100' of length.
- (c) Where calculation of the minimum number of plantings required as above results in fractions of plants required, the minimum number of plants required shall be rounded up to the nearest whole number.
- (d) Perimeter buffers shall be placed around stormwater management basins with the following additional considerations:
 - i. The plantings should be clustered to approximate naturally occurring groupings. The intention is not to screen the basin, but rather to help it blend into the development by softening its appearance.
 - ii. The basin headwall and other structures should be screened with required plantings; however, plantings shall not impede the basin's function.
 - iii. Trees and shrubs shall not be permitted on the constructed berms for basins. In cases where the perimeter buffer coincides with a constructed berm, required buffer plantings shall be placed in the area downslope and adjacent to the berm.
 - iv. Naturalistic basins shall be designed as natural areas with 100% native plantings to promote habitat and aesthetics, and shall be graded to resemble naturally occurring landforms, with constructed banks no steeper than 1' vertical to 4' horizontal. When approved by the Township, naturalistic basins may be installed within the required yard areas, and no perimeter buffer shall be required.

Naturalistic basins shall not be planted in turf but shall have appropriate native plantings including species recommended in the PA Department of Environmental Protection Stormwater Best Management Practices Manual Appendix B - Pennsylvania Native Plant List. Plantings in naturalistic basins shall be demonstrated to be at least equal in monetary value to that of the required perimeter buffer vegetation.

(4) Site Element Screen:

All electrical, mechanical, and utility equipment, along with any loading or storage areas not enclosed within a building, shall be fully screened from view from adjacent streets and residential districts or uses. The screening must be designed in a manner that is architecturally and visually compatible with the overall site design and must also account for access and routine maintenance needs if applicable. Final screening plans are subject to Township site plan and/or architectural review to ensure compliance with applicable design standards and community character objectives.

- (a) Site element screens may be located within required buffer areas. Screen plantings used around parking lots shall be placed to provide a snow stockpile area. Site element screens may be eliminated if they are adjacent to or within screen buffers, when the screen buffer effectively screens views of the site element.
- (b) Site element screens shall be one of the following types, according to use. If a use is not listed, the screen most suited to the use shall be used.
 - i. Low screens shall be used around the perimeters of all parking lots or other similar vehicular use areas, including service stations, sales lots for motorized vehicles, vehicular stacking lanes associated with a drive-through, and around trash enclosures or storage buildings when decorative walls, such as brick, latticework or split-face concrete block, are proposed.
 - ii. High screens shall be used adjacent to loading areas, around trash enclosures and storage buildings, when fencing or plain concrete masonry units are proposed, and around transformers, maintaining the required clear distance. High screens or 6' high opaque fencing shall also be required to buffer accessory structures from the higher classification street on reverse frontage lots.

- iii. Yard screens shall be placed around vehicular storage areas that are not used as parking lots or sales areas, around the perimeter of tank farms and similar facilities, and around utility towers and equipment yards.
- (c) Site element screens shall be measured at the base of the element being screened. This might be the base of a trash enclosure or the surface of a parking lot closest to the screen.
- (d) Low screens shall conform to the following:
 - i. They shall be comprised of evergreen or dense deciduous shrubs to form a continuous screen or hedge, which shall reach a minimum height of 3', after two years' growth. For example, if a parking lot elevation is higher than the adjacent street and the screen plantings are placed at a lower elevation on the slope between the two, then the screen must consist of either larger plants, a taller species or be maintained higher to provide 3' high screen as measured from the surface of the parking lot. Conversely, if a berm is used in conjunction with screen plantings, they may be shorter plants, as long as an effective screen is provided.
 - ii. Small shrubs shall be spaced no farther than 3' on-center. Large shrubs shall be spaced no farther than 5' on-center.
- (e) High screens shall be comprised of either of the following:
 - i. Large evergreen shrubs spaced no farther than 5' on center, or as needed to form a continuous screen at a height of 6' after 5 years' growth.
 - ii. Evergreen trees spaced 12'-15' on center.
- (f) Yard screens shall conform to the following. They shall be of the same composition as high screens, except that in addition, large shrubs shall be planted on 5' on center alongside the evergreen trees.

C. Street Trees

- (1) Street trees provide many benefits, including shading streets and parking lot drives, adding beauty to a neighborhood, biodiversity, and creating separation from the roadway and individual yards. Street trees should be selected with particular emphasis on hardiness, minimum need for maintenance and

capability of providing significant shade. Street trees have wide canopies to provide cooling, stormwater benefits and shade for pedestrians when grown to maturity when feasible. Planting large canopy trees is preferred, unless space is limited. Providing space for trees includes both allowing room above and below ground, i.e., soil volume and space for healthy canopy without growing into utility transmission lines.

(2) Street trees shall be located to provide shade along linear areas of pavement.

- (a) Street trees shall be required along both sides of all existing and proposed public and private streets when said streets abut or lie within the proposed subdivision or land development.
- (b) Street trees shall be required along common driveways that serve five or more residential dwelling units.
- (c) Street trees shall be required on both sides of drive aisles that serve nonresidential properties or uses.

(3) Street Tree Locations:

- (a) Trees shall be planted at a rate of at least one tree per 40' of public or private street frontage, common driveway, or portion thereof. Trees shall be distributed along the entire length of the public or private street frontage, access driveway, or walkway, although they need not be evenly spaced.
- (b) Street trees shall be planted a minimum distance of 6' from the outside edge of the right-of-way, public or private street, drive aisles, common driveways or walkways, and a distance no greater than 15' from the edge of the right-of-way.
 - i. Where there are existing trees along the road, new trees shall be planted in-line to supplement them. Preserved deciduous trees shall be credited toward street tree requirements in accordance with 162-57.G.
 - ii. If no sidewalk exists or where sidewalks are unlikely to be installed, street trees shall be located at a minimum distance 6' from the edge of the right-of-way.
- (c) Street trees shall be planted at least 15' from buildings, when feasible, or at a similar distance appropriate for the building height and tree species.

- (d) Street trees can be grouped to allow sight lines to commercial signage and do not need to be evenly spaced along the Street.

(4) Street Tree Species Selection.

- (a) Selected street tree species shall be hardy indigenous varieties with minimal maintenance requirements, and shall be selected such that, at maturity, they shall provide adequate summer shade along the public road.
- (b) Refer to Cornell Universities Recommended Urban Trees Publication for Street Trees. DCNR / Native Plants | Department of Conservation and Natural Resources| Commonwealth of Pennsylvania for recommended tree types.
- (c) Tree species shall be selected based on appropriate growth rates and mature heights for use under or adjacent to overhead utility lines. See Arbor Day guidelines for planting distances and recommended tree species. <https://www.arborday.org/perspectives/planting-right-tree-right-place>.
- (d) At the time of planting, street trees shall be at least 2.5"-3" caliper in size.

D. Parking lot landscaping.

All off-street parking areas, except those intended solely for use by individual single-family dwellings, shall be landscaped with trees and shrubs of varying species, in accordance with the following:

- (1) Off-street parking areas shall be landscaped to reduce wind and air turbulence, heat and noise, and the glare of automobile lights; to reduce the level of carbon dioxide; to provide shade; to ameliorate stormwater drainage problems; to replenish the groundwater table using bioretention islands; to provide for a more attractive setting; to protect the character and stability of residential, business, institutional, and industrial areas; and to conserve the value of land and buildings on surrounding properties and neighborhoods.
- (2) No parking or paved area, except for permitted accessways, shall directly abut a public street. Each such area shall be separated by a site element screen meeting §162-57.B(4) of this chapter.
- (3) Any parking for five or more vehicles on a lot which abuts a residential district or a lot used for residential purposes, whether single-family or multifamily, shall be screened from the adjacent property by an effective vegetative screen the

entire length of said parking lot, in accordance with the requirements of §162-57.B(4) this chapter.

- (4) The interior of each parking area or lot shall have at least one shade tree for every 10 parking spaces. Such shade trees shall meet the standards provided for street trees in Subsection C(4) above.
- (5) One evergreen or ornamental tree and four shrubs shall be required per every 2,000 square feet of off-street parking or loading area; residential subdivisions are exempt from this requirement.
- (6) Planting areas shall be placed so as to facilitate snow removal and to provide for safe movement of traffic without interference of proper surface water drainage. Planting areas shall be bordered appropriately to prevent erosion or damage from automobiles. Bollards may be used to afford protection of trees from vehicular movement.
- (7) Planting areas utilized for stormwater management/bioretention can count toward parking lot landscaping minimum requirements. Such planting area design and maintenance shall be clearly described in the applicant's stormwater management plan submitted as part of a subdivision or land development application.
- (8) The landscaping and planting areas shall be reasonably dispersed throughout the parking lot, except where there are more than 20 spaces in which case the following shall apply:
 - (a) Landscaped areas at least 10' wide shall be provided around the periphery of parking areas. Such areas shall, at a minimum, extend the full length and width of the parking areas, except for necessary access ways, to prevent the encroachment of moving vehicles into parking areas.
 - (b) Landscaped islands at least 10' wide shall be provided between each set of two parking bays, except as otherwise approved by the Township.
 - (c) Landscaped islands shall be provided at the end of each parking bay where such parking bay abuts or opens onto any street or accessway. Such landscaped islands shall be at least 10' in width and shall extend parallel to the parking spaces in each abutting parking area the length of one parking space. No more than 20 parking spaces shall occur between islands. Parking bays providing more than 20 spaces in a single bay shall be broken by a similar landscape island.

- (d) 2' of each parking stall adjacent to planting strips required in Subsection D.(8)(a) and (b) above shall be of a permeable surface (e.g., concrete paver blocks filled with stone) to allow water to percolate into the ground.
- (9) Parking lots which do not conform to the criteria listed above in Subsection D(8) shall be planted with the same ratio of trees to parking spaces as conventional parking lots, but these may be planted in more varied configurations.
- (10) All parking lots shall be designed to provide for safe, reasonable pedestrian access. Parking lots with more than 50 spaces shall include paved pedestrian walkways. Pedestrian walkways may be located along or through landscaped islands or other landscaped areas adjacent to the parking lot.

E . Building Planting Requirements.

- (1) The total number of building plantings required may be dispersed throughout the tract to meet the objectives of this section. Additional plantings may be provided.
- (2) The minimum planting requirement for building plantings shall be one shade, ornamental or evergreen tree per 50' of building facade plus 5 small shrubs per 50' of building facade. In lieu of shrubs, 50 herbaceous perennial plantings may be provided per 50' of building facade.
- (3) Where calculation of the minimum number of plantings required above results in fractions of plants required, the minimum number of plants required shall be rounded up to the nearest whole number.

F. Landscape plan.

- (1) All required landscaping shall be installed and maintained in accordance with a landscape plan prepared, signed and sealed by a registered landscape architect in the Commonwealth of Pennsylvania and approved by the Township. The landscape plan shall depict all proposed plantings required to complement, screen or accentuate building, roads, parking areas, sidewalks, walkways, sitting areas, service or maintenance structures, courtyards, entry road treatments, and other site features and/or structures. Plant sizes, spacing and types shall be in accordance with this section, especially Subsection G below, Landscape design standards.

(2) All required landscape plans shall be submitted at the time when all other required applications and/or plans are submitted (e.g., sketch, preliminary, or final subdivision and land development plan submission, conditional use application, change in use, etc.). Plans shall be based on and reflect the following objectives:

- (a) A design which is responsive to the functional and aesthetic characteristics of the tract or lot, and existing and proposed principal and accessory buildings and other structures.
- (b) A design which respects/incorporates existing topography, landscape, and other natural features such as hedgerows and woodlands.
- (c) A design which demonstrates an effective proposal for screening the proposed use or activity from the adjoining properties.
- (d) A design which creates visual interest for the users and/or residents of the proposed project and enhances views.
- (e) A design which promotes effective management of stormwater to minimize soil erosion and sedimentation and creates opportunities for infiltration to the groundwater system.
- (f) The use of plant material which is acclimated to local conditions; located and spaced to achieve required screening, compatible groupings and other effective purposes; and not injurious of persons or pedestrians and vehicular circulation.

(3) Submitted landscape plans shall include notes, diagrams, sketches or other depictions appropriate to demonstrate consideration and analysis of the following:

- (a) Consistency with the objectives stated in Subsection B, C, D, and E, above, as well as the design standards of Subsection G below.
- (b) Planting plans shall include a planting schedule which summarizes the quantity, type, size and root conditions of all plantings.
- (c) Analysis of the site in terms of existing site conditions, including topography and vegetation, and existing views to and from the areas which are proposed for development.
- (d) Analysis of any need(s) for screening related to the proposed development or use.

- (e) Consideration of the use of introduced landscaping to provide visual interest, define outdoor spaces, complement architectural features, blend into surrounding landscapes and/or other aesthetic purposes.
- (f) A compliance chart showing dimensions, calculations and quantities based on landscape requirements of the Upper Uwchlan Township Code.

(4) Landscape plans should show the location of tree protection fencing in accordance with Section 162-55.B.(5). A tree protection fence detail shall be provided in the plan set.

G. Landscape design standards:

All required landscaping shall be designed, installed and maintained in accordance with the standards herein, including specific standards for screening, street trees, perimeter buffer and parking area landscaping, building plantings and replacement trees as applicable.

- (1) Existing trees and shrubs to be retained and protected may be credited towards the minimum planting standards, subject to review and approval of the Township. Where existing trees have been identified for credit, the Township may require the applicant to commit to a tree replacement program for non-surviving plants.
 - (a) Credits shall be given for existing preserved healthy and viable vegetation. Preserved deciduous trees shall be credited toward shade and street tree requirements, evergreen trees shall be credited toward evergreen requirements, and shrubs shall be credited toward shrub requirements. No credit shall be given for weedy, brittle or invasive species.
 - (b) Preserved healthy and viable trees shall be credited toward satisfying the requirements of this section in the area that they are preserved. That is, if a tree is preserved along a property line, it shall be credited toward the buffer or screen requirements along that property line. A tree preserved within a parking area may not be counted toward satisfying buffer requirements.
 - (c) The applicant shall note, on all appropriate submittals, the location, type, extent, and condition of the existing plant materials or other means of landscaping that would be the basis for the proposed credit. Should the Township issue credit, the approved, existing plant materials or other means of landscaping shall be protected during construction from impacts such as, but not limited to, root compaction, debarking, and soil stripping in accordance with Section 162-55.B.(6)(a).
 - (d) Preserved, healthy and viable trees shall be credited toward satisfying the requirements of this section as follows:

- i. 8"-12" diameter equals two trees.
- ii. 13"-24" diameter equals four trees.
- iii. 24" diameter or greater equals six trees.

(2) Mitigation of development impacts. The applicant shall plant trees and shrubs and make other landscape improvements (e.g., berms, fencing) consistent with the terms of this section to mitigate any adverse impacts of the proposed development.

(3) General landscape design.

- (a) Plantings and other landscape improvements shall be provided in arrangements and locations to have an overall benefit to the landscape and in response to specific site conditions. Additional considerations shall include feasibility of using native species, proximity to existing dwellings, compatibility of adjacent uses and landscaping, nature of views into and across the subject site, and in consideration of privacy of neighboring residential development.
- (b) Use of linear measurements for purposes of calculation is not intended to specify linear arrangement of plantings. Groupings of plantings are encouraged in lieu of linear arrangement, consistent with the provisions of this section.
- (c) In selecting the location and mix of required plantings, consideration shall be given to the natural landscape characteristics of the setting, the environmental conditions to be created following site disturbance, and the texture, coloration and compatibility of different plant species. It is strongly encouraged that improved landscapes be designed in such a manner as to be creative and attractive while maintaining the integrity of the natural landscape within which such work is proposed.
- (d) The locations, dimensions, and spacing of required plantings shall be adequate for their proper growth and maintenance, taking into account the sizes of such plantings at maturity and their present and future environmental requirements, such as moisture and sunlight. In selecting locations for shade trees, consideration also shall be given to aesthetic qualities of the site and to the protection of solar access.
- (e) The type of plantings shall be carefully selected for locations where they may contribute to conditions hazardous to public safety. Examples of such

locations include but shall not be limited to the edges of parking areas; public street rights-of-way; underground and aboveground utilities; and sight triangle areas required for unobstructed views at street intersections. No trees shall be planted closer than 15' from fire hydrants, streetlights, or stop signs.

- (f) Planting guidelines from Arbor Day Foundation "The Right Tree in the Right Place" can be utilized for direction in selecting tree species and the optimal distance to plant from overhead power lines and other utilities.

(4) Plant Material.

- (a) Plant sizes used to comply with the standards required above shall be:
 - i. Deciduous shade or ornamental trees shall be a minimum of 2.5"-3" caliper at planting.
 - ii. Multi-stem shade or ornamental trees shall have a minimum height of 10'-12' at planting.
 - iii. Evergreen trees shall have a minimum height of 8' at planting.
 - iv. Large Shrubs 30" minimum height at planting.
 - v. Small Shrubs 24" minimum height at planting.
- (b) Plantings and their measurement shall conform to the standards of the publications "American or U.S.A. Standard for Nursery Stock," American National Standards Institute (ANSI) or U.S.A.S. Z60.1 of the American Association of Nurserymen, as amended. All plant material used on the site shall have been grown within the same U.S. Department of Agriculture (USDA) hardiness zone as the site, shall be free of disease, and shall be nursery grown, unless it is determined by the Township that the transplanting of trees partially fulfills the requirements of this section.
- (c) The Township shall conduct a post-construction inspection and reserves the right to require additional plantings if the existing plant material or other means of landscaping are damaged or did not survive construction.

H. Criteria for selection of plant material.

(1) Species selected by the applicant shall reflect careful evaluation of the required site analysis plan and in particular the following considerations:

- (a) Existing and proposed site conditions and their suitability for the plant materials, based upon the site's geology, hydrology, soils, and microclimate.
- (b) Specific functional and design objectives of the plantings, which may include but not necessarily be limited to provision for landscape buffer, visual screening, noise abatement, energy conservation, wildlife habitats, and aesthetic values.
- (c) Maintenance considerations such as hardiness, resistance to insects and disease, longevity, availability, and drought and salt resistance.

- (2) Use of native plants, because of their many benefits (such as ease of maintenance, longevity, wildlife habitat, etc.), is encouraged to meet the requirements of this section.
- (3) Species for shade trees, including street trees, shall be selected with particular emphasis on hardiness, growing habit, minimal need for maintenance, and compatibility with other features of the site and surrounding environs.
- (4) For the purposes of promoting disease protection, minimum maintenance, diverse natural plant associations, and long-term stability of plantings, the applicant is encouraged to choose those combinations of species which may be expected to be found together under more or less natural conditions on sites comparable to those where the trees and shrubs are to be planted.
- (5) Invasive and watch-list species listed on any governmental list of invasive species, including the Pennsylvania Department of Conservation and Natural Resources' DCNR Invasive Plant List, shall be prohibited from being planted in any subdivision or land development in the Township.
- (6) Invasive plants shall be required to be removed within the limit of disturbance when present on a site being developed. Such plants shall not be used to satisfy any landscaping requirement of this chapter.

I. Site maintenance and guarantee.

- (1) All landscape improvements, to be provided in accordance with this section, shall be installed and maintained by accepted practices as recognized by the American Association of Nurserymen. Planting and maintenance of vegetation shall include, as appropriate, but not necessarily be limited to, provisions for surface mulch, guy wires and stakes, irrigation, fertilization, insect and disease control, pruning, mulching, weeding, and watering.

(2) Applicant shall make arrangements acceptable to the Township that all landscaping incorporated into the landscape plan and proposed in accordance with this chapter shall be maintained in a healthy and/or sound condition or otherwise be replaced by equivalent improvements. After installation and prior to Township acceptance of the site improvements, representatives of the Township shall perform an inspection of the finished site for compliance with the approved landscape plan(s).

- (a) Landscape improvements required by this chapter shall be maintained in a healthy condition.
- (b) Upon completion of the development and prior to the final release of financial security, the Township shall perform an inspection of the finished site for compliance with the approved landscaping plan.
- (c) Landscape improvements required by this chapter shall be maintained in a healthy and/or sound condition for a period of 18 months from the date that financial security is fully released or date of issuance of a certificate of occupancy, whichever is later.
- (d) Prior to the expiration of the eighteen-month guarantee period, plants found to be in poor health or lacking normal growth habit shall be replaced with a substitute plant material determined by the Township to be more suitable for the planting scheme. Replacement plants shall be inspected by the Township after installation. All plants shall be in a vigorous and thriving condition at the end of the eighteen-month period, as determined above.
- (e) Replacement plant material shall be installed as soon as practicable after notification by the Township to do so. Such notification shall give deference to weather conditions adverse to new planting.
- (f) Where accidental damage or vandalism of plants occurs, the applicant shall replace the damaged plant material in accordance with the original or modified planting plan. In such cases, the eighteen-month replacement policy required above may be waived.

(3) Installation of landscape improvements shall be guaranteed along with all other site improvements in accordance with §162-8.G and §162-61 of this chapter. The costs of landscape material and installation shall be considered in determining the amount of any performance guarantee required. At the Township's discretion, the applicant may be required to include sufficient

funds in their financial security to guarantee the survival of existing vegetation that may be damaged during construction.

(4) Maintenance.

- (a) It shall be the responsibility of all property owners to maintain all plantings and architectural elements to ensure a safe environment.
- (b) Plantings shall be selected, located, and maintained so as not to contribute to conditions hazardous to public safety. Such conditions include, but are not limited to, public street rights-of-way, underground and above ground utilities, and sight triangle areas required for unobstructed views at street intersections.
- (c) Within required sight triangles, shrubs must be maintained at a maximum height of 2', and trees must be maintained so that the lowest branches are a minimum of 7' above grade.

J. (d) Further Maintenance requirements can be found in Chapter 137 of the Upper Uwchlan Township Code, titled Property Maintenance Suggested Tree Species / Recommended Publications: The following are recommended publications for selecting tree species according to their role in the landscape.

- (1) Arbor Day Foundation, Planting the Right Tree in the Right Place for recommendations on planting near utilities and database of tree information (<https://www.arborday.org/perspectives/planting-right-tree-right-place>)
- (2) Pennsylvania DCNR for information on native plant species and invasive plant a species. (<https://www.pa.gov/agencies/dcnr/conservation/wild-plants/landscaping-with-native-plants.html>)
- (3) Cornell University Recommended Urban Trees. (<http://www.hort.cornell.edu/uhi/outreach/recurbtree/>)
- (4) Penn State Extension Publications are great resources to find up to date information on issues regarding plant health or threats to specific species to be aware of as they continually develop.

Chapter 162 Subdivision and Land Development

Article II Terminology

§ 162-5 Definitions and word usage.

Unless otherwise expressly stated, the following words and phrases shall be construed throughout this chapter to have the meanings indicated in this article. The present tense includes the future; the singular number includes the plural, and the plural includes the singular; the masculine gender includes the feminine and the neuter; the word "used" includes the words "designed, arranged or intended to be used"; the word "occupied" includes the words "designed, or intended to be occupied"; and the word "shall" is always mandatory. The word "Township" means Upper Uwchlan Township, Chester County, Pennsylvania; the term "Supervisors" means the Board of Supervisors of said Township; the term "Planning Commission" means the Planning Commission of said Township; the term "Zoning Ordinance" means Chapter 200, Zoning, of the Code of Upper Uwchlan Township; the term "Township Engineer" shall mean the Township Engineer of said Township.

ACCELERATED EROSION

The removal of the surface of the land through the combined actions of man and natural processes at a rate which is greater than would occur from the natural process upon undisturbed land.

ACT 247

The "Pennsylvania Municipalities Planning Code" of July 31, 1968, 53 P.S. § 10101 et seq., (Act) No. 247, as amended by Act 170 of 1988.

AGRICULTURE

The cultivation of the soil, the raising and marketing of livestock, poultry and dairying, and the marketing of products of the soil produced on the premises, including, but not by way of limitation, nursery, horticulture, and forestry, but excluding commercial piggery.

APPLICANT

A landowner or developer, as herein defined, who has filed an application for development, including his heirs, successors and assigns.

APPLICATION FOR DEVELOPMENT

Every application, whether preliminary, tentative or final, required to be filed and approved prior to start of construction or development, including but not limited to an application for building permit, or for the approval of a subdivision plan or plot.

AREA STABILIZATION, CRITICAL

The establishment and maintenance of a suitable vegetative cover, the application of mulches, mechanical devices such as wood-fiber blanket or erosion control netting, the erection of dikes or other structures or barricades to prevent erosion, usually in areas of excavation or fill, or of severe erosion, where there is a critical hazard to properties downstream, or a danger of undermining of nearby structures.

AREA STABILIZATION, NONCRITICAL

The establishment and maintenance of normal vegetative cover in areas which present no immediate hazard to properties nearby or downstream.

BLOCK

Property bounded on one side by a street, and on the other three sides by a street, railroad right-of-way, public park, waterway, Township line, or any combination thereof.

BOARD

The Board of Supervisors of Upper Uwchlan Township, Chester County, Pennsylvania.

BUFFER AREA

A strip of land adjacent to the lot line to establish a visual separation between incompatible uses.

BUILDER

The person responsible for the erection of the building, whether such person be the subdivider or otherwise.

BUILDING SETBACK LINE

The line which establishes the minimum depth of the particular yard in question, for the particular district, as measured from the right-of-way line.

CALIPER

The width of a tree trunk, measured six inches from the ground surface at the point of highest elevation in contact with the trunk of such tree that is four inches in caliper and smaller. Caliper shall be measured 12 inches from the ground surface at the point of highest elevation in contact with the trunk of such tree that is larger than four inches in caliper.

[Added 6-17-2002 by Ord. No. 02-04]

CARTWAY

The surface of a street available for vehicular traffic.

CARTWAY, MINOR

A separate and subordinate cartway within the right-of-way of a major street which is parallel to, and connected at controlled intervals with, the principal cartway, and which serves as the means of access to abutting lots; a service road.

CHANNEL STABILIZATION

Any means of maintaining the lining of an outlet channel impervious to stormwater flow in consideration of the volume and velocity of the flow, including, but not limited to sodding, plastic or jute mesh, glass fiber matting, asphalt, concrete, stone rip-rap, etc.

CLEAR SIGHT TRIANGLE

An area of unobstructed vision at street intersections defined as lines of sight between points at a given distance from the intersection of the street rights-of-way, cartways, or center lines.

COMMON OPEN SPACE

A parcel or parcels of land or an area of water or a combination of land and water within a development site, designed and intended for the use or enjoyment of the residents of a development and other neighborhoods, consisting of landscaped or natural terrain including lakes and streams. Common open space shall be substantially free of buildings (but may include such buildings or other improvements as are in the development plan as finally approved and as are appropriate for the recreational uses). Common open space shall not include street rights-of-way, private yards, off-street parking areas or stormwater detention/retention facilities required for residential or other noncommon open space functions. The common open space may include recreational uses such as tennis courts, squash courts, playgrounds, golf courses, swimming pools or other like uses.

COMPREHENSIVE PLAN

The document adopted in accordance with the provisions of Act 247, as the Comprehensive Plan for the Township of Upper Uwchlan by the Board of Supervisors.

CONDOMINIUM

Real estate, portions of which are designed for separate ownership and the remainder of which is designed for common ownership solely by the owners of those portions created under the Pennsylvania Uniform Condominium Act of 1980.¹¹

CONSERVATION PLAN

A plan for the conservation of the precipitation and soils meeting the standards established, and revised from time to time, by the Chester County Soil and Water Conservation District and by the Natural Resources Conservation Service, U.S. Department of Agriculture.

CONSTRUCTION

Any disturbance of the existing surface of the land or the erection of structures thereon, including the cutting of trees or clearing of brush; provided, however, that the entering upon premises for purposes of surveying, staking or the chopping of lines necessary to obtain data a existing conditions shall not be deemed construction.

CROSSWALK

A right-of-way exclusively for pedestrian travel across a block and connecting two streets.

CUL-DE-SAC

A single access street having access to and from a through street at one end and terminating at the other end in a paved vehicular turnaround.

DBH (dbh)

The diameter of a tree at breast height, measured 4.5 feet from the ground surface at the point of highest elevation in contact with the trunk of such tree.

[Added 6-17-2002 by Ord. No. 02-04]

DEVELOPER

Any landowner, agent of such landowner, tenant with the permission of such landowner, or equitable owner, who make or causes to be made a subdivision of land or a land development.

DEVELOPMENT AGREEMENT

A written contract between an applicant and the Township specifying the conditions of final approval by the Township.

DESIGN STANDARDS

Minimum standards for the layout by which a subdivision or land development is developed.

DETENTION BASIN

A structure designed to retard surface water runoff for a period of time sufficient to cause the deposition of sediment and to retard the velocity and rate of surface flows leaving a site as a means of preventing erosion.

DIVERSIONS

A channel or ditch and embankment constructed across a sloping land surface, either on the contour or at predetermined gradient, to intercept and divert stormwater before it gains sufficient volume or velocity to scour or cause harmful erosion.

DRAINAGE

The flow of water or other liquid and the means or structures for directing such flow, whether surface or subsurface, and whether natural or artificial.

DRAINAGE AREA

The upstream watershed area of a drainage basin measured from a point of discharge in the watercourse.

DRAINAGE FACILITY

Any structure or improvement designed, intended or constructed for the purpose of diverting surface waters from or carrying surface water off streets, public rights-of-way, or any part of any subdivision or land development.

DRIPLINE

A generally circular line, the circumference of which is determined by the outer reaches of a tree's widest branching points.

[Added 6-17-2002 by Ord. No. 02-04]

DRIVEWAY, COMMON

A means of private access serving only two lots which is completely paved and having a width of 12 feet.

DRIVEWAY, PRIVATE

That portion of a lot which is intended for vehicular use and which is privately owned, whether paved or unpaved.

EARTHMOVING ACTIVITY

Man-made activities resulting in the movement of soil or the stripping of vegetative cover from the earth.

EASEMENT

A right-of-way granted, but not necessarily dedicated, for a private, public or quasi-public purpose.

EFFECTIVE SCREEN

~~Planting of deciduous and evergreen trees and shrubs not less than five feet in initial height and capable of attaining a height and width of not less than 10 feet wherein not less than 50% of the plants shall be evergreen mixed throughout the length of such screen, so arranged or placed as to divert attention from, or obstruct at least 85% of an otherwise clear view of, an objectionable or incompatible use or activity during all seasons of the year. A wall or fence in combination with the aforementioned plantings may be used as an effective screen where required for parking and loading areas. The effective screen shall be in accordance with plans and specifications prepared by a registered landscape architect and shall be compatible with the landscaping on the lot and approved by the Zoning Officer.~~

ENGINEER, TOWNSHIP

A professional engineer licensed as such in the Commonwealth of Pennsylvania, duly appointed as the engineer for the Township of Upper Uwchlan, its Planning Commission or Authority.

EROSION

The process by which soils, vegetation and man-made materials on the earth's surface are worn away by action of water, wind, frost, or a combination of such action by natural forces.

FILL

Any earth, sand, gravel, rock or any other material which is deposited, placed, pushed, dumped, pulled, transported or moved to a new location and shall include the conditions resulting therefrom.

FOOTCANDLE

A unit of incident light stated in lumens per square foot and measurable with an illuminance meter, AKA "footcandle" or "light meter."

[Added 6-17-2002 by Ord. No. 02-04]

FREEBOARD

The distance between the highest desired level of water and the top or flow line of the structure impounding it.

FULL-CUTOFF

A term used by the lighting industry to describe a lighting fixture from which no light output is emitted at or above a horizontal plane drawn through the bottom of the fixture and no more than 10% of the lamp's light output is emitted at an angle 10° below that horizontal plane, at all lateral angles around the fixture.

[Added 6-17-2002 by Ord. No. 02-04]

GRADE, EXISTING

The elevation, relative to a given datum, of the ground surface prior to any excavation or fill.

GRADE, FINISHED

The elevation, relative to a given datum, of the ground surface after completion of any excavation or fill.

GRADE, PROPOSED

The elevation, relative to a given datum, of the ground surface proposed to be achieved by excavation or fill.

GRADING

The changing of the surface of the ground by excavation or filling, or combination of the two; the act of moving earth.

GRADING PLAN

A plan to scale showing existing and proposed buildings and other structures, as well as existing and proposed contours at sufficient intervals to define scale location, depth and gradient, and general slope of the ground.

GUARANTEE, MAINTENANCE

Any approved security which may be required of the applicant by the Township after final acceptance by the Township of installed improvements.

GUARANTEE, PERFORMANCE

Any approved security which may be required of the applicant by the Township as a condition of final plan approval to guarantee public improvements are installed in accordance with the final plan and the applicable provisions of this chapter.

HEDGEROW

A linear plant community dominated by trees and/or shrubs. Hedgerows often occur along roads, fence lines, property lines, or between fields, and may occur naturally or be specially planted (e.g., as a windbreak).

[Added 6-17-2002 by Ord. No. 02-04]

HYDRIC SOILS

A. For purposes of determining compliance with the provisions of this chapter or of Chapter 200, Zoning, as applicable, those soil types identified as hydric soils or soils with hydric inclusions by the USDA Natural Resources Conservation Service (formerly known as the "Soil Conservation Service"), and as mapped for the Soil Survey of Chester and Delaware counties, shall be considered hydric soils in Upper Uwchlan Township, including but not limited to the following:

[Added 6-17-2002 by Ord. No. 02-04]

- GnA Glenville silt loam (0% to 3% slopes)
- GnB Glenville silt loam (3% to 8% slopes)
- GnB2 Glenville silt loam (3% to 8% slopes, moderately eroded)
- GnC2 Glenville silt loam (8% to 15% slopes, moderately eroded)
- WaB2 Watchung silt loam (3% to 8% slopes, moderately eroded)
- WoA Worsham silt loam (0% to 3% slopes)
- WoB Worsham silt loam (3% to 8% slopes)
- WoB2 Worsham silt loam (3% to 8% slopes, moderately eroded)
- WsB Worsham very stony silt loam (0% to 8% slopes)

B. Where site conditions indicate differing location of hydric soils or hydric inclusions, the burden shall be upon the applicant to verify such location(s) to the satisfaction of the Township, otherwise the soil survey information shall be presumed to be accurate. Where tile drainage has been introduced to drain soils defined herein as hydric soils, such areas shall be considered hydric for the purposes of this chapter or Chapter 200, Zoning.

IMPERVIOUS COVER

Land that is occupied by principal and accessory structures, streets, driveways, parking areas and other similar surfaces that prohibit or slow the percolation of water into the soil.

IMPROVEMENTS

Grading, paving, curbing, street lights and signs, fire hydrants, water mains, sanitary sewer mains, including laterals to the street right-of-way line, storm drains, including all necessary structures, sidewalks, crosswalks, ~~street trees landscaping~~ and monuments.

IMPROVEMENT SPECIFICATIONS

Minimum standards for the construction of the required improvements such as streets, curbs, sidewalks, water mains, sewer, drainage, public utilities and other items required to render the land suitable for the use proposed.

LAND DEVELOPMENT

According to usage:

A. The improvement of one or more contiguous lots, tracts of parcels of land for any purpose permitted in this chapter involving a group of two or more residential or nonresidential buildings, whether proposed initially or cumulatively, or a single nonresidential building on a lot or lots regardless of the number of occupants or tenure, or the division or allocation of land or space, whether initially or cumulatively, between or among two or more existing or prospective occupants by means of, or for the purpose of, streets, common areas, leaseholds, building groups or other features.

B. A division of land into lots for the purpose of conveying such lots singularly or in groups to any person, partnership or corporation for the purpose of the erection of buildings by such person, partnership or corporation.

LAND DISTURBANCE

Any activity that exposes soils, alters topography and/or alters vegetation, except for removal of hazardous or invasive alien vegetation. Customary agricultural practices, such as tilling, plowing, mowing and harvesting, are excluded from the definition of "land disturbance."

[Added 6-17-2002 by Ord. No. 02-04]

LANDOWNER

The legal or beneficial owner or owners of land, including the holder of an option or contract to purchase (whether or not such option or contract is subject to any condition), a

lessee having a remaining term of not less than 40 years, if he is authorized under the lease to exercise the rights of the landowner, or other person having a proprietary interest in land.

LANDSCAPE PLAN

A plan conforming to the requirements of § **162-57** of this chapter, required to accompany subdivision and/or land development plans, or as otherwise required pursuant to the provisions of Chapter **200**, Zoning.

[Added 6-17-2002 by Ord. No. 02-04]

LICENSE

According to usage:

A. When applied to mobile home parks, shall mean written approval by the Township of Upper Uwchlan, a prerequisite of which shall be approved by the Department of Health, and compliance with all applicable regulations of this or other applicable ordinances.

B. When applied to erection of signs, shall mean written approval by the Township of Upper Uwchlan, a prerequisite of which shall be in compliance with all applicable regulations of this and other applicable ordinances.

[Amended 12-15-2003 by Ord. No. 03-06]

LOT

A designated parcel, tract or area of land, established by a plat or otherwise as permitted by law, and to be used to be developed or built upon as a unit. Such parcel shall be separately described by metes and bounds, the description of which is recorded in the office of the Recorder of Deeds of Chester County by deed description or is described by an approved subdivision plan recorded in the office of the Recorder of Deeds of Chester County.

LOT AREA

The area of land included within the title lines of a lot. The following shall not be included when determining the minimum lot area calculated for development, providing that compliance to the following shall not be required if the proposed lot is two acres or more:

A. Any land lying within the Flood Hazard District as defined within Article XIII of Chapter **200**, Zoning.

B. Area within the title lines set aside as right-of-way for a street, public or private utilities and all areas of easements, including but not limited to, storm drainage easements,

sewage easements and easements of access, provided that utility easements serving that particular lot are not excluded.

C. Any land containing slopes in excess of 25%.

LOT DEPTH

The distance along a straight line drawn from the midpoint of the front lot line to the midpoint of the rear lot line.

LOT LINE

A property boundary line of any lot held in single and separate ownership, except that, in the case of any lot abutting a street, the lot line for such portion of the lot as abuts such street shall be deemed to be the same as the street line, and shall not be the center line of the street or any other line within the street lines even though such may be the property boundary line in a deed.

LOT WIDTH

The distance, in feet, between two opposite side lot lines, measured at the building setback line.

LOT, CORNER

A lot at the junction of, and abutting on, two or more intersecting streets, or at the point of abrupt change in direction of a single street, the interior of which is not greater than 135°.

LOT, DOUBLE FRONTAGE

A lot extending between and having frontage on two generally parallel streets.

LOT, INTERIOR

A lot which is surrounded on all sides by one or more lots, is generally the shape of a flag on a flag pole and has an access right-of-way to one or more streets.

LOT, REVERSE FRONTAGE

Lots which are situated between two public streets, but provide vehicular access solely from the street with the lesser highway functional classification.

LUMEN

The luminous flux emitted by a lamp or lighting fixture.

[Added 6-17-2002 by Ord. No. 02-04]

MAP, OFFICIAL STREET

A plan, legally adopted by the Supervisors, of officially dedicated, ordained, opened, or planned streets, existing parks and other properties, or those proposed for acquisition by the Township by condemnation, purchase, dedication or otherwise.

MINIMIZE

To reduce to the smallest amount or extent possible. "Minimize" shall not mean complete elimination but shall require that the most substantial efforts possible under the circumstances have been taken to reduce the adverse effect(s) of the action required to be minimized. "Minimize" shall include but not be limited to the requirement that the placement of dwellings and other structures and the locations of roads, stormwater management facilities, and other land disturbance shall be planned and designed to reduce the adverse effect(s) of the activity in question to the smallest amount possible under the circumstances consistent with otherwise permitted development.

[Added 6-17-2002 by Ord. No. 02-04]

MITIGATE

A. An action undertaken to accomplish one or more of the following:

(1) Avoid and minimize impacts by limiting the degree or magnitude of the action and its implementation.

(2) Rectify the impact by repairing, rehabilitating or restoring the impacted environment.

(3) Reduce or eliminate the impact over time by preservation and maintenance operations during the life of the action.

B. If the impact cannot be mitigated in accordance with Subsection A(1) through (3) above, compensation for the impact shall be provided by replacing the environment impacted by the project or by providing substitute resources or environments.

[Added 6-17-2002 by Ord. No. 02-04]

MOBILE HOME

A transportable, single-family dwelling intended for permanent occupancy, contained in one unit, or in two or more units designed to be joined into one integral unit capable of again being separated for repeated towing, which arrives at a site complete and ready for occupancy except for minor and incidental unpacking and assembly operations, and constructed so that it may be used without a permanent foundation.

MOBILE HOME LOT

A parcel of land in a mobile home park, improved with the necessary utility connections and other appurtenances necessary for the erection thereon of a single mobile home.

MOBILE HOME PARK

A parcel, or contiguous parcels, of land which has been so designated and improved that it contains two or more mobile home lots for the placement thereon of mobile homes.

MONUMENT

A stone or concrete monument with a flat top at least four inches in diameter or square, and at least 24 inches in length. The monument shall be tapered so that the dimensions at the bottom be at least two inches greater than the top, to minimize movement caused by frost.

OLDFIELD

A former agricultural field, pasture, orchard or nursery, where agricultural use has been abandoned and natural succession has been allowed to occur, but where most naturally occurring trees are not larger than six inches dbh.

[Added 6-17-2002 by Ord. No. 02-04]

OPEN SPACE MANAGEMENT PLAN

A plan which provides for the long-term management over time of private, public, or common open space, in accordance with Article XIV of Chapter 200, Zoning.

[Added 6-17-2002 by Ord. No. 02-04]

PERSON

Any individual, partnership, firm, association, corporation or organization.

PLAN, AS-BUILT

A finally revised working drawing corrected to show all changes in design, sizes or location which may have been made during actual construction and represents the actual location of improvements.

PLAN, CONSTRUCTION IMPROVEMENT

A plan prepared by a registered engineer or surveyor showing the construction details of streets, drains, sewers, bridges, culverts and other improvements as required by this chapter.

PLAN, FINAL

A complete and exact subdivision or development plan or plat, prepared for official recording as required by ordinance or statute, and which includes all information required under § **162-9C** of this chapter.

PLAN, LAND DEVELOPMENT

A plan depicting all aspects of a particular land development as required herein, including all exhibits, drawings, cross sections, profiles and descriptive text to the degree of detail specified herein and sufficient to portray the full intent of a developer.

PLAN, PRELIMINARY

A tentative subdivision or development plan, in less detail than a final plan, which includes all information required under § **162-9B** of this chapter.

PLAN, PROFILE

A plan prepared by an engineer or surveyor registered in the Commonwealth of Pennsylvania showing the vertical section of the existing and proposed grade along the center line and right-of-way lines of any proposed street and public improvement.

PLAN, RECORD

The copy of the final plan which contains the original endorsements of the County Planning Commission and the Township and which is intended to be recorded with the County Recorder of Deeds.

PLAN, SITE ANALYSIS

A plan depicting natural features of a site intended to promote design sensitive to the unique natural features of the landscape. The plan shall accompany sketch, preliminary and/or final plan submission, and shall include all information required under § **162-9D** of this chapter.

PLAN, SKETCH

A sketch an prepared at any practical scale, but in no case smaller than one inch equals 200 feet, showing existing topography (USGS acceptable) at contour intervals of not more than 10 feet, showing scaled locations of streets and lots, with sufficient information for the Planning Commission to orient and locate the tract, to serve as a basis for preliminary discussion with the subdivider and to show his intent.

PLAN, UTILITIES

A plan prepared by a registered engineer or surveyor, showing location, sizes and types of all water, gas and electric lines, all sanitary sewer mains, profiles and laterals, all storm sewers and gradients, all street lights, fire hydrants, all service connections, and all data pertaining to existing or proposed utilities.

[Amended 12-15-2003 by Ord. No. 03-06]

PLANNING COMMISSION

The Upper Uwchlan Township Planning Commission, Chester County, Pennsylvania.

PLANTING, STREET TREE (Revised and Relocated see Tree, Street)

~~A plantation of deciduous hardwood trees within a street right of way, such trees approved as to type by the Supervisors, and having a caliper of not less than two inches measured one foot above the ground.~~

PLAT, RECORD

The final plat, or engineering layout of streets and lot easements, common open spaces and public grounds, which has been duly approved by all necessary officials and recorded in the office of the Recorder of Deeds of Chester County, West Chester, Pennsylvania.

PUBLIC IMPROVEMENT

Those facilities which are designed for and available to the public, which may be offered for dedication, including but not limited to streets, storm drainage facilities, sidewalks and utilities, including private stormwater management facilities and other common amenities, even though not offered for dedication.

PUBLIC NOTICE

Notice published in any newspaper of general circulation in Upper Uwchlan Township, once each week for two successive weeks, the first not more than 30 days and the second not less than seven days, prior to any public hearing required by this chapter; such notice shall give time and place, and the nature of the matter to be considered.

RESERVE STRIP

A parcel of ground in separate (sometimes public) ownership separating a street from other adjacent properties, or from another street.

RESUBDIVISION

Any replatting or resubdivision of land, limited to changes in lot lines on approved final plan or recorded plan as specified in § 162-8E of this chapter. Other replattings shall be considered as constituting a new subdivision of land. See also "subdivision."

RETENTION BASIN

A reservoir, formed from soil or other material, designed to permanently retain stormwater runoff from a specified amount of stormwater runoff as defined by this chapter. Retention basins always contain water and may include man-made ponds and lakes.

REVIEW

An examination of the sketch plan, preliminary plan, and/or final plan by the Planning Commission and/or the Upper Uwchlan Township Board of Supervisors to determine compliance with this chapter and the administrative regulations, design standards and improvement specifications enacted pursuant thereto.

RIGHT-OF-WAY

Land reserved for an easement, street, crosswalk or other public purpose.

RIPARIAN BUFFER AREA

Any area comprised of one or more of the following: [Added 6-17-2002 by Ord. No. 02-04]

- A.** Any area within 75 feet of the bank of any stream;
- B.** Any wetlands and any area within 25 feet of any wetland; and
- C.** Any area of hydric soil.

SCREENING

The use of plant materials, fencing and/or earthen berms to aid in the concealment of such features as parking areas and vehicles with them, and to provide privacy between two or more different land uses which abut one another.

SEDIMENT

The silt or small soil particles held or carried in suspension by water, including that which is thus deposited at a lower level.

SEPTIC TANK

A covered watertight settling tank in which raw sewage is changed into solid, liquid, and gaseous states to facilitate further treatment and final disposal.

SEWAGE DISPOSAL

A. INDIVIDUAL The disposal of sewage from one dwelling unit by use of septic tanks or other safe and healthful means, approved by the Chester County Health Department. Such system shall be totally within the confines of the lot on which the use is located, or shall be located within an easement designated for such purpose on another lot.

B. CENTRAL/COLDS COMMUNITY COLLECTION AND TREATMENT A sanitary sewage system which carries sewage from individual dischargers by a system of pipes to one or more common treatment and disposal facilities, either on-site or off-site, and approved by the Pennsylvania Department of Environmental Protection.

C. PUBLIC SEWAGE SYSTEM An off-site system for treatment and disposal of sewage in which sewage is conveyed by interceptor to the treatment facility operated by the Downingtown Regional Municipal Authority, and disposed of through means approved by the Pennsylvania Department of Environmental Protection.

SEWER CONNECTION

Consists of all pipes, fittings and appurtenances from the drain outlet of a building to the inlet of the corresponding sewer riser pipe.

SEWER RISER PIPE

That portion of the sewer lateral which extends vertically to the ground elevation and terminates at each building.

SHADE TREES

~~See Tree, Shade. A tree in a public place or within a street right-of-way as provided by this chapter.~~

SIGHT DISTANCE

The required length of roadway visible to the driver of a passenger vehicle at any given point on the roadway when the view is obstructed.

[Amended 4-19-2010 by Ord. No. 10-04]

A. OBJECT SIGHT DISTANCE Shall be measured from a point 3.5 feet above the center line of the road surface to a point 0.5 feet above the center line of the road surface.

B. VEHICLE SIGHT DISTANCE Shall be measured from one point 3.5 feet above the center line of a road surface to another point 3.5 feet above the center line of the road surface.

SIGN

Any structure or part thereof or any device attached to a building wall or other outdoor surface, which has painted or otherwise represented thereupon the display or inclusion of any letter, word, model, banner, pennant, insignia, device, trade flag, symbol, or representation which is in the nature of, or which is used as, an announcement, direction, or advertisement for commercial purposes or otherwise to bring the subject thereof to the attention of the public, or to display, identify and publicize the name and product or service of any person. A sign includes a billboard, neon tube, string of lights or similar device outlining or placed upon any part of a building or lot. For the purpose of ascertaining whether any sign is no more than the dimensions permitted by this article, the gross sign area shall be the entire area within a single continuous perimeter enclosing the extreme limits of such sign, and in no case passing through or between adjacent elements of the same. For measurement of gross sign area, such perimeter shall not include any structural elements lying outside the limits of such sign and not forming an integral part of the display. In the case of an open sign, made up of individual letters, figures or designs, the space between such letters, figures, or designs shall be included. The total area of both sides of a double-sided sign, including V-type signs, shall be included in the computation of gross sign area. Signs which are composed of letters, words, or representations only and which do not form a square or rectangular pattern shall be considered to include in gross sign area a square or rectangle as drawn at the outer limits of the letters, words, or representations. The following sign types and parameters may also be recognized and regulated by this chapter:

[Added 12-15-2003 by Ord. No. 03-06]

A. SIGN, ACCESSORY USE Signs that identify or advertise home occupations.

B. SIGN, BUSINESS A sign that announces or directs attention to a business, product, activity, commodity, or service conducted, sold or offered upon the same premises as those upon which the sign is maintained.

C. SIGN, DIRECTIONAL A sign conveying instructions with respect to the premises near or on which it is maintained, such as the entrance and exit of a parking area, a warning sign, a danger sign, and similar information signs.

D. SIGN, DOUBLE-FACED A sign with two faces which displays the same message on each face, with each of the sign faces being parallel to one another or separated by an interior angle of no greater than 45°.

E. SIGN, FREESTANDING A detached sign which shall include any sign, uprights or braces placed upon or in the ground and not attached to any building (e.g., monument signs, pole signs).

F. SIGN, IDENTIFICATION A sign that identifies only the occupant of the premises, the profession or occupation of the occupancy, and/or the name of the building upon which the sign is placed.

G. SIGN, ILLUMINATED A nonflashing or nontwinkling sign which has characters, letters, figures, designs, or outlines illuminated by direct or indirect electric lighting or luminous tubes as part of the sign.

H. SIGN, MONUMENT A low profile freestanding sign. A monument sign shall include a support structure of wood, masonry, or concrete that is incorporated into the overall design of the sign.

I. SIGN, OFFICIAL TRAFFIC Signs erected by the Commonwealth of Pennsylvania Department of Transportation, the Pennsylvania Turnpike Commission, or Upper Uwchlan Township, and which are designed to regulate traffic, describe road conditions, or supply directions.

J. SIGN, OFF-PREMISES DIRECTIONAL Where permitted, any nonilluminated sign located off the immediate premises of the use or activity which it announces, or to which it is directing attention, limited to civic or service clubs, churches, schools, nonprofit organizations, or other public or quasi-public sites or facilities.

K. SIGN, OFF-PREMISES ADVERTISING Where permitted, a sign placed on property other than where the business is located and which indicates the nature of the business for which it is advertising.

L. SIGNS, OUTDOOR ADVERTISING BILLBOARD A large pole sign intended to display one or more advertisements, whose area is no smaller than 140 square feet nor exceeds 450 square feet and with a maximum height of 25 feet, and which is limited to advertising a business, commodity, service, or entertainment conducted, sold, or offered upon the premises where such sign is located.

M. SIGN, PORTABLE Signs that can either be attached or mounted on wheels or transported by flatbed trailer.

N. SIGN, PROJECTING A sign, other than a wall sign, that projects from and is supported by a wall of a building or structure.

O. SIGN, READERBOARD A sign so designed that the message may be changed by the removal or addition of specially designed letters that attach to the face of the sign.

P. SIGN, REAL ESTATE A temporary sign indicating the sale, rental, or lease of the premises on which the sign is located.

Q. SIGN, TEMPORARY A sign notifying or advertising a special event, or another effort of short duration, such as festivals, concerts, or exhibits, or work of a temporary contractor.

R. SIGN, WALL Any sign erected against the wall of any building, or displayed on doors, or displayed with the exposed face thereof in a plane parallel to the face of said wall or door and which sign is mounted at a distance measured perpendicular to said wall not greater than 12 inches.

SINGLE-ACCESS STREET

An interior residential street, including, but not limited to, cul-de-sac and loop designs, which is designed to provide only one point of intersection with an existing road.

SITE

A lot, tract or parcel of land on which grading, construction or land development is taking place, or is proposed to take place; the location of the work.

SLOPE STABILIZATION

Any means of establishing permanent vegetation on a slope, including but not limited to sodding, anchored mulching (wood-fiber blanket or plastic and jute mesh, straw tack-coated with emulsified asphalt, etc.), hydroseeding with wood fiber mulch in the slurry, including application of temporary vegetation.

SLOPE, PRECAUTIONARY

Those land areas with slopes between 15% and 25%, and as further defined and delineated by Chapter 200, Zoning. [Added 12-15-2003 by Ord. No. 03-06]

SLOPE, PROHIBITIVE

Those land areas with slopes of 25% or greater, and as further defined and delineated by Chapter 200, Zoning. [Added 12-15-2003 by Ord. No. 03-06]

SOIL PERCOLATION TEST

A field test conducted to determine the suitability of the soil for on-site sanitary sewage disposal facilities by measuring the absorptive capacity of the soil at a given location and depth.

SPECIMEN TREE (Kept definition – relocated)

See Tree, Specimen. Any tree equal to or exceeding 24 inches dbh or any other unique or otherwise specifically selected plant or tree which most typically represents a class or

~~group in terms of shape, form, historical importance or other characteristics, and which may be designated as such by the Township.~~

~~[Amended 6-17-2002 by Ord. No. 02-04]~~

STATUTORY REVIEW PERIOD

The length of time designated by the Pennsylvania Municipalities Planning Code^[2] in which the municipal review of the preliminary and final plans for subdivision and land development must occur.^[3]

STORAGE CAPACITY

The volume of silt or water capable of being impounded in a sediment basin after deducting the required freeboard.

STORMWATER

Any precipitation, but usually rainfall, which is sufficient to flow on any natural or impervious surface; frequently termed "runoff."

STREET

Includes street, avenue, boulevard, road, highway, freeway, lane, alley, viaduct, and any other way used or intended to be used by vehicular traffic or pedestrians, whether public or private.

STREET LINE

The right-of-way, or the dividing line between a lot and the outside boundary of a public street, road, or highway, legally open or officially plotted, or between a lot and a privately owned street, road or way over which the owners or tenants of two or more lots each held in single and separate ownership have the right-of-way.

STREET, COLLECTOR

A street used primarily as the means of access for through traffic between residential neighborhoods, major streets, districts within the Township, and areas immediately adjacent thereto.

STREET, COMMERCIAL

A street used primarily as the means of access to abutting commercial lots.

STREET, IMPROVED

A street wherein paving and other required improvements exist and are in accordance with Township standards.

STREET, MAJOR

A state or federal highway or thoroughfare for through traffic between collector streets, neighborhoods and districts within the Township and other towns, villages and centers of population.

STREET, RESIDENTIAL

A street used primarily for local traffic as the means of access to abutting residential lots.

STREET TREE

See Tree, Street.

STREET, UNIMPROVED

A street wherein paving or other required improvements do not exist in accordance with Township standards.

STRUCTURE

Any form or arrangement of building materials erected on or attached to the ground or in water or land, involving the necessity of providing proper support, bracing, typing, anchoring or other protection against the forces of the elements, including, but not limited to, buildings, sheds, mobile homes, and other similar items, but excluding fences.

SUBDIVIDER

A person who is the registered owner, or authorized agent of the registered owner, of the land to be subdivided.

SUBDIVISION

The division or redivision of a lot, tract or parcel of land, by any means, into two or more lots, tracts, parcels or other divisions of land, including changes in existing lot lines, for the purpose, whether immediate or future, of lease, partition by the court for distribution to heirs or devisees, transfer or ownership of building or lot development. The subdivisions by lease of land for agricultural purposes into parcels of more than 10 acres, not involving any new street or easement of access, or any residential dwelling, shall be exempted.

SUBDIVISION, MAJOR

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A subdivision wherein lots abut existing streets of insufficient width, unimproved streets, or proposed streets.

SUBDIVISION, MINOR

A subdivision wherein lots abut existing improved streets of sufficient width and not involving the layout or improvement of any new street.

SUBGRADE

Any finished surface or elevation of compacted fill or natural earth upon which materials of construction are placed.

SUBSOIL

Clay, sand, gravel, or other natural earth material below the surface soil and low in organic matter.

SUBSTANTIAL IMPROVEMENT

Any repair, reconstruction, or improvement of a structure, the cost of which equals or exceeds 50% of the fair market value of the structure either:

- A.** Before the improvement or repair is started; or
- B.** If the structure has been damaged and is being restored, before the damage occurred.

SURVEYOR

A licensed surveyor registered by the Commonwealth of Pennsylvania.

THEME LIGHTING

Exterior fixtures and posts which are manufactured to a high level of design and craftsmanship from material such as (but not limited to) wrought iron, cast aluminum, brass or copper, and installed to be consistently used throughout designated areas of Upper Uwchlan Township, including, for example, locations where promotion of a particular village character or historical theme is desired.

[Added 6-17-2002 by Ord. No. 02-04]

TOPSOIL

Natural and friable loam containing sufficient nitrogen, phosphorus and potassium to support plant growth and extending in depth to the extent of penetration of feeder roots of the prevailing native grasses.

TOWNSHIP

The Township of Upper Uwchlan, Chester County, Pennsylvania.

TRACT

One or more lots assembled for the purpose of unified development, including a planned residential development, shopping center, office or industrial park.

TREE, SHADE

Any deciduous tree capable of reaching a height of 25 feet, and canopy spread of 10 feet at maturity. The tree may exhibit any branching or fruiting characteristics.

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TREE, SPECIMEN

Any tree equal to or exceeding 24 inches dbh or any other unique or otherwise specifically selected plant or tree which most typically represents a class or group in terms of shape, form, historical importance or other characteristics, and which may be designated as such by the Township.

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[Amended 6-17-2002 by Ord. No. 02-04]

TREE, STREET

Any deciduous tree capable of reaching a height of at least 20 feet, and canopy spread of at least 10 feet at maturity. The tree should not be of a weeping form, have low branching characteristics (unless it will be limbed up regularly). Street trees should be tolerant of atmospheric pollutants, salts, heat and drought conditions, and soil compaction, and shall have a root structure that is compatible with and shall not cause damage to adjacent pavement, curbing, piping, and utilities.

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TURNAROUND

A paved circle or square, terminating a cul-de-sac, with a minimum 100-foot diameter or side of the square.

USE

Any purpose for which a building or other structure or tract of land may be designed, arranged, intended, maintained or occupied, or any activity or occupation carried on, or intended to be carried on, in a building or other structure or a tract of land.

UTILITIES

Sanitary sewer lines, water lines, fire hydrants, street lights, storm sewer lines, manholes, inlets, catch basins, gas lines, electric lines/conduits, telephone lines/conduits, cable lines/conduits and other facilities of the same general character.

[Amended 12-15-2003 by Ord. No. 03-06]

VEGETATION, PERMANENT

Perennial grasses, legumes or other long-lived plant materials, such as Crown Vetch, Fescues, etc., and Bluegrasses, depending upon the degree of refinement desired.

VEGETATION, TEMPORARY

Fast-growing grasses, usually annuals, such as rye, oats, Sudan, or other appropriate cover to prevent erosion until permanent vegetation can be installed.

WATERCOURSE

That channel on the land surface, or other plainly observable evidence on the ground, where water flow is visibly definable, but not necessarily present, as a result of seasonal or ongoing hydrologic events such as, but not including, runoff, melting, springs, or ponding.

[Amended 12-15-2003 by Ord. No. 03-06]

WATER HAZARD AREA

Any area of land which is or may be hazardous to the public health, safety or welfare as result of any of the following conditions:

A. HIGH WATER TABLE Soil in which the groundwater exists at, or periodically rises to, a level too near the surface of the ground to permit a particular type of construction or installation.

B. MAN-MADE AREA Areas of land which have been disturbed or changed by grading or filling to such extent that the natural soil conditions no longer prevail.

WATER SUPPLY

A. INDIVIDUAL A safe and healthful supply of water, to a single user from a private well located on the lot in which the use is located.

B. COMMUNITY A system for supplying water from a common source or sources to all dwellings and other buildings within a development. The water supply source may be located on site and/or off site and may be publicly or privately owned.

C. PUBLIC A system for supplying water in sufficient quantities to all dwellings and other buildings within a development, which is administered by a municipality, municipal authority or public utility as defined and regulated by the Pennsylvania Public Utility Commission.

WETLANDS

Areas that are inundated or saturated by surface water or groundwater at a frequency and duration sufficient to support, and under normal conditions do support, a prevalence of vegetation typically adapted for life in saturated soil conditions, including swamps, marshes, bogs, and similar areas.

[Added 12-15-2003 by Ord. No. 03-06]

WOODLAND

A tree mass or plant community in which tree species are dominant or codominant. Any area, grove, or stand of mature or largely mature trees covering an area of 1/4 of an acre or more, or consisting of more than ~~10-20~~ individual trees larger than ~~42-8~~ inches dbh, shall be considered a woodland. For the purposes of this chapter, the extent of any woodland plant community or any part thereof shall be measured from the outermost dripline of all the trees in the community. "Woodland" shall include any area where timber has been harvested within the previous three years and/or woodland disturbance has occurred within the previous three years which would have met the definition of "woodland" prior to timbering or disturbance. Woodlands do not include nursery stock, orchards, or oldfields, except where natural succession has been allowed to occur and where most naturally occurring trees are larger than six inches dbh.

[Added 6-17-2002 by Ord. No. 02-04]

WOODLAND DISTURBANCE

Any activity which alters the existing structure of a woodland or hedgerow; alterations include the cutting or removal of canopy trees, subcanopy trees, understory shrubs and vines, woody and herbaceous woodland floor species. Also includes any activity which constitutes a land disturbance (exposes soils, alters topography) within a woodland or hedgerow. "Woodland disturbance" does not include the selective cutting or removal of invasive alien trees, shrubs, vines or herbaceous species, including, but not limited to, *Rosa multiflora* (multiflora rose), *Eleagnus umbellata* (autumn olive), *Lonicera japonica* (Japanese honeysuckle), *Celastrus orbiculatus* (oriental bittersweet), and *Polygonum perfoliatum* (mile-a-minute weed).

[Added 6-17-2002 by Ord. No. 02-04]

WORKING DRAWING

A working layout and construction plan for all improvements, at scale not smaller than one inch equals 100 feet, prepared by a registered engineer or surveyor, including complete information sufficient in detail to obtain bona fide bids and for construction, including such as-built corrections after construction as may be applicable.

YARD

An open, unoccupied space on the same lot with a building or other structure or use, open and unobstructed from the ground to the sky, except for permitted signs and fences.

[1]Editor's Note: See 68 Pa.C.S.A. § 3101 et seq.

[2]Editor's Note: See 53 P.S. § 10101 et seq.

[3]Editor's Note: The former definition of "steep slope" of the 2006 Code, which immediately followed this definition, was repealed 12-15-2003 by Ord. No. 03-06. See now the definitions of "slope, precautionary" and "slope, prohibitive."

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