



UPPER UWCHLAN TOWNSHIP
PLANNING COMMISSION
AGENDA

October 10, 2024

6:00 p.m. Workshop, 7:00 p.m. Meeting

LOCATION: Upper Uwchlan Township Building, 140 Pottstown Pike, Chester Springs PA 19425

- | | | Packet Page # |
|-------|--|---------------|
| I. | 6:00 p.m. Workshop
Review Planned Industrial/Office and Residential Zoning District Uses | 2 |
| II. | Call To Order | |
| III. | 500 Pottstown Pike Preliminary Land Development Plan
Introduction of a proposed plan to construct an approximately 45,774 SF footprint vehicle service center. Accept plan for consultants' review. | 13 |
| IV. | Meeting Updates ~ Reports
A. Environmental Advisory Council (EAC)
B. Historical Commission (HC)
C. Comprehensive Plan Update (CompPlan) | |
| V. | Approval of Minutes: September 12, 2024 Meeting minutes | 52 |
| VI. | Next Meeting Date: November 14, 2024 7:00 p.m. | |
| VII. | Open Session | |
| VIII. | Adjournment | |

Upper Uwchlan Township Zoning, PI District

§ 200-48 Purpose.

A. It is the intent of the PI District to provide and require unified and organized arrangement of buildings, service and parking areas, together with adequate circulation and designated open space, all planned and designed as integrated units, in a manner as to provide and constitute efficient, safe, convenient and attractive planned campus-like office park, corporate center, hotels/conference center and other appropriate uses. It is also the intent of the PI District to promote large unified developments which have direct access on a major highway, while discouraging the application of this district in areas of the Township which cannot support the above stated intentions. All ground considered for this district must be in single ownership. The requirement for a plan will provide the Board of Supervisors with a means to review proposals and permit the development of those facilities which, in addition to demonstrating a contribution to the community and the region, would incorporate design innovations in building and landscaping so no adverse impacts of any kind would occur. The development plan shall reflect sensitivity in the designation of areas for different uses that will allow for homogenous uses to be contiguous.

Commented [JS1]: Update if/as appropriate

§ 200-49. Use regulations.

A building may be erected, altered or used, and a lot may be used or occupied, for any of the following purposes, and no other:

A. Manufacturing, assembling and/or servicing electronic equipment only.

Commented [JS2]: Why just electronic equipment

A.1. Medical marijuana grower/processor. [Added 6-19-2017 by Ord. No. 2017-02]

Commented [JS3R2]: Need to expand?

B. Passenger station for public transportation; electric substation; telephone central office.

Commented [JS4]: Does not belong here. Move.

C. Hotel and/or conference center where a conference center is designed as a building or series of buildings, designed and used as a professional meeting and training facility and may include conference rooms, recreational facilities, restaurants, sundries shops and other accessory facilities; a minimum of five acres shall be required for this use.

Commented [JS5R4]: Move and modify L.?

D. Offices or office building for administrative, executive and professional activity, and similar activities involving the performance or rendering of professional service, such as a bank, financial institution, the sale of real estate and business office including the showing of samples, sale promotion and demonstration of equipment; provided, however, that no merchandise shall be warehoused on the premises for sale, exchange or delivery thereon, and further provided that nothing herein preclude sale or manufacturers' representatives from arranging for the sale of merchandise manufactured, fabricated or warehoused at, or delivered to, locations outside of the PI District.

E. Restaurant, cafeteria or recreational facilities designed for the comfort and convenience of employees shall be permitted provided such facilities are located inside the confines of the building and provided further that such facilities are not offered for use by the general public.

Commented [JS6]: Comp Plan wants more restaurants. Why not in PI?

F. Churches.

G. Public uses, structures, or buildings owned or operated by the municipality, a municipal authority organized by the municipality or an authority of which the

municipality is a member.

- H. Indoor recreational facilities containing amenities such as a swimming pool, spa, indoor track, nautilus equipment, handball and racquetball courts and facilities typical of a YMCA facility.
- I. Laboratory for scientific research and development including animal research provided such animal research is conducted pursuant to the Guiding Principles in the Use of Animals in Toxicology as adopted by Society of Toxicology in July 1989 and revised in March 1999. [Amended 12-2-2002 by Ord. No. 02-07]
- J. Day-care centers.
- K. Wholesaling, warehousing and distributing, provided that there shall be no exterior evidence of such, and, further, no aboveground storage tanks shall be allowed on the exterior of the building except as permitted by § 200-49O(3). [Amended 10-18-2021 by Ord. No. 2021-04]
- L. Existing agriculture.

Commented [JS7]: But not limited to

Commented [JS8]: Why allow animal research?

Commented [JS9]: Rename and move MJ growing here?

§ 200-49

§ 200-49

- M. Any one of the following uses when authorized as a conditional use by the Board of Supervisors, subject to § 200-116 of this chapter:
 - (1) Manufacturing and processing provided there shall be no raw materials or finished products permitted on the exterior of the building, and, further, no above ground storage tanks shall be allowed on the exterior of the building except as permitted by § 200-49O(3). [Amended 10-18-2021 by Ord. No. 2021-04]
 - (2) Any other use as determined by the Board of Supervisors to be the same general character as the above permitted uses.
 - (3) A building may exceed the thirty-five-foot height limitation as set forth in § 200-50 by conditional use approval; however, in no event shall any building or structure exceed 45 feet in height. [Added 10-17-2011 by Ord. No. 2011-06]
 - (4) Adaptive reuse for historic preservation where indicated as a use subject to approval by the Board of Supervisors as a conditional use in accordance with § 200-72.1. [Added 9-19-2016 by Ord. No. 2016-07]
 - (5)
- N. Any one of the following uses when authorized as a special exception by the Zoning Hearing Board, subject to Article XX of this chapter:
 - (1) A private-use helistop as an accessory use to a permitted principal use subject to Planning Commission review and recommendation.
- O. The following accessory uses shall be permitted provided they are incidental to any of the foregoing permitted uses:
 - (1) Private parking areas pursuant to § 200-73 of this chapter, except that the minimum number of parking spaces for office buildings other than provided for

Commented [JS10]: Expand?

Commented [JS11]: Cite section

Commented [JS12]: Affordable housing?

herein shall be one space for each 250 square feet of gross floor area. However, if, in the opinion of the Board of Supervisors, parking proves to be inadequate, a sufficient number of additional spaces shall be added to alleviate the problem to the satisfaction of the Board of Supervisors. Also, the size of the parking spaces within the entire district for each vehicle shall consist of a rectangular area having a dimension of not less than 10 feet in width and 20 feet in length. Where a parking space abuts a grass median of at least two feet in width or four feet in width where parking spaces are on each side of the median, only 18 feet of paving shall be necessary with the remaining two feet being with the grass median area.

- (2) Other customary accessory uses, structures or buildings, provided such are clearly incidental to the principal use.
 - (3) Aboveground storage tanks for storage of Inert gases, liquids and solids, water and brine; provided, however, that the storage of any materials and/or substances that meet the definition of a Regulated Substance as that term is defined in 25 Pa. Code § 245.1 shall be prohibited. **[Added 10-18-2021 by Ord. No. 2021-04]**
- P. Adaptive reuse for historic preservation where indicated as a use by right in accordance with § 200-72.1. **[Added 9-19-2016 by Ord. No. 2016-07]**

Township of Uwchlan, PA PIC Planned Industrial-Commercial District (NOTE: “Eagleview”. Sections deleted for clarity)

§ 508. PCID Planned Commercial Industrial Development Districts.

[Amended 4-8-1996 by Ord. No. 96-04; 9-8-1997 by Ord. No. 97-12]

508.1 Purpose. The purpose of the PCID District is to provide for unified and flexible development of a large area of land with a mixture of uses.

508.2 Criteria for PCID District. All land to be considered for development within the PCID District and all proposals for development within the PCID District shall comply with the following criteria:

- 1) Areas zoned PCID shall contain a total tract area of at least 275 contiguous acres and have direct frontage on a major highway as defined by the Uwchlan Township Zoning Ordinance.
- 2) All land proposed for development within the PCID District must be in single ownership, or subject to an agreement among all owners to develop pursuant to a coordinated plan.

508.3 Review procedures. In order to assure that development of the PCID District complies with the intent of this section, a Master Concept Plan for the tract shall be submitted to the Board of Supervisors in conformance with the following procedure:

- a. An applicant for approval of any development within the PCID District shall initially present a Master Concept Plan that shall, following approval, stand as an official tentative plan, with phased submittals for final approval as development proceeds. The Master Concept Plan shall include the entire tract and shall contain the following information:
 - (1) Location, proposed site layout, parking facilities, all adjacent highways, streets and alleys with traffic flow patterns, and a tentative list of the kind of establishments to be located on the site.
 - (2) Sketches, elevations and engineering plans showing proposed methods of stormwater control, type of sewage treatment and disposal, and the source of water supply.
- b. In addition to the Master Concept Plan, the applicant shall submit the following studies: traffic, utility investigations and a detailed report that evaluates the effect of the Planned Commercial Industrial Development on municipal services (such as police, fire, recreation), public facilities, utilities, budget, environmental impact, stormwater drainage and transportation system.
- c. Following approval of the Master Concept Plan, and, where applicable, conditional use approval, site development plans for sections of the tract shall be submitted and reviewed in accordance with the current Subdivision and Land Development Ordinance regulations. The provisions of the Subdivision and Land Development Ordinance, shall apply unless the regulations are altered by this § 508.

508.4 Permitted uses. The following uses shall be permitted in the areas of the PCID designated on the Master Concept Plan for office park uses:

- a. Manufacturing, assembling and/or servicing electronic equipment.
- b. Passenger station for public transportation; electric substation; telephone central office.
- c. Hotel and/or conference center.
- d. Professional and other business offices.
- e. Restaurant, cafeteria or recreational facilities designed for the comfort and convenience of employees, provided such facilities are located inside the confines of the building and are not offered for use by the general public.
- f. Churches.
- g. Public uses, structures, or buildings owned, operated or subsidized by the Township, a Municipal Authority organized

by the Township or an Authority of which the Township is a member.

- h. Indoor recreational facilities containing amenities such as a swimming pool, spa, indoor track, nautilus equipment, handball courts and facilities typical of a YMCA facility.
- i. Laboratory for scientific research and development, excluding animal research for cosmetics purposes.
- j. Day-care centers.
- k. Wholesaling, warehousing and distributing, provided that there shall be no exterior evidence of such, and, further, no bulk storage of liquid or gaseous fuel or chemicals shall be permitted except for immediate consumption on the premises.

508.5 Permitted accessory uses to office park uses.

- a. Off-street parking pursuant to § 607, provided that, where a parking space abuts a grass median of at least two feet in width, or four feet in width where parking spaces are on each side of the median, the minimum length of the parking space may be 18 feet.
- b. Signs pursuant to § 606.
- c. Other accessory uses, structures or building, provided such are clearly incidental to the principal use.

508.6 Uses permitted by conditional use. The following uses shall be permitted in the PCID District when approved by the Board of Supervisors as a conditional use:

- a. Convenience centers. Principal uses as stated in § 605 shall be permitted subject to the provisions thereof except that no gasoline service stations, garages (private or public) or drive-in food establishments shall be permitted. In addition, the following convenience uses are permitted in the PCID District:
 - (1) Theater (movie or performing) within a permanent building; library, civic or cultural center.
 - (2) Automatic self-service laundry and dry-cleaning establishment.
- b. Manufacturing and processing, provided that there shall be no bulk storage of liquid or gaseous fuels or chemicals except for immediate consumption on the premises, and no raw materials or finished products shall be permitted on the exterior of the building.
- c. Restaurant, tearoom, cafe, confectionery or other place serving food or beverages, provided that no curb service shall be permitted.
- d. Any nonresidential buildings in excess of three stories but not more than five stories or 65 feet in height, provided that:
 - (1) Structures up to 65 feet in height may be permitted, provided they are sprinklered and have standpipe systems in accordance with the Uwchlan Township Fire Code, and provided that for each foot in excess of 35 feet, there shall be a corresponding decrease in both maximum impervious coverage and building coverage by 0.7% and provided such height increase does not impinge on the rights of existing or future property owners in the community. The decrease in impervious coverage shall be 0.2% for each one foot over 35 feet height limit for a structure in the Town center only. [Amended 9-14-2009 by Ord. No. 2009-03]
 - (2) The minimum parking spaces for office buildings shall be one space for each 300 square feet of leasable floor area. The number of required parking spaces for all other uses shall be in accordance with § 607.2 of this ordinance. If in the opinion of the Board of Supervisors parking proves to be inadequate, a sufficient number of additional spaces shall be added to alleviate the problem to the satisfaction of the Board of Supervisors.
- e. Wagering and gambling facilities, provided that no such use shall be located on any lot or parcel of land unless said lot or parcel of land or any part thereof is separated by either (a) a distance of 1,500 feet (except for a hotel) or (b) the right-of-way of a limited access highway, from any lot or parcel of land which is used for residential purposes (except for a hotel) in the Township or an adjoining Township; or which is included in whole or in part within a residential zoning district of the Township or an adjoining Township.
- f. Town center as defined in § 508.11.^[1]

[1] *Editor's Note: Former Subsection g, regarding wagering and gambling facilities, which immediately followed this subsection, was deleted 10-22-2009 by Ord. No. 2009-04.*

g. Hospitals.

[Added 12-9-2013 by Ord. No. 2013-06^[2]]

[2] *Editor's Note: This ordinance also redesignated former § 508.6.g and h as § 508.6.h and i, respectively.*

h. Off-premises outdoor advertising signs, subject to the regulations of § 606. [Added 1-24-2000 by Ord. No. 2000-01]

i. Any other use as determined by the Board of Supervisors to be the same general character as the permitted uses.

j. Any legitimate use not specifically provided for in any zoning district and which is not inherently objectionable.
[Added 12-9-2013 by Ord. No. 2013-06]

k. Planned life care facility in compliance with all of the requirements of §§ 508.13 and 806.4. [Added 6-8-2015 by Ord. No. 2015-03]

508.7 Uses permitted by special exception.

a. A private-use helistop as an accessory use to a permitted principal use subject to Planning Commission review and recommendation and conformance to the general standards prescribed in § 610.

b. Accessory uses not located on the same lot with the permitted principal use.

508.8 Minimum lot size and open space requirement for office park uses.

a. Area: Two acre minimum with a three acre average. However, one to 1.99 acre size lots may be permitted for a maximum of 5% of the total number of lots in the development. Also, any lot which is less than three acres shall be under single ownership and shall contain one specific use, company or corporation.

b. Width: 200 feet.

c. Designated open space. In areas to be developed for office park uses the developer shall allow for a minimum of 5% of the total net tract area, which may include stormwater management areas, that shall be properly landscaped, separate from any lots, and usable for any active or passive recreation.

d. Maximum impervious coverage: No lot three net acres or larger shall be covered by more than 65% of impervious surface, including but not limited to principal and accessory buildings, driveways and walkways and parking areas. Lots three acres or less may have up to 75% impervious coverage.

508.9 Minimum yard dimensions for office park uses.

a. Front yard: minimum of 40 feet, except when an agricultural use or residential district is adjacent to the front yard, in which case front yard setback shall be 150 feet minimum.

b. Each side yard: minimum of 15 feet, except when an agricultural use or residential district, or lot containing an occupied dwelling, is adjacent to the side yard, in which case the side yard setback shall be 150 feet on the side thus abutted. On a corner lot there shall be a side yard of not less than 40 feet.

c. Rear yard: minimum of 15 feet, except when an agricultural use or residential district, or lot containing an occupied dwelling unit, is adjacent to the rear yard, in which case the rear yard setback shall be 150 feet.

d. By conditional use: subject to § 806, the setbacks required when a building abuts a residential or agricultural district or a lot containing an occupied dwelling may be reduced from 150 feet to a distance determined by the Board of Supervisors to be sufficient to allow for proper protection of abutting property and its use but in no case to a distance less than the district normally requires.

508.10 Requirements governing residential uses within residential use portions of the PCID. Residential uses will be permitted as the exclusive use only on a minimum of 100 contiguous acres.

a. Permitted density.

[Amended 9-14-2009 by Ord. No. 2009-03]

The maximum allowable residential density calculated with reference to the portion of the tract to be developed exclusively for residential uses shall be four dwelling units per acre, provided that a maximum density of 4.15 dwelling units per acre shall be permitted if the dwelling units in excess of 4.0 dwelling units per acre consist entirely of units designed and intended for occupancy by senior citizens pursuant to a program of housing subsidization under the auspices of an agency of the county, commonwealth, or United States government. In no event shall the net residential density of any specific use area and calculated with reference to that area exceed the following:

Dwelling Unit Type		Maximum Permitted Net Density
(1)	Single-family detached	4 dwelling units per acre
(2)	Single-family semidetached	6 dwelling units per acre
(3)	Single-family attached (townhouse or quadraplex)	8 dwelling units per acre
(4)	Apartments, low rise apartments and multifamily dwellings	12 dwelling units per acre
(5)	Single-family garden lot development	5 dwelling units per acre
(6)	Attached garden lots	8 dwelling units per acre

Category	R-1 Zoning District
Purpose	to support the preservation of critical natural resources, such as streams, floodplains, wet soils, variable groundwater yield areas, and conditionally suitable for on-lot sewage disposal systems; to encourage continued agricultural, open space and conservation uses; to provide for continued low density residential development that is compatible with established use patterns; and to encourage and promote phased development throughout the Township by permitting low density residential uses in the R-1 District until other areas of the Township more accessible to adequate services and transportation are fully developed in medium and high density residential uses. The R-1 District establishes maximum density standards which provide for low density residential uses and promote the conservation of surface water and groundwater supplies, soils for on-lot sewage disposal systems, and the control of soil erosion and flooding.
By-Right	A. Single-family detached dwelling and group home. B. Agriculture
Conditional Use	(1) Nursery, excluding retail sales and landscaping business, provided that they are situated no less than 100 feet from an adjoining property line or public right-of-way. (2) Educational or religious use. (3) Recreation uses, provided that no commercial activity or use such as amusement park, driving ranges, pitch and putt or miniature golf course, or similar use customarily carried on as a business, shall be permitted (see § 200-68). (4) Bed-and-breakfast [see § 200-62B(5)]. (5) (Reserved) (6) Adaptive reuse for historic preservation where indicated as a use subject to approval by the Board of Supervisors as a conditional use in accordance with § 200-72.1.
Accessory Use	(1) Customary residential accessory uses. (2) Customary agricultural accessory uses. (3) Private swimming pools
Special Exception	(1) Municipal or public uses; governmental or public utility building or uses. (2) Cemetery. (3) Kennels. (4) Home occupations
Other	Adaptive reuse for historic preservation where indicated as a use by right in accordance with § 200-72.1.

Category	R-2 Zoning District
Purpose	to provide for low to moderate density residential development in areas of the Township which are not generally characterized by steep slopes or floodplains, but which nevertheless contain soils conditional for on-lot sewage disposal systems and variable groundwater yields; to encourage continued agricultural, open space and conservation uses in the R-2 District while also permitting low to moderate density residential development compatible with established use patterns; and to encourage and promote phased development throughout the Township by permitting low to moderate density residential uses in the R-2 District until other areas of the Township more accessible to adequate services and transportation are fully developed in medium and high density residential uses. The R-2 District establishes maximum density standards which provide the conservation of surface water and groundwater supplies, soils for on-lot sewage disposal systems, and the control of soil erosion and flooding.
By-Right	Any use permitted by right in the R-1 District.
Conditional Use	(1) Educational or religious use. (2) Cemetery. (3) Adaptive reuse for historic preservation where indicated as a use subject to approval by the Board of Supervisors as a conditional use in accordance with § 200-72.1.
Accessory Use	Any accessory use permitted in the R-1 District.
Special Exception	None
Other	Adaptive reuse for historic preservation where indicated as a use by right in accordance with § 200-72.1.

Category	R-3 Zoning District
Purpose	to encourage medium to high density residential development which is compatible with established use patterns; located in areas of the Township which contain environmental features generally suitable for such development; and accessible to transportation systems and community facilities appropriate for such development. The R-3 District is designed: (1) To provide a transition between areas of low and high density residential; and (2) To supply additional flexibility and opportunity for accommodating multifamily units at a lower density than permitted in other zoning districts of the Township.
By-Right	In addition to those uses permitted by right in the R-1 District, the following uses shall be permitted: (1) Single-family semidetached dwelling (twin). (2) Two-family detached dwelling (duplex).
Conditional Use	(1) Multifamily dwellings. (2) Mobile home park. (3) Nursing or convalescent home (see § 200-66). (4) Cemetery. (5) Municipal or public uses; governmental or public utility building or use. (6) Adaptive reuse for historic preservation where indicated as a use subject to approval by the Board of Supervisors as a conditional use in accordance with § 200-72.1.
Accessory Use	Any accessory use permitted in the R-1 District.
Special Exception	None
Other	Adaptive reuse for historic preservation where indicated as a use by right in accordance with § 200-72.1.

Category	R-4 Zoning District
Purpose	to provide the opportunity for high density residential development to occur in areas which are compatible with established use patterns; located in areas of the Township which contain environmental features generally suitable for such development; and accessible to transportation systems and community facilities appropriate for such development. The R-4 District is designed to provide the opportunity for accommodating multifamily units at a density consistent with the character of the Township.
By-Right	Any use permitted by right in the R-3 District.
Conditional Use	(1) Multifamily dwellings. (2) Adaptive reuse for historic preservation where indicated as a use subject to approval by the Board of Supervisors as a conditional use in accordance with § 200-72.1.
Accessory Use	Any accessory use permitted in the R-1 District.
Special Exception	
Other	Adaptive reuse for historic preservation where indicated as a use by right in accordance with § 200-72.1.



SUBDIVISION / LAND DEVELOPMENT APPLICATION



Preliminary Submittal



Final Submittal

The undersigned hereby applies for review of the Plan submitted herewith and described below:

1. Name of Subdivision / Development: Chester Springs Service Center
2. Plan Dated: August 1, 2024 County Deed Book/Page No. B: 11052 P: 1945
3. Name of property owner(s): Rockhill Real Estate Enterprises XVII, LP

Address: 4005 West Chester Pike, Newtown Square
State/Zip: PA 19073 Phone No.: (856) 816-2200
Email: rd@rdsautogroup.com; Dlebeau@rdsreserve.com
4. Name of Applicant (If other than owner):
Same as owner.
Address:
State/Zip: Phone No.:
Email:
5. Applicant's interest (If other than owner):
6. Engineer, Architect, Surveyor, or Landscape Architect responsible for Plan.
Keith Lieberman, P.E., T&M Associates, Inc.
Address: 1700 Market Street, Suite 3110, Philadelphia
State/Zip: PA 19103 Phone No.: (215) 282-7853
Email: KLieberman@tandmassociates.com
7. Total acreage: 13.79 acres Number of Lots: 1
8. Acreage of adjoining land in same ownership: (If any) N/A
9. Describe Type of Development Planned: An approximately 45,774 SF footprint vehicle service enter with associated parking and stormwater management facilities.

10. This Application shall be accompanied by: the Application Fee as listed below, an aerial image of the property, and the quantity of plans/supporting information as detailed in the Township Code §162-8.B.(1)(b) and/or §162-8.C.(1)(d).

[One-half of the required plan submissions may be of a reduced size, i.e. 11 x 17]

11. List all subdivision and zoning standards or requirements which have not been met and for which a waiver or change is requested.

See enclosed waiver list.

12. The Applicant or his/her agent shall enter into a Subdivision / Land Development Review Escrow Agreement (attached) and place into escrow with the Township at the time of application an amount estimated by the Township to cover all costs of engineering and professional planning reviews (not including County application fee), legal services and other professional services used by the Township in connection with the application.

Signature of Property Owner or Applicant:

By:  Alyson M. Zarro, Attorney for the Applicant

Date: October 3, 2024

*Development subject to ACT 209 Impact Fee.

*Park & Recreation Fee per residence is levied. Contact Township Offices to determine amount.

SUBDIVISION / LAND DEVELOPMENT APPLICATION FEE

1-2 Lots \$250

3-5 Lots \$500

Plus \$25 for each Lot over 3

Over 5 Lots \$1000

Plus \$50 for each Lot over 5

Form revised January 2015



October 3, 2024

Mr. Tony Scheivert
Township Manager, Upper Uwchlan Township
140 Pottstown Pike
Chester Springs, PA 19425

RE: Waiver Request Letter – Chester Springs Service Center
500 Pottstown Pike
Upper Uwchlan Township, Chester County, Pennsylvania
T&M Project No. PORS00021

Below is a list of the waivers Rockhill Real Estate Enterprises XVII LP requests as part of the Preliminary Land Development Application for the Chester Springs Service Center Project.

WAIVER #1

Chapter: Chapter 152, Stormwater Management

Section: 152-301.T – General Requirements

Requirement: Disturbance of existing ground cover during construction of the proposed regulated activity is prohibited within 75 feet of top-of-bank of all perennial and intermittent waterways, water bodies (lakes, ponds, etc.) and wetlands, except for activities otherwise approved by state or local agencies (e.g. stream restoration projects, road crossings, subsurface utility projects, etc.).

Request: A waiver is requested to disturb existing ground cover within 75 feet of areas identified as potential wetlands for proposed improvements, specifically portions of the parking lot and the stormwater management basin.

Justification: Section 162-5 of the Subdivision and Land Development Ordinance (“SALDO”) defines “Riparian Buffer Area” in pertinent part as “any wetlands and any area within 25 feet of any wetland.” The proposed development complies with the requirement to provide this Riparian Buffer Area. Sections 162-55.C and D of the SALDO also permit regulated activities/disturbance permitted by State and Federal law in wetlands and Riparian Buffer Area. Applicant is seeking a waiver to disturb area within the 75 feet but outside of the Riparian Buffer Area. The wetlands on the property are manmade as a result of the decommissioning of the tank farm that was previously located on the property and are of low quality. The decommissioning left containment areas, which trapped water and created these artificial wetlands. The proposed development to occur within 75 feet of wetlands will be not direct untreated runoff to any wetland area. All proposed impervious cover within 75 feet will be contained within a curblin and collected by storm conveyance before discharging to a constructed wetlands stormwater BMP, thereby enhancing water quality prior to discharging into the existing wetlands. Accordingly, although disturbance is not otherwise permitted under this Stormwater Management Ordinance Section, it is permitted under the SALDO and Applicant is designing it stormwater management system to address water quality requirements.

WAIVER #2

Chapter: Chapter 162, Subdivision and Land Development

Section: 162-9.H(5) – Historic Impact Statement

Requirement: A historic resources impact statement is required when any of the following actions is proposed within 250 feet of an historic resource as identified in the document entitled "Historic Resources Inventory: Upper Uwchlan Township, Chester County, Pennsylvania (Wise Preservation Planning, 2001)."

Request: A waiver is requested to not provide a Historic Resource Impact Study.

Justification: The “John Keeley House”, located at 210 Font Road, is identified as a Township Class II Historic Resource (No. 30) on the Township’s Historic Resource Inventory. The property containing the John Keely House is separated from the property that is the subject of this application (“Property”) by Pottstown Pike. The John Keely House has been adaptively reused and now operates as a WSFS bank branch. There is a significant visual vegetated buffer that exists on the Property today that is intended to remain as part of the proposed

development and there is a separation of over 200 feet between the proposed development and existing John Keeley House. Additionally, Applicant will comply with the condition of approval imposed by the Board of Supervisors as part of the Conditional Use Approval pertaining to providing an effective buffer between the John Keely House and the proposed development.

WAIVER #3

Chapter: Chapter 162, Subdivision and Land Development

Section: 162-55.B – Woodland Replacement

Requirement: Where woodland or hedgerow disturbance involves more than the maximum area permitted under Subsection B(3) above, one tree and two shrubs shall be planted for each 300 square feet of woodland or hedgerow disturbance area, or fraction thereof, in excess of the maximum permitted area of disturbance.

Request: A waiver is requested to the extent required to provide a fee in lieu of required plantings

Justification: Under Section 165-55.B(12) of the SALDO, the Township may permit an applicant to pay a fee in lieu of required replacement trees, "especially if the site in question cannot accommodate the replacement trees required pursuant to [the SALDO]". The required number of replacement vegetation cannot be accommodated onsite in addition to other planting requirements. To require the Applicant to plant trees required to comply with 162-55.B would substantially change the layout presented and generally approved as part of the Conditional Use process for this project.

WAIVER #4

Chapter: Chapter 162, Subdivision and Land Development

Section: 162-57.D(1) – Minimum Planting Standards

Requirement: The total number of plantings required shall be no less than the total calculated from all columns in the table located in section D.1 and shall be in addition to any required replacement plantings due to woodland disturbance. The total number of required plantings may be dispersed throughout the tract to meet the objectives of this section.

Request: A waiver is requested to provide less than the required number of plantings set forth in this section.

Justification: The required number of plantings cannot be accommodated onsite while allowing the vegetation remain viable. The proposed plantings have been practicably maximized on the Property.

If you have any questions or require any additional information, please do not hesitate to contact me by phone at 215-282-7853 or by email jtackett@tandmassociates.com.

Sincerely,
T&M Associates

A handwritten signature in black ink, appearing to read "Jacob Tackett", with a stylized flourish at the end.

Jacob Tackett
Principal Staff Designer



GENERAL NOTES

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1. REFERENCE PLAN: 3 ON 3 "TITLE PLAN, FINAL MINOR SUBDIVISION PLAN FOR TOLL BROS., INC." PREPARED BY COMMONWEALTH ENGINEERS, INC., DATED FEBRUARY 2, 2001. LAST REVISED MARCH 13, 2002 AND RECORDED IN THE CHESTER COUNTY RECORDER OF DEEDS AS PLAN BOOK 16231, PAGE 1 ON MAY 30, 2002.
2. "FINAL PLAN, TITLE PLAN, REFSNEIDER TRANSPORTATION, INC." PREPARED BY HARRY STRONG ENG. & LAND SURVEYER 31997. LAST REVISED JANUARY 27, 1998 AND RECORDED IN THE CHESTER COUNTY RECORDER OF DEEDS AS PLAN BOOK 14828, PAGE 1.
3. "SITE PLAN, FELLOWSHIP FIELDS", PREPARED BY TAYLOR WISEMAN & TAYLOR, AND RECORDED IN THE CHESTER COUNTY RECORDER OF DEEDS AS BOOK 9186, PAGE 876.
4. "PRELIMINARY/FINAL LAND DEVELOPMENT PLAN, LAND DEVELOPMENT PLAN OVERALL TRACT" PREPARED BY HARRIS COMMUNICATIONS DIVISION, AND RECORDED IN THE CHESTER COUNTY RECORDER OF DEEDS AS PLAN BOOK 19822, PAGE 1.
5. "PROPOSED WAREHOUSE BUILDING, PLAN OF PROPERTY FOR F. BRIAN FORCINE", PREPARED BY JMR ENGINEERING, LLC, DATED AUGUST 18, 2017, AND RECORDED IN THE CHESTER COUNTY RECORDER OF DEEDS AS PLAN BOOK 20216, PAGE 1.
6. "MINOR LAND DEVELOPMENT PLAN FOR DUKE ENERGY GAS TRANSMISSION, GENERAL SITE PLAN", PREPARE BY COMMONWEALTH ENGINEERS, INC., DATED SEPTEMBER 5, 2000. LAST REVISED MARCH 13, 2001, AND RECORDED IN THE CHESTER COUNTY RECORDER OF DEEDS AS PLAN BOOK 15752, PAGE 1.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS, SPECIFICATIONS, AND REFERENCED DOCUMENTS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT OR DISCREPANCY WITH THE DRAWINGS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE CONSTRUCTION MEETS ALL APPLICABLE CODE REQUIREMENTS.

2. ATTENTION ALL CONTRACTORS: LOCATIONS OF ALL EXISTING UTILITIES SHOWN HEREIN HAVE BEEN DEVELOPED FROM UTILITY COMPANY RECORDS AND/OR ABOVEGROUND INSPECTION OF THE SITE. COMPLETENESS OR ACCURACY OF TYPE, SIZE, DEPTH OR HORIZONTAL AND VERTICAL LOCATION OF UNDERGROUND FACILITIES OR STRUCTURES CANNOT BE GUARANTEED. PURSUANT TO REQUIREMENTS OF THE PENNSYLVANIA LEGISLATIVE ACT NUMBER 287 OF 1974, AS AMENDED BY ACT 181 OF 2006, CONTRACTORS MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO START OF WORK. PA LAW REQUIRES THREE WORKING DAYS NOTICE FOR CONSTRUCTION PHASE. CALL THE PA ONE CALL SYSTEM AT 1-800-242-1776. SERIAL NO. 2040653115-000 WAS PLACED FOR SURVEY PURPOSES ONLY.

3. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS BEEN RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL OF THE PERMITTING AUTHORITIES.

4. ALL PROPOSED IMPROVEMENTS SHALL COMPLY WITH "THE AMERICAN DISABILITIES ACT", "ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES", AND "THE PENNSYLVANIA UNIVERSAL ACCESSIBILITY ACT".

5. THIS PLAN SHALL NOT BE USED FOR BUILDING STAKEOUT PURPOSES. PROPOSED BUILDING LOCATION AS DEPICTED IS WITHIN ACCEPTABLE TOLERANCES FOR SITE WORK ONLY. PLEASE REFER TO ARCHITECTURAL/STRUCTURAL PLANS FOR EXACT BUILDING PLACEMENT.

6. THE BUILDING FOOTPRINTS DEPICTED HEREON HAVE BEEN TRANSPOSED FROM ARCHITECTURAL PLANS. FINAL BUILDING DIMENSIONS MAY VARY SLIGHTLY FROM THOSE DEPICTED HEREON BUT SHALL ULTIMATELY CONFORM TO ALL APPLICABLE ZONING SETBACKS, IMPERVIOUS SURFACE COVERAGE RATIOS, ETC. CONTRACTOR SHALL NOTIFY PROJECT ENGINEER IF FINAL BUILDING FOOTPRINTS SUBSTANTIALLY VARY FROM THE FOOTPRINTS HEREON.

7. CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH PENNDOT "PUBLICATION 408", LATEST EDITION, WHICH SUPERSEDES SPECIFICATIONS, AND UTILITY AUTHORITY/CO. STANDARDS AND SPECIFICATIONS, UNLESS OTHERWISE MORE RESTRICTIVE.

8. CONTRACTOR SHALL FURNISH AND INSTALL ALL ITEMS AND COMPLETE ALL WORK INDICATED OR IMPLIED ON THE PROJECT PLANS AND/OR SPECIFICATIONS THAT ARE NOT EXISTING ON THE PROJECT SITE AND THAT ARE NOT SPECIFICALLY NOTED AS 'FUTURE' OR 'NOT IN CONTRACT (NIC)', 'BY OTHERS', 'BY OTHER CONTRACTORS', 'BY EC', 'BY PC', 'BY MC'.

9. THE CONTRACTOR SHALL BE FAMILIAR WITH AND RESPONSIBLE FOR ANY/ALL CERTIFICATIONS, INSPECTIONS, ETC. REQUIRED BY ALL GOVERNING JURISDICTIONAL AGENCIES DURING AND AFTER CONSTRUCTION FOR SIGN-OFF AND CERTIFICATE OF OCCUPANCY REQUIREMENTS INCLUDING BUT NOT LIMITED TO PROCUREMENT OF SERVICES, SCHEDULING OF FIELD OBSERVATIONS AND COORDINATION WITH REPRESENTATIVES OF THE APPROPRIATE PARTIES. CONTRACTOR IS RESPONSIBLE TO COORDINATE CERTIFICATIONS, SIGN-OFFS, ETC. NECESSARY FOR JOB CLOSEOUT AND ISSUANCE OF CERTIFICATE OF OCCUPANCY.

10. THE PROPERTY SURVEY AS CERTIFIED SHALL BE CONSIDERED A PART OF THESE PLANS.

11. THESE PLANS ARE BASED ON INFORMATION PROVIDED TO OUR OFFICE AT THE TIME OF PLAN PREPARATION. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND NOTIFY THE ENGINEER IN WRITING IF ACTUAL SITE CONDITIONS DIFFER FROM THAT SHOWN ON THE PLAN, OR IF THE PROPOSED WORK WOULD BE INHIBITED BY ANY OTHER EXISTING SITE FEATURES.

12. ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CORRECTIONS TO THE PLANS PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK DUE TO DISCREPANCIES OR CONFLICTS ON THE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN PRIOR TO THE START OF WORK AND MATERIALS PROCUREMENT.

13. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL/MEPF PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY SERVICE LOCATIONS AND SITE ELECTRICAL DESIGN.

14. DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) SHALL BE REMOVED IN ACCORDANCE WITH ALL LOCAL, COUNTY STATE AND FEDERAL LAWS AND APPLICABLE CODES. CONTRACTOR SHALL PROPERLY REMOVE AND DISPOSE OF HAZARDOUS/UNSUITABLE MATERIAL IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES AND LAWS.

15. THE CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION AND SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES, AS FIELD CONDITIONS DICTATE.

16. THE CONTRACTOR IS TO EXERCISE CARE WHEN PERFORMING WORK ACTIVITIES ADJACENT TO PAVEMENT STRUCTURES AND FACILITIES THAT ARE TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING THE APPROPRIATE MEASURES AS NECESSARY TO ENSURE THE STRUCTURAL STABILITY SIDEWALKS AND PAVEMENT TO REMAIN, AND PROVIDE A SAFE WORK AREA.

17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REPLACE ALL SIGNAL INTERCONNECTION CABLES, CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION.

18. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO EXISTING ITEMS DURING CONSTRUCTION SUCH AS BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, SIDEWALK, ETC. REPAIR SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE TO PROVIDE DOCUMENTATION OF THE CONDITION OF EXISTING ITEMS TO THE OWNER'S DESIGNATED REPRESENTATIVE PRIOR TO CONSTRUCTION START.

19. CONCRETE SHALL HAVE THE MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS AS INDICATED IN SPECIFICATIONS AND REFERENCED DOCUMENTS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT.

20. THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS/MEANS FOR COMPLETION OF THE WORK DEPICTED ON THESE PLANS NOR ANY CONFLICTS/SCOPE REVISIONS WHICH RESULT FROM THE SAME. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING METHODS/MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND NOTIFICATION OF OWNER AND ENGINEER OF RECORD IN WRITING WHEN A CONFLICT IS IDENTIFIED.

21. NEITHER THE PROFESSIONAL ACTIVITIES OF T&M ASSOCIATES NOR THE PRESENCE OF T&M ASSOCIATES OR ITS EMPLOYEES AND SUB-CONSULTANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. T&M ASSOCIATES AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE CONTROL OVER THE CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY. THE ENGINEER OF RECORD HEREIN IS NOT RESPONSIBLE FOR JOB SITE SAFETY NOR HAS BEEN RETAINED FOR SUCH PURPOSES. T&M ASSOCIATES SHALL BE INDEMNIFIED BY THE CONTRACTOR AND SHALL BE MADE AN ADDITIONAL INSURED UNDER THE CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.

22. T&M ASSOCIATES SHALL REVIEW AND COMMENT OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR'S SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN REQUIREMENTS OF THE PROJECT. T&M ASSOCIATES SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S WORK WITH OTHER TRADES AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. T&M ASSOCIATES' REVIEW SHALL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT T&M ASSOCIATES HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. T&M ASSOCIATES SHALL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO THE ATTENTION OF T&M IN WRITING BY THE CONTRACTOR. T&M ASSOCIATES SHALL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OR CORRELATED ITEMS HAVE NOT BEEN RECEIVED.

23. ALL RADII SHALL BE MIN. 5' UNLESS OTHERWISE NOTED OR DIMENSIONED.

24. THE OWNER/EQUITABLE OWNER OF THE PROPERTIES WILL BE RESPONSIBLE FOR THE ONGOING INSPECTIONS, OPERATION, REPAIR, AND MAINTENANCE OF THE STORMWATER MANAGEMENT BMP'S AND CONVEYANCE SYSTEMS AFTER COMPLETION OF CONSTRUCTION.

25. ALL PROPOSED PEDESTRIAN FACILITIES WITHIN THE SITE AND WITHIN THE PUBLIC RIGHT-OF-WAY (INCLUDING CURB, SIDEWALK, AND PEDESTRIAN PATHWAYS) SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE U.S. ACCESS BOARD, PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG) OF THE ACCESSIBILITY GUIDELINES OF BUILDINGS AND FACILITIES (ADAG), PENNDOT DESIGN MANUAL PART 2, CHAPTER 6, AND PENNDOT STANDARDS FOR ROADWAY CONSTRUCTION (PUBLICATION 72M, RC-67M). UNLESS SPECIFIED OTHERWISE, THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER OF ANY CONFLICTS OR DISCREPANCIES PRIOR TO INSTALLATION.

26. CONTRACTOR SHALL PROVIDE A DUST CONTROL PLAN WITH SPECIFIC INFORMATION ABOUT THE GENERATION AND CONTROL OF DUST EMISSIONS DURING EXCAVATION, STOCKPILING, STABILIZATION, BACK FILLING AND ASSOCIATED ACTIVITIES OF THIS PROJECT.

1. ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRIC, TELEPHONE, CABLE TV, ETC. ARE TO BE INSTALLED UNDERGROUND. ALL NEW UTILITIES/SERVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE UTILITY/SERVICE PROVIDER INSTALLATION SPECIFICATIONS AND STANDARDS.
2. THE LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, REMOVAL OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINT CONFLICTS SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER.
3. ALL UTILITY EXTENSIONS FROM THE BUILDING BY OTHER TRADES SHALL BE CONNECTED TO THE EXISTING UNDERGROUND OR ABOVE GROUND UTILITY. THE CONTRACTOR SHALL MAKE THE CONNECTIONS AT A POINT 5' FROM THE BUILDING WALL WHERE OTHER TRADES HAVE ENDED THEIR WORK. THE GC SHALL COORDINATE SCHEDULING OF THESE CONNECTIONS WITH OTHER TRADES TO ASSURE THE SYSTEM IS COMPLETE WHEN FLOW WILL BEGIN IN THE LINES.
4. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
5. DEFINE AND LOCATE VERTICALLY AND HORIZONTALLY ALL ACTIVE UTILITY AND/OR SERVICE SYSTEMS THAT ARE NOT TO REMAIN. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING SITE ACTIVITY.
6. THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY SERVICE PROVIDER GRADING. (THE UTILITY SERVICE SIZES ARE TO BE DETERMINED BY ARCHITECT.) THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES/SERVICES WITH THE INDIVIDUAL COMPANIES TO AVOID CONFLICTS AND ENSURE PROPER DEPTHS ARE MAINTAINED IN ACCORDANCE TO MEETING THE UTILITY OWNER REQUIREMENTS. THE UTILITY TIE-INS/CONNECTIONS SHALL BE COORDINATED. THIS SHALL BE COMPLETED PRIOR TO CONNECTING TO THE EXISTING UTILITY/SERVICE, WHERE CONFLICTS EXIST WITH THESE PLANS. THE ENGINEER OF RECORD SHALL BE NOTIFIED IN WRITING TO RESOLVE SAID CONFLICTS PRIOR TO CONSTRUCTION.
7. CONTRACTOR SHALL CONTACT THE TOWNSHIP CODE ENFORCEMENT OFFICE WHEN UNDERGROUND PIPING IS BEING HYDROSTATICALLY TESTED ON SITE. APPLICANTS ARE ALSO REMINDED THAT FLUSHING OF THE UNDERGROUND PIPING SHALL BE WITNESSED BY A TOWNSHIP OFFICIAL PRIOR TO FINAL RISER CONNECTIONS, PER NFPA 13.
8. REFER TO THE SITE / RECORD PLAN FOR ADDITIONAL NOTES.
9. ALL PROPOSED SANITARY SEWER SHALL COMPLY WITH THE AUTHORITY HAVING JURISDICTION'S POLICIES AND SPECIFICATIONS.
10. CONTRACTOR SHALL MAKE EVERY EFFORT TO PROTECT AND AVOID DAMAGE TO EXISTING SEWER SYSTEM.
11. ANY DAMAGES TO THE AUTHORITY SYSTEM DURING THE CONSTRUCTION FOR SEWER CONSTRUCTION SHALL BE REPAIRED TO THE SATISFACTION OF THE AUTHORITY. THE AUTHORITY SHALL NOT BE RESPONSIBLE FOR ANY COSTS FOR THE REPAIRS DUE TO THE DAMAGES.
12. THE EXISTING SANITARY SEWER SHALL MAINTAIN A MINIMUM DEPTH OF 4' OF COVER FROM THE FINISHED GRADE ELEVATION TO THE SEWER INVERT ELEVATION.

1. CONTRACTOR SHALL VERIFY ALL SIZES OF EXISTING PIPES, TO BE REPLACED OR CONNECTED TO, PRIOR TO ORDERING MATERIALS.
2. ALL WATER LINES MUST BE SURVEY STAKED PRIOR TO CONSTRUCTION, WITH STAKES PROVIDED AT INTERVALS OF 50 FEET, AS WELL AS AT ALL FITTING LOCATIONS AND UTILITY CROSSINGS. STAKES SHALL BE MARKED WITH WRITTEN ELEVATIONS FOR BOTTOM OF WATER PIPE (INCLUDES BOTTOM OF OTHER UTILITY PIPE ELEVATIONS AND PIPE SIZE AT EACH UTILITY CROSSING). CURB OR GUTTER FINISH ELEVATIONS AND WATER SERVICE CURB STOPS MUST ALSO BE FIELD STAKED AND ELEVATIONS INDICATING TOP-OF-CURB OR FINISHED GRADE SHOWN ON THE PLANS.
3. ALL WATER MAINS MUST BE CONSTRUCTED WITH DOUBLE CEMENT LINER, THICKNESS CLASS 52 DUCTILE IRON PIPE WITH TYTON JOINTS AND WITH AN INTERNAL SEAL COAT AND EXTERNAL ASPHALT SEAL COAT IN ACCORDANCE WITH AWWA C104.
4. ALL WATER LINE VALVES, FITTINGS, ETC. SHALL BE INSTALLED WITH MECHANICAL JOINTS AND MEGALUG RESISTANT GLANDS.
5. ALL WATER LINE CONSTRUCTION TO BE COMPLETED IN ACCORDANCE WITH THE UTILITY OWNER'S LATEST STANDARDS AND SPECIFICATIONS.
6. ALL POTABLE WATER PIPES SHALL HAVE A MINIMUM COVER OF FOUR (4) FEET. POTABLE WATER AND SANITARY SEWER LINE CROSSINGS SHALL HAVE A MINIMUM VERTICAL CLEARANCE OF EIGHTEEN (18) INCHES OR MINIMUM HORIZONTAL SEPARATION OF TEN (10) FEET. IF THESE CLEARANCES CANNOT BE MET, THE WATER LINE MUST THEN BE ENCASED IN CONCRETE FOR 10 LF ON EACH SIDE OF THE CROSSING. IF THE POTABLE WATER PIPES BENEATH THE SANITARY, NO MATTER HOW MUCH CLEARANCE, THE POTABLE WATER LINE MUST BE ENCASED IN CONCRETE FOR 10 LF ON EACH SIDE OF THE CROSSING.
7. ALL WATER LINES ARE TO BE PRESSURE TESTED TO 1.5 TIMES THE WORKING PRESSURE OR 150 P.S.I., WHICHEVER IS GREATER, IN SECTIONS BETWEEN VALVES. THE TEST PRESSURE SHALL BE MAINTAINED FOR A PERIOD NOT LESS THAN 2 HOURS. SHOULD ANY PRESSURE TEST DISCLOSE AN INABILITY TO HOLD THE TEST PRESSURE, THE CONTRACTOR SHALL LOCATE AND CORRECT DEFECTS AND RETEST TO THE SATISFACTION OF THE UTILITY OWNER.
8. THE INSTALLATION OR REPAIR OF ANY UNDERGROUND FACILITIES OR PIPING WHICH CONNECT TO OR FURNISH WATER FOR THE FIRE PROTECTION SPRINKLER SYSTEM SHALL BE PERFORMED ONLY BY A LICENSED UTILITY CONTRACTOR, FIRE PROTECTION SPRINKLER CONTRACTOR, OR LICENSED PLUMBER. A COPY OF THE LICENSE OR CERTIFICATE OF COMPETENCY SHALL BE PROVIDED TO THE INSPECTOR AT THE FINAL INSPECTION.
9. REFER TO THE SITE / RECORD PLAN FOR ADDITIONAL NOTES.

1. CROSS SLOPES OF THE ACCESSIBLE ROUTE SHALL NOT EXCEED 2%, INCLUDING CURB RAMPS AND ASSOCIATED GUTTERS AND CROSS WALKS.
2. RUNNING SLOPES ALONG THE ACCESSIBLE ROUTE (INCLUDING GUTTERS) SHALL NOT EXCEED 5%. IF RUNNING SLOPES OF ACCESSIBLE ROUTES EXCEED 5%, THEN ALL RAMP CRITERIA SHALL APPLY. SLOPES ARE LIMITED TO A RUNNING SLOPE OF NO MORE THAN 5% FOR WALKING SURFACES AND 8.3% FOR RAMPS.
3. SLOPES AT INTERSECTIONS OF ACCESSIBLE ROUTES SHALL NOT EXCEED 2% IN ANY DIRECTION.
4. SLOPES OF MANEUVERING CLEARANCES AT DOORS SHALL NOT EXCEED 2% IN ANY DIRECTION.
5. A 30"x48" INCH CLEAR FLOOR SPACE FLUSH SHALL BE PROVIDED WITH A CONTROL (E.G., MAGNETIC CARD READER). SLOPES OF CLEAR FLOOR SPACES AT FIXTURES AND CONTROLS SHALL NOT EXCEED 2% IN ANY DIRECTION.
6. LEVEL CHANGES BETWEEN GROUND SURFACE MATERIALS (E.G., PAVERS TO CONCRETE) SHALL COMPLY WITH THE FOLLOWING:
 - VERTICAL LEVEL SHALL NOT EXCEED ¼" INCH
 - LEVEL CHANGES UP TO ¼" INCH ARE BEVELED WITH A SLOPE NOT EXCEEDING 1:2
 - LEVEL CHANGES EXCEEDING ¼" INCH ARE RAMPED
7. GAPS OR OPENINGS ALONG THE ACCESSIBLE ROUTE SHALL NOT EXCEED ½" INCH IN WIDTH, PERPENDICULAR TO THE PREDOMINATE FLOW OF PEDESTRIAN TRAFFIC.

1. ALL STORM CONVEYANCE PIPE SHALL BE SMOOTH LINED DOUBLE WALLED HIGH DENSITY POLYETHYLENE PIPE (HDPE), UNLESS OTHERWISE SPECIFIED, ANY ROOF LEADERS SHALL BE SCHEDULE 40 PVC.
2. IF A CONFLICT ARISES DURING THE INSTALLATION OF ANY PART OF THE STORM SEWER SYSTEM THE ENGINEER IS TO BE NOTIFIED IMMEDIATELY IN WRITING.
3. LANDSCAPING, FENCES AND STRUCTURES SHALL BE PLACED A MINIMUM OF 10 FEET AWAY FROM STORM SEWERS OUTSIDE OF THE RIGHT OF WAY OF STREETS.
4. REFER TO SITE / RECORD PLAN FOR ADDITIONAL NOTES.

1. VERTICAL DATUMS NAVD 1988 AND ESTABLISHED BY GPS OBSERVATIONS REFERENCED TO THE NGS CORS NETWORK.
2. THE MINIMUM SLOPE IN GRASSED AREAS SHALL NOT BE LESS THAN 2% AND THE MINIMUM IN PAVED AREAS SHOULD NOT BE LESS THAN 1%.
3. PAVEMENT SHALL BE SAW CUT IN STRAIGHT LINES TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS SHALL BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL NOT BE PERMITTED.
4. IN CASE OF DISCREPANCIES BETWEEN PLANS, THE RECORD PLAN WILL BE IMMEDIATELY SUSPENDED. THE CAUTIONER/OWNER OF RECORD MUST BE IMMEDIATELY NOTIFIED IN WRITING OF ANY CONFLICTS.
5. THE CONTRACTOR SHALL BE REQUIRED TO SECURE ALL NECESSARY PERMITS (INCLUDING DEP, ETC.) FOR ALL OFF-SITE HAUL AND/OR BORROW SITES. THE CONTRACTOR SHALL SUPPLY A COPY OF APPROVALS TO DESIGN ENGINEER AND OWNER PRIOR TO INITIATING WORK.
6. EXISTING INLETS AND STORM SEWER INDICATED AS FILLED W/DEBRIS SHALL BE CLEARED AND FLUSHED. NEW INLETS AND PIPES SHALL BE CHECKED FOR CLOGS/DEBRIS AFTER CONSTRUCTION AND FLUSHED/CLEARED IF NECESSARY.
7. DEPTH OF EXISTING UTILITIES IN PORTIONS OF THE SITE ARE UNKNOWN. WHERE EXISTING UTILITIES ARE TO REMAIN AND ARE FOUND TO HAVE INADEQUATE GROUND COVER AFTER FINAL PROPOSED GRADES HAVE BEEN ESTABLISHED, THE DESIGN ENGINEER SHALL BE CONTACTED IMMEDIATELY AND PRIOR TO FURTHER CONSTRUCTION ACTIVITIES IN THE AREA OF SAID CONFLICT.
8. ALL DESIGNERS AND CONTRACTORS UTILIZING THIS PLAN AND THE INFORMATION CONTAINED HEREIN TO PROCEED HEREON MUST COMPLY WITH THE REQUIREMENTS OF PENNSYLVANIA ACT 287, LOCATION OF EXISTING AND PROPOSED UNDERGROUND UTILITIES AND FACILITIES SHOWN ON THE DRAWINGS HAVE BEEN DEVELOPED FROM RECORDS AND MAY BE INCOMPLETE. LOCATION AND DEPTH OF EXISTING UTILITIES AND FACILITIES CANNOT BE GUARANTEED. THE CONTRACTOR IS TO VERIFY THE DEPTH AND LOCATION OF ALL UTILITIES AND FACILITIES BEFORE ANY EXCAVATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE DEPTH AND LOCATION OF ALL UTILITIES AND FACILITIES. IT SHALL BE DONE IN ACCORDANCE WITH THE STANDARDS OF THE UTILITY COMPANIES, WHOSE FACILITIES ARE IN THE PROXIMITY OF THE WORK. OTHER UTILITIES MAY BE REQUIRED BY PENNSYLVANIA ACT 38 (1991). THE CONTRACTOR SHALL CONSULT WITH THE UTILITY COMPANIES AT 1-800-242-1776, AT LEAST 3 DAYS PRIOR TO EXCAVATION.
9. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE AND LOCAL CODES, AND ALL REGULATIONS APPURTENANT TO THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS INCLUDING CURRENT APPLICABLE STANDARDS AND REQUIREMENTS. WHERE ANY STANDARDS SEEM IN CONFLICT WITH THESE DRAWINGS, NOTIFY THE DESIGN ENGINEER AND CONSTRUCTION MANAGER FOR DIRECTION PRIOR TO PROCEEDING WITH WORK.
10. CONTRACTORS SHALL HAVE ALL REQUIRED SUBMITTAL APPROVALS PRIOR TO BEGINNING WORK OR ORDERING MATERIALS.
11. CONTRACTORS SHALL VERIFY ALL DIMENSIONS, INVERTS, ELEVATIONS, AND EXISTING CONDITIONS PRIOR TO ANY CONSTRUCTION. THE WORK OR PERMITS FOR THE WORK, MATERIALS, VARIATIONS BETWEEN DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO PROCEEDING WITH THE WORK.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY, PROCEDURES, MEANS AND METHODS, SEQUENCING, AND COORDINATION.
13. ALL WORK SHALL BE PERFORMED BY QUALIFIED, EXPERIENCED PERSONNEL.
14. CONTRACTOR SHALL NOTIFY THE OWNER OF PREEXISTING CONDITIONS OF DETEIORATION IN AREAS OF WORK THAT ARE UNCOVERED OR EXPOSED DURING THE WORK.

1. BACKFILLING, TO THE SUBGRADE ELEVATION, SHALL BE DONE IN LAYERS OF SIX (6) TO EIGHT (8) INCHES AND EACH LAYER SHALL BE THOROUGHLY TAMPED BY MEANS OF A MECHANICAL TAMPER. THE PERCENT MOISTURE OF THE BACKFILL SHALL BE MOISTURE AS DETERMINED BY ASTM D-698 OR AASHTO T-99 WITH SUITABLE BACKFILL MATERIAL. BACKFILLING OR TAMPING WITH TRENCHING MACHINES IS PROHIBITED.
2. THE FILL MATERIAL SHALL CONTAIN THE PROPER MOISTURE CONTENT TO OBTAIN THE DESIRED COMPACTION. WETTING OR DRYING OF THE MATERIAL OR ANY OTHER MANIPULATION SHALL BE REQUIRED TO SECURE UNIFORM MOISTURE CONTENT THROUGHOUT THE LAYER. IF THE MATERIAL IS TOO WET TO PERMIT PROPER COMPACTION, ALL WORK ON PORTIONS THEREOF AFFECTED SHALL BE DELAYED UNTIL THE MATERIAL HAS THATCHERED TO THE REQUIRED MOISTURE CONTENT OR HAS BEEN REMOVED. A LAYER OF FILL SHALL NOT BE ADDED UNTIL THE PREVIOUS LAYER HAS ATTAINED THE REQUIRED PERCENT COMPACTION.
3. SUITABLE BACKFILL MATERIAL IS MATERIAL CONTAINING NO DEBRIS, ORGANIC MATERIAL, FROZEN MATERIAL OR LARGE ROCKS OR STONES WITH A DIAMETER OF MORE THAN 3 INCHES. ALL MATERIAL SHALL BE PLACED IN LAYERS BEING PLACED. IN ADDITION, BACKFILL MATERIAL SHALL NOT CONTAIN VEGETATION MASSES OF ROOTS, INDIVIDUAL ROOTS, CINDERS, ASHES, REFUSE, BOLDERS OR OTHER MATERIAL WHICH IN THE OPINION OF THE ENGINEER, IS UNSUITABLE.

OFFICES LOCATED IN:
DELAWARE, INDIANA, KENTUCKY,
MASSACHUSETTS, MICHIGAN, NEW JERSEY,
OHIO AND PENNSYLVANIA

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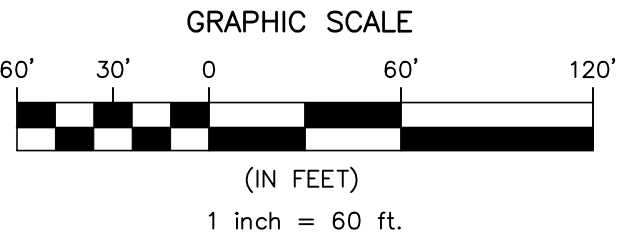


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- Easements, encroachments, overlaps, shortages of area, boundary line disputes and other matters affecting title that an accurate and complete survey would disclose. (ACCURATE SURVEY SHOWN)
- Real estate taxes for the current and prior tax years which are hereafter assessed and are not yet due and payable. (NOT A SURVEY ISSUE)
- Public and private rights in and to that portion of premises lying in the bed of Pottstown Pike (SR 100). (RIGHT-OF-WAY LINES SHOWN PER PLAN BOOK 16231, PAGE 1)
- Rights granted to Philadelphia Electric Company and The Bell Telephone Company of Pennsylvania as more particularly set forth in Misc. Deed Book 76 page 88 and Misc. Deed Book 84 page 162. (BLANKET PECO EASEMENT FOR INSTALLATION AND MAINTENANCE OF GAS, ELECTRIC, TELEPHONE, TELEGRAPH, POWER, HEAT ETC. UTILITIES)
- Rights granted to The Manufacturers Light and Heat Company as more particularly set forth in Misc. Deed Book 84 page 432. (BLANKET EASEMENT FOR INSTALLATION AND MAINTENANCE OF THE MANUFACTURES LIGHT AND HEAT COMPANY'S 14" GAS PIPELINE. LOCATION MAP NOT ATTACHED, LOCATION IS UNKNOWN)
- Release granted to Texas Eastern Transmission Corporation as more particularly set forth in Misc. Deed Book 89 page 106. (APPROXIMATE LOCATION OF 24" GAS MAIN SHOWN)
- Rights granted to The Bell Telephone Company as more particularly set forth in Misc. Deed Book 242 page 76. (BURIED CABLE AND PEDISTAL ALONG FELLOWSHIP ROAD - NOT LOCATED ON SITE. DOES NOT AFFECT SUBJECT PROPERTY)
- Dedication Deed as more particularly set forth in Deed Book G-59 page 459. (ALONG RELOCATED BED OF FELLOWSHIP ROAD - NOT LOCATED ON SITE. DOES NOT AFFECT SUBJECT PROPERTY)
- Reservations and exceptions as more particularly set forth in Record Book 100 page 392. (PIPELINES SHOWN)
- Septic Use Easement as more particularly set forth in Record Book 4531 page 2034. (SEPTIC USE EASEMENT NO WIDTH GIVEN - APPROXIMATE LOCATION SHOWN)
- Rights granted to Columbia Transmission Communications Corporation as more particularly set forth in Record Book 4749 page 2263. (ALONG FELLOWSHIP ROAD FOR PARCEL # 32-1-34-1A - NOT LOCATED ON SITE)
- Restrictions as set forth, but omitting any covenants or restrictions, if any, based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, or source of income, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law in Record Book 5315 page 1515. (DEED PRIOR TO SUBDIVISION - THE GRANTEE, FOR GRANTEE AND GRANTEE'S SUCCESSORS AND ASIGNS OF THE PROPERTYHEREBY CONVEYED, COVENANTS AND AGREES THAT RESIDENTIAL HOUSING STRUCTURES SUCH AS SINGLE-FAMILY APARTMENTS, RESIDENTIAL CONDOMINIUMS AND TOWNHOUSES SHALL NOT BE CONSTRUCTED ON PROPERTY.)
- Termination of Access Easement as more particularly set forth in Record Book 6739 page 554. (TERMINATION OF ACCESS EASEMENT ON LOT 4 IN FAVOR OF LOT 3)
- Declaration of Restrictions as set forth, but omitting any covenants or restrictions, if any, based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, or source of income, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law in Record Book 7070 page 1548. (PROPERTY SHALL BE ONLY BE USED A LUXURY/PREMIUM BRAND CAR DEALERSHIP FOR 4 YEARS FOLLOWING THE DATE OF CONVEYANCE, JANUARY 26, 2007. ANY FUTURE OWNER OF PROPERTY WITHIN THAT 4 YEARS MUST HAVE WRITTEN APPROVAL AND CONSENT RECORDED BY HYNANSKY IN THE PUBLIC RECORD)

- Equitable interest of John Hynansky under an Agreement to Purchase dated 11/9/05, as mentioned in Record Book 7070 page 1548, to be fully disclosed to Company Underwriting Department and terminated; possible additional objections and/or exceptions may be added.)
- Reservations, rights and privileges as more particularly set forth in Record Book 7070 page 1552. (Lot 3) (ACCESS EASEMENT (FROM LOT 4 TO LOT 1) SHOWN)
 - Notes, conditions, setback lines, easements, reservations, covenants and restrictions as shown and set forth in Recorded Plan No. 16231, but omitting any covenants or restrictions, if any, based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, or source of income, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law. (Setback lines, easements, reservations, covenants and restrictions shown see note below regarding access.)
- A. LOT #4 AND THE SENN TRACT (TAX PARCEL 32-3-25) SHALL BE SERVICED BY THE SR 0100 ENTRANCE FOR LOT #3. THE DESIGN OF LOT #3 SHALL ACCOMMODATE SUCH ACCESS FOR LOT #4 AND TAX PARCEL 32-3-25. (EXCEPTION 20 - PLAN BOOK 16231, PAGE 1, GENERAL NOTE #10)
- B. THE INTERNAL ACCESS POINTS FOR LOT#4 AND TAX PARCEL 32-3-25 INTO LOT #3 SHALL BE DETERMINED AT THE TIME OF LOT #3 DEVELOPMENT BY THE OWNER OF LOT #3, AND SHALL BE SUBJECT TO THE REASONABLE APPROVAL OF THE TOWNSHIP. (EXCEPTION 20 - PLAN BOOK 16231, PAGE 1, GENERAL NOTE #11)
- C. SR 0100 ACCESS TO LOT #3 SHALL BE APPROVED BY THE TOWNSHIPS TRAFFIC ENGINEER AND SHALL BE ENGINEERED IN CONJUNCTION WITH FUTURE IMPROVEMENTS AT FRONT ROAD AND SR 0100. (EXCEPTION 20 - PLAN BOOK 16231, PAGE 1, GENERAL NOTE #12)
- D. DURING THE LAND DEVELOPMENT APPROVALS OD LOT 3 AND LOT 4, THE TOWNSHIP SHALL HAVE THE RIGHT TO REQUIRE THE CONSTRUCTION OD COORDINATED ACCESS BETWEEN LOT 33 AND #4, AND AT SUCH TIME, MAY ULTIMATELY REQUIRE THE CLOSURE OR ALTERATION OF ANY DIRECT ACCESS FROM LOT 4 TO ROUTE SR 0100. (EXCEPTION 20 - PLAN BOOK 16231, PAGE 1, GENERAL NOTE #13)



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RDS AUTOMOTIVE GROUP CHESTER SPRINGS SERVICE CENTER 500 POTTSTOWN PIKE, CHESTER SPRINGS, PA 19425 UPPER UICHLAN TOWNSHIP, CHESTER COUNTY, PA											
EXISTING CONDITIONS PLAN - OVERALL											
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DRAWING EXC-OA SHEET 3 OF 35											

PROJECT INFORMATION:
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LOCATION MAP

SCALE: 1"=600'

RECORD OWNER: ROCKHILL REAL ESTATE ENTERPRISES XVII LP
4005 WEST CHESTER PIKE
NEWTOWN SQUARE, PA 19073

PROPERTY: 500 POTTSTOWN PIKE
UPI: 32-1-34.1C
PARCEL ID: 3201 003401C0

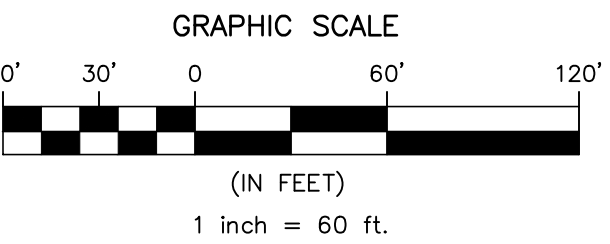
GENERAL NOTES:

- BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN BASED ON A FIELD SURVEY PERFORMED BY ASH ASSOCIATES ON SEPTEMBER 30, 2022.
- VERTICAL DATUM IS BASED ON NAVD 1988 AND ESTABLISHED BY GPS OBSERVATIONS REFERENCED TO THE NGS CORS NETWORK. SITE BENCHMARK IS A METAL SPIKE SET AS SHOWN. SITE BENCHMARK ELEVATION=509.22'.
- HORIZONTAL DATUM IS BASED ON NAD 83, STATE PLANE COORDINATES OF PENNSYLVANIA AND ESTABLISHED GPS OBSERVATIONS REFERENCED TO THE NGS CORS NETWORK. BOTH DEED BEARINGS AND NAD 83 PENNSYLVANIA STATE PLANE BEARINGS ARE SHOWN. PARENTHESIS () INDICATES DEED BEARINGS.
- ENTIRE SITE IS LOCATED IN FLOOD ZONE "X" AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER FEMA FLOOD INSURANCE RATE MAP (FIRM) OF CHESTER COUNTY, PANEL 90 OF 300, MAP # 42206C00000, REVISED SEPTEMBER 29, 2017.
- OBSERVATIONS DURING FIELD SURVEY SHOW THAT THERE IS NO EVIDENCE OF:
 - BUILDINGS, PARKING SPACES OR OTHER ON-SITE IMPROVEMENTS
 - RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS
 - RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS
- ALTERATIONS TO THE EXISTING CONDITIONS, INCLUDING TREE MASSES TO BE CLEARED ARE SHOWN ON A PLAN TITLED "SITE PLAN", SHEET SITE, PREPARED BY T&M ASSOCIATES DATED 08/01/2024.
- ALL PROPOSED ALTERATIONS OF THE NATURAL GRADE (BY CUT AND BY FILL) ARE SHOWN ON A PLAN TITLED "GRADING PLAN", SHEET GRD-01, PREPARED BY T&M ASSOCIATES AND DATED 03/09/2024.
- EROSION AND SEDIMENTATION CONTROL COMPLIANCE IS SHOWN ON A PLAN TITLED "EROSION & SEDIMENT CONTROL PLAN", SHEET ENS-01, PREPARED BY T&M ASSOCIATES AND DATED 03/09/2024.
- WATERCOURSES ONSITE ARE EPHEMERAL AND A RESULT OF DEVELOPMENT OF ADJACENT PROPERTIES AND PREVIOUS DEVELOPMENT ONSITE. A CHAPTER 105 WAIVER WILL BE SOUGHT FOR THE FILL OF THESE FEATURES.
- WATERCOURSES AND WETLANDS SHOWN HEREON ARE UNDER REVIEW BY UNITED STATES ARMY CORPS OF ENGINEERS FUD APPLICATION MAP-2009-01363-100.

LEGEND

SOIL TYPE BOUNDARY

SOIL TYPE	
UrB URBAN LAND	0 TO 8%
GdB GLADSTONE GAVELLY LOAM	3 TO 8%



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CONSERVATION PLAN

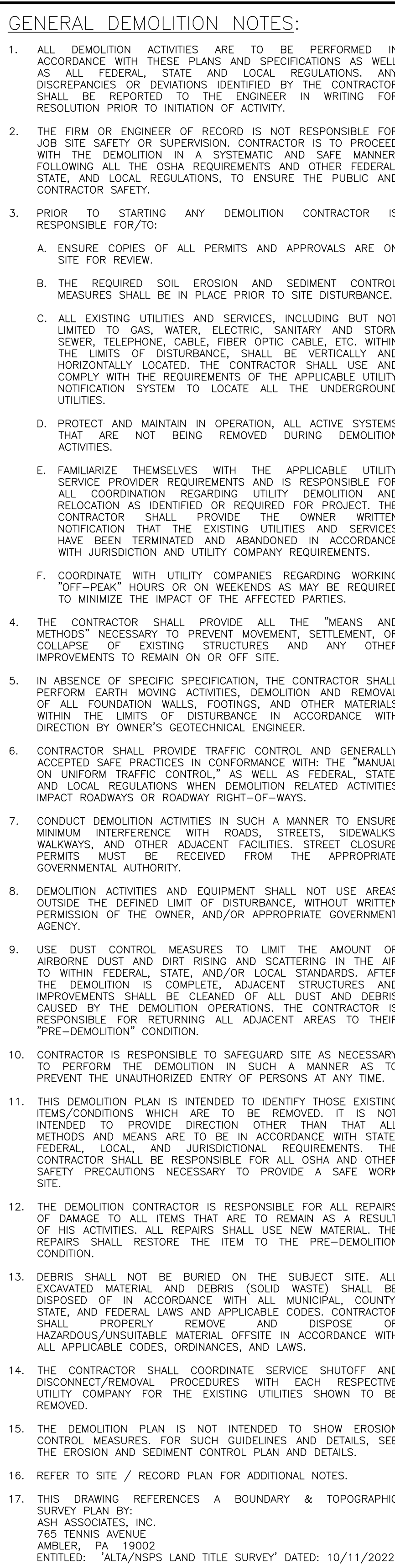
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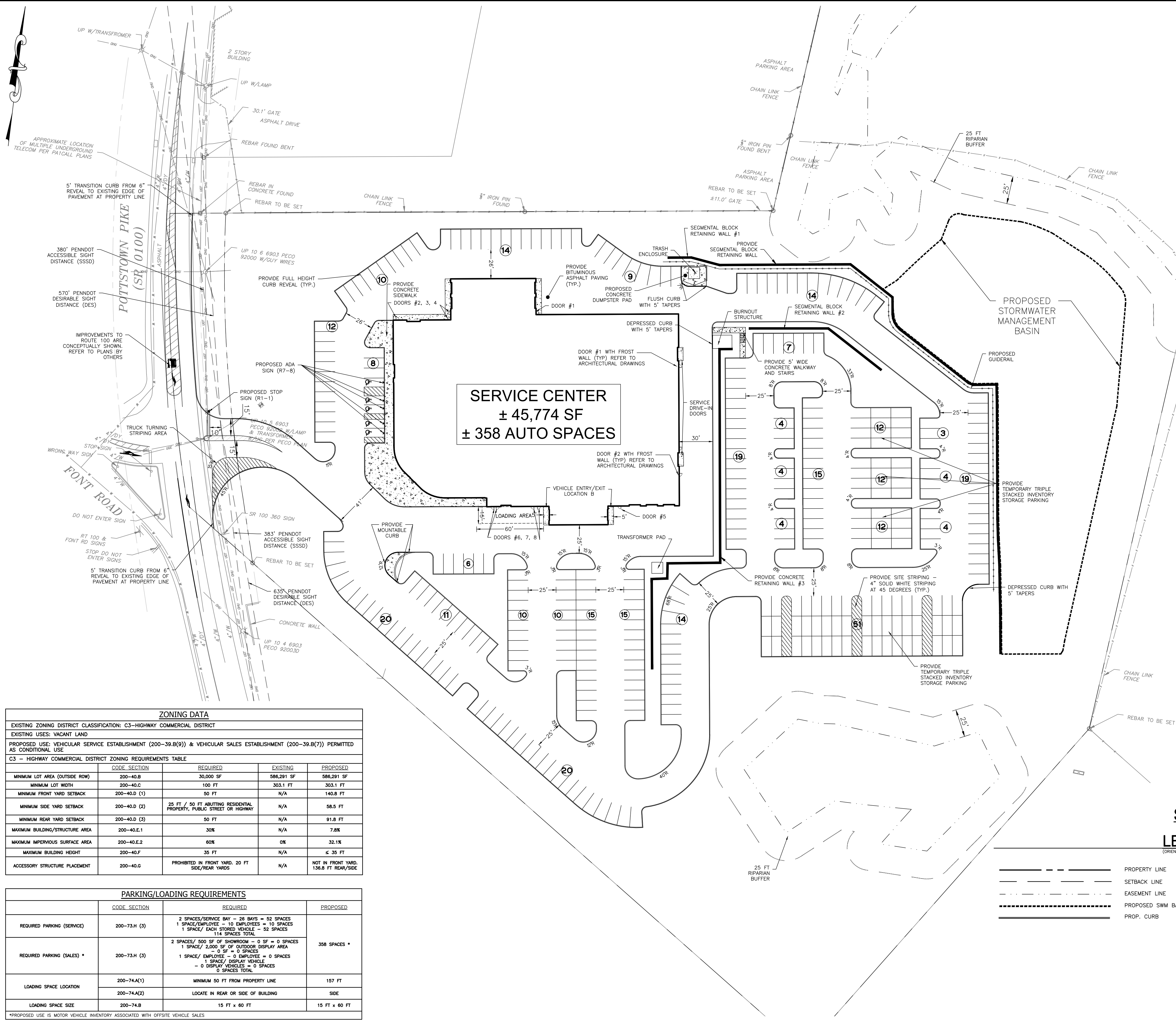
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ZONING DATA

EXISTING ZONING DISTRICT CLASSIFICATION: C3-HIGHWAY COMMERCIAL DISTRICT				
EXISTING USES: VACANT LAND				
PROPOSED USE: VEHICULAR SERVICE ESTABLISHMENT (200-39.B(9)) & VEHICULAR SALES ESTABLISHMENT (200-39.B(7)) PERMITTED AS CONDITIONAL USE				
C3 - HIGHWAY COMMERCIAL DISTRICT ZONING REQUIREMENTS TABLE				
	CODE SECTION	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA (OUTSIDE ROW)	200-40.B	30,000 SF	586,291 SF	586,291 SF
MINIMUM LOT WIDTH	200-40.C	100 FT	303.1 FT	303.1 FT
MINIMUM FRONT YARD SETBACK	200-40.D (1)	50 FT	N/A	140.8 FT
MINIMUM SIDE YARD SETBACK	200-40.D (2)	25 FT / 50 FT ABUTTING RESIDENTIAL PROPERTY, PUBLIC STREET OR HIGHWAY	N/A	58.5 FT
MINIMUM REAR YARD SETBACK	200-40.D (3)	50 FT	N/A	91.8 FT
MAXIMUM BUILDING/STRUCTURE AREA	200-40.E.1	30%	N/A	7.8%
MAXIMUM IMPERVIOUS SURFACE AREA	200-40.E.2	60%	0%	32.1%
MAXIMUM BUILDING HEIGHT	200-40.F	35 FT	N/A	≤ 35 FT
ACCESSORY STRUCTURE PLACEMENT	200-40.G	PROHIBITED IN FRONT YARD. 20 FT SIDE/REAR YARDS	N/A	NOT IN FRONT YARD. 136.8 FT REAR/SIDE

PARKING/LOADING REQUIREMENTS

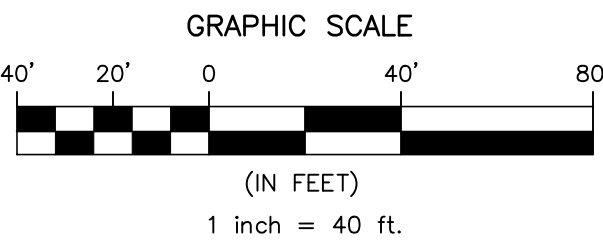
	CODE SECTION	REQUIRED	PROPOSED
REQUIRED PARKING (SERVICE)	200-73.H (3)	2 SPACES/SERVICE BAY - 26 BAYS = 52 SPACES 1 SPACE/EMPLOYEE - 10 EMPLOYEES = 10 SPACES 1 SPACE/ EACH STORED VEHICLE - 52 SPACES 114 SPACES TOTAL	
REQUIRED PARKING (SALES) *	200-73.H (3)	2 SPACES/ 300 SF OF SHOWROOM - 0 SF = 0 SPACES 1 SPACE/ 2,000 SF OF OUTDOOR DISPLAY AREA - 0 SF = 0 SPACES 1 SPACE/ EMPLOYEE - 0 EMPLOYEE = 0 SPACES 1 SPACE/ DISPLAY VEHICLE - 0 SPACES 0 SPACES TOTAL	358 SPACES *
LOADING SPACE LOCATION	200-74.A(1)	MINIMUM 50 FT FROM PROPERTY LINE	157 FT
	200-74.A(2)	LOCATE IN REAR OR SIDE OF BUILDING	SIDE
LOADING SPACE SIZE	200-74.B	15 FT x 60 FT	15 FT x 60 FT

*PROPOSED USE IS MOTOR VEHICLE INVENTORY ASSOCIATED WITH OFFSITE VEHICLE SALES

SITE LEGEND

(ORIENTATION & SIZE MAY VARY)

	PROPERTY LINE		PROP. PARKING COUNT
	SETBACK LINE		PROP. CONCRETE AREA
	EASEMENT LINE		PROP. STRIPING
	PROPOSED SWM BASIN		
	PROP. CURB		



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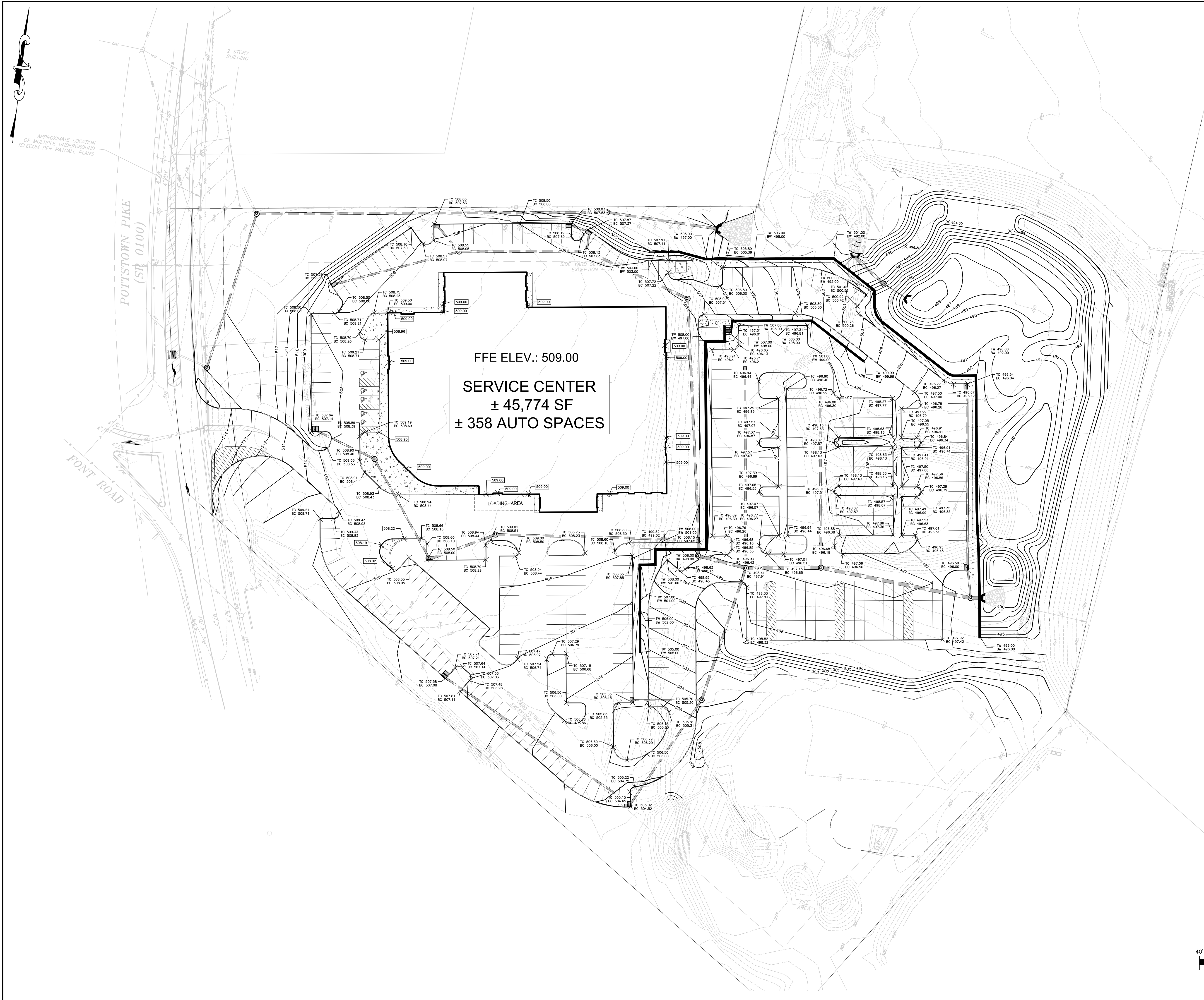
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SITE PLAN

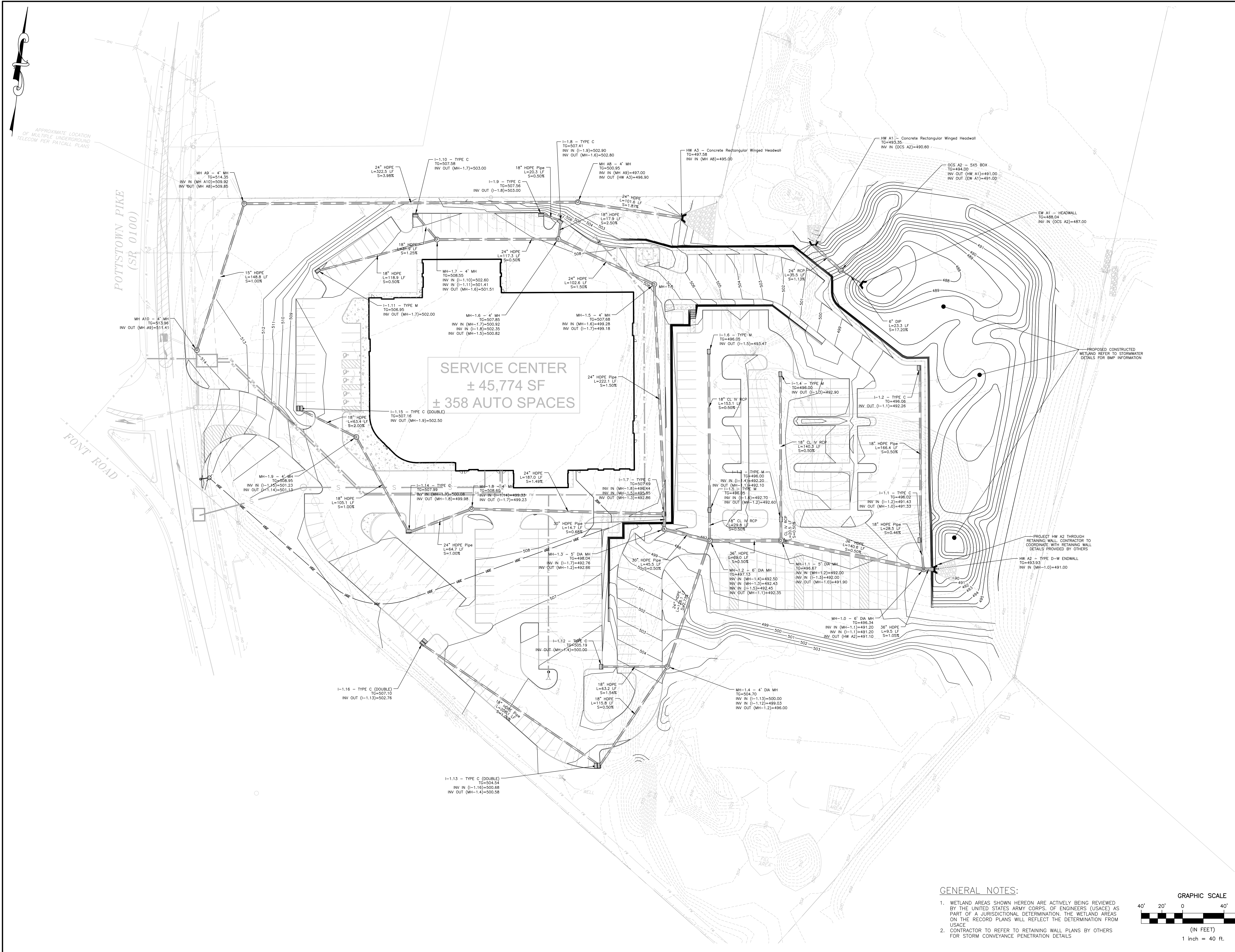
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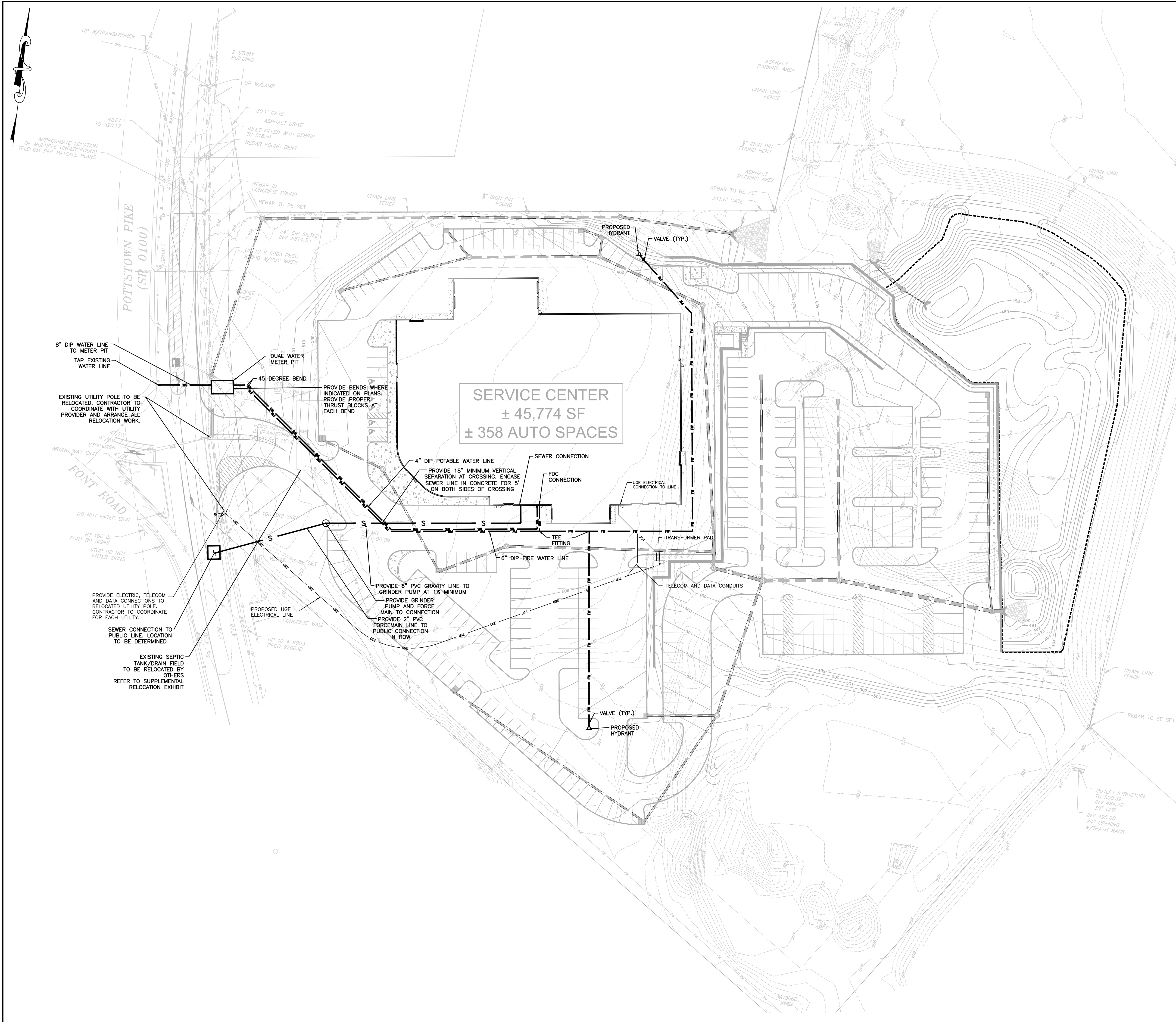
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DRAINAGE PLAN



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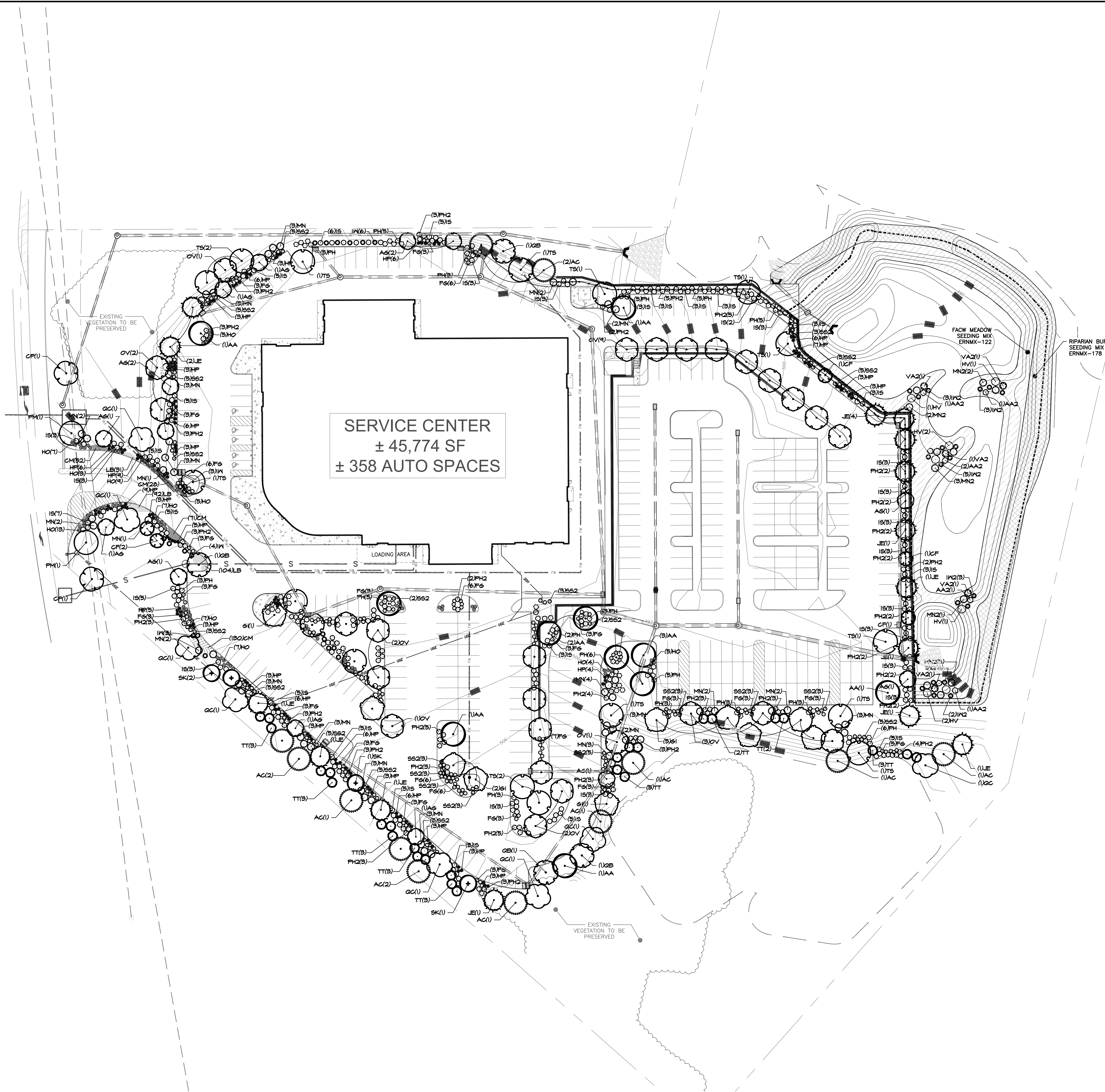
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UTILITY PLAN



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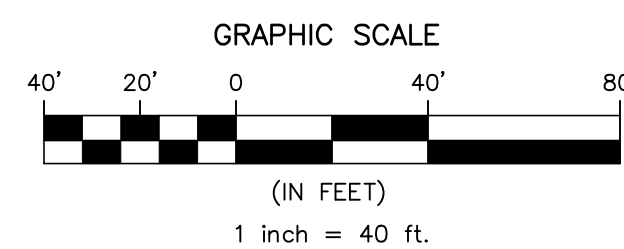
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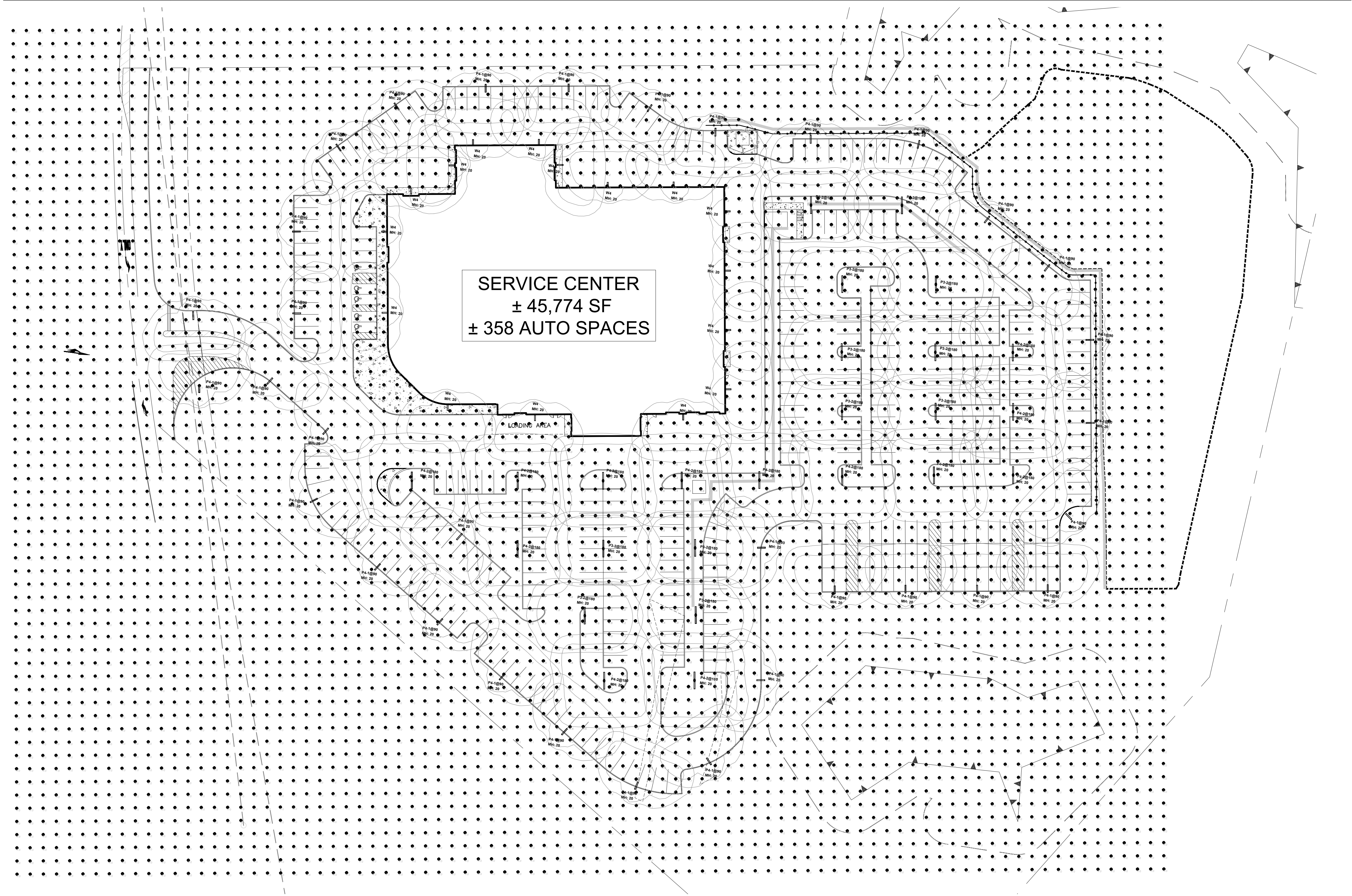
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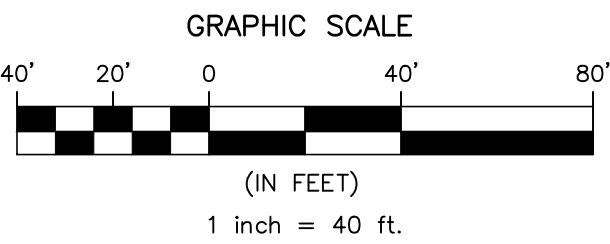
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PORTS000021	



LUMINAIRE SCHEDULE **REFER TO LIGHTING FIXTURE CUTSHEETS FOR COMPLETE CATALOG NUMBERS**													
Symbol	Qty	Arrangement	Fixture Type	Description	Manufacturer	Catalog Number	CCT	LLF	Total Watts	Delivered Lumens	Mounting Height	Pole Spec	Filename
	12	Back-Back	P3-2@180	POLE MOUNTED FULL CUT-OFF AREA LIGHT, TYPE 3 DISTRIBUTION, DOUBLE SETUP	ARCHITECTURAL AREA LIGHTING	K42-T3-MO-7040-P	4000K	0.900	138.22	11312	20	K4-2-P-S-4-20-125	K4X-T3-MO-7040.ies
	33	Single	P4-1@90	POLE MOUNTED FULL CUT-OFF AREA LIGHT, TYPE 4 DISTRIBUTION, SINGLE SETUP	ARCHITECTURAL AREA LIGHTING	K41-T4-MO-7040-P	4000K	0.900	63.92	5979	20	K4-1-P-S-4-20-125	K4X-T4-MO-7040.ies
	13	Back-Back	P4-2@180	POLE MOUNTED FULL CUT-OFF AREA LIGHT, TYPE 4 DISTRIBUTION, DOUBLE SETUP	ARCHITECTURAL AREA LIGHTING	K42-T4-MO-7040-P	4000K	0.900	127.84	11958	20	K4-2-P-S-4-20-125	K4X-T4-MO-7040.ies
	16	Single	W4	WALL MOUNTED FULL CUT-OFF AREA LIGHT, TYPE 4 DISTRIBUTION	ARCHITECTURAL AREA LIGHTING	KM51-T4-MO-5040-WMK	4000K	0.900	50	5214	20	N/A	KM5-T4-MO-5040.ies



CALCULATION SUMMARY										
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	PtSpcLr	PtSpcTb	Grid Z
CALC PTS TO ZERO_Ground	Illuminance	Fc	1.0	10.0	0.0	N.A.	N.A.	10	N.A.	N.A.
PARKING LOT & DRIVELANES_Ground	Illuminance	Fc	2.5	10.0	0.6	4.2	16.7	10	N.A.	N.A.



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LIGHTING PLAN



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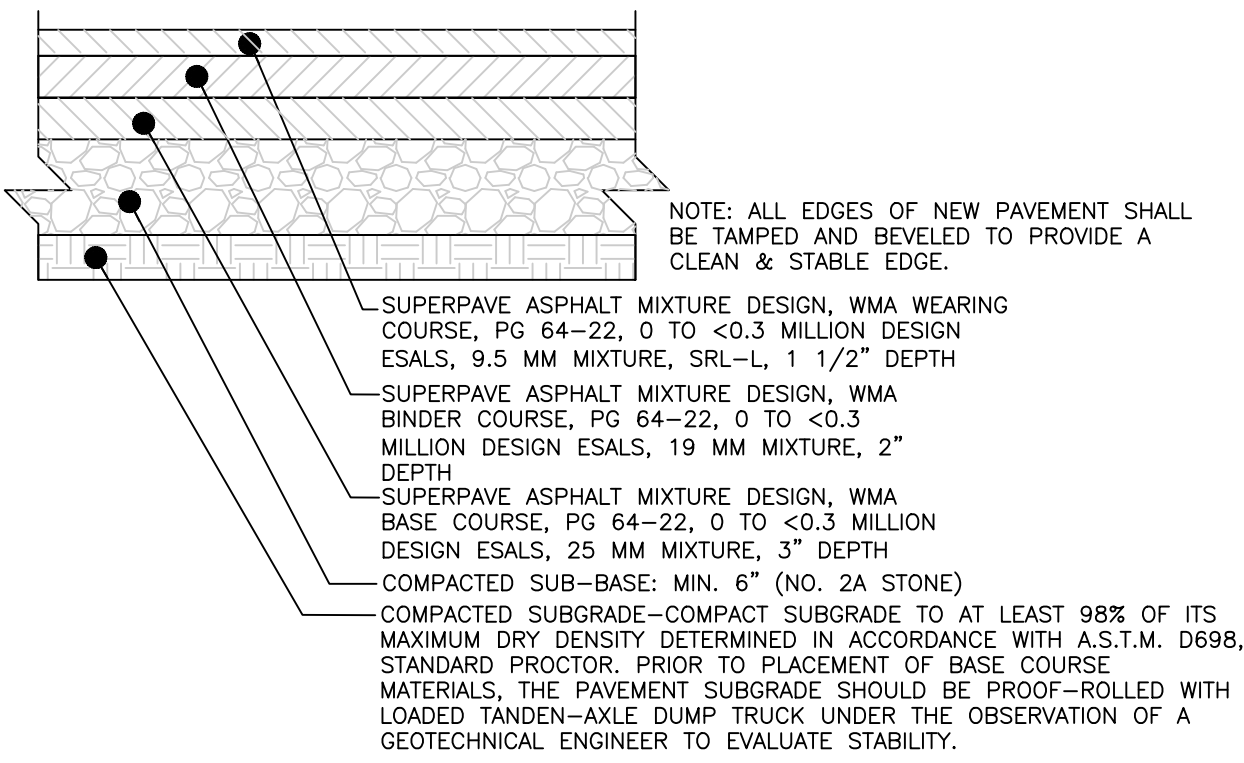
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DESIGNED BY	JDT	DRAWING
CHECKED BY	JDT/KAL	
DRAWN BY	SEE	<div> <div> <div>LGT</div> <div>11</div> </div> <div> <div>SHEET</div> <div>OF</div> <div>35</div> </div> </div>
DATE	08/01/2024	
SCALE	AS SHOWN	
PROJ. NO.	PORS000021	

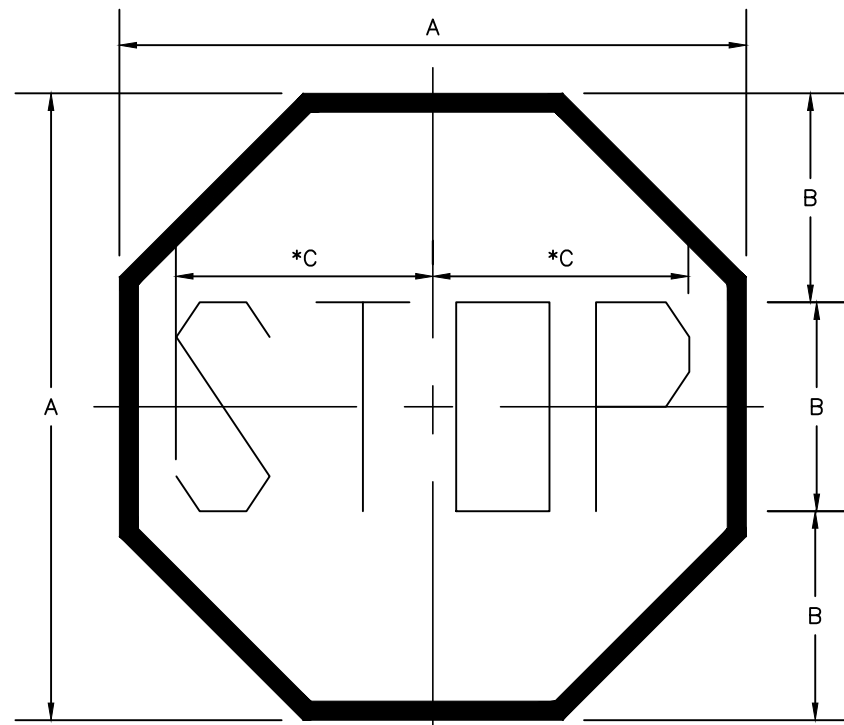
PROJECT INFORMATION:
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LAST SAVED DATE AND TIME: 02 Oct 2024, 10:46AM
LAST SAVE BY: Jockett

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TYPICAL PAVEMENT SECTION

NTS
(OUTSIDE RIGHT-OF-WAY)

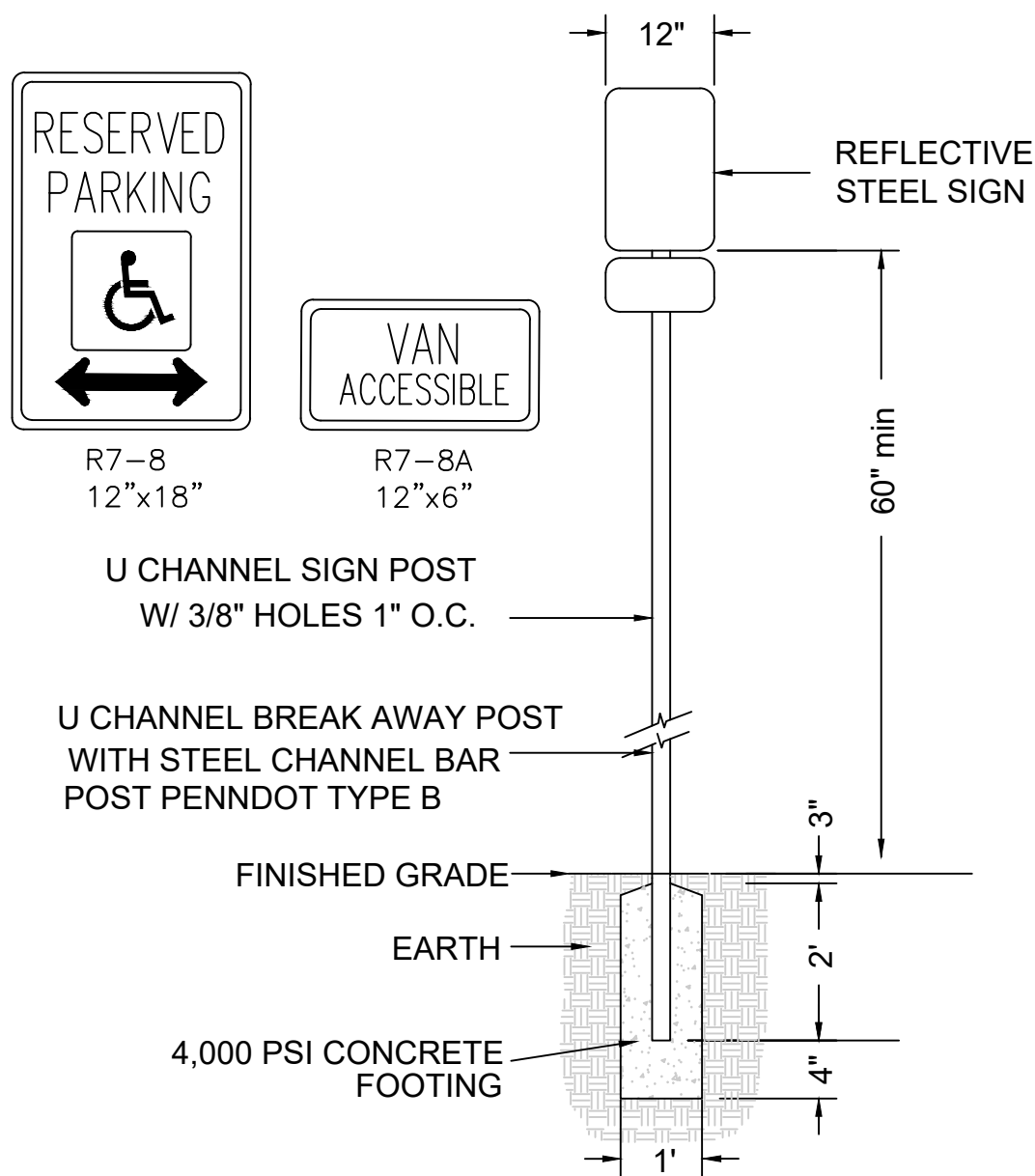


COLOR: LEGEND AND BORDER: WHITE (REFLECTORIZED)
BACKGROUND: RED (REFLECTORIZED)

SIGN SIZE A x B	DIMENSIONS				SERIES LINE	BOR- DER	BLANK STD.
	A	B	C	D			
30x30	30	10	12	2	C	3/4	B1-30

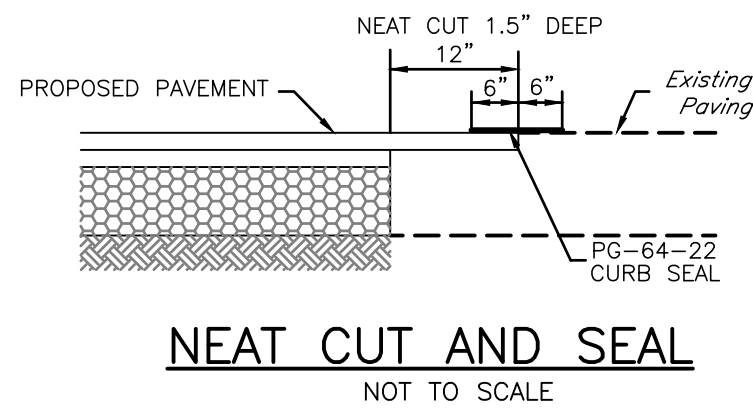
NOTES:
1. MOUNTING HEIGHT TO BOTTOM OF SIGN SHALL BE 4'-0".
2. TO BE MOUNTED ON BREAKAWAY SIGN POST INSTALLED IN ACCORDANCE WITH PENNDOT PUB. 408, SECTION 931 AND SECTION 1103.08.

STOP SIGN (R1-1) DETAIL



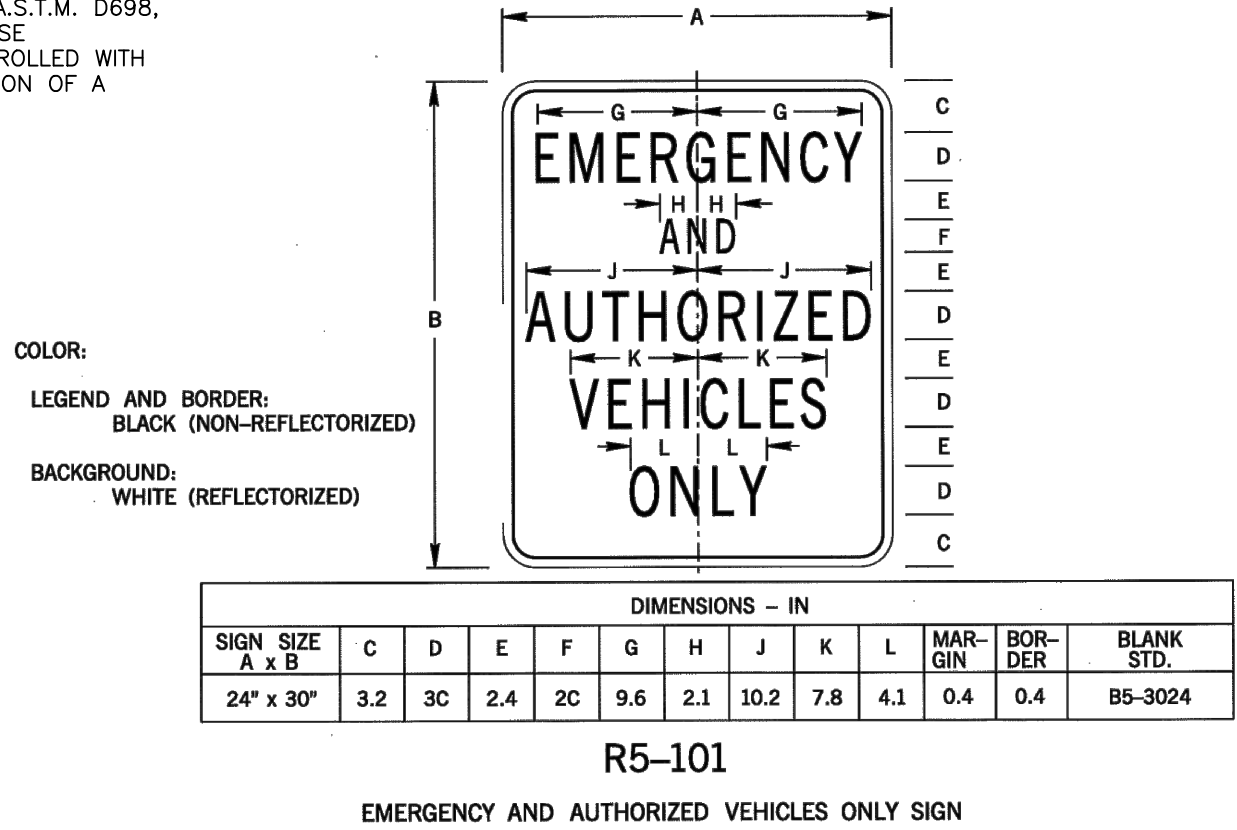
HANDICAP ACCESSIBLE PARKING SIGN DETAIL

NTS

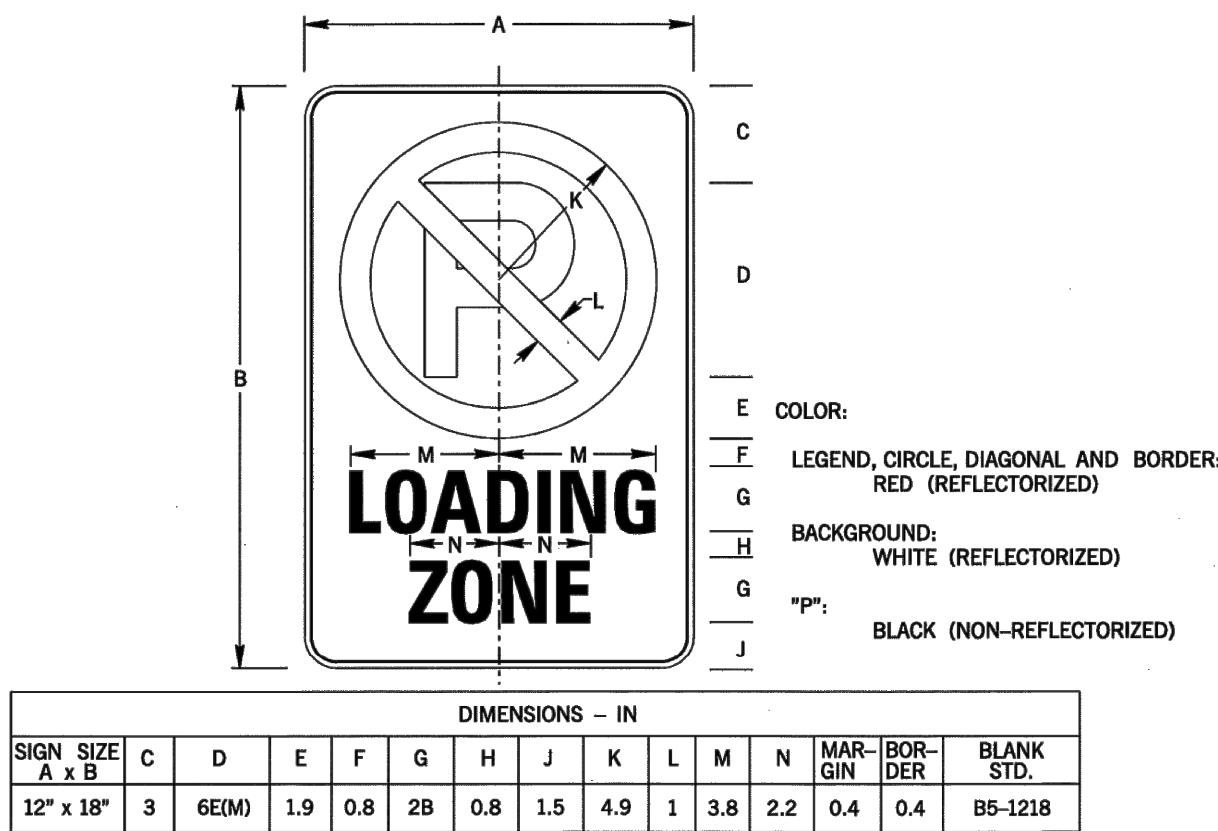


NEAT CUT AND SEAL

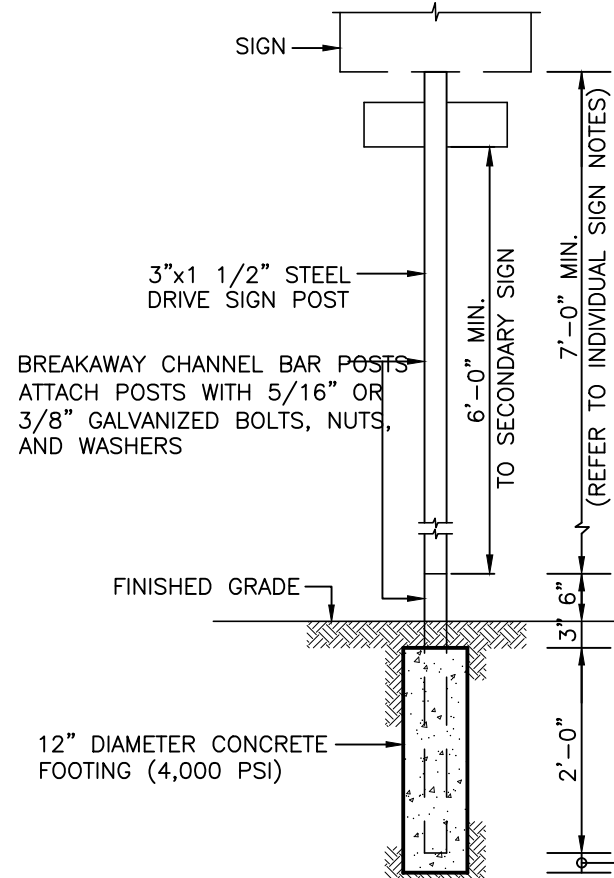
NOT TO SCALE



EMERGENCY AND AUTHORIZED VEHICLES ONLY SIGN



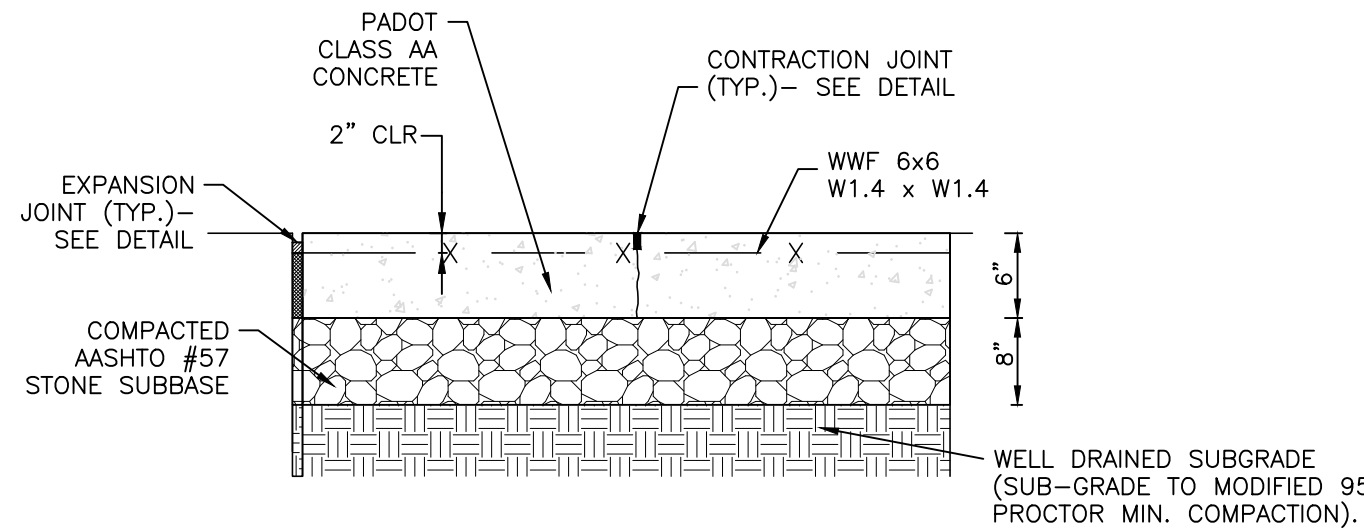
NO PARKING LOADING ZONE SIGN



NOTE:
1. POSTS TO BE TYPE "B" BREAKAWAY CHANNEL BAR POSTS. (SEE PENNDOT TRAFFIC CONTROL SIGNING STANDARDS TC- 7000 SERIES FOR INSTALLATION PROCEDURES.)
2. SIGN POST LOCATIONS TO BE SELECTED IN THE FIELD UNDER THE DIRECT SUPERVISION OF THE ENGINEER. POSTS SHALL HAVE GREEN POLYESTER COATING

SIGN POST DETAIL

NOT TO SCALE



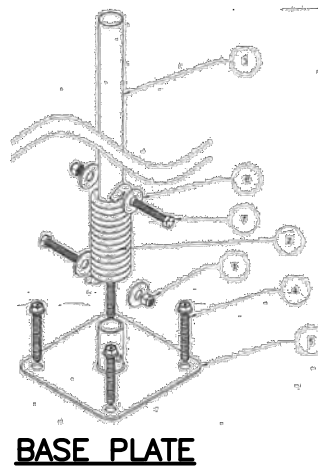
HEAVY DUTY CONCRETE PAVEMENT DETAIL

NOT TO SCALE

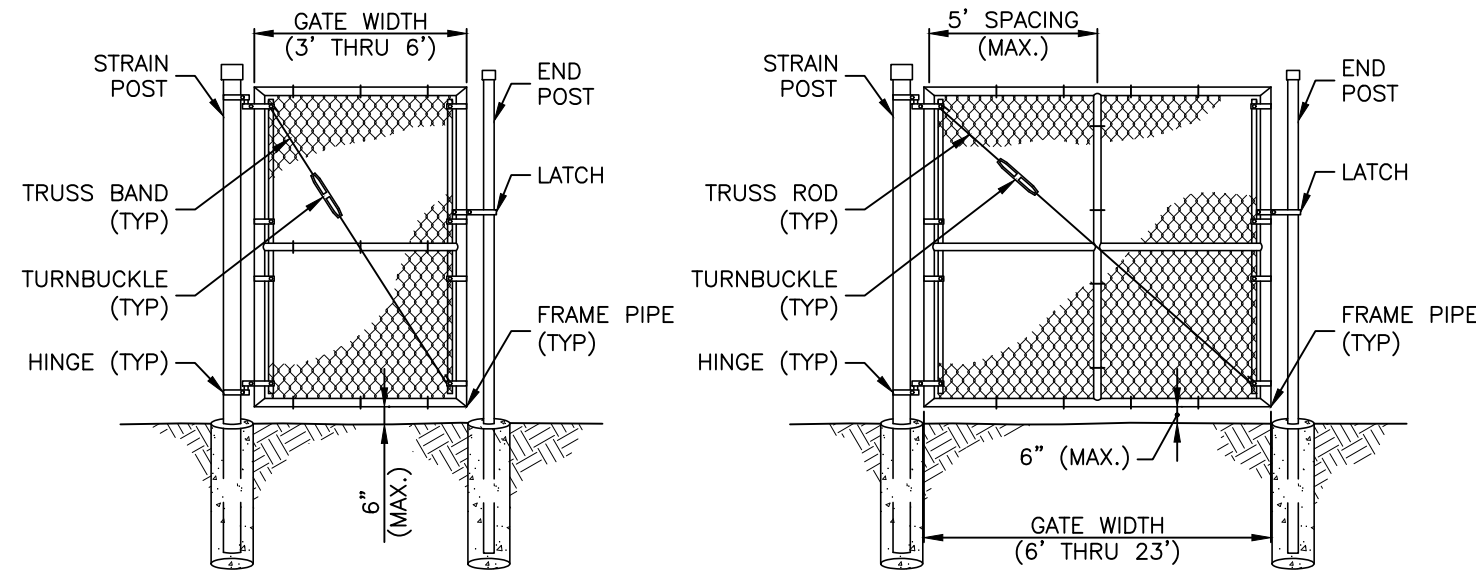
ITEM NUMBER	QUANTITY	PART NUMBER	PART NAME
1	2	37030	HEX LOCKNUT-ZINC
2	1	RE-BK	TORSION SPRING
3	1	RE-BP	4\"/>

FLEXIBLE BOLLARD BASE PLATE DETAIL

(IDEAL SHIELD FLEX BOLLARD OR EQUAL)
NOT TO SCALE

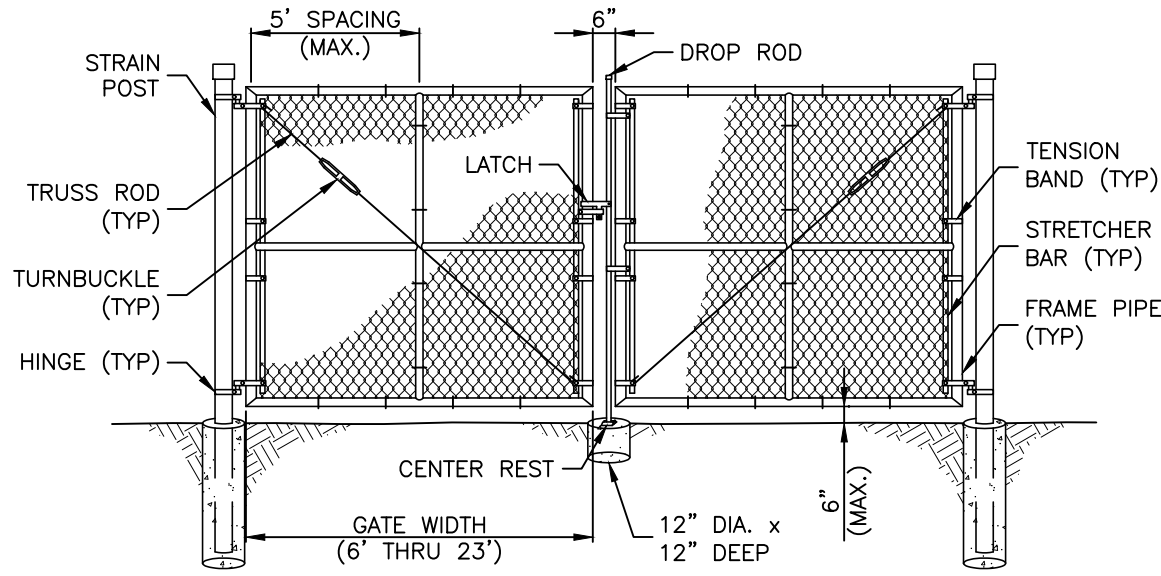


BASE PLATE



WALK GATE

SINGLE GATE



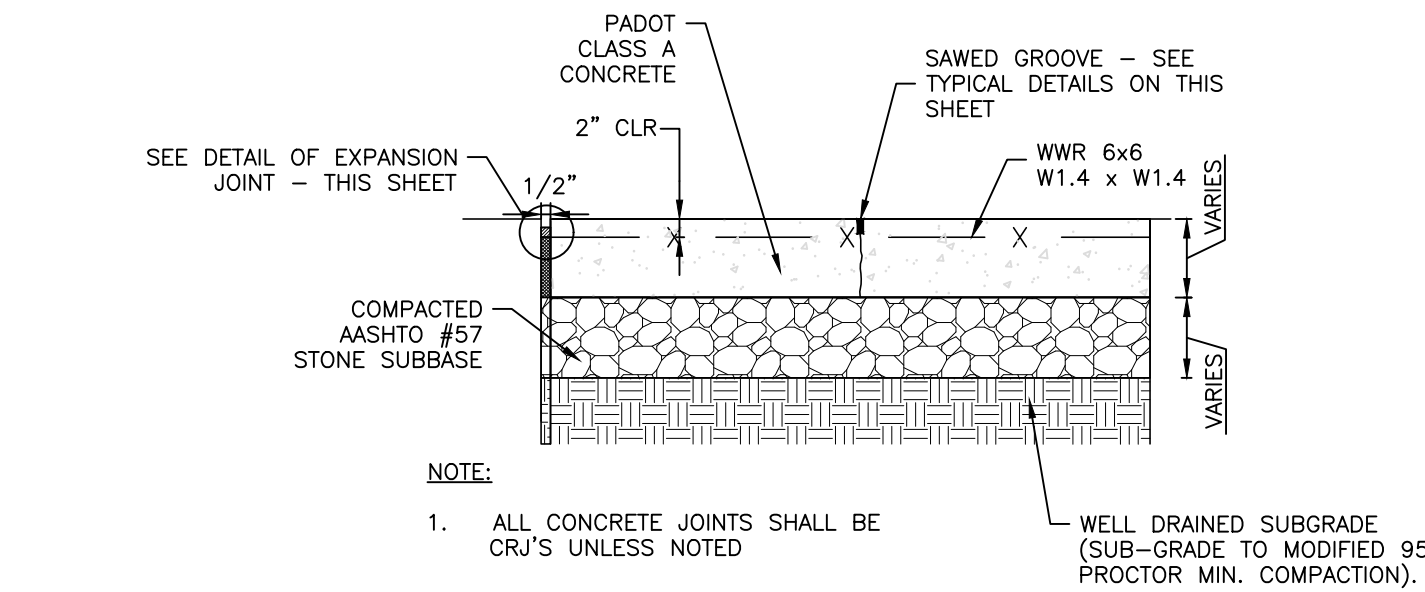
DOUBLE GATE

GATE FRAME WIDTH	GATE MATERIAL			
	STRAIN POST	CONCRETE BASE		
	ROUND PIPE I.D.	FABRIC HEIGHT 3' THRU 6' DEPTH	FABRIC HEIGHT >6' THRU 18' DEPTH	
FEET	INCHES	INCHES	INCHES	
3 THRU 6	3	48	72	
>6 THRU 13	3.5	48	72	
>13 THRU 18	6.0	48	72	
>18 THRU 23	8.0	48	72	

NOTES:
1. SEE FENCE (CHAIN LINK) DETAIL FOR ADDITIONAL NOTES AND SPECIFICATIONS.
2. DROP ROD IS OPTIONAL IF GATE FRAMES EXTEND DOWN TO CENTER REST. USE LATCH SHOWN FOR WALK OR SINGLE GATE.
3. SEE FENCE (CHAIN LINK) DETAIL FOR CONCRETE BASE DIAMETER REQUIREMENTS.
4. FINISH (FABRIC, POSTS, AND RAIL): GALVANIZED WITH BLACK PVC COATING

CHAIN LINK FENCE GATE DETAIL

NOT TO SCALE



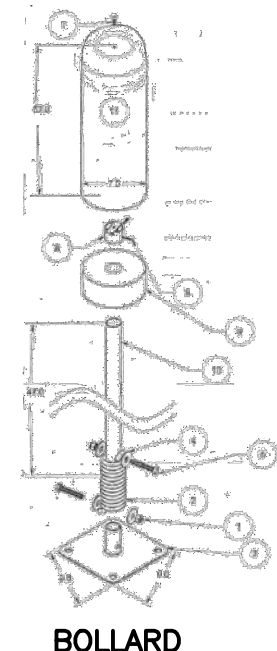
CONSTRUCTION JOINT (CRJ)

NOT TO SCALE

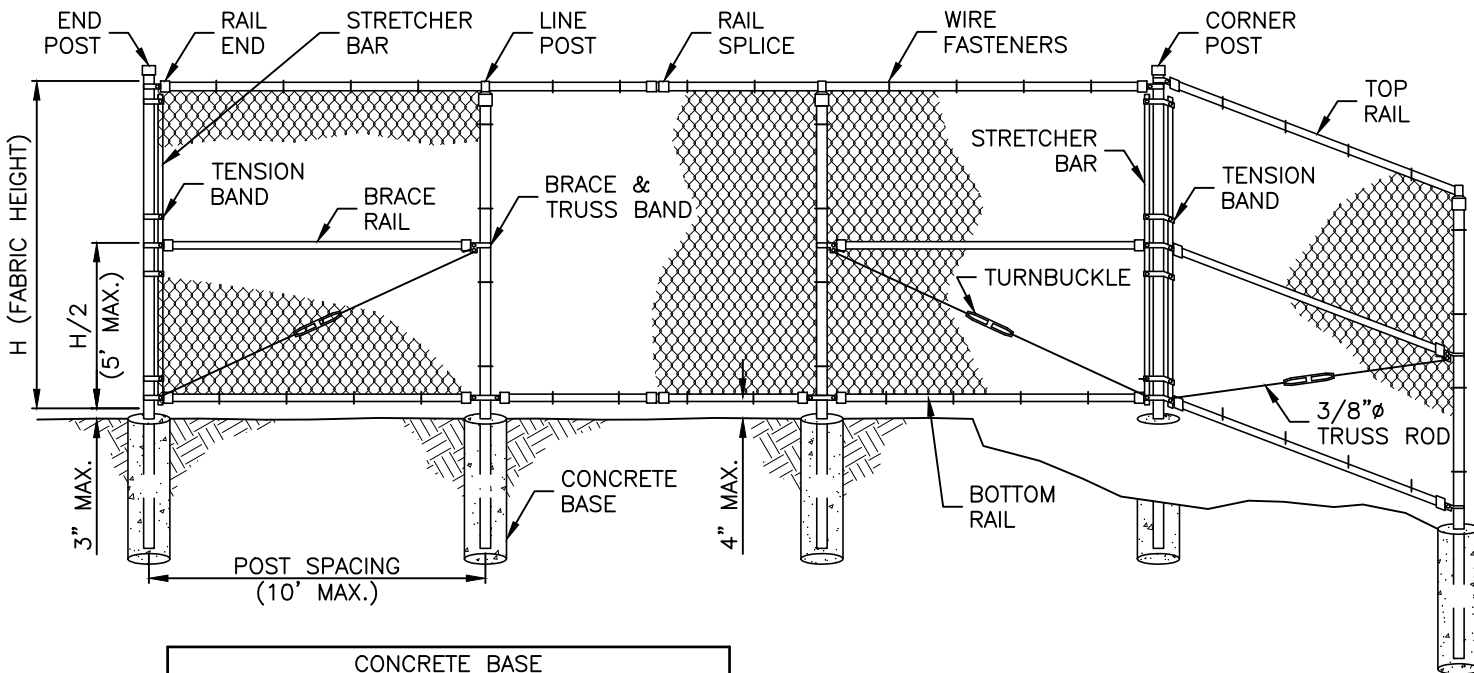
ITEM NUMBER	QUANTITY	PART NUMBER	PART NAME
2	2	37030	HEX LOCKNUT-ZINC
3	1	RE-BK	TORSION SPRING
4	1	RE-BP	BASE PLATE
5	4	33012	3\"/>

FLEXIBLE BOLLARD DETAIL

(IDEAL SHIELD FLEX BOLLARD OR EQUAL)
NOT TO SCALE



BOLLARD



CONCRETE BASE			
FABRIC HEIGHT	H	DEPTH	DIA.
FEET		INCHES	
3 THRU 6	48	12	
>6 THRU 18	72	24	

PART	SIZE		THICKNESS	WEIGHT
	INCHES	GAGE	LB./FT.	
TOP & BRACE RAILS	1.250 x 1.625	14	2.08	
LINE POST (H = 3FT - 6FT)	1.875 x 1.625	12	2.75	
LINE POST (H = >6FT - 8FT)	1.875 x 1.625	11	3.36	
LINE POST (H = >8FT - 12FT)	2.250 x 1.625	11	4.02	
END, CORNER & LINE BRACE POSTS	3.50 x 3.50	10	7.59	

FABRIC HEIGHT	END, CORNER & LINE BRACE POSTS		LINE POSTS		TOP & BRACE RAILS	
	ROUND PIPE I.D.	ROLL-FORMED STEEL	ROUND PIPE I.D.	ROLL-FORMED STEEL	ROUND PIPE I.D.	ROLL-FORMED STEEL
FEET	INCHES	INCHES	INCHES	INCHES	INCHES	INCHES
3 THRU 6	2.5	3.5 x 3.5	1.5	1.875 x 1.625	1.25	1.25 x 1.625
>6 THRU 8	2.5	3.5 x 3.5	2.0	1.875 x 1.625	1.25	1.25 x 1.625
>8 THRU 12	2.5	3.5 x 3.5	2.0	1.875 x 1.625	1.25	1.25 x 1.625

NOTES:
1. H (HEIGHT OF FABRIC) SHALL BE AS SHOWN ON THE PLANS.
2. CHAIN LINK FENCE SHALL CONFORM TO THE REQUIREMENTS OF AASHTO M 181.
3. CHAIN LINK FABRIC SHALL BE 2\"/>

FENCE - CHAIN LINK

NOT TO SCALE

CHD

BY

REVISIONS

DATE

NO.

RDS AUTOMOTIVE GROUP

CHESTER SPRINGS SERVICE CENTER

500 POTTSTOWN PIKE, CHESTER SPRINGS, PA 19425

UPPER UNICHLAN TOWNSHIP, CHESTER COUNTY, PA

SITE CONSTRUCTION DETAILS

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PORS00021

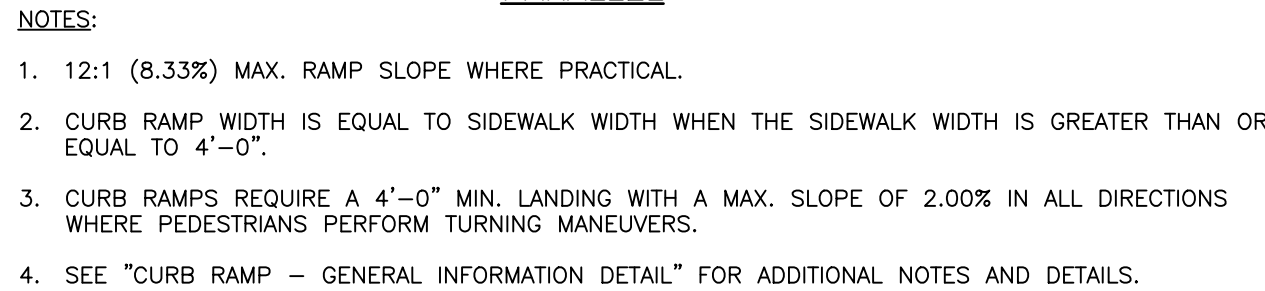
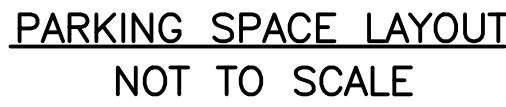
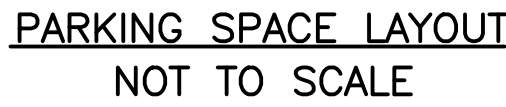
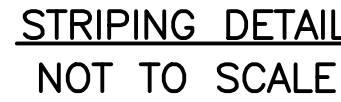
DRAWING

CSD-1

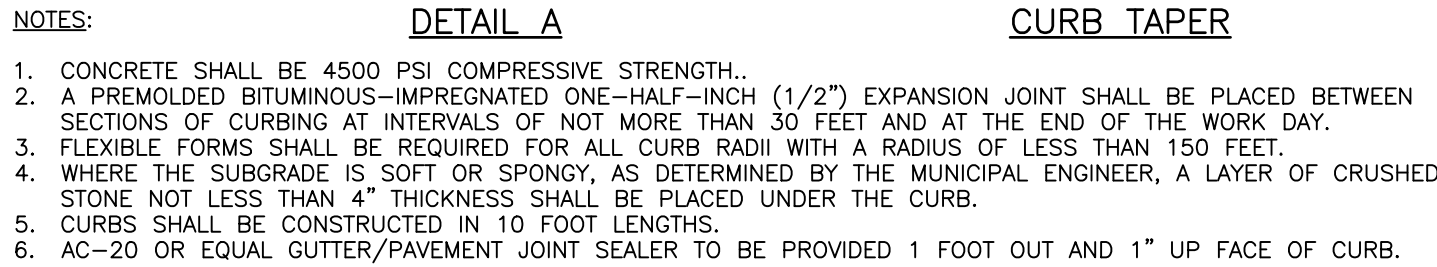
SHEET

12

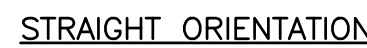
OF 35



NOT TO SCALE

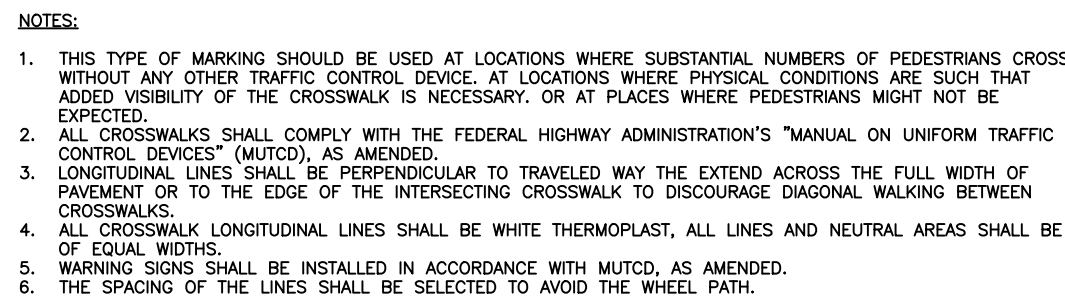


NOT TO SCALE



- NOTES:**
1. SIDE FLARES 10:1 MAX SLOPE.
 2. SIDE FLARES 12:1 MAX FOR RAMPS WITH A LANDING LESS THAN 4'-0". FOR ALTERATIONS: IF TECHNICALLY FEASIBLE A LANDING IS REQUIRED. HOWEVER A LANDING IS NOT REQUIRED WHERE 12:1 SIDE FLARE SLOPES ARE PROVIDED AND RIGHT OF WAY OR OTHER STRUCTURAL FEATURES RESTRICT THE INSTALLATION OF A LANDING.

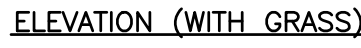
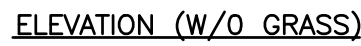
NOT TO SCALE



NOTES:

1. THE C DIMENSION SHALL BE 50% TO 65% OF THE D DIMENSION.
2. DETECTABLE WARNING SURFACES SHALL COMPLY WITH ALL REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT AND PENNDOT PUBLICATION 72M - R67M.
3. DETECTABLE WARNING SURFACES SHALL BE PROVIDED AT ALL LOCATIONS WHERE A PEDESTRIAN WALK CROSSES OR ADJOINS A VEHICULAR WAY AND THE WALKING SURFACES ARE NOT SEPARATED BY CURBS, RAILINGS, OR OTHER ELEMENTS.
4. DETECTABLE WARNING SHALL EXTEND THE FULL WIDTH OF THE WALKING PATH AND BE A MINIMUM OF TWO FEET (2') IN DEPTH, LOCATED FLUSH AGAINST BACK OF CURB IN ACCORDANCE WITH ANSI A117.1.
5. DETECTABLE WARNING SHALL BE ARMOR-TILE (TM) TACTILE SURFACE - CAST IN PLACE SYSTEM, OR APPROVED EQL (WWW.ARMOR-TILE.COM).
6. COLOR SHALL BE DAWSON WHITE OR DAWSON YELLOW (COLOR NO. 36118). COLORS SHALL BE SUBMITTED FOR OWNER'S APPROVAL PRIOR TO ORDERING MATERIAL.

NOT TO SCALE



PLAN

- NOTES:**
1. ALL CONSTRUCTION, MATERIALS, METHODS OF CONSTRUCTION AND CONTROL OF WORK TO BE GOVERNED BY THE CURRENT EDITION OF PENNDOT SPECIFICATIONS, PUBLICATION 408.
 2. PLACE 12" PLANTED EXPANSION JOINTS TO BE PLACED AT THE FULL DEPTH OF THE SIDEWALK AT 30' INTERVALS. EXISTING EXPANSION JOINTS IN ADJACENT CURB, BETWEEN THE SIDEWALK AND CURB AND BETWEEN THE SIDEWALK AND ANY RESTRICTIONS SHALL BE MAINTAINED.
 3. FORM TRANSVERSE TOLEDO CONTROL JOINTS AT 5 FOOT INTERVALS, APPROXIMATELY 1/8" WIDE AND AT LEAST 1" DEEP OR PER SCORING DETAIL PLANS WHEN PROVIDED.
 4. ALL CONCRETE SHALL BE PLACED AND FINISHED WITH ADJOURN CPT-2000 OR APPROVED EQUIV.
 5. EXISTING CONCRETE TO BE REMOVED, ADJACENT TO EXISTING CONCRETE TO REMAIN, SHALL BE SAW CUT FULL DEPTH AT AN EXISTING CONTROL JOINT.
 6. FOR USE WITHIN PEDESTRIAN TRAVEL AREAS.

CONCRETE SIDEWALK
NOT TO SCALE

- NOTES:**
1. PROVIDE MATERIALS AND CONSTRUCTION MEETING THE REQUIREMENTS OF PENNDOT PUBLICATION 408, SECTIONS 350, 409, 630, 676, AND 694. BUILDING CODE (ANSI 117) SHALL GOVERN IN CASE OF DISCREPANCY.
 2. PROVIDE EXPANSION JOINT MATERIAL 1/2" THICK WHERE CURB RAMP ADJOINS ANY RIGID PAVEMENT, SIDEWALK OR DRIVEWAY WITH A MINIMUM 1/4" GAP.
 3. IF PEDESTRIAN CROSSWALKS ARE NOT WIDE ENOUGH TO PROVIDE MINIMUM 4'-0" X 4'-0" WIDE WHEELCHAIR OVERTURN ZONE AT THE BOTTOM OF THE RAMP, POSITION CROSSWALKS AS INDICATED IN PENNDOT PUBLICATION 408, SECTION 676-17A.
 4. SEAL JOINTS WITH AN APPROVED SEALING MATERIAL.
 5. PROVIDE SLIP RESISTANT TEXTURE ON CURB RAMP BY COARSE BROOMING TRANSVERSE TO THE SLOPE OF THE RAMP.
 6. CURB RAMP AND FLARE LENGTHS ARE VARIABLE BASED ON CURB RAMP INCLUDING FLARED SIDE RAMP.
 7. MODIFY CONSTRUCTION DETAILS TO ADAPT DIMENSIONS TO EXISTING CURB ALTERATIONS WHERE THE CURB IS LESS THAN THE STANDARD 8" HEIGHT.
 8. CURB RAMP AND FLARE LENGTHS ARE VARIABLE AND BASED ON CURB HEIGHT AND THE SIDEWALK SLOPE.
 9. CURB MAY BE NECESSARY TO LIMIT THE RUN OF A PARALLEL OR PERPENDICULAR CURB RAMP IN ORDER TO AVOID CHASING GRADE INDEFINITELY WHEN TRAVERSING THE HEIGHT OF CURB. RAMP LENGTH NOT TO EXCEED 15'-0".
 10. ADJUST RAMP SLOPE AS NEEDED TO PROVIDE ACCESS TO THE MAXIMUM EXTENT POSSIBLE.
 11. WHENEVER POSSIBLE, MINIMIZE THE TRANSITION SLOPE FROM THE CURB RAMP AND FLARE SIZES TO ADJOINING SURFACES WITH A GRADUAL ROUNDED SHAPE RATHER THAN AN ABRUPT ANGLE. ENSURE CONSTRUCTION IS WITHIN MAXIMUM SLOPE.
 12. PROVIDE DETECTABLE WARNING DOTS ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF THE RAMP AND PERPENDICULAR TO CURB.
 13. PROVIDE DETECTABLE WARNING SURFACES (DWS) 24" MINIMUM (IN THE DIRECTION OF PEDESTRIAN TRAVEL) ACROSS THE FULL WIDTH OF RAMP AND THE GRADE BREAK NEAR STREET EDGE. PROVIDE DWS THAT CONTRAST VISUALLY WITH ADJACENT WALKWAY SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT FOR THE FULL WIDTH OF RAMP. DETECTABLE WARNING SURFACES SHALL COMPLY WITH THE REQUIREMENTS OF PENNDOT PUBLICATION 72M - 4.07M AND ADA REQUIREMENTS.
 14. FOR NEW CONSTRUCTION, DO NOT EXCEED 2.0% CROSS SLOPE ON THE CURB RAMP OR ACCESSIBLE ROUTE.
 15. CONSTRUCT RAMP AND FLARE SLOPES WITH THE FLATTEST SLOPE POSSIBLE. THE SLOPES INDICATED IN THE DETAIL DRAWING ARE MINIMUMS. IT IS STRONGLY RECOMMENDED TO USE THE SLOPES LISTED ABOVE TO ALLOW FOR CONSTRUCTION TOLERANCES.

NOT TO SCALE

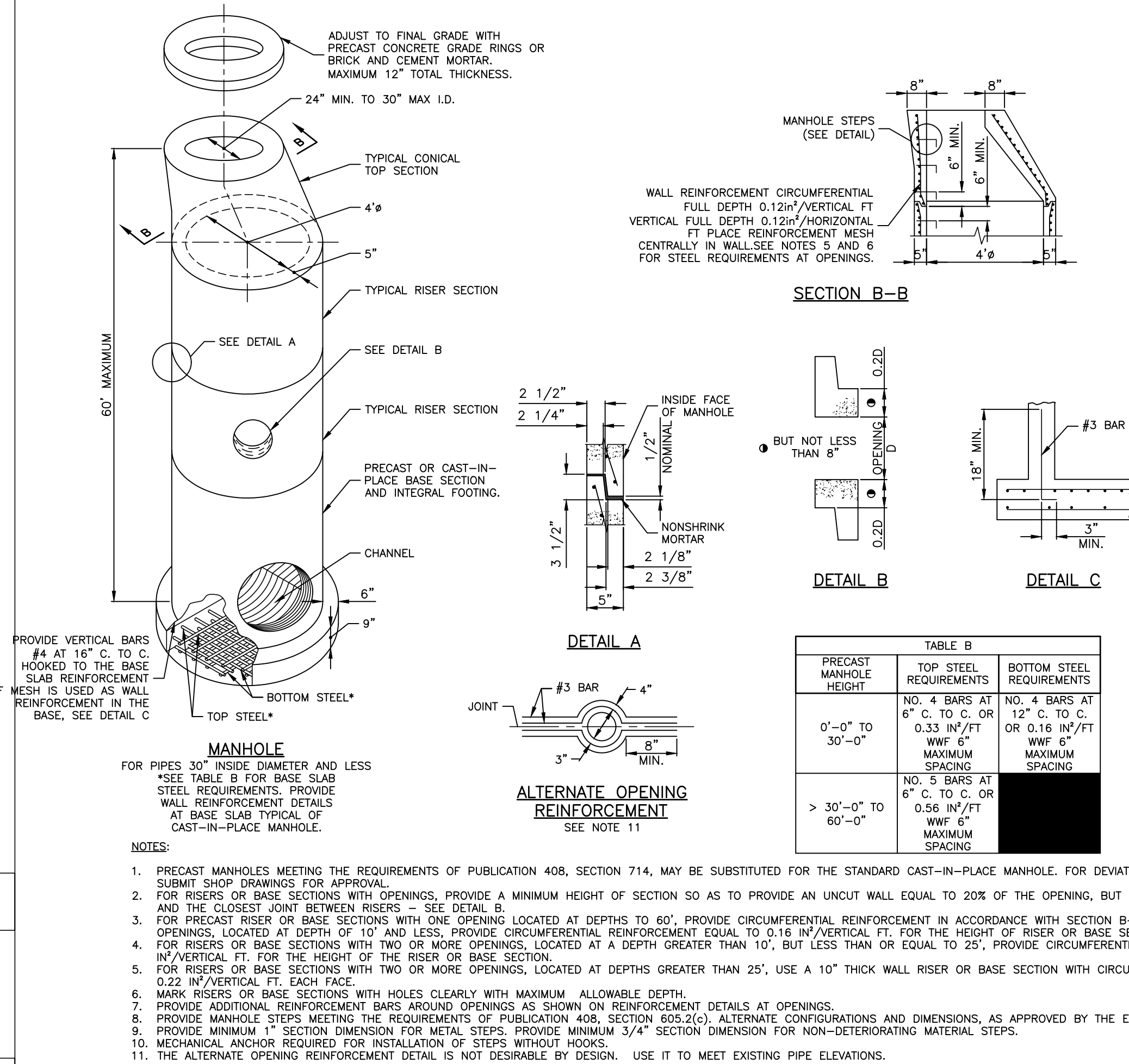
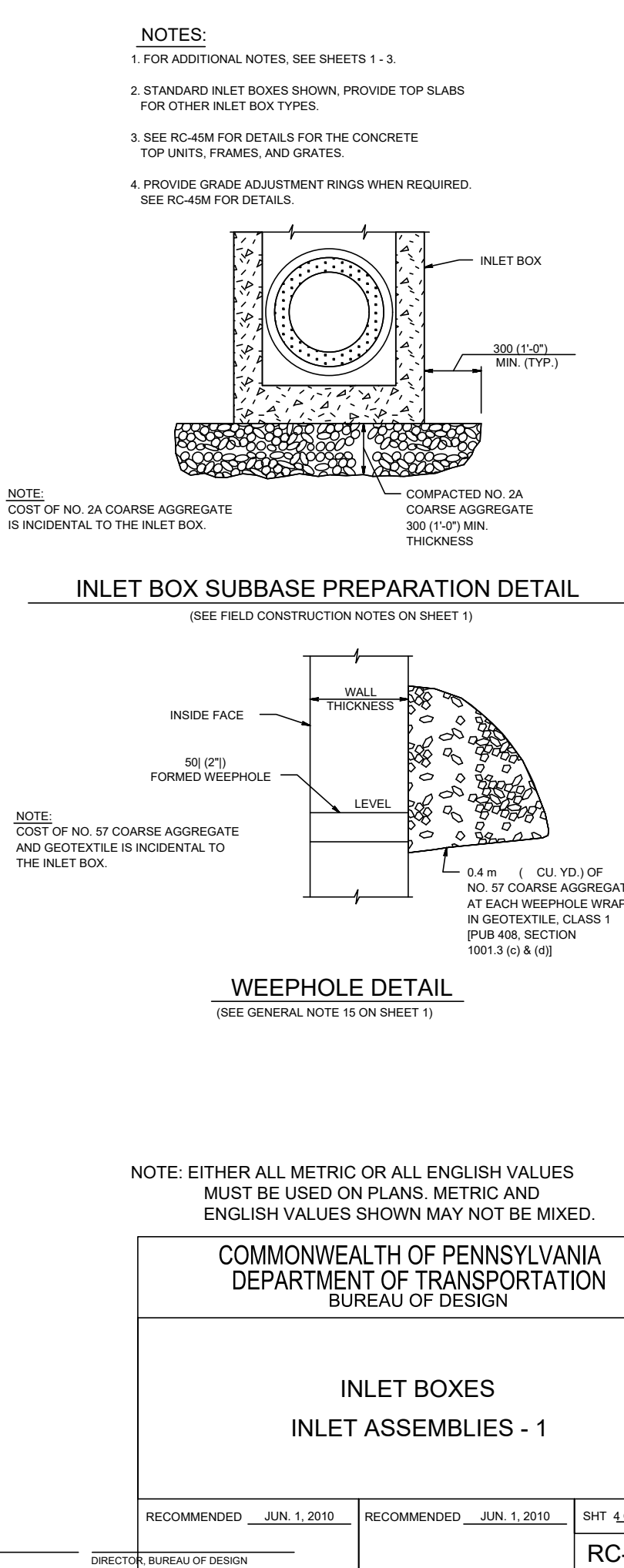
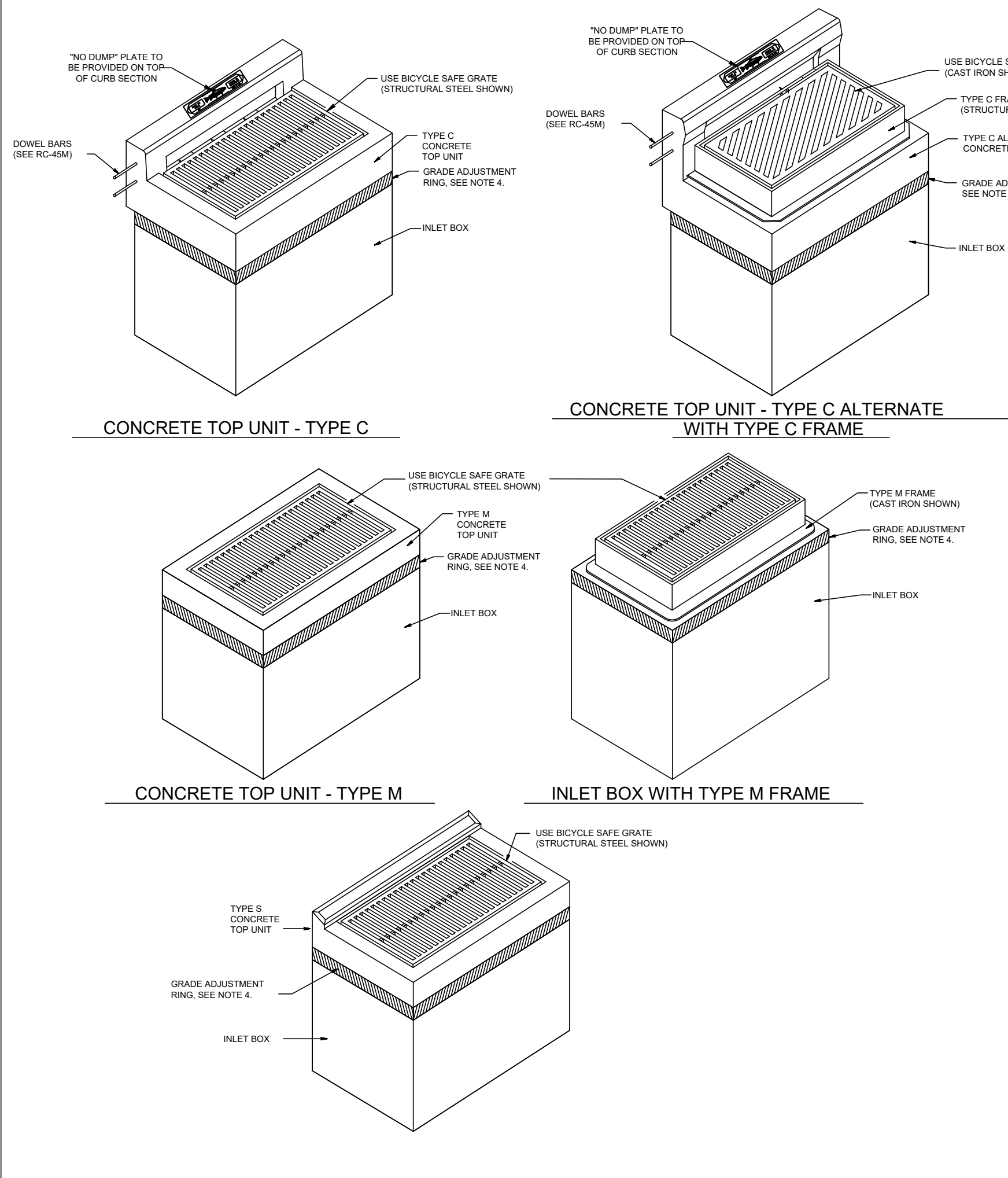
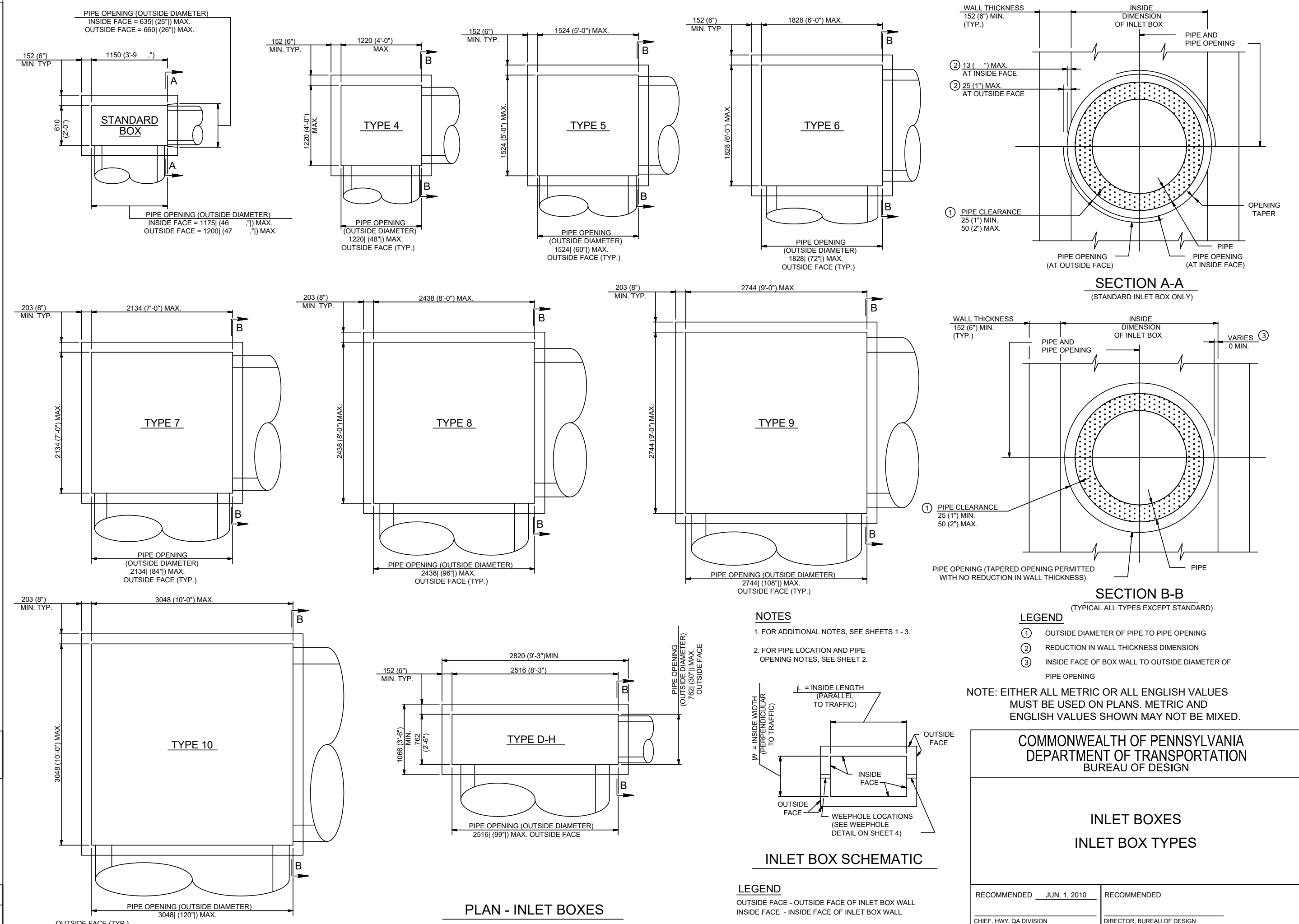
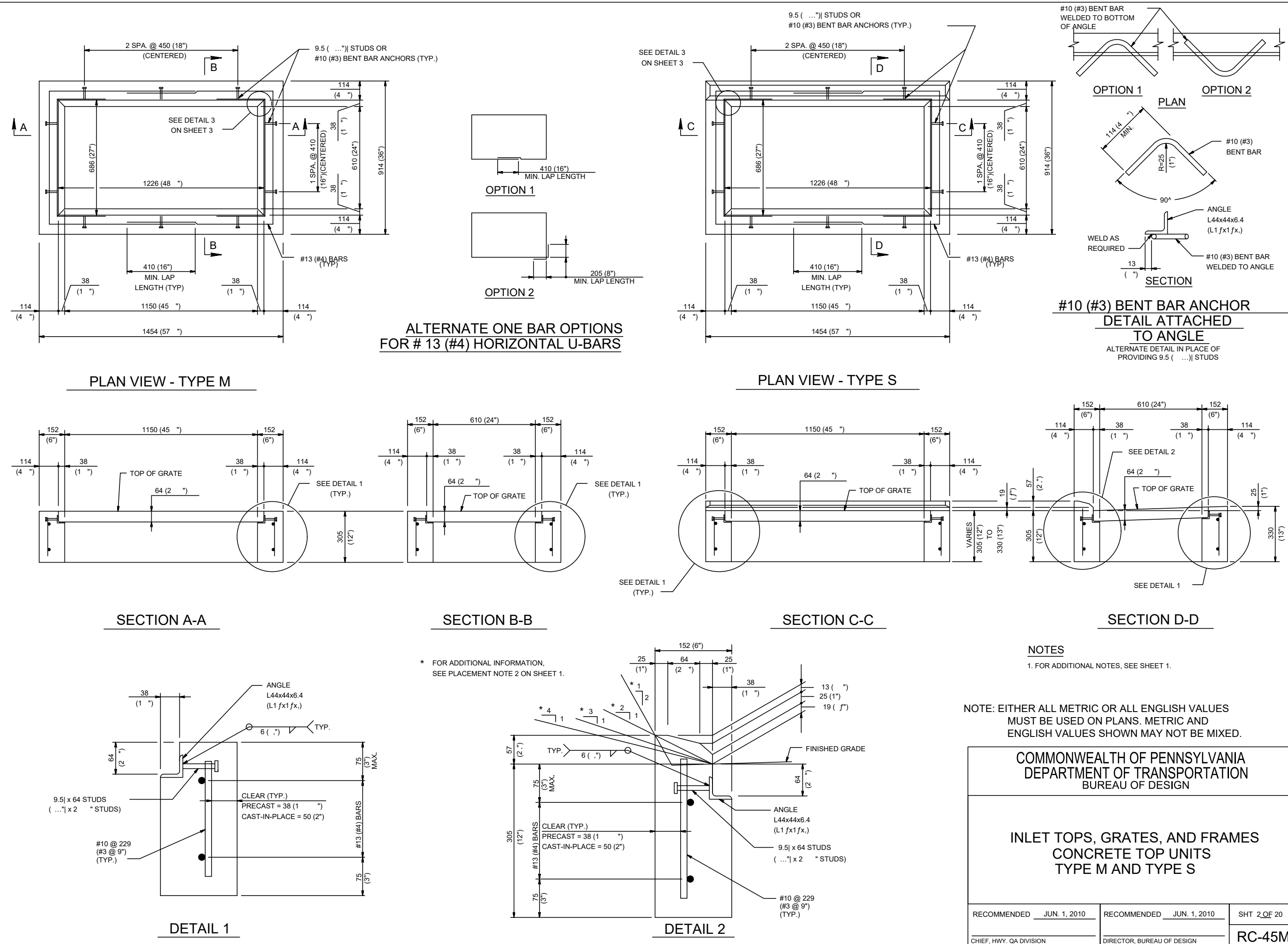


TABLE B		
PRECAST MANHOLE HEIGHT	TOP STEEL REQUIREMENTS	BOTTOM STEEL REQUIREMENTS
0'-0" TO 30'-0"	NO. 4 BARS AT 6" C. TO C. OR 0.56 IN ² /FT WWF 5" MAXIMUM SPACING	NO. 4 BARS AT 12" C. TO C. OR 0.16 IN ² /FT WWF 6" MAXIMUM SPACING
> 30'-0" TO 60'-0"	NO. 5 BARS AT 6" C. TO C. OR 0.56 IN ² /FT WWF 5" MAXIMUM SPACING	

MANHOLE (PRECAST)
NOT TO SCALE

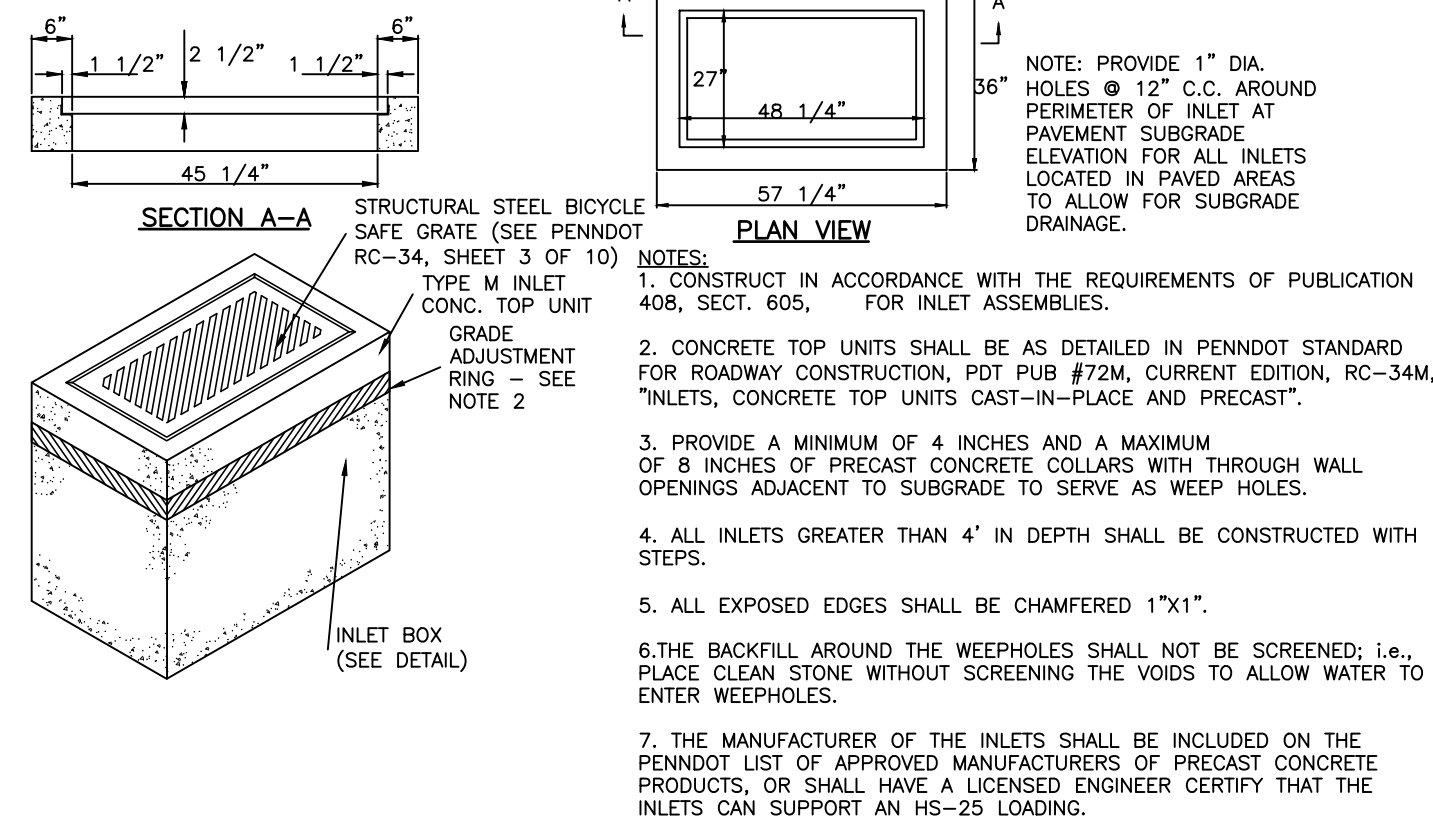
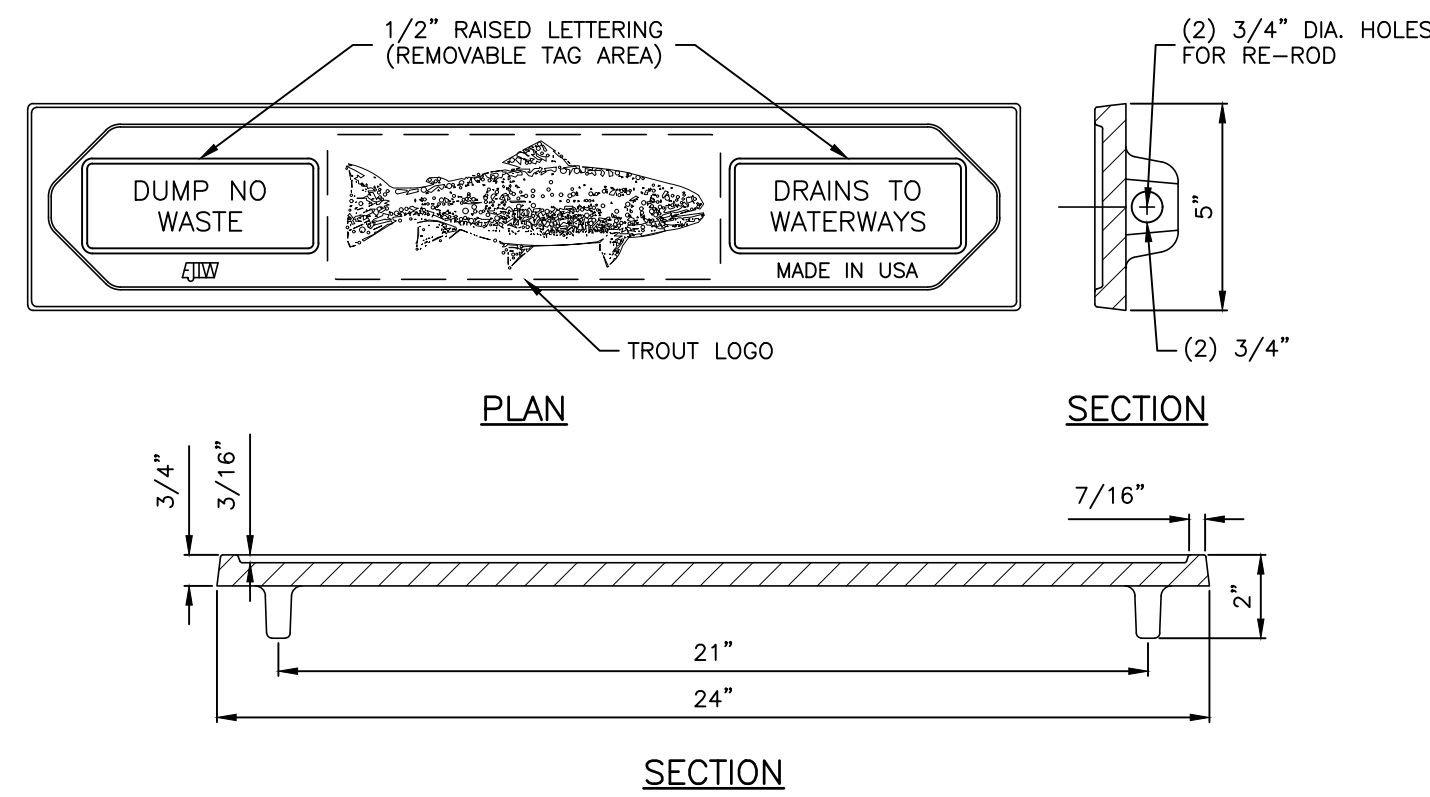
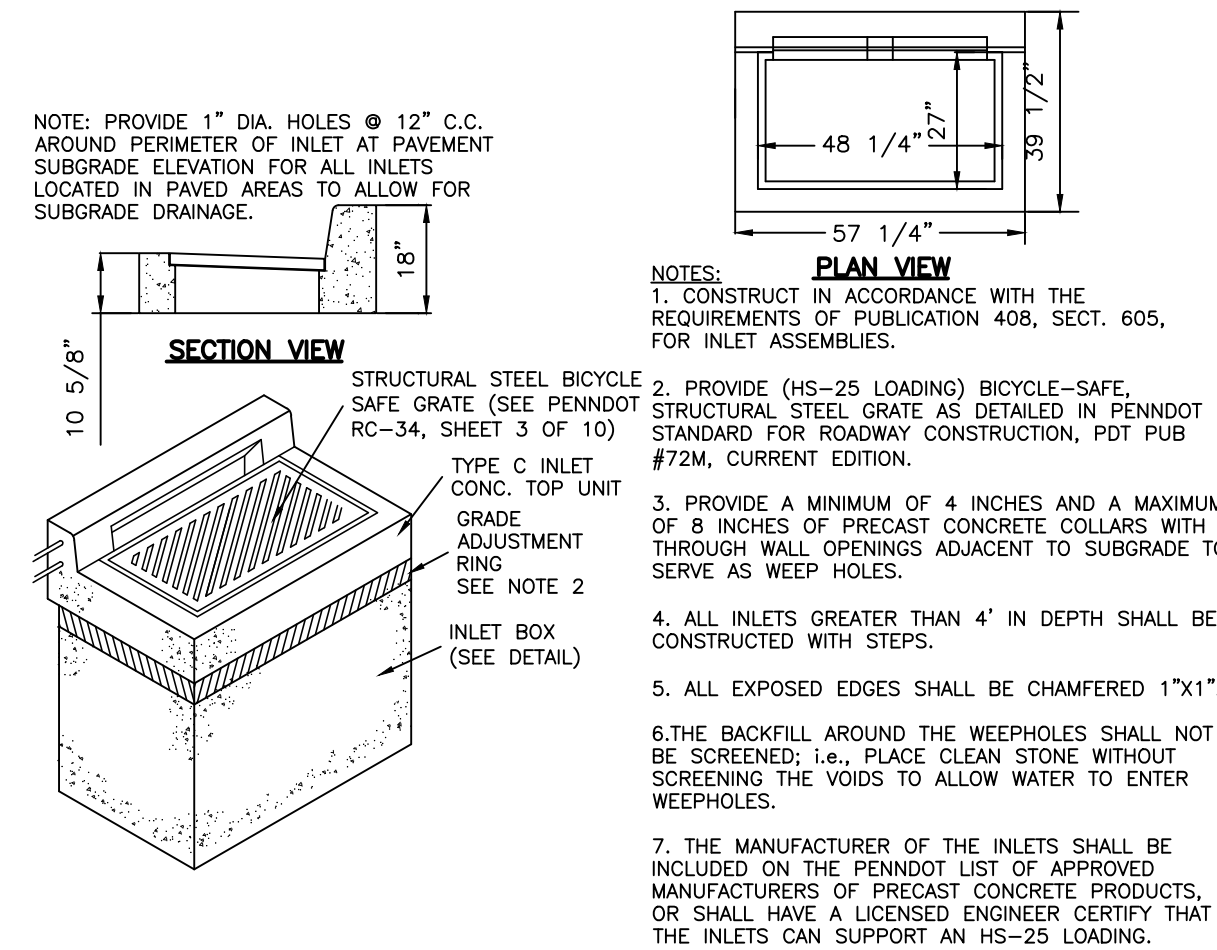
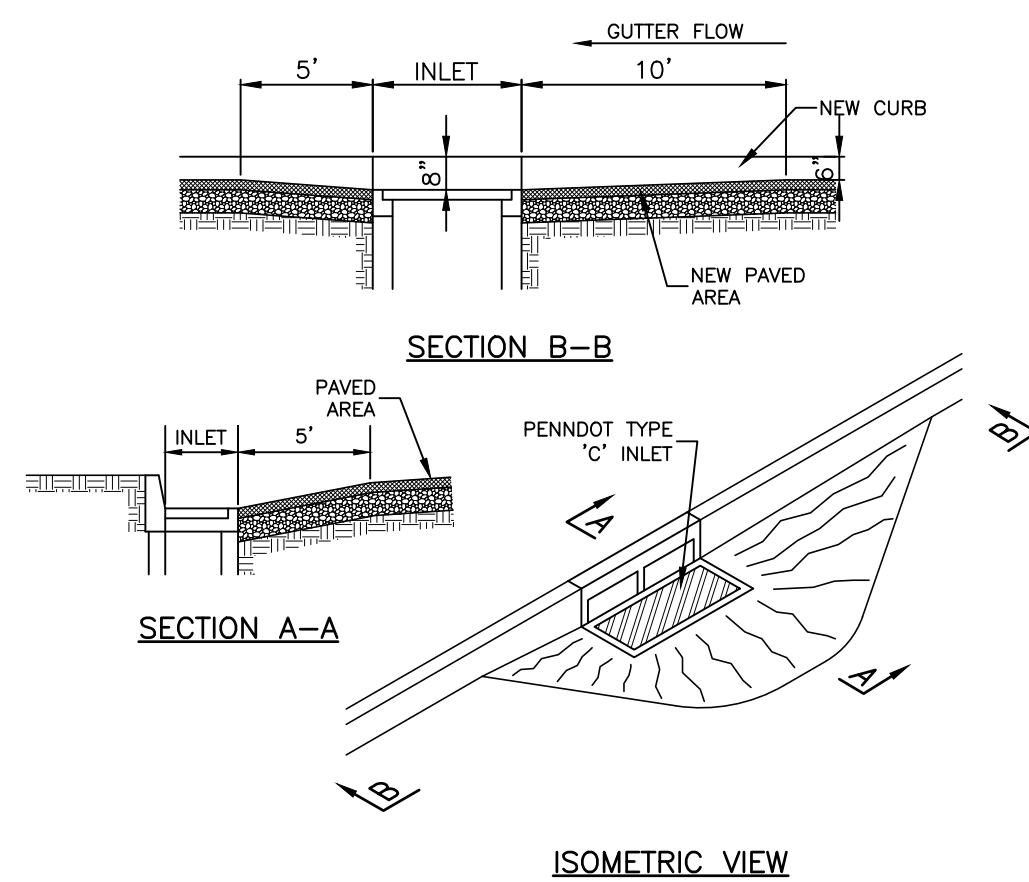
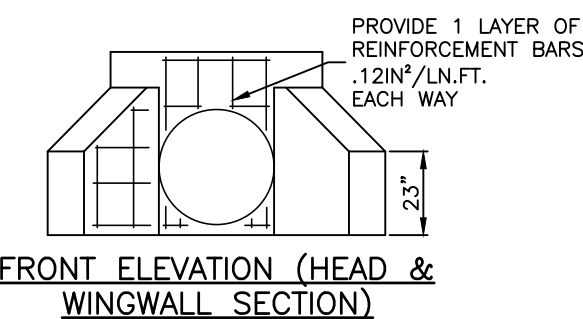
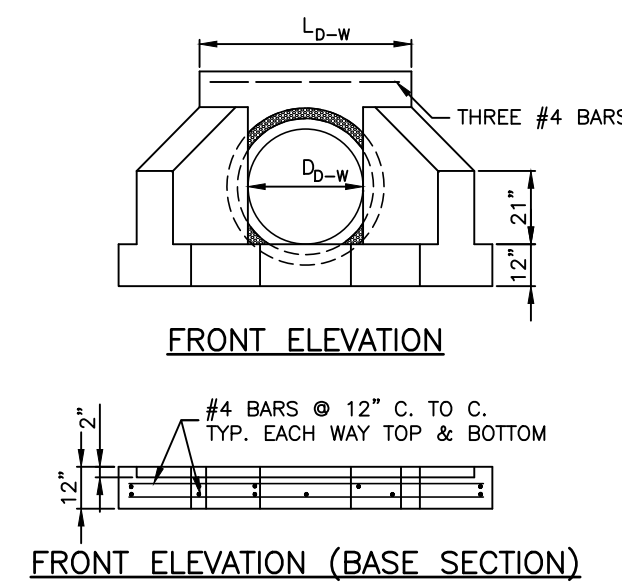


PLATE — NO DUMP
NOT TO SCALE



TYPE 'C' INLET
NOT TO SCALE

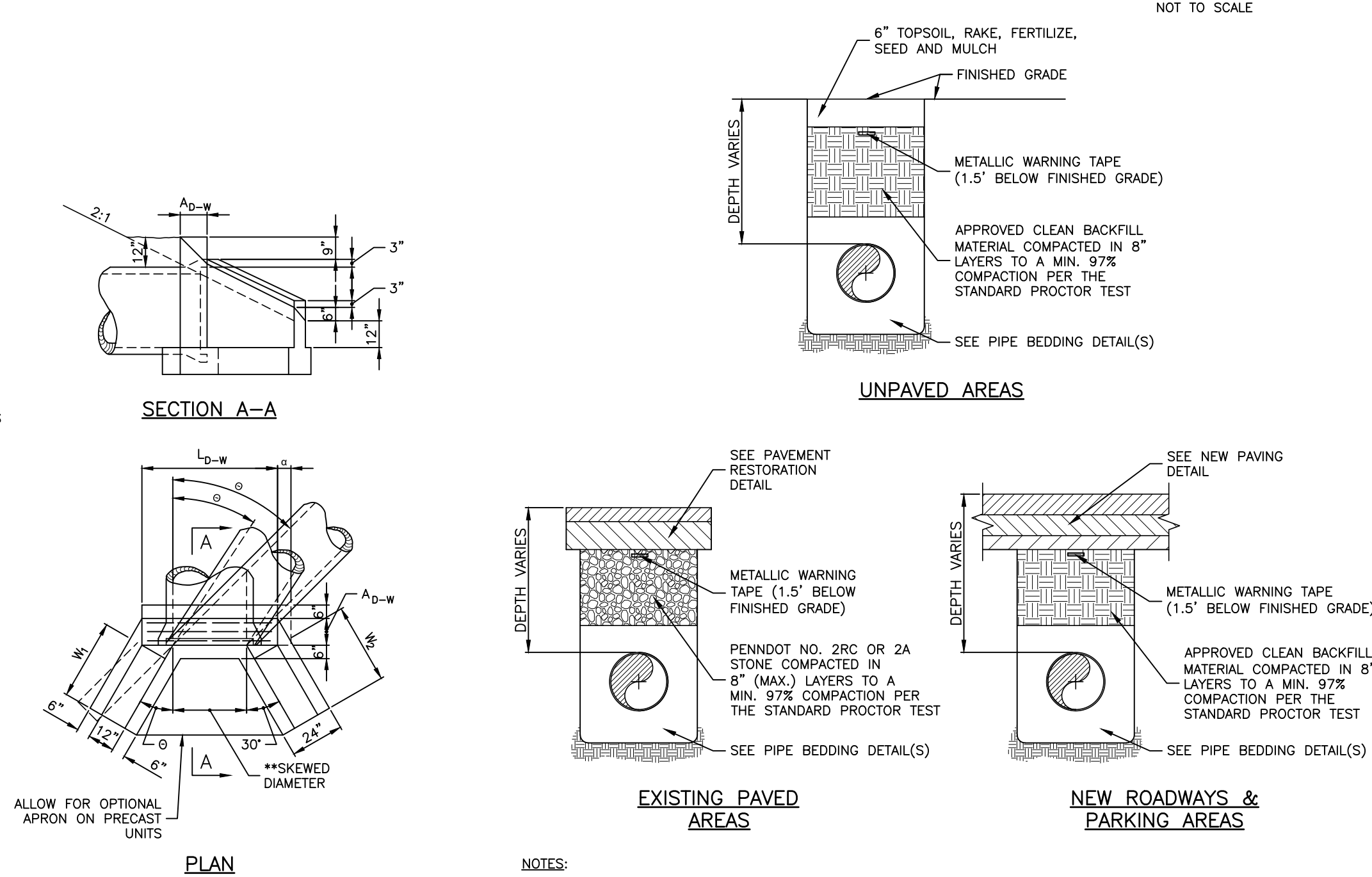


PIPE DIAMETER	SKEW = 90° TO 60° $\Theta = 30^\circ$				
$D_{0.9}$ (IN.)	$D_{1.0}$ (FT.)	α (FT.)	W_1 & W_2 (FT.)	$A_{2.0}$ (IN.)	
12	3.5	0	0.0	12	
18	4.0	0	1.2	12	
24	4.6	0	2.3	12	
30	5.2	0	3.5	12	
36	5.8	0	4.6	12	
42	6.3	0	5.8	12	
48	6.9	0	6.9	12	
54	7.5	0	8.0	12	
60	8.1	0	9.2	12	
72	9.2	0	11.5	12	

NOTES

1. ALL MATERIALS AND CONSTRUCTION METHODS TO MEET THE REQUIREMENTS OF PENNDOT PUBLICATION 408 AND 72-M (RC-31M), LATEST REVISION.
2. CHILD SAFETY GRATES SHALL BE PROVIDED ON ALL ENDWALLS. TRASH RACKS SHALL BE PROVIDED ON ALL HEADWALLS.

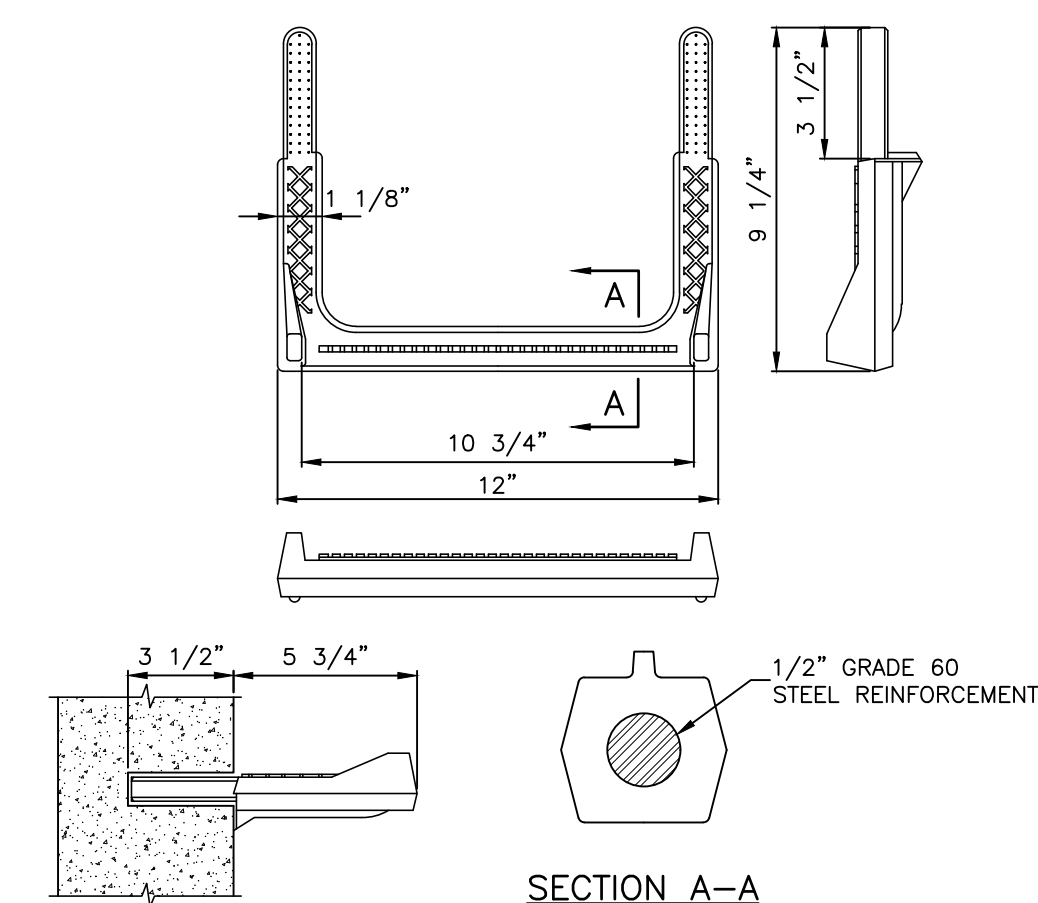
HEADWALL/ENDWALL - TYPE D-W



- NOTES:

1. TRENCH COMPACTION TO TESTED, AT THE DEVELOPER'S EXPENSE, IN ACCORDANCE WITH PENNDOT PUB 408, LATEST REVISION, AS REQUIRED BY THE MUNICIPALITY/AUTHORITY HAVING JURISDICTION.
2. CLEAR FILLS MUST BE APPROVED BY THE MUNICIPALITY/AUTHORITY HAVING JURISDICTION PRIOR TO PLACEMENT IN THE TRENCH.
3. AREAS AROUND MANHOLES, INLETS, AND OTHER APPURTENANCES SHALL BE HAND COMPACTED AS DIRECTED BY THE TRENCHING CONTRACTOR.
4. NO SLAG MATERIAL PERMITTED.
5. IF WATER IS ENCOUNTERED IN THE EXCAVATION TRENCH, A#570 AGGREGATE MUST BE USED.
6. ALL MATERIALS TO BE USED IN EXCAVATION SHALL COMPLY WITH PENNDOT SPECIFICATIONS, PUBLICATION 408 AND 67 PA CODE SECTION 459.
7. DRAINAGE WATER SHALL. WATER BE ALLOWED TO COLLECT IN EXCAVATED TRENCHES. ANY WATER IN THE TRENCHES SHALL BE REMOVED THROUGH A PUMPED WATER FILTER BAG.

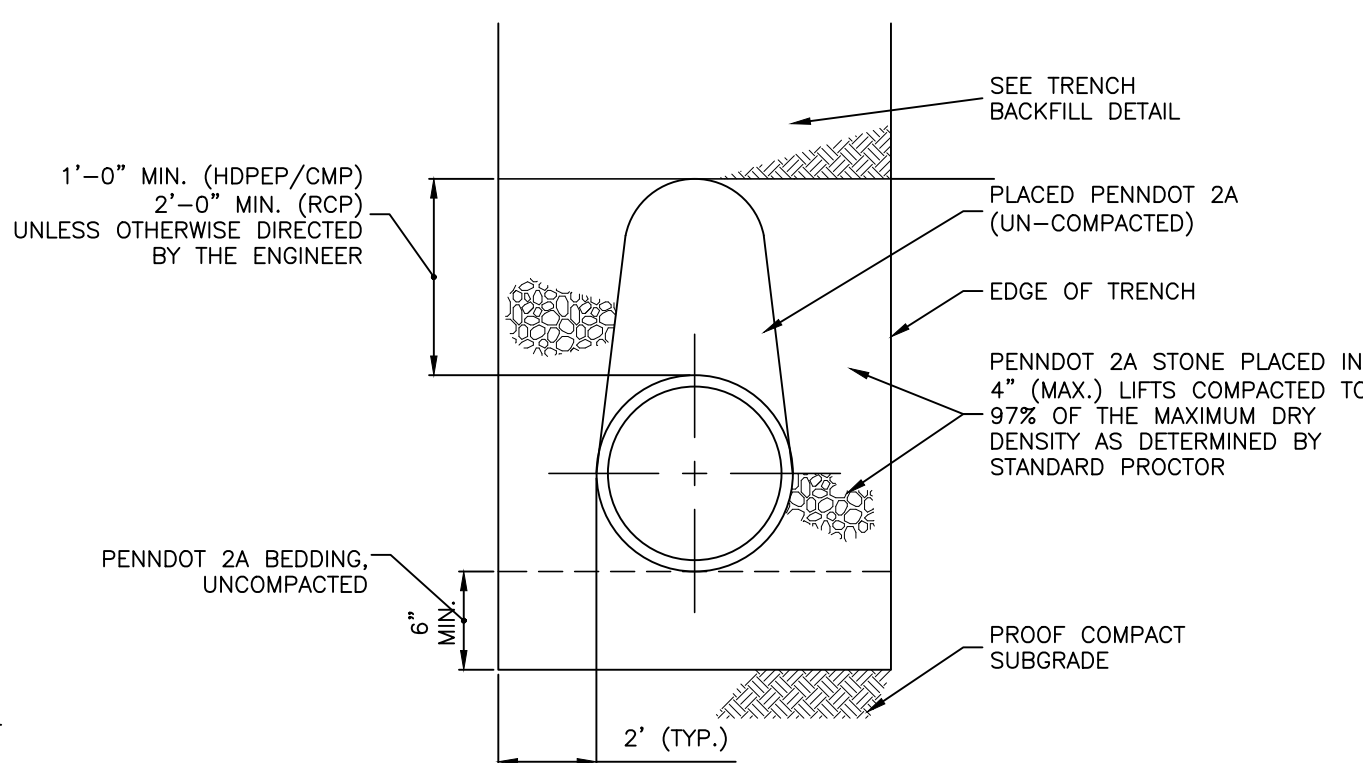
BACKFILL (TRENCH)
NOT TO SCALE



NOTES:

1. STEPS FOR ALL MANHOLES AND INLETS SHALL BE COPOLYMER POLYPROPYLENE PLASTIC MODEL NO. PS-4-B AS MANUFACTURED BY M.A. INDUSTRIES INC. OR APPROVED EQUAL.
2. THE PORTION TO BE EMBEDDED IN THE CONCRETE SHALL BE IN ACCORDANCE WITH THE LATEST O.S.H.A. STANDARDS (3 1/2" MINIMUM EMBEDMENT).
3. ALL MANHOLE STEPS TO MEET OR EXCEED ASTM AND O.S.H.A. STANDARDS.
4. VERTICAL SPACING OF STEPS TO BE 1'.

MANHOLE STEP
(STEEL REINFORCED POLYPROPYLENE)
NOT TO SCALE



NOTES:

1. IF TRENCH IS EXTREMELY WET DUE TO HIGH GROUNDWATER, USE AASHTO #57 STONE UP TO THE HAUNCHES OF THE PIPE. REMAINDER OF BEDDING TO BE PENNDOT 2A.
2. FOLLOW 'PIPE INSTALLATION PROCEDURES' PER PENNDOT PUBLICATION 72M - RC-30M.

PIPE BEDDING (STORM SEWER)
NOT TO SCALE



OFFICES LOCATED IN:
DELAWARE, INDIANA, KENTUCKY,
MASSACHUSETTS, MICHIGAN, NEW JERSEY
OHIO AND PENNSYLVANIA

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DRAWN BY	

	SEE
DATE	

DATE	08/01/2024
SCALE	

SCALE AS SHOWN

DRAWING

STRM-2

SHEET

SHEET 11

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CHESTER SPRINGS SERVICE CENTER

500 POTTSTOWN PIKE, CHESTER SPRINGS, PA, 19425
UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PA

STORM SEWER DETAILS

CHKD

BY

REVISIONS

DATE _____

NO.

UNPAVED AREAS

EXISTING PAVED
AREAS

NEW ROADWAYS & PARKING AREAS

- NOTES:**
1. TRENCH COMPACTION TO BE TESTED, AT THE DEVELOPER'S EXPENSE, IN ACCORDANCE WITH PENNDOT PUB 408, LATEST REVISION, AS REQUIRED BY THE MUNICIPALITY/AUTHORITY HAVING JURISDICTION.
 2. CLEAN FILL MUST BE APPROVED BY THE MUNICIPALITY/AUTHORITY HAVING JURISDICTION PRIOR TO PLACEMENT IN THE TRENCH.
 3. ARCS AROUND MANHOLES, INLETS, AND OTHER APPURTENANCES SHALL BE HAND COMPACTED AS DIRECTED BY THE MUNICIPALITY/AUTHORITY HAVING JURISDICTION.
 4. NO SLAG MATERIAL PERMITTED.
 5. IF WATER IS ENCOUNTERED IN THE EXCAVATION TRENCH, ASHTO #57 AGGREGATE MUST BE USED.
 6. ALL MATERIALS AND CONSTRUCTION METHODS SHALL COMPLY WITH PENNDOT SPECIFICATIONS, PUBLICATION 408 AND 67 PA CODE SECTION 459.
 7. EXCESS SURFCE WATER SHALL BE ALLOWED TO COLLECT IN EXCAVATED TRENCHES. ANY WATER IN THE TRENCHES SHALL BE REMOVED THROUGH A PUMPED WATER FILTER BAG.

BACKFILL (TRENCH)
NOT TO SCALE

SECTION B-B

ALL EXTERNAL JOINTS SHALL BE SEALED
AN APPROVED JOINT SEALING MATERIAL

ALL LIFT HOLES WHICH COMPLETELY
PENETRATE THE MANHOLE SHALL BE
FILLED WITH NON-SHRINKING GROUT—

O-RING RUBBER OR —
1" BUTYL SEALANT JOINT

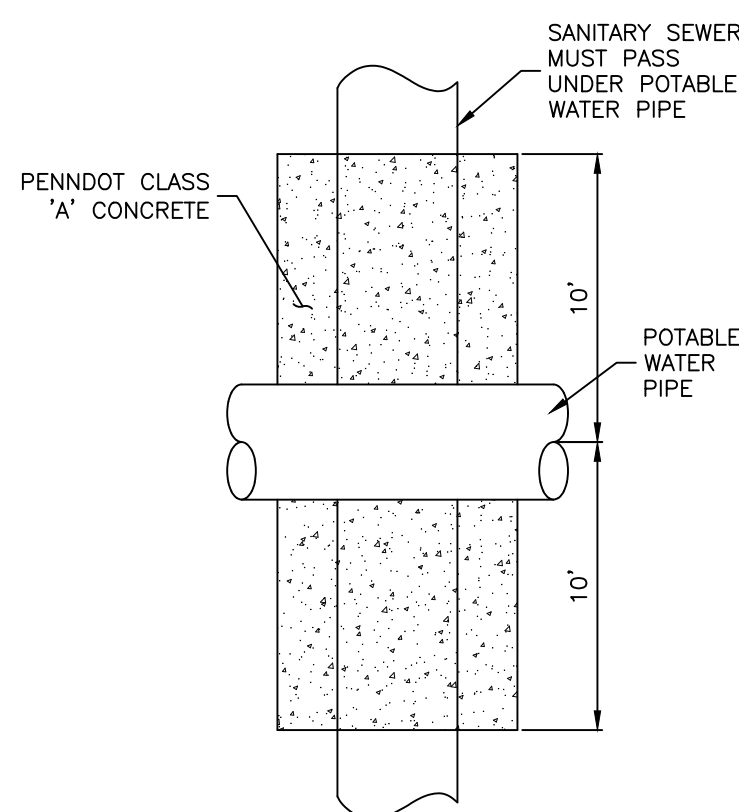
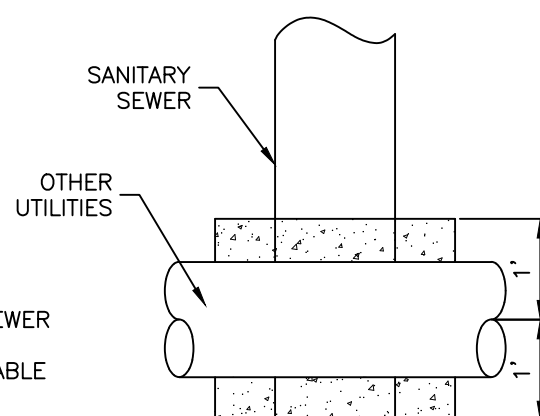
CONCRETE INVER™

EXTENDED BASE 1
4' DIAMETER: 6"
5' DIAMETER: 8"

SECTION A-A

- NOTES:**
1. ALL MANHOLE CONNECTIONS SHALL BE PREFABRICATED OR CORED WITH A CONCRETE CORING MACHINE.
 2. ALL MANHOLES SHALL BE VACUUM TESTED.
 3. EXTENDED BASE REQUIRED FOR ALL MANHOLES WITH MORE THAN 12'-FT DEPTH OF BURY.
 4. PROVIDE A MINIMUM 0.1 FOOT IN-OUT DROP FOR STRAIGHT RUNS AND 0.2 FOOT IN-OUT DROP FOR ANGLE RUNS.

STANDARD SANITARY SEWER
PRECAST CONCRETE MANHOLE DETAIL
NOT TO SCALE

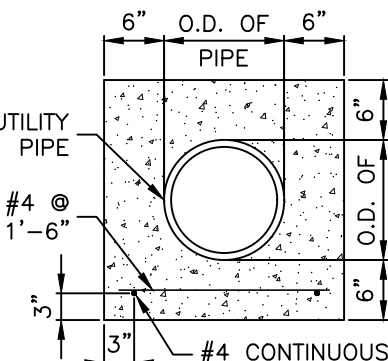


WATER CROSSINGS

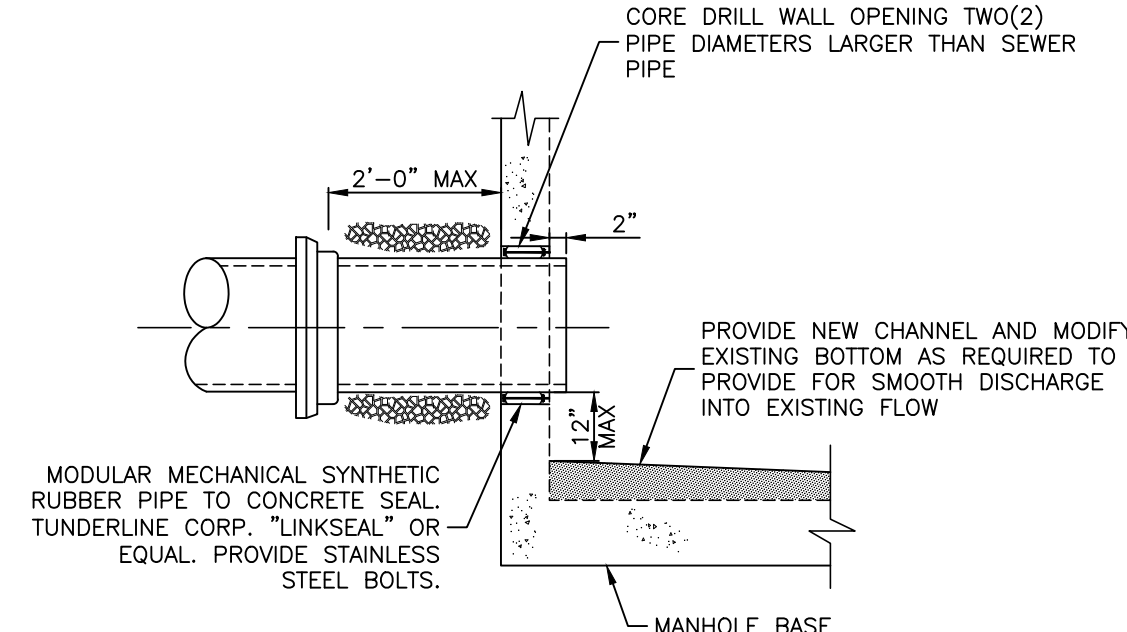
- NOTES:
1. PROVIDE REINFORCEMENT AT UTILITY CROSSINGS OR AS DIRECTED BY THE MUNICIPALITY/AUTHORITY HAVING JURISDICTION.

UTILITY CROSSING – CONCRETE ENCASEMENT

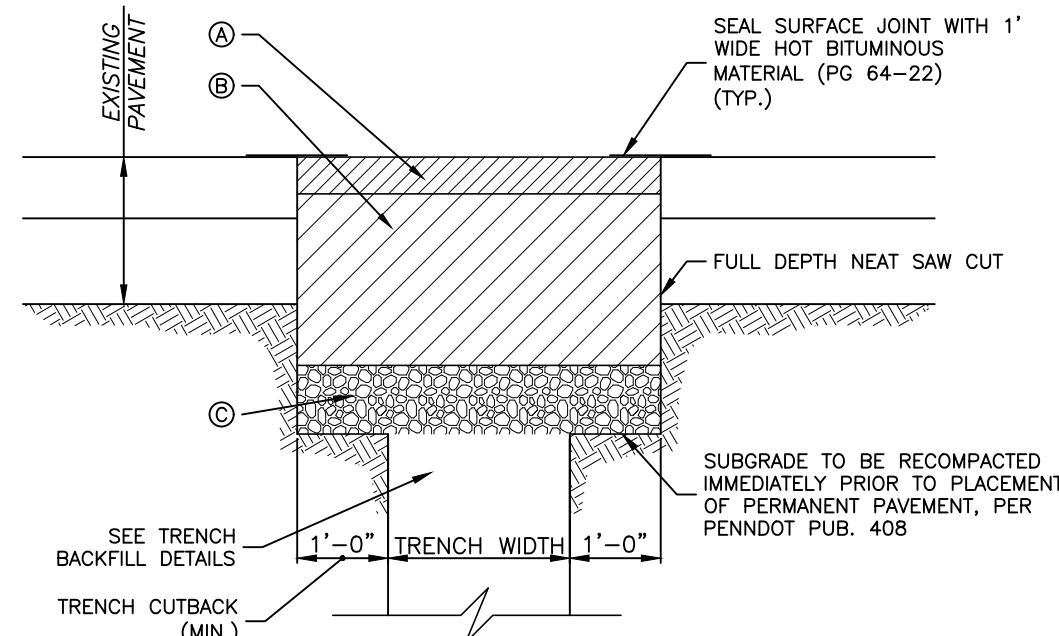
UTILITY CROSSINGS



ENCASEMENT SECTION



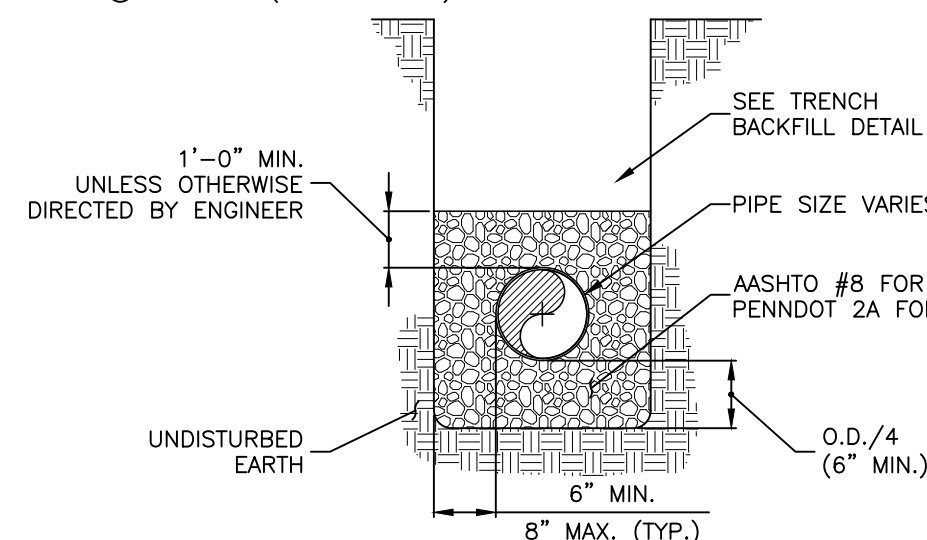
PIPE CONNECTION (EXISTING MANHOLE)



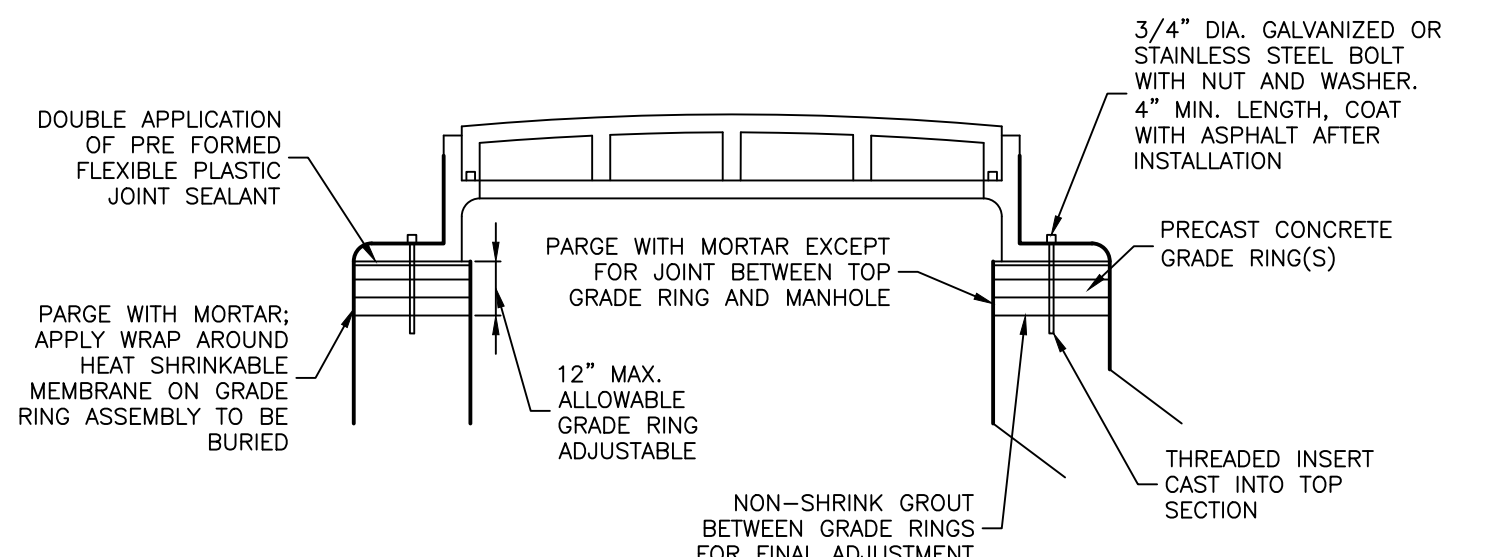
- NOTES:
1. EXPOSED VERTICAL AND HORIZONTAL SURFACES SHALL BE PREPARED AS STATED IN PENNDOT PUB. 408, SECT. 401.3(F).
 2. TACK COAT MATERIAL SHALL BE APPLIED TO THE ENTIRE SURFACE PRIOR TO APPLICATION OF THE WEARING SURFACE UNLESS WAIVED BY PENNDOT.
 3. ALL MATERIALS AND CONSTRUCTION METHODS SHALL COMPLY WITH PENNDOT SPECIFICATIONS, PUBLICATION 408, LATEST REVISION.
 4. IF WORK IS COMPLETED WITHIN PENNDOT RIGHT OF WAY, SPECIAL CONDITIONS OF THE HIGHWAY OCCUPANCY PERMIT SHALL SUPERSEDE THIS DETAIL.
 5. REFER TO TOTAL STREET CROSS SECTION FOR DESCRIPTIONS OF A,B,C. AND D.

PAVEMENT RESTORATION (BITUMINOUS)

- NOT TO SCALE
- Ⓐ SUPERPAVE ASPHALT MIXTURE DESIGN, HMA WEARING COURSE, PG 64-22, 0 TO <0.3 MILLION DESIGN ESALS, 9.5 MM MIXTURE, 1 1/2" DEPTH, SRL H
 - Ⓑ SUPERPAVE ASPHALT MIXTURE DESIGN, HMA BASE COURSE, PG 64-22, 0 TO <0.3 MILLION DESIGN ESALS, 25 MM MIXTURE, 4 1/2" DEPTH
 - Ⓒ SUBBASE (PENNDOT. 2A) 6" DEPTH



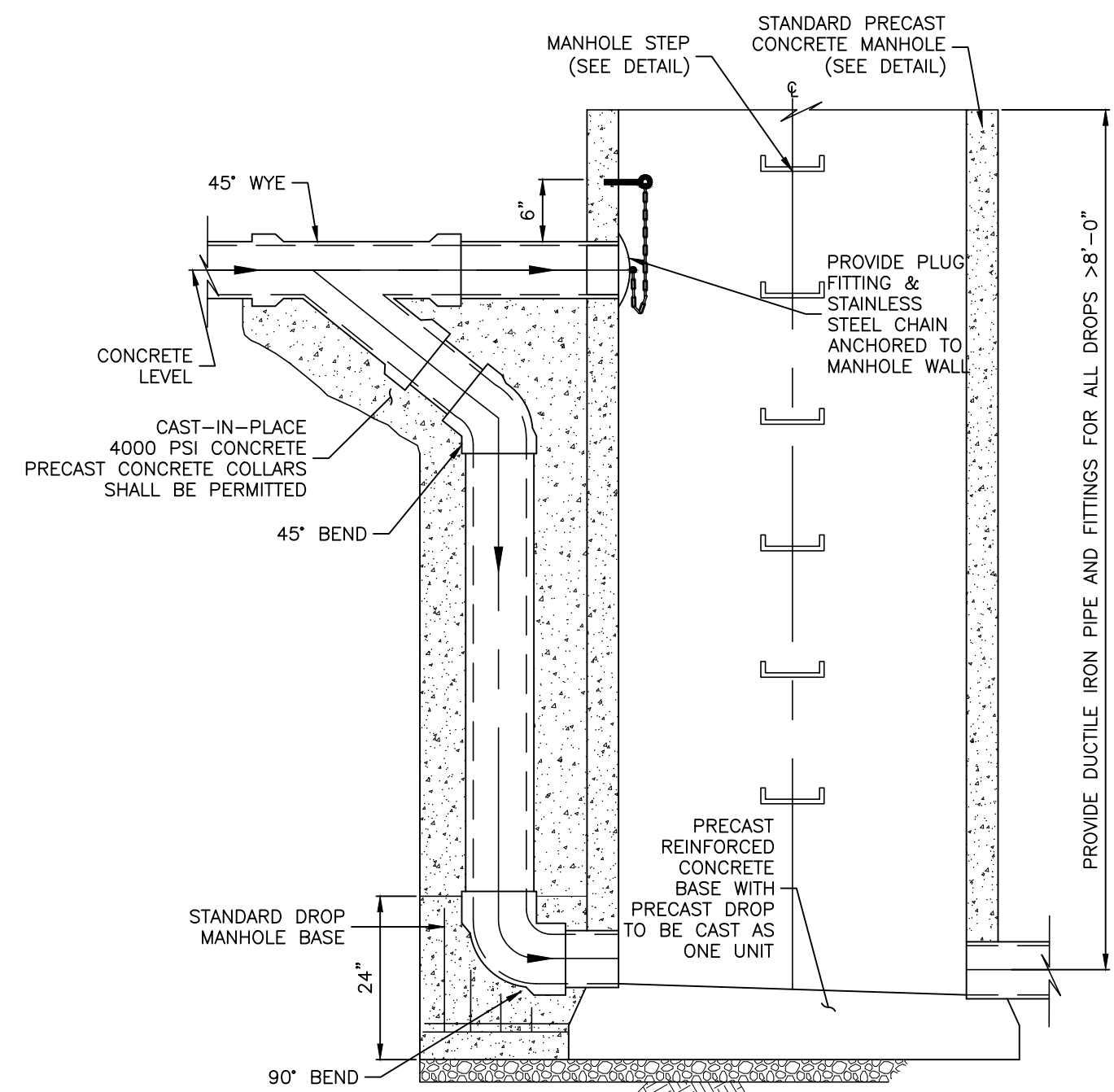
PIPE BEDDING – SANITARY MAIN AND LATERAL



- NOTES:**
1. ALL NON-SHRINK CONCRETE GROUT SHALL BE TROWELED SMOOTH.
 2. EXCESS PRE FORMED FLEXIBLE PLASTIC JOINT SEALANT SHALL BE NEATLY TRIMMED AT ALL JOINTS.
 3. CONCRETE SURFACES SHALL BE CLEAN AND DRY PRIOR TO PARGING AND PRIOR TO APPLICATION OF WRAP AROUND HEAT SHRINKABLE MEMBRANE.

MANHOLE ADJUSTMENT (GRADE RING)

NOT TO SCALE



- NOTE:
1. 4' DIAMETER FOR 8" PIPE, 5' DIAMETER FOR 10"-12."

SANITARY MANHOLE CONNECTION
(GREATER THAN 4' DROP)

NOT TO SCALE

REMOVE ALL FLAGGING, TWINE, STRING, TAGS, ETC., FROM BRANCHES AND LIMBS/TRUNKS FOLLOWING PLANTING.



NOT TO SCALE



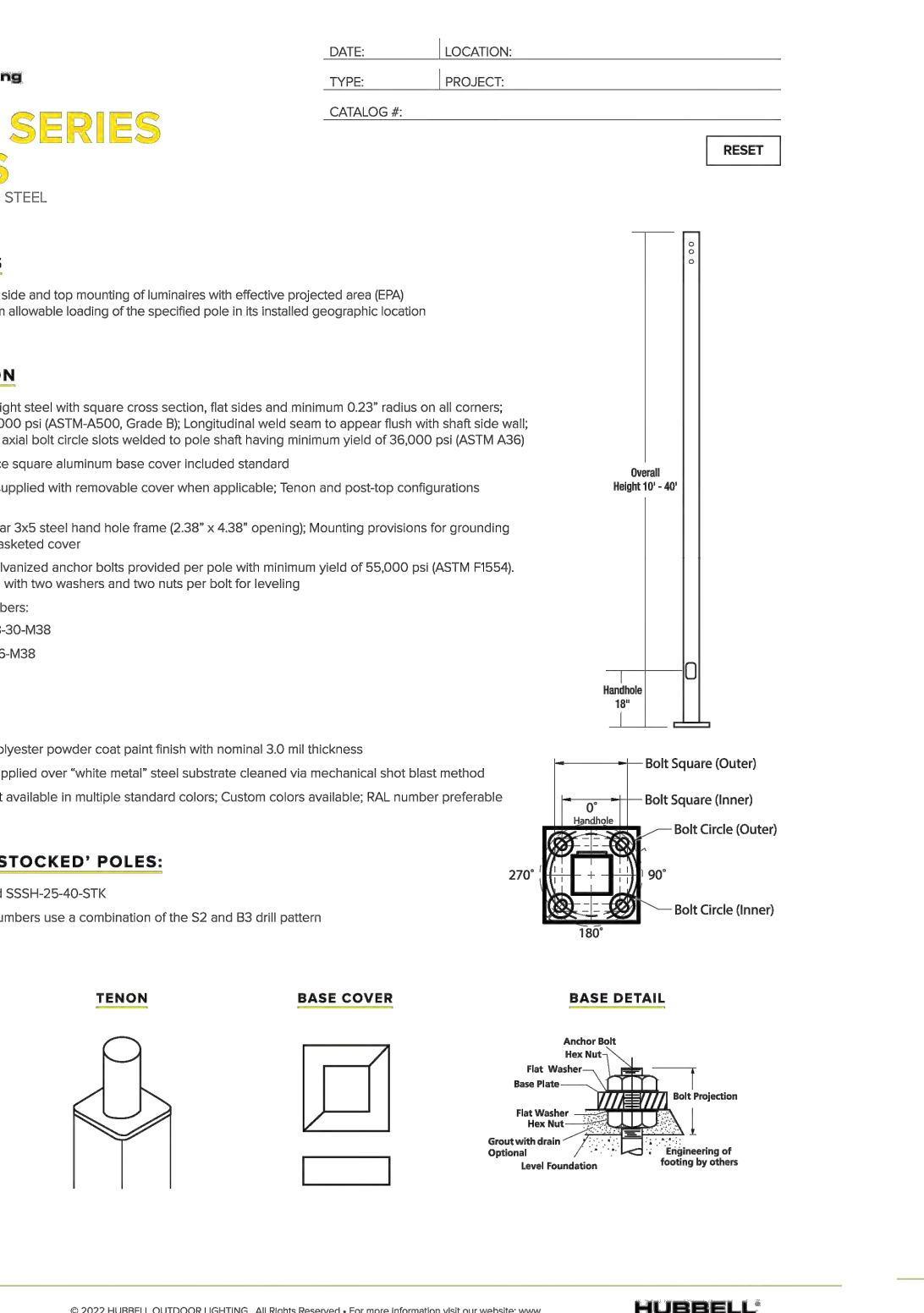
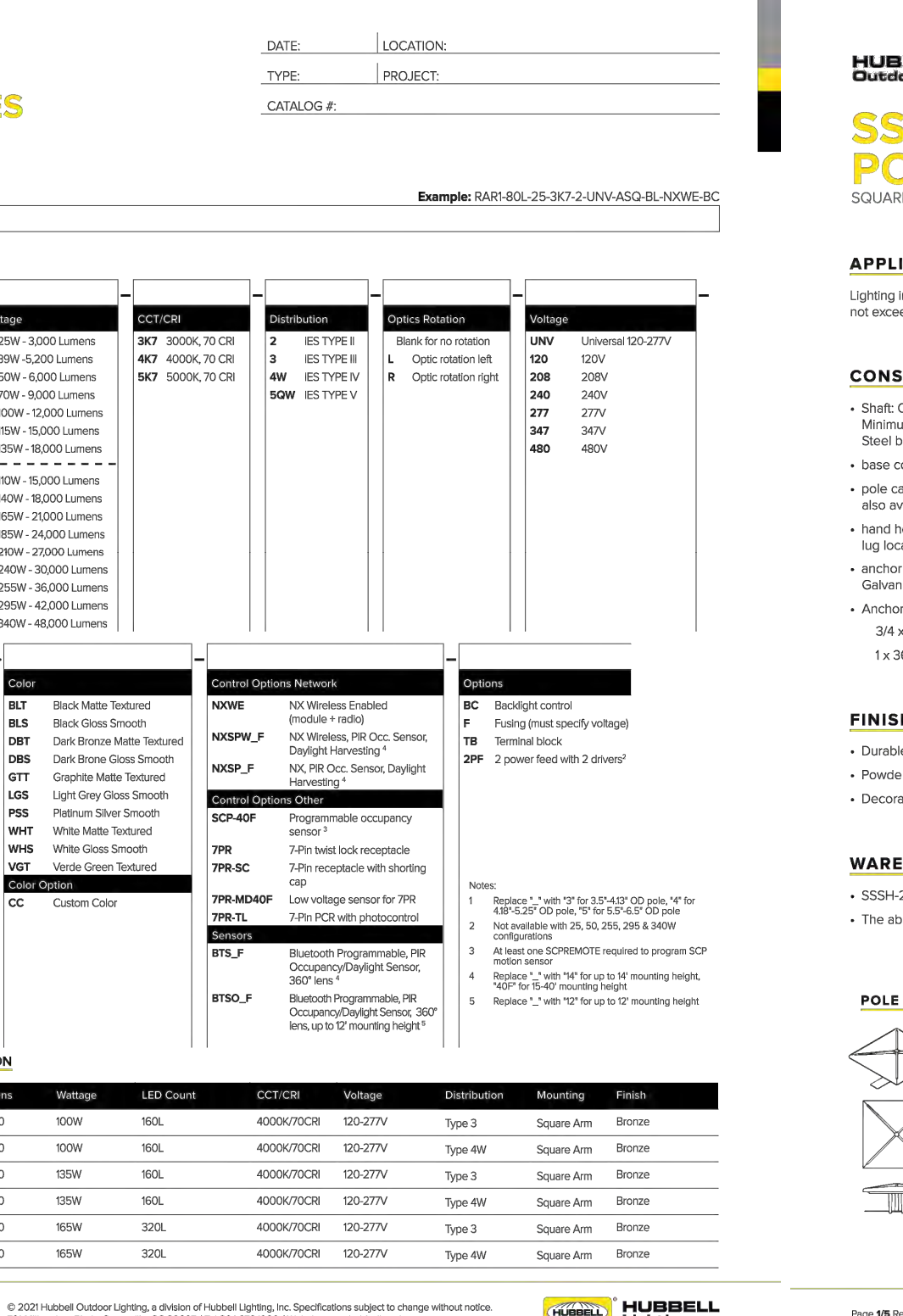
REMOVE ALL FLAGGING, TWINE, STRING, TAGS, ETC., FROM BRANCHES AND LIMBS/TRUNKS FOLLOWING PLANTING.



20. WARRANT TREES AND SHRUBS FOR A MINIMUM PERIOD OF 18 MONTHS AFTER DATE OF WRITTEN FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT AND/OR THE OWNERS AUTHORIZED REPRESENTATIVE AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO MONITOR THE PROJECT PLANTINGS DURING THE WARRANTY PERIOD AND NOTIFY THE OWNER IF PROBLEMS DEVELOP. PLANTS THAT DIE DURING THE WARRANTY PERIOD SHALL BE REMOVED IMMEDIATELY AND REPLACED.

9. CONSTRUCTION DEBRIS SHALL NOT BE DISPOSED OF NEAR OR AROUND THE BASES OF SUCH TREES

 <div>AND</div> <div>YOUR GOALS. OUR MISSION.</div>		 <div>AND</div> <div>YOUR GOALS. OUR MISSION.</div>	
1700 MARKET STREET, SUITE 3110 PHILADELPHIA, PA 19103 TEL 215-282-7850 FAX 215-627-3459 www.tandmassassociates.com			
OFFICES LOCATED IN: DELAWARE, INDIANA, KENTUCKY, MASSACHUSETTS, MICHIGAN, NEW JERSEY, OHIO AND PENNSYLVANIA			
DESIGNED BY CHECKED BY DRAWN BY DATE 08/01/2024 SCALE AS SHOWN PROJ. NO. PORS00021		DRAWING LSP-DTL-2 SHEET 19 OF 35	



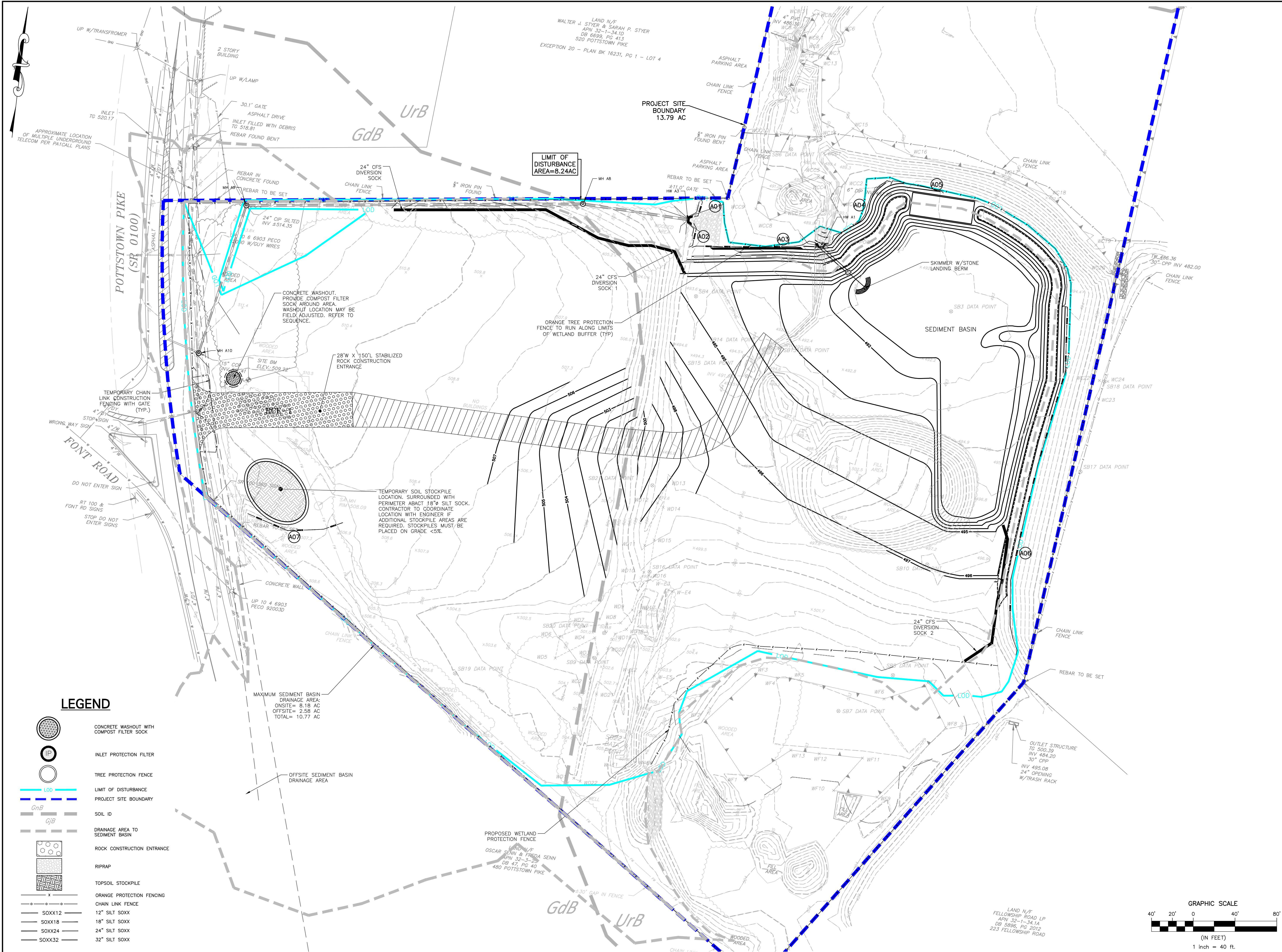
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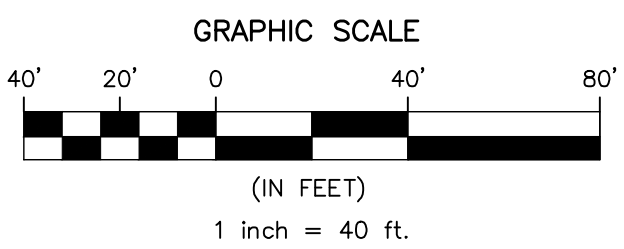
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LAST SAVE BY: Soodman

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LEGEND

- CONCRETE WASHOUT WITH COMPOST FILTER SOCK
- INLET PROTECTION FILTER
- TREE PROTECTION FENCE
- LIMIT OF DISTURBANCE
- PROJECT SITE BOUNDARY
- SOIL ID
- DRAINAGE AREA TO SEDIMENT BASIN
- ROCK CONSTRUCTION ENTRANCE
- RIPRAP
- TOPSOIL STOCKPILE
- ORANGE PROTECTION FENCING
- CHAIN LINK FENCE
- 12\"/>



NO.	DATE	REVISIONS	BY	CHKD

RDS AUTOMOTIVE GROUP
CHESTER SPRINGS SERVICE CENTER
500 POTTSTOWN PIKE, CHESTER SPRINGS, PA 19425
UPPER MERIDIAN TOWNSHIP, CHESTER COUNTY, PA

EROSION & SEDIMENT CONTROL PLAN - STAGE 1



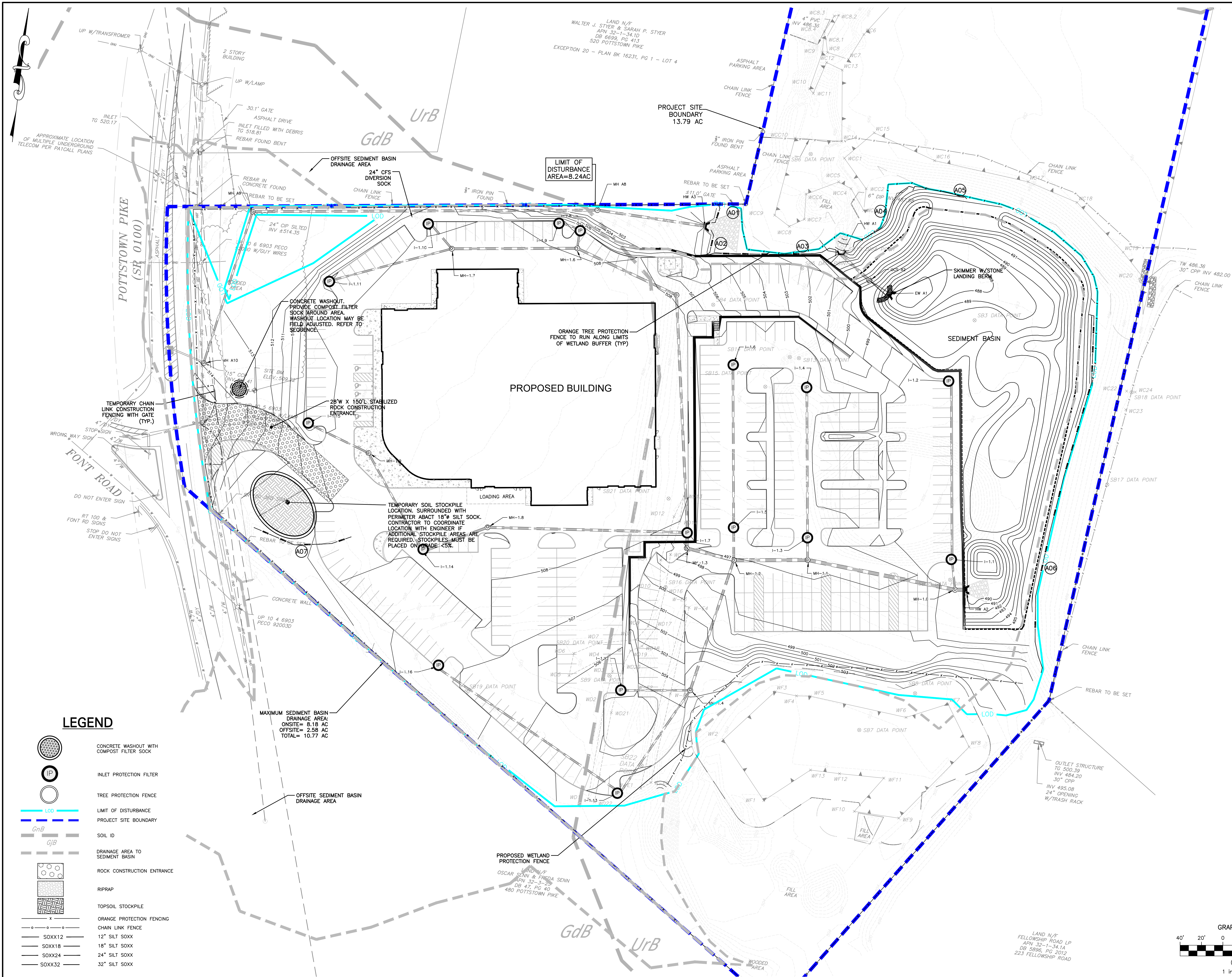
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PHILADELPHIA, PA 19103
TEL 215-282-7850
FAX 215-627-3459
www.landmassassociates.com

DESIGNED BY
JDT
CHECKED BY
JDT/KAL
DRAWN BY
SEE

DATE
08/01/2024
SCALE
AS SHOWN
PROJ. NO.
PORS000221

DRAWING
ENS-1
SHEET
21
OF
35

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RDS AUTOMOTIVE GROUP	CHESTER SPRINGS SERVICE CENTER 500 POTTSTOWN PIKE, CHESTER SPRINGS, PA, 19425 UPPER UWICH-LAN TOWNSHIP, CHESTER COUNTY, PA	EROSION & SEDIMENT CONTROL PLAN - STAGE 3
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LAND

YOUR GOALS. OUR MISSION.

1700 MARKET STREET, SUITE 3110
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www.landmassassociates.com

OFFICES LOCATED IN:

DELAWARE, INDIANA, KENTUCKY,
MASSACHUSETTS, MICHIGAN, NEW JERSEY,
OHIO AND PENNSYLVANIA

<div style="border: 1px solid black; padding: 5px;"> <p>DESIGNED BY JDT</p> <p>CHECKED BY JDT/KAL</p> <p>DRAWN BY SEE</p> <p>DATE 08/01/2024</p> <p>SCALE AS SHOWN</p> <p>PROJ. NO. PMS000001</p> </div>	<div style="border: 1px solid black; padding: 5px;"> <p>DRAWING</p> <div style="text-align: center; font-size: 2em; font-weight: bold; margin: 10px 0;">ENS-3</div> <p style="text-align: center;">SHEET</p> <div style="text-align: center; font-size: 4em; font-weight: bold; margin: 10px 0;">23</div> <p style="text-align: center;">OF 35</p> </div>
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LAST SAVE BY: SCodman

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FILE LOCATION: C:\Projects\FORS\00021\Plans\
LAST MODIFIED: 01 Oct 2024, 11:05AM
LAST SAVE BY: Scodman

Mixture Number	Species	Seeding Rate - Pure Live Seed ¹		
		Seed Sites	Adverse Sites	
1 ²	Spring oats (spring), or Annual ryegrass (spring or fall), or Winter wheat (fall), or Winter rye (fall)	64	98	
		10	15	
		90	120	
2 ²	Tall fescue, or Fine fescue, or Kentucky bluegrass, plus Redtop ³ or Perennial ryegrass	56	112	
		60	75	
		35	40	
		25	30	
3	Birdsfoot trefoil, plus Tall fescue	3	3	
		15	20	
		6	10	
4	Birdsfoot trefoil, plus Reed canarygrass	30	35	
		6	10	
		10	15	
5 ²	Crownvetch, plus Tall fescue, or Perennial ryegrass	10	15	
		20	25	
		20	25	
6 ^{3,4}	Crownvetch, plus Annual ryegrass	10	15	
		20	25	
		6	10	
7 ³	Birdsfoot trefoil, plus Crownvetch, plus Tall fescue	6	10	
		10	15	
		20	30	
8	Flattop, plus Tall fescue, or Perennial ryegrass	20	30	
		20	30	
		20	25	
9 ⁶	Senecio lespedeza, plus Tall fescue, plus Redtop ³	10	20	
		20	25	
		3	3	
10	Tall fescue, plus Fine fescue	40	60	
		10	15	
		15	20	
11	Deertongue, plus Birdsfoot trefoil	6	10	
		15	20	
		15	20	
12 ⁷	Switchgrass, or Big Bluestem, plus Birdsfoot trefoil	15	20	
		6	10	
		6	10	
13	Orchardgrass, or Smooth bromegrass, plus Birdsfoot trefoil	20	30	
		25	35	
		6	10	

Mulch Type	Per Acre	Application Rate (Min.)		Notes
		Per 1,000 sq. ft.	Per 1,000 sq. yd.	
Straw	3 tons	140 lb.	1,240 lb.	Either wheat or oat straw. Free of weeds, not chopped or finely broken
Hay	3 tons	140 lb.	1,240 lb.	Timothy, mixed clover and timothy or other native forage grasses
Wood Chips	4 - 6 tons	185 - 275 lb.	1,650 - 2,500 lb.	May prevent germination of grasses and legumes
Hydromulch	1 ton	47 lb.	415	See limitations above

Depth (in)	Per 1,000 Square Feet	Per Acre
1	3.1	134
2	6.2	268
3	9.3	403
4	12.4	537
5	15.5	672
6	18.6	806
7	21.7	940
8	24.8	1,074

NOTES:

1. USE SEED MIX 1 PLUS SEED MIX 2 FOR TEMPORARY/PERMANENT STABILIZATION OF ALL DISTURBED AREAS. FERTILIZE AND MULCH PER THE METHODS DESCRIBED IN TASKS 11.2 AND 11.6
2. ALL PROPOSED SEED MIX SHALL BE A MINIMUM OF 90 PERCENT PURE LIVE SEED.
3. ALL PROPOSED SEED MIX SHALL BE A MINIMUM OF 90 PERCENT PURE LIVE SEED.

Site Condition	Nurse Crop	Seed Mixture (Select one mixture)
Slopes and Banks (not moved)		
Well-drained	1 plus	3, 5, 8, or 12 ¹
Variable drainage	1 plus	3 or 7
Slopes and Banks (moved)		
Well-drained	1 plus	2 or 10
Slopes and Banks (grazed/hay)		
Well-drained	1 plus	2, 3 or 13
Gullies and Eroded Areas	1 plus	3, 5, 7, or 12 ¹
Erosion Control Facilities (BMPs)		
Stall waterways, spillways, reservoir water flow areas	1 plus	2, 3, or 4
Drainage ditches	1 plus	2, 3, or 4
Shallow, less than 3 feet deep	1 plus	2, 3, or 4
Deep, not moved	1 plus	5 or 7
Pond banks, dikes, levees, dams, diversion channels,		
And occasional water flow areas	1 plus	2 or 3
Mowed areas	1 plus	5 or 7
Non-mowed areas	1 plus	3 or 13
For hay or silage on diversion channels and occasional water flow areas	1 plus	3 or 13
Highways		
Non-mowed areas	1 plus	5 or 6
Pine crowntree ²	1 plus	5, 7, 8, 9, or 10
Well-drained	1 plus	3 or 7
Variable	1 plus	3 or 7
Floody drained	1 plus	2, 3, or 10
Areas mowed several times per year	1 plus	2, 3, or 10
Utility Right-of-way		
Well-drained	1 plus	5, 8, or 12 ¹
Variable drained	1 plus	3 or 7
Well-drained areas for grazing/hay	1 plus	2, 3, or 13
Effluent Disposal Areas	1 plus	3 or 4
Sanitary Landfills	1 plus	3, 5, 7, 11, or 12 ¹
Surface mines		
Spills, mine wastes, fly ash, slag, settling basin		
Residuals and other severely disturbed areas	1 plus	3, 4, 5, 7, 8, 9, 11 ¹ , or 12 ¹
(time to seal test)		
Severely disturbed areas for grazing/hay	1 plus	3 or 13

¹ Penn State, "Erosion Control and Conservation Plantings on Noncropland"

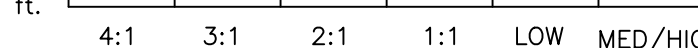
Soil Amendment	Permanent Seeding Application Rate			Notes
	Per Acre	Per 1,000 sq. ft.	Per 1,000 sq. yd.	
Agricultural lime	6 tons	240 lb.	2,480 lb.	Or as per soil test; may not be required in agricultural fields
10–20–20 fertilizer	1,000 lb.	25 lb.	210 lb.	Or as per soil test; may not be required in agricultural fields
Temporary Seeding Application Rate				
Agricultural lime	1 ton	40 lb.	410 lb.	Typically not required for topsoil stockpiles
10-10-10 fertilizer	500 lb.	12.5 lb.	100 lb.	Typically not required for topsoil stockpiles



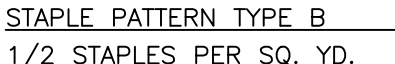
PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. WIDE WIDTH STRENGTH	ASTM D-4884	60 LB/IN
GRAB TENSILE	ASTM D-4632	205 LB
PUNCTURE	ASTM D-4833	110 LB
MULLEN BURST	ASTM D-3786	350 PSI
UV RESISTANCE	ASTM D-4355	70%
AOS % RETAINED	ASTM D-4751	80 SIEVE

FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

NOT TO SCALE



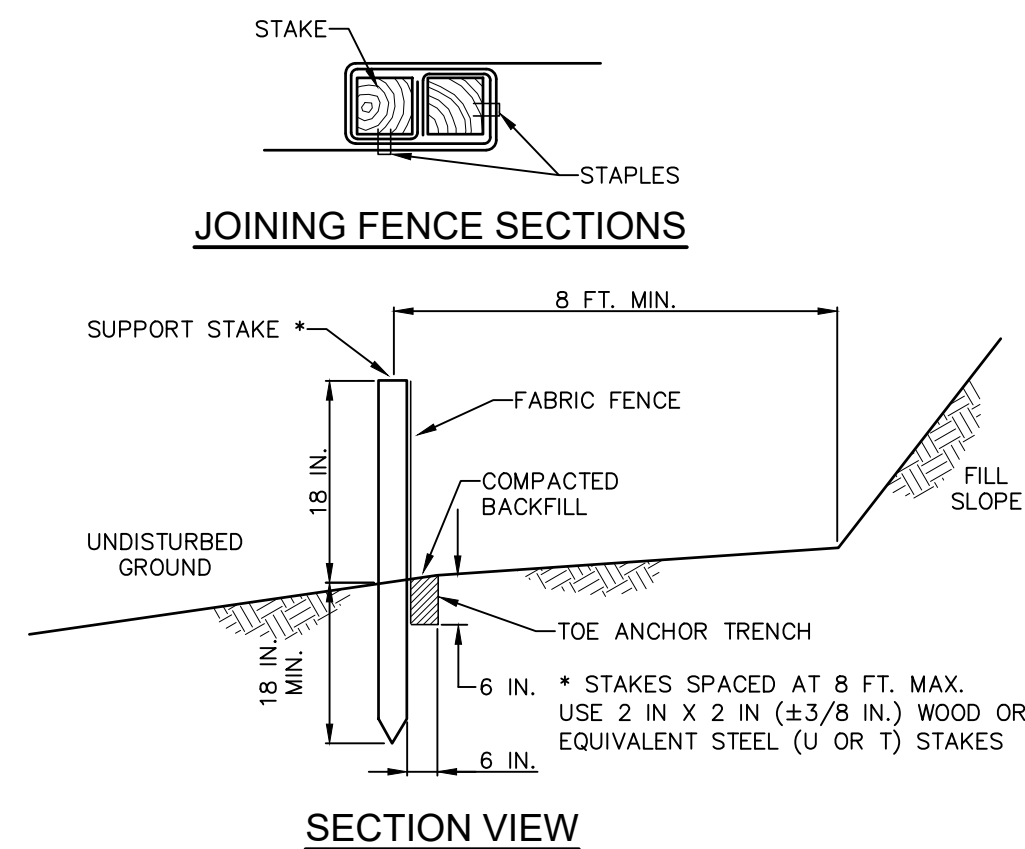
STAPLE PATTERN TYPE C
2 STAPLES PER SQ. YD.



STAPLE PATTERN TYPE D
3.5 STAPLES PER SQ. YD.

	TEMPORARY SEEDING		PERMANENT SEEDING
	PennDOT Formula D	PennDOT Formula E	General Seeding / Sod
Species	70% Kentucky 31 Fescue 20% Pennlawn Red Top 10% Weeping Alkali Grass	40% Annual Ryegrass 50% Kentucky Bluegrass	20% turf type perennial ryegrass 30% fine red clover 50% Kentucky bluegrass mixture (poa pratensis)
Application Rate/1000 SY	21 lbs.	10 lbs.	8 lbs. (min.)
Where Applied	Anywhere	Anywhere	Anywhere
Seeding Dates	March 5 – June 1 August 1 – October 1	March 5–Oct.1	March 5 – October 1
Fert. and/or/1000 SY	Commercial Fert. (10–20–20) 20 lbs. Pulverized Agricultural Limestone 90 lbs.	Comm. Fert. (10–20–20) 192 lbs. Urea Form (38–0–0) 50 lbs.	Min. 1lb. Nitrogen Per 1000 Sq. Ft. and 4% Phosph. Acid and 2% Potassium (50% of Nitrogen To Be Organic)
Mulch: ☉ Min. 3 ton/ac.	Hay or Straw Mulch *	Hay (As directed)	* Hay (As directed)

SOIL, SEEDING, FERTILIZATION SCHEDULE AND SPECIFICATIONS



FENCE SHALL BE REMOVED AND PROPERLY DISPOSED OF WHEN TRIBUTARY AREA IS PERMANENTLY STABILIZED.

NOT TO SCALE

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LAST SAVE BY: Jfockett

GENERAL EROSION & SEDIMENT CONTROL PROCEDURES

1. ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN PREPARED BY T&M ASSOCIATES. A COPY OF THE APPROVED DRAWINGS (STAMPED, SIGNED AND DATED) BY THE REVIEWING AGENCY MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE REVIEWING AGENCY SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE REVIEWING AGENCY MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
2. AT LEAST SEVEN (7) DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS INCLUDING TOWNSHIP ENGINEER, THE EROSION AND SEDIMENT CONTROL PLAN PREPARER, THE PCSM PLAN PREPARER, THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN, AND A REPRESENTATIVE OF THE CHESTER COUNTY CONSERVATION DISTRICT TO AN ON-SITE PRECONSTRUCTION MEETING.
3. AT LEAST THREE (3) DAYS PRIOR TO THE START OF ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNWORKED, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM INCORPORATED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
4. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE LOCAL CONSERVATION DISTRICT OR BY THE DEPARTMENT PRIOR TO IMPLEMENTATION.
5. AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL.
6. CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E&S BMPs SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS E&S PLAN.
7. AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS UNLESS REQUIRED TO MINIMIZE DISTURBANCE.
8. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN IN AMOUNTS NECESSARY TO COMPLETE THE FINAL GRADING OF ALL DISTURBED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS. STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SLOPES SHALL BE 2H:1V OR FLATTER.
9. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE LOCAL CONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE OF THE DEPARTMENT.
10. ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AND RECYCLED OR DISPOSED IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 2601 ET SEQ., 2711 ET SEQ., AND 2871 ET SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THIS SITE.
11. ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN E&S PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED.
12. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CERTIFIED CLEAN FILL. FILL FORM PP-001 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING.
13. ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN. OPEN UNDISTURBED VEGETATED AREAS. ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG DISCHARGING OVER NON-DISTURBED AREAS.
14. VEHICLES AND EQUIPMENT MAY NEVER ENTER DIRECTLY NOR EXIT DIRECTLY FROM THE CONSTRUCTION SITE UNLESS ANY PUBLIC EQUIPMENT MAY ENTER AND EXIT THE CONSTRUCTION SITE ONLY VIA A STABILIZED ROCK CONSTRUCTION ENTRANCE.
15. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS, THE CONTRACTOR WILL MAINTAIN AND REPORT TO THE LOCAL CONSERVATION DISTRICT COMPLETELY. WRITTEN INSPECTION LOGS OF ALL THOSE INSPECTIONS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADE, RESEEDING, REMULCHING AND RENETTING MUST BE PERFORMED IMMEDIATELY, IF THE E&S BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
16. A LOG SHOWING DATES THAT E&S BMPs WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.
17. SEDIMENT TRACKED ONTO ANY ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND AS NEEDED THROUGHOUT THE WORKDAY OR AS DIRECTED BY CONSERVATION DISTRICT OR MUNICIPALITY AND DISPOSED AS A MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOULED, OR SWEEP INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.
18. ALL SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN A MANNER DESCRIBED ON PLAN DRAWINGS. SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED, OR PLACED IN TOPSOIL STOCKPILES.
19. ALL FINAL GRADING AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES - 6 TO 12 INCHES ON COMPACTED SOILS. PRIOR TO PLACEMENT OF TOPSOIL, AREAS TO BE VEGETATED SHALL HAVE A MINIMUM FOUR (4) INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTCROPS SHALL HAVE A MINIMUM OF 4 INCHES OF TOPSOIL.
20. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUIITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
21. ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
22. FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS. FROZEN MATERIALS OR SOD, WUFFY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
23. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
24. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
25. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDED AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN.
26. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT AND UPON RECEIPT OF CLEAN TEST SAMPLES, THE OPERATOR SHALL STABILIZE THOSE AREAS DISTURBED BY THE ACTIVITIES. DURING NON-GERMINATING PERIODS, MULCH OR OTHER PROTECTIVE BLANKETING SHALL BE APPLIED AT THE RECOMMENDED RATES AND METHODS. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE RE-DISTURBED WITHIN 1 YEAR SHALL BE SEEDD AND MULCHED WITH A QUICK GROWING TEMPORARY SEEDING MIXTURE AND MULCH. DISTURBED AREAS, WHICH ARE EITHER AT FINISHED GRADE OR WILL NOT BE RE-DISTURBED WITHIN 1 YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.
27. PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS.
28. EROSION AND SEDIMENT CONTROLS (BMPs) MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE GENERAL SITE DISTURBANCE BEGINS WITHIN THE TRIBUTARY AREAS OF THOSE CONTROLS. EROSION AND SEDIMENT BMPs SHALL REMAIN FUNCTIONAL, AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT.
29. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE E&S BMPs. TEMPORARY CONTROLS MAY BE REMOVED ONLY UPON APPROVAL OF THE LOCAL CONSERVATION DISTRICT.
30. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENTATION CONTROLS MUST BE REMOVED OR CONVERTED TO PERMANENT POST CONSTRUCTION MANAGEMENT BMPs. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE CONTROLS SHALL BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SUCH REMOVALS/CONVERSIONS ARE TO BE DONE ONLY DURING GERMINATING SEASON.
31. FAILURE TO CORRECTLY INSTALL, SEDIMENT CONTROL FACILITIES OR FAILURE TO PREVENT SEDIMENT LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTIONS TO RESOLVE FAILURES OF SEDIMENT CONTROL FACILITIES MAY RESULT IN ADMINISTRATIVE, CIVIL AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION AS DEFINED IN SECTION 602 OF THE CLEAN STREAMS LAW OF PENNSYLVANIA. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.

32. IN THE EVENT OF SINKHOLE DISCOVERY OR OCCURRENCE, A PROFESSIONAL GEOLOGIST OR ENGINEER SHALL BE CONTACTED IMMEDIATELY. THE CHESTER COUNTY CONSERVATION DISTRICT SHALL BE IMMEDIATELY MADE AWARE OF THE SINKHOLE DISCOVERY.
33. THE CONTRACTOR SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED.
34. THE CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF THE APPENDIX 64, EROSION CONTROL, RULES AND REGULATIONS, TITLE 25, PART 1, DEPARTMENT OF ENVIRONMENTAL PROTECTION, SUBPART C, PROTECTION OF NATURAL RESOURCES, ARTICLE III, WATER RESOURCES, CHAPTER 102, EROSION CONTROL.
35. STRAW MULCH SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN.
36. THE OPERATOR / PERMITTEE SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENTATION CONTROLS (BMPs) AND RELATED ITEMS INCLUDED WITHIN THIS PLAN AND NARRATIVE.
37. EROSION AND SEDIMENT BMP CONTROLS MUST BE CONSISTENT WITH STANDARDS AND SPECIFICATIONS OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION "EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL" DATED MARCH 2012.
38. ALL EROSION AND SEDIMENTATION CONTROL FACILITIES SHALL BE MAINTAINED IN THE APPROVED DESIGN CONDITION THROUGHOUT THE CONSTRUCTION PERIOD OR UNTIL THE DESIGN AREA IS STABILIZED.

39. SHOULD ANY MEASURES CONTAINED WITHIN THIS PLAN PROVE INCAPABLE OF ADEQUATELY REMOVING SEDIMENT FROM ON-SITE FLOWS PRIOR TO DISCHARGE OR OF STABILIZING THE SURFACES INVOLVED, ADDITIONAL MEASURES MUST TO IMMEDIATELY IMPLEMENTED BY THE OPERATOR TO ELIMINATE ALL SUCH PROBLEMS.
40. BEFORE INITIATING ANY REVISIONS TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS WHICH MAY AFFECT THE EFFECTIVENESS OF THE APPROVED E&S CONTROL PLAN, THE CONTRACTOR MUST RECEIVE APPROVAL OF THE REVISIONS FROM THE LOCAL CONSERVATION DISTRICT.
41. THE CONTRACTOR SHALL NOTIFY THE LOCAL CONSERVATION DISTRICT PRIOR TO ANY CESSATION IN EARTHMOVING ACTIVITIES OF MORE THAN TWENTY (20) DAYS.
42. THE OPERATOR SHALL ASSURE THAT AN EROSION AND SEDIMENT CONTROL PLAN HAS BEEN PREPARED, APPROVED BY THE APPLICABLE COUNTY CONSERVATION DISTRICT, AND IS BEING IMPLEMENTED AND MAINTAINED FOR ALL SOIL AND/OR ROCK SPOIL AND BORROW AREAS, REGARDLESS OF THEIR LOCATIONS.
43. MULCH WITH MULCH CONTROL NETTING OR EROSION CONTROL BLANKETS MUST BE INSTALLED ON ALL SLOPES 3:1 AND STEEPER.
44. HAY OR STRAW MULCH MUST BE APPLIED AT 3.0 TONS PER ACRE.
45. CLEAN FILL AND TOPSOIL STOCKPILE HEIGHTS MUST NOT EXCEED 35 FEET. STOCKPILE SLOPES MUST BE 2:1 OR FLATTER.
46. SEDIMENT MUST BE REMOVED FROM STORM WATER INLET PROTECTION AFTER EACH RUNOFF EVENT.
47. EROSION CONTROL BLANKETING SHALL BE INSTALLED ON ALL SLOPES 3H:1V OR STEEPER, WITHIN 50 FEET OF A SURFACE WATER, AND ON ALL OTHER DISTURBED AREAS SPECIFIED ON THE PLAN MAPS AND/OR ON DETAIL SHEETS.
48. ALL VEGETATED AREAS IN UNDISTURBED SITUATIONS WILL REMAIN FOR EROSION PROTECTION. CONTRACTORS AND EQUIPMENT WILL BE RESTRAINED FROM VENTURING INTO ALL AREAS NOT BEING GRADED. DISTURBED AREAS WILL REMAIN EXPOSED FOR THE SHORTEST TIME POSSIBLE.
49. DUST WILL BE KEPT WITHIN TOLERABLE LIMITS BY EITHER THE USE OF SPRAYED WATER.
50. AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS HAS BEEN ACHIEVED ACROSS THE UPSLOPE AREAS.
52. UPON COMPLETION OR TEMPORARY CESSATION OF THE EARTH DISTURBANCE ACTIVITY THAT WILL EXCEED 4 DAYS, OR ANY STAGE THEREOF, WITH THE EXCEPTION OF REMEDIATION AREAS WITH PENDING TEST SAMPLE RESULTS, THE PROJECT SITE SHALL BE IMMEDIATELY STABILIZED WITH THE APPROPRIATE TEMPORARY OR PERMANENT STABILIZATION. (PLEASE NOTE THAT HYDROSEED IS NOT CONSIDERED STABILIZATION UNTIL IT GERMINATES). HAY OR STRAW MULCH MUST BE APPLIED AT 3.0 TONS PER ACRE.

RESPONSIBILITIES FOR FILL MATERIALS

1. THE OPERATOR MUST USE ENVIRONMENTAL DUE DILIGENCE TO ENSURE THAT ANY NECESSARY FILL MATERIAL ASSOCIATED WITH THIS PROJECT IS OBTAINED FROM A SOURCE THAT WILL NOT INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS. ALL FILL MATERIAL MUST BE USED IN ACCORDANCE WITH PADEP'S POLICY "MANAGEMENT OF FILL" DOCUMENT NUMBER 228-258-273. A COPY OF THIS POLICY IS AVAILABLE ONLINE AT WWW.PDEP.WEBSITE.PA.US.
2. CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSED, NEUT, SOFT MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DRESSED MATERIAL, USED ASPHALT, AND BRICK. BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM THE WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE).
3. CLEAN FILL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE: FILL MATERIALS AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE STILL QUALIFIES AS CLEAN FILL PROVIDED THE TESTING REVEALS THAT THE FILL MATERIAL CONTAINS CONCENTRATIONS OF REGULATED SUBSTANCES THAT ARE BELOW THE RESIDENTIAL LIMITS IN TABLES TP-1A AND TP-1B FOUND IN ADEP'S POLICY "MANAGEMENT OF FILL".
4. ANY PERSON PLACING CLEAN FILL THAT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE MUST USE THE FOLLOWING METHOD TO CERTIFY THE ORIGIN OF THE FILL MATERIAL AND THE RESULTS OF THE ANALYTICAL TESTING TO DETERMINE IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE. IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX C OF PADEP'S POLICY "MANAGEMENT OF FILL".
5. ENVIRONMENTAL DUE DILIGENCE: INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREEN, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS.
6. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY OR OTHER INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF A REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX C OF PADEP'S POLICY "MANAGEMENT OF FILL".
7. FILL MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL. REGULATED FILL IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE MUNICIPAL OR RESIDUAL WASTE REGULATIONS IN 25 PA CODE CHAPTERS 287 RESIDUAL WASTE MANAGEMENT OR 271 MUNICIPAL WASTE MANAGEMENT, WHICHEVER IS APPLICABLE.
8. ALL FILLS SHALL BE COMPACTED SUFFICIENTLY FOR THEIR INTENDED PURPOSE AND AS REQUIRED TO REDUCE SLIPPING, EROSION OR EXCESS SATURATION.
9. REFER TO SITE / RECORD PLAN FOR ADDITIONAL NOTES.

UTILITY TRENCH EXCAVATION/DISTURBANCE GUIDELINES

1. LIMIT ADVANCED CLEARING AND GRUBBING OPERATIONS TO A DISTANCE EQUAL TO TWO TIMES THE LENGTH OF PIPE INSTALLATION THAT CAN BE COMPLETED IN ONE (1) DAY.
2. LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT, PLUG INSTALLATION AND BACKFILLING THAT CAN BE COMPLETED THE SAME DAY. DAILY BACKFILLING MAY BE DELAYED A MAXIMUM OF SIX (6) DAYS IF PRESSURE TESTING IS REQUIRED.
3. WATER WHICH ACCUMULATES IN THE OPEN TRENCH SHALL BE COMPLETELY REMOVED BY PUMPING BEFORE PIPE PLACEMENT AND / OR BACKFILLING BEGINS. WATER REMOVED FROM THE TRENCH SHALL BE PUMPED THROUGH A FILTRATION DEVICE SUCH AS A PUMPED WATER FILTER BAG.
4. ON THE DAY FOLLOWING PIPE PLACEMENT AND TRENCH BACKFILLING, THE DISTURBED AREA SHALL BE GRADED TO FINAL CONTOURS.
5. SEE SPECIFICATIONS AND DETAILS FOR BACKFILLING AND COMPACTION REQUIREMENTS IN UTILITY TRENCH. ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION SHALL BE AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND SHALL BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS.
6. THE CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES.
7. SEEDING AND MULCHING OF ALL DISTURBED AREAS SHALL BE DONE WITHIN TWO (2) CALENDAR DAYS.

RECYCLING OR DISPOSAL METHODS

1. THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND WASTE IN ACCORDANCE WITH ANY AND ALL APPLICABLE MUNICIPAL OR COUNTY ORDINANCES, ORDINANCES, RULES AND REGULATIONS, TITLE 25, PART 1, DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 2601 ET SEQ., 2711 ET SEQ., AND 2871 ET SEQ. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, BURN, OR DISCHARGE ANY BUILDING MATERIALS OR WASTES AT THE SITE.
2. EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE REUSED, SALVAGED, REINSTALLED, OR OTHERWISE INDICATED TO REMAIN ON THE PROPERTY, DEMOLISHED OR EXCAVATED MATERIALS SHALL BE REMOVED FROM THE PROPERTY AND MATERIALS SLATED FOR REMOVAL FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH ANY AND ALL APPLICABLE MUNICIPAL OR OTHER GOVERNMENTAL AGENCY CURRENT REGULATIONS.
3. DEBRIS SHALL NOT BE PERMITTED TO ACCUMULATE ON THE JOB-SITE. DUST AND DIRT SHALL BE HELD TO A MINIMUM DURING DEMOLITION, BY WETTING DOWN, AS REQUIRED. ON SITE BURNING OF MATERIALS WILL NOT BE PERMITTED. AT THE COMPLETION OF WORK, THE ENTIRE AREA INVOLVED SHALL BE CLEAN AND LEFT IN A NEAT CONDITION, FREE OF RUBBISH AND DEBRIS.
4. RECYCLING OR DISPOSAL OF MATERIALS ASSOCIATED WITH OR FROM THIS PROJECT SITE SHALL BE UNDERTAKEN IN ACCORDANCE WITH PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION RULES AND REGULATIONS.
5. SEDIMENT REMOVED FROM CONTROL FACILITIES AS A PART OF REGULAR MAINTENANCE SHALL BE DISPOSED OF UPSLOPE OF CONTROL FACILITIES IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED, OR PLACED IN TOPSOIL STOCKPILES.
6. REFER TO THE SITE / RECORD PLAN FOR ADDITIONAL NOTES.

MAINTENANCE OF EROSION CONTROL FACILITIES

1. THE OPERATOR SHALL BE RESPONSIBLE FOR THE PROPER CONSTRUCTION, STABILIZATION AND MAINTENANCE OF ALL EROSION AND SEDIMENTATION CONTROLS AND RELATED ITEMS INCLUDED WITHIN THE PLAN HEREWITH. THE CONTRACTOR SHALL SCHEDULE AND CONDUCT HIS OPERATIONS TO MINIMIZE EROSION OF SOILS AND TO PREVENT SLIDING AND MUDDING OF STREAMS, RIVERS AND DRAINAGE SYSTEMS.
2. EROSION AND SEDIMENTATION POLLUTION CONTROL SPECIALISTS' CONTACTS: CHESTER COUNTY CONSERVATION DISTRICT: (610) 455-1360 PADEP SOUTHEAST REGIONAL OFFICE (484) 250-5900
3. ALL EROSION AND SEDIMENTATION POLLUTION CONTROL MEASURES MUST REMAIN IN PLACE UNTIL THE SITE IS STABILIZED, REGARDLESS IF CONSTRUCTION IS TAKING PLACE OR NOT.
4. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT POLLUTION CONTROLS (BMPs) MUST BE PROPERLY MAINTAINED. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROL BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS, AND PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADE, RESEEDING, REMULCHING, AND RENETTING, MUST BE PERFORMED IMMEDIATELY, IF EROSION AND SEDIMENT CONTROL BMPs FAIL, TO PERFORM AS EXPECTED, REPLACEMENT CONTROLS OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
5. SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED, OR PLACED IN TOPSOIL STOCKPILES.
6. SEEDD AREAS THAT WASH OUT MUST BE FILLED AND GRADED AS NECESSARY, AND THEN RESEEDD, AN ANCHORING METHOD SHOULD THEN BE USED TO HOLD SEED AND MULCH IN PLACE. THIS IS ESPECIALLY IMPORTANT AROUND WATER COURSES, IN SWALES, AND AREAS OF CONCENTRATED FLOWS, AND ON SLOPES.
7. IN THE EVENT OWNERS OF THE PROPERTY OR THE OPERATOR FAILS TO PROPERLY MAINTAIN THE CONTROL FACILITIES, THE TOWNSHIP SHALL HAVE THE RIGHT TO ENTER SAID AREA AND PERFORM THE REQUIRED MAINTENANCE AFTER PROPER NOTIFICATION OF THE OWNERS.
8. IN THE EVENT THAT THE DEPARTMENT OF ENVIRONMENTAL PROTECTION, THE LOCAL CONSERVATION DISTRICT, THE MUNICIPALITY OR THE DESIGN ENGINEER OR THEIR AGENTS DEMD THAT ADDITIONAL CONTROLS, MEASURES OR PROCEDURES BEYOND THOSE SHOWN OR DESCRIBED ARE NECESSARY TO CONTROL OR CORRECT CONDITIONS WHICH WERE UNFORESEEN DURING THE DESIGN STAGE, THE CONTRACTOR SHALL BE RESPONSIBLE TO IMPLEMENT ADDITIONAL CONTROLS, MEASURES OR PROCEDURES AS IS DEEMED REASONABLY NECESSARY AND WARRANTED.
9. NO SEDIMENT, STONES OR DEBRIS SHALL BE TRACKED ON TO SURROUNDING ROADS. ANY SEDIMENT THAT IS TRACKED ONTO THE SURROUNDING ROADS MUST BE CLEANED OFF BEFORE THE END OF THE DAY UTILIZING MECHANICAL METHODS OR VIA HAND SWEEPING TO THE SATISFACTION OF THE LOCAL CONSERVATION DISTRICT AND TOWNSHIP ENGINEER.
10. ANY FILTER FABRIC FENCE, WHICH HAS BEEN UNDERMINED OR TOPPED, MUST BE REPLACED IMMEDIATELY WITH ROCK FILTER OUTLETS.
11. ANY SOIL, BORROW OR SPOL SITES, ON OR OFFSITE SHALL HAVE AN APPROVED AND MAINTAINED EROSION CONTROL PLAN BY THE LOCAL CONSERVATION DISTRICT. TRANSPORTATION OF ANY EXCESS MATERIALS SHALL BE SUCH THAT SPILLAGE, TRACKING OFF SITE AND OTHER DISTURBANCES ARE KEPT TO A MINIMUM.
12. THE CONTRACTOR SHALL PERIODICALLY AND ESPECIALLY AFTER HEAVY RAINFALL, MAINTAIN ALL CONTROL FACILITIES FOR PROPER FUNCTION. FACILITIES SHALL BE REPAIRED IF DAMAGES OR MALFUNCTIONING OR REPLACED AS NECESSARY. MAINTENANCE OF THE FACILITY IS STABILIZED.
13. THE LOCAL CONSERVATION DISTRICT MUST BE CONTACTED PRIOR TO REMOVAL OF ANY EROSION AND SEDIMENTATION CONTROL DEVICE SUCH AS FILTER FABRIC FENCES, ROCK FILTERS, INLET PROTECTION, TEMPORARY CHANNELS, ETC. TEMPORARY CONTROLS MAY BE REMOVED ONLY AFTER A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER, WITH A DENSITY CAPABLE OF RESISTING ACCELERATED EROSION AND SEDIMENTATION HAS BEEN ACHIEVED ACROSS THE UPSLOPE AREAS.

MONITORING, INSPECTION, AND REPORTING REQUIREMENTS

VISUAL INSPECTIONS

- THE PERMITTEE AND CO-PERMITTEE(S) MUST ENSURE THAT VISUAL SITE INSPECTIONS ARE CONDUCTED WEEKLY, AND WITHIN 24 HOURS AFTER EACH MEASURABLE RAINFALL EVENT THROUGHOUT THE DURATION OF CONSTRUCTION AND UNTIL THE RECEIPT AND ACKNOWLEDGEMENT OF THE NOTICE OF TERMINATION (NOT) BY THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT. THE VISUAL SITE INSPECTIONS AND REPORTS SHALL BE COMPLETED IN A FORMAT PROVIDED BY THE DEPARTMENT, AND CONDUCTED BY QUALIFIED PERSONNEL, TRAINED AND EXPERIENCED IN EROSION AND SEDIMENT CONTROL. TO ASCERTAIN THAT E&S BMPs AND CLEAN BMPs ARE PROPERLY CONSTRUCTED AND MAINTAINED TO EFFECTIVELY MINIMIZE POLLUTION TO THE WATERS OF THIS COMMONWEALTH, A WRITTEN REPORT OF EACH INSPECTION SHALL BE KEPT AND INCLUDE AT A MINIMUM:
- 1) A SUMMARY OF SITE CONDITIONS, E&S BMP AND PCSM BMP, IMPLEMENTATION AND MAINTENANCE AND COMPLIANCE ACTIONS, AND
 - 2) THE DATE, TIME, NAME AND SIGNATURE OF THE PERSON CONDUCTING THE INSPECTION.
- NONCOMPLIANCE REPORTING**
- WHERE E&S, PCSM OR PFC BMPs ARE FOUND TO BE INOPERATIVE OR INEFFECTIVE DURING AN INSPECTION, OR ANY OTHER TIME, THE PERMITTEE AND CO-PERMITTEE(S) SHALL, WITHIN 24 HOURS, CONTACT THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT, BY PHONE OR PERSONAL CONTACT, FOLLOWED BY THE SUBMISSION OF A WRITTEN REPORT WITHIN 5 DAYS OF THE INITIAL CONTACT. NONCOMPLIANCE REPORTS SHALL INCLUDE THE FOLLOWING INFORMATION:
- 1) ANY CONDITION ON THE PROJECT SITE WHICH MAY ENDANGER PUBLIC HEALTH, SAFETY, OR THE ENVIRONMENT, OR INVOLVE INCIDENTS WHICH CAUSE OR THREATEN POLLUTION.
 - 2) THE PERIOD OF NONCOMPLIANCE, INCLUDING THE EXACT DATES AND TIMES AND/OR ANTICIPATED TIME WHEN THE ACTIVITY WILL RETURN TO COMPLIANCE;
 - 3) STEPS BEING TAKEN TO REDUCE, ELIMINATE, AND PREVENT RECURRENT OF THE NONCOMPLIANCE; AND
 - 4) THE DATE OR SCHEDULE OF DATES, AND IDENTIFYING REMEDIES FOR CORRECTING NONCOMPLIANCE CONDITIONS.

REDUCTION, LOSS, OR FAILURE OF THE BMPs

UPON REDUCTION, LOSS, OR FAILURE OF THE BMPs, THE PERMITTEE AND CO-PERMITTEE(S) SHALL TAKE IMMEDIATE ACTION TO RESTORE THE BMPs OR PROVIDE AN ALTERNATE METHOD OF TREATMENT. SUCH RESTORED BMPs OR ALTERNATE TREATMENT SHALL BE AT LEAST AS EFFECTIVE AS THE ORIGINAL BMPs.

CONSTRUCTION SEQUENCE

EROSION AND SEDIMENT CONTROL SEQUENCE NOTES

AT LEAST 7 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE OPERATOR SHALL INVITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES, THE LANDOWNER, THE EROSION AND SEDIMENT CONTROL PLAN PREPARER, ALL APPROPRIATE MUNICIPAL OFFICIALS, AND THE CONSERVATION DISTRICT TO AN ON-SITE MEETING. ALSO, AT LEAST 3 WORKING DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE-CALL SYSTEM INCORPORATED AT 1-800-242-1776 FOR BURIED UTILITIES LOCATIONS.

ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.

CRITICAL STAGE ITEMS THAT REQUIRE INSPECTION BY THE DESIGN ENGINEER AND/OR GEOLOGIST-GEOTECHNICAL ENGINEER ARE SPECIFIED.

ALL SEDIMENT BASIN, PERMANENT DETENTION BASIN CONSTRUCTION AND CONVERSION, SWALE CONSTRUCTION, AND STREAM RELOCATION SHALL BE OVERSEEN BY PROJECT GEOLOGIST / GEOTECHNICAL ENGINEER. THE GEOLOGIST/GEOTECHNICAL ENGINEER SHALL DIRECTLY COORDINATE WITH THE DESIGN ENGINEER THROUGH ALL STAGES OF CONSTRUCTION.

SITE CONSTRUCTION SEQUENCE

GENERAL SEQUENCE NOTES:

- STOCKPILE NOTE: ALL PROJECT SOIL STOCKPILING AND MATERIAL STOCKPILING SHALL OCCUR IN THE DESIGNATED AREA.
- DURING CONSTRUCTION, THE CONTRACTOR MUST NOTIFY THE TOWNSHIP AND DESIGN ENGINEER'S OFFICE THREE (3) DAYS PRIOR TO THE CONSTRUCTION OF ANY PROPOSED BMP STORMWATER FACILITY.
- EVERY EFFORT SHALL BE MADE TO PREVENT THE UNDERLYING INFILTRATION OF THE SUBSOIL BY NOT COMPACTING AND OVERSILTING, INCLUDING CONCRETE WASHOUT WATER, FROM ENTERING THE SURFACE OR UNDERLYING BEDS.
- LIMIT TRENCHING FOR INSTALLATION TO THAT WHICH CAN BE BACKFILLED AND TEMPORARY STABILIZE WITH TOPSOIL, SEED AND MULCH AT THE END OF EACH DAY.
- CONTRACTOR SHALL SURVEY ALL STORMWATER AND/OR POST CONSTRUCTION STORMWATER MANAGEMENT COMPONENTS DURING CONSTRUCTION, INCLUDING BUT NOT LIMITED TO: STORM CONVEYANCE STRUCTURES (STRUCTURE INVERTS, TOP OF GRATES/MANHOLES, ETC.), OUTLET CONTROL STRUCTURES (STRUCTURE INVERTS, ORIFICE/WEIR INVERTS, TOP OF STRUCTURES, ETC.), STORMWATER BASIN INVERTS (BOTTOM OF BASIN, STONE BEDDING, PIPE/PRE-MANUFACTURED DEVE INVERTS, TOP OF STONE, TOP OF MEDIA, ETC.).

SPECIFIC SEQUENCE OF CONSTRUCTION:

STAGE 1

1. CLEAR ENTRANCE TO SITE AT POTTSWOM FKE.
2. INSTALL ROCK CONSTRUCTION ENTRANCE.
3. CONSTRUCT HAUL ROAD AND TEMPORARILY GRADE SITE.
4. ESTABLISH SEDIMENT BASIN AND ALL CORRESPONDING COMPONENTS: SKIMMER, RISER PIPE, ANTI VORTEX DEVICE, ANTI-SEEP COLLARS.

CRITICAL STAGE - DESIGN ENGINEER TO INSPECT STAGE #4

5. INSTALL PERIMETER BARRIER CONTROLS (I.E. COMPOST SOCK, CHAIN LINK FENCE), ORANGE TREE PROTECTION FENCING, CONCRETE WASHOUT, TEMPORARY SOIL STOCKPILE.
6. INSTALL RETAINING WALLS.

STAGE 2

7. COMMENCE BULK GRADING AND EARTHMOVING WHILE CONCURRENTLY INSTALLING STORM SEWER AND STRUCTURES. STUB UTILITIES FROM UTILITY SOURCES.
8. INSTALL INLET PROTECTION ACROSS SITE.
9. CONSTRUCT BUILDING AND INSTALL CURB, SIDEWALK, LANDSCAPING, AND LIGHTING WHERE INDICATED ON THE PLANS.
10. STABILIZE THE SITE.
11. CONVERT TEMPORARY EROSION AND SEDIMENT CONTROL FEATURES INTO PERMANENT POST CONSTRUCTION STORMWATER MANAGEMENT COUNTERPARTS.
12. COMPLETE REMAINING ON SITE CONSTRUCTION INCLUDING PAVING, TOP OF ASPHALT, PAVEMENT MARKINGS INSTALLATION, AND STORAGE INSTALLATION.
13. FILE NPDES PERMIT NOTICE OF TERMINATION (N.O.T.) FORM.

SOIL TYPES, LIMITATIONS, & RESOLUTIONS

TABLE E.1 LIMITATIONS OF PENNSYLVANIA SOILS PERTAINING TO EARTHMOVING PROJECTS (Absence of an X does not mean "No Potential Limitation")
NOTE: THIS IS NOT NECESSARILY AN ALL-INCLUSIVE LIST.

SOIL NAME	Cut Banks Cove	Corrosive to Steel	Droughty	Early Erodible	Flooding	High Water Table	Shrink / Swell	Potential Sinkhole	Ponding	Wetness
HATBORO	X	C/S		X	X	X	X	X		X
UDORTHENTS	X	C	X	X		X	X	X		

RESOLUTIONS FOLLOW:

CUT BANKS CAVE - EXCAVATIONS SHALL BE STEPPED OR SHORED
CORROSIVE TO CONCRETE - PRECAUTIONS SHALL BE TAKEN TO PROTECT UNDERGROUND PIPES, CONDUITS, AND STORAGE TANKS
DROUGHTY - SOILS TESTS ARE RECOMMENDED TO DETERMINE THE PROPER APPLICATION OF SOILS AMENDMENTS TO PROMOTE GROWTH OF DESIRED VEGETATION
EASILY ERODIBLE - ADEQUATE E&S MEASURES SHOULD BE IMPLEMENTED TO REDUCE/ELIMINATE EROSION AND COLLECT AND FILTER SEDIMENT LADEN RUNOFF
FLOODING - CLOSED DEPRESSIONS SHOULD BE AVOIDED. GRADE FOR DRAINAGE. PUMP WATER FILTER BAGS SHOULD BE UTILIZED FOR DEWATERING WHERE PONDING OCCURS.
HYDRIC/HYDRIC INCLUSIONS - WETLANDS DELINEATION MAY BE APPROPRIATE. DISTURBANCE OF WETLANDS SHOULD BE AVOIDED
LOW STRENGTH/LANDSIDE PRONE - EXCAVATIONS SHALL BE STEPPED OR SHORED
PIPING - ANTI-SEEP COLLARS SHOULD BE DESIGNED AND PROVIDED ALONG POND/BASIN OUTLET BARRELS
POOR SOURCE OF TOPSOIL - SOILS TESTS ARE RECOMMENDED TO DETERMINE PROPER AMENDMENTS TO PROMOTE GROWTH OF DESIRED VEGETATION
FROST ACTION - PRECAUTIONS SHOULD BE TAKEN TO PREVENT DAMAGE, ESPECIALLY TO ROADWAYS
SHRINK - SWELL - PRECAUTIONS SHOULD BE TAKEN TO ENSURE PROPER COMPACTION
POTENTIAL SINKHOLE - PONDING OF WATER SHOULD BE AVOIDED. PUMP WATER FILTER BAGS SHOULD BE UTILIZED FOR DEWATERING WHERE PONDING OCCURS. SINKHOLES SHOULD BE REPAIRED IN ACCORDANCE WITH PLAN SPECIFICATIONS/DETAILS.
PONDING - PUMP WATER FILTER BAGS SHOULD BE UTILIZED FOR DEWATERING WHERE PONDING OCCURS.
WETNESS - SOILS TESTS ARE RECOMMENDED TO DETERMINE THE PROPER APPLICATION OF SOILS AMENDMENTS TO PROMOTE THE GROWTH OF DESIRED VEGETATION.

ANY WATER ENCOUNTERED DURING EXCAVATION IN AREAS OF HIGH WATER TABLE OR AS A RESULT OF POOR INFILTRATION SHALL BE REMOVED BY PUMPING THROUGH A PUMPED WATER FILTER BAG. GRADING SHOULD BE LIMITED DURING PERIODS PRONE TO FROST.

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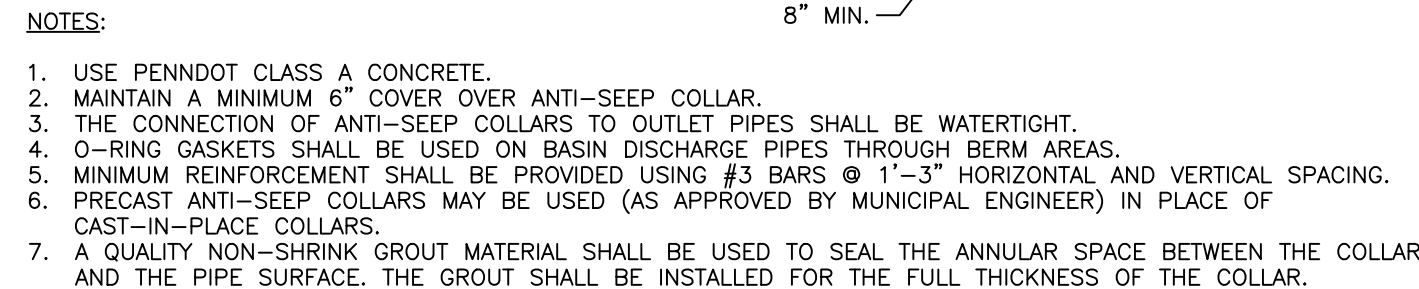
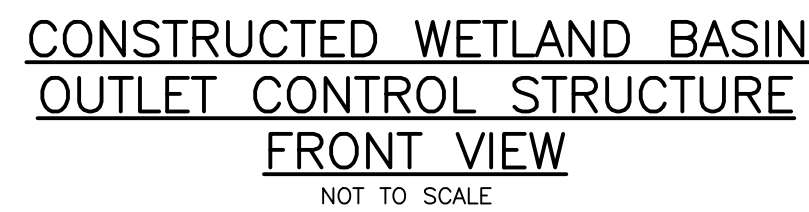
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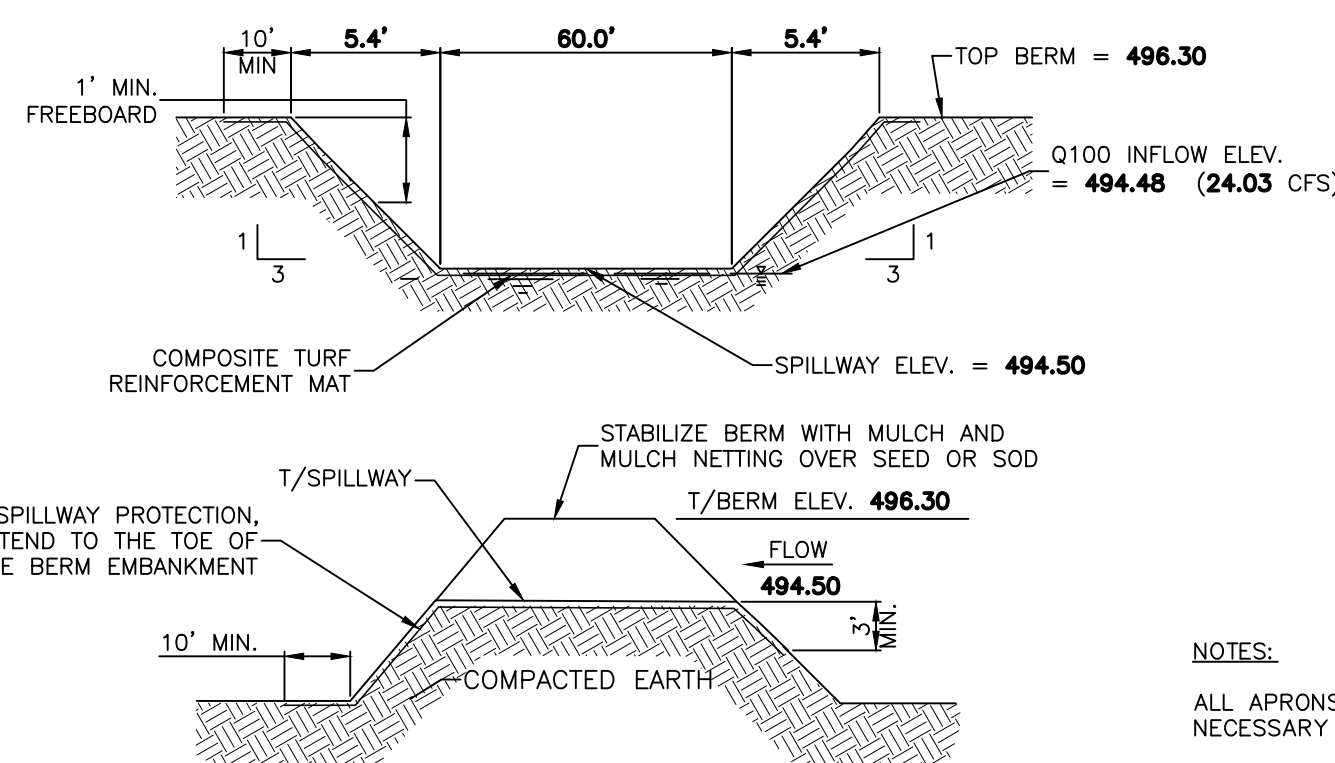
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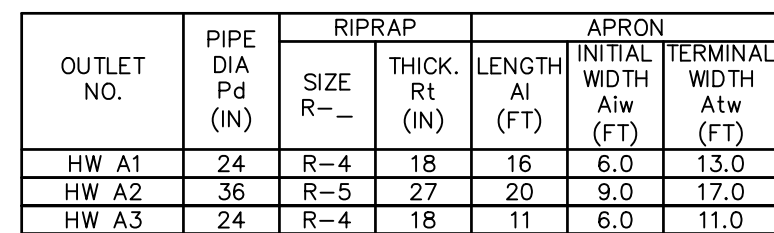
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ANTI-SEEP COLLAR
NOT TO SCALE



SPILLWAY – EMERGENCY–PERMANENT
CONSTRUCTED WETLANDS BASIN
NOT TO SCALE



NOTES:

ALL APRONS SHALL BE CONSTRUCTED TO THE DIMENSIONS SHOWN. TERMINAL WIDTHS SHALL BE ADJUSTED AS NECESSARY TO MATCH RECEIVING CHANNELS.

ALL APRONS SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVENT. DISPLACED RIPRAP WITHIN THE APRON SHALL BE REPLACED IMMEDIATELY.

STANDARD CONSTRUCTION DETAIL #9-1
RIPRAP APRON AT PIPE OUTLET
WITH FLARED END SECTION OR ENDWALL

NOT TO SCALE

STORMWATER MANAGEMENT & WATER QUALITY FACILITIES

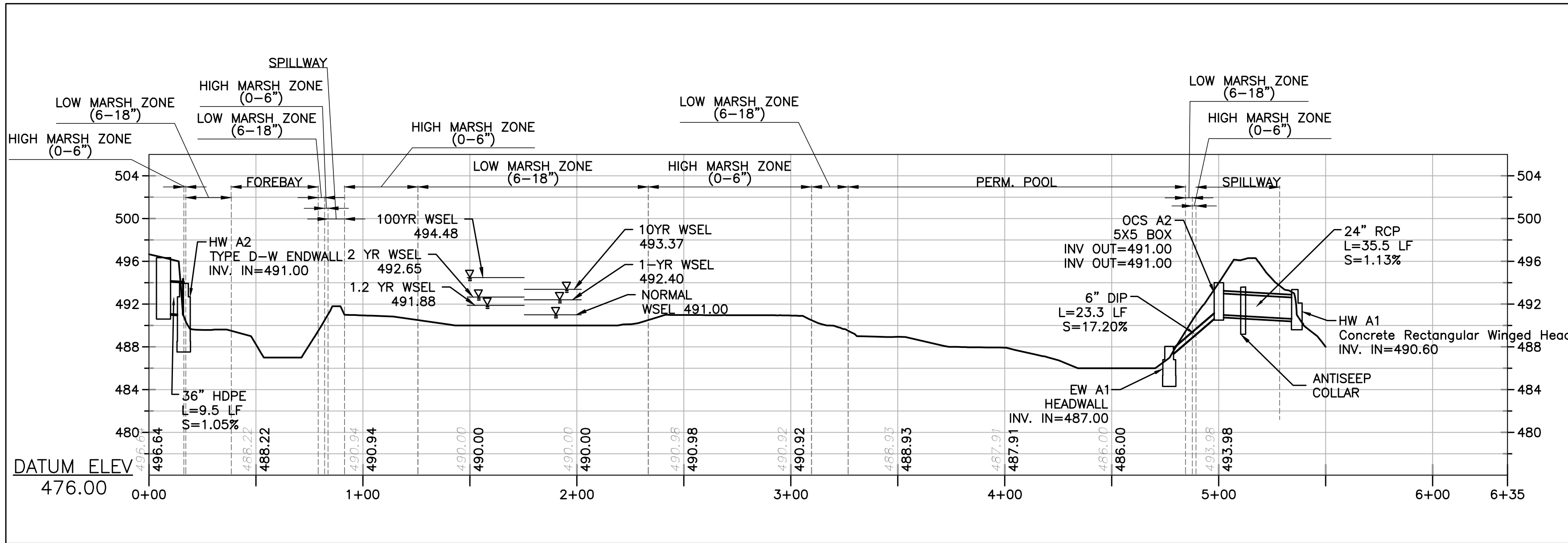
AN ANTIDegradation ANALYSIS IS NOT REQUIRED FOR THIS PROJECT AS IT IS NOT WITHIN A HIGH QUALITY OR EXCEPTIONAL VALUE WATERSHED.

LOCATION OF ALL PROPOSED BMPS AND FINAL GRADING FOR THE PROPOSED PROJECT ARE SHOWN ON THE DRAWINGS.

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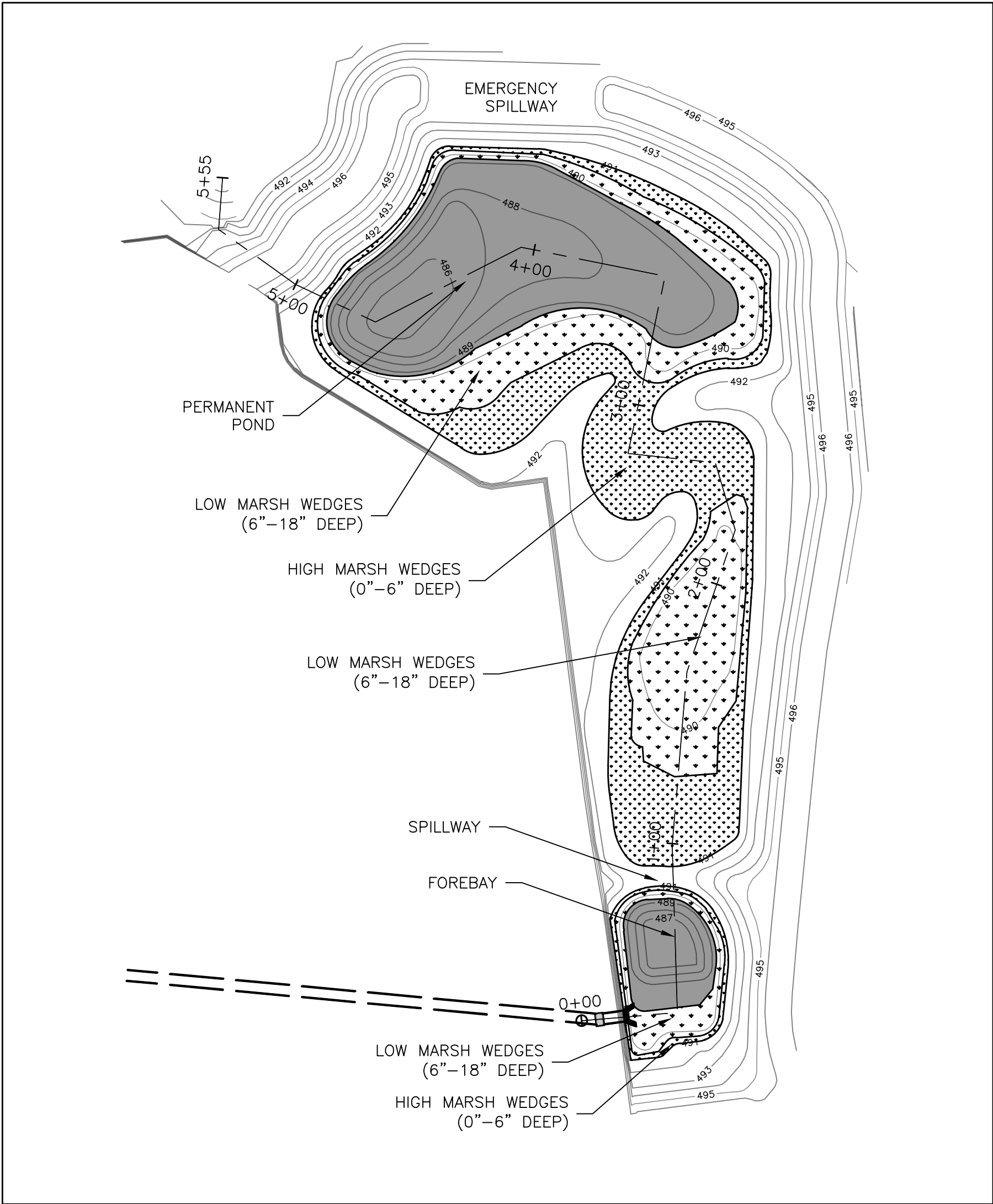
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CONSTRUCTED WETLAND BASIN
CROSS SECTION

HORIZONTAL SCALE: 1" = 40'
VERTICAL SCALE: 1" = 8'



CONSTRUCTED WETLAND BASIN
PLAN VIEW

NOT TO SCALE

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POST CONSTRUCTION MANAGEMENT DETAILS -
CONSTRUCTED WETLANDS DETAILS

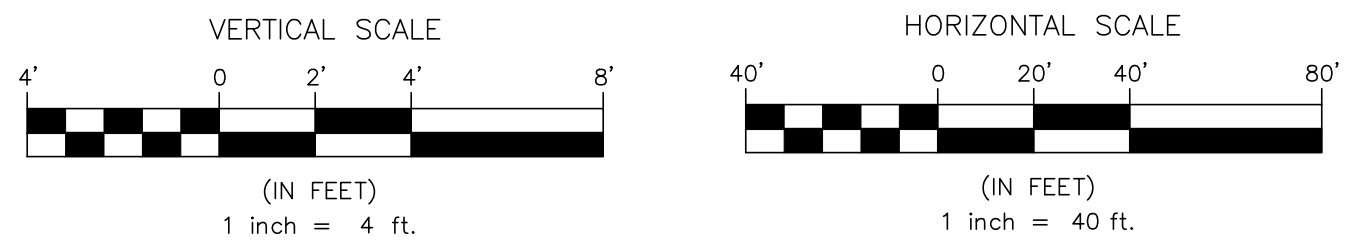
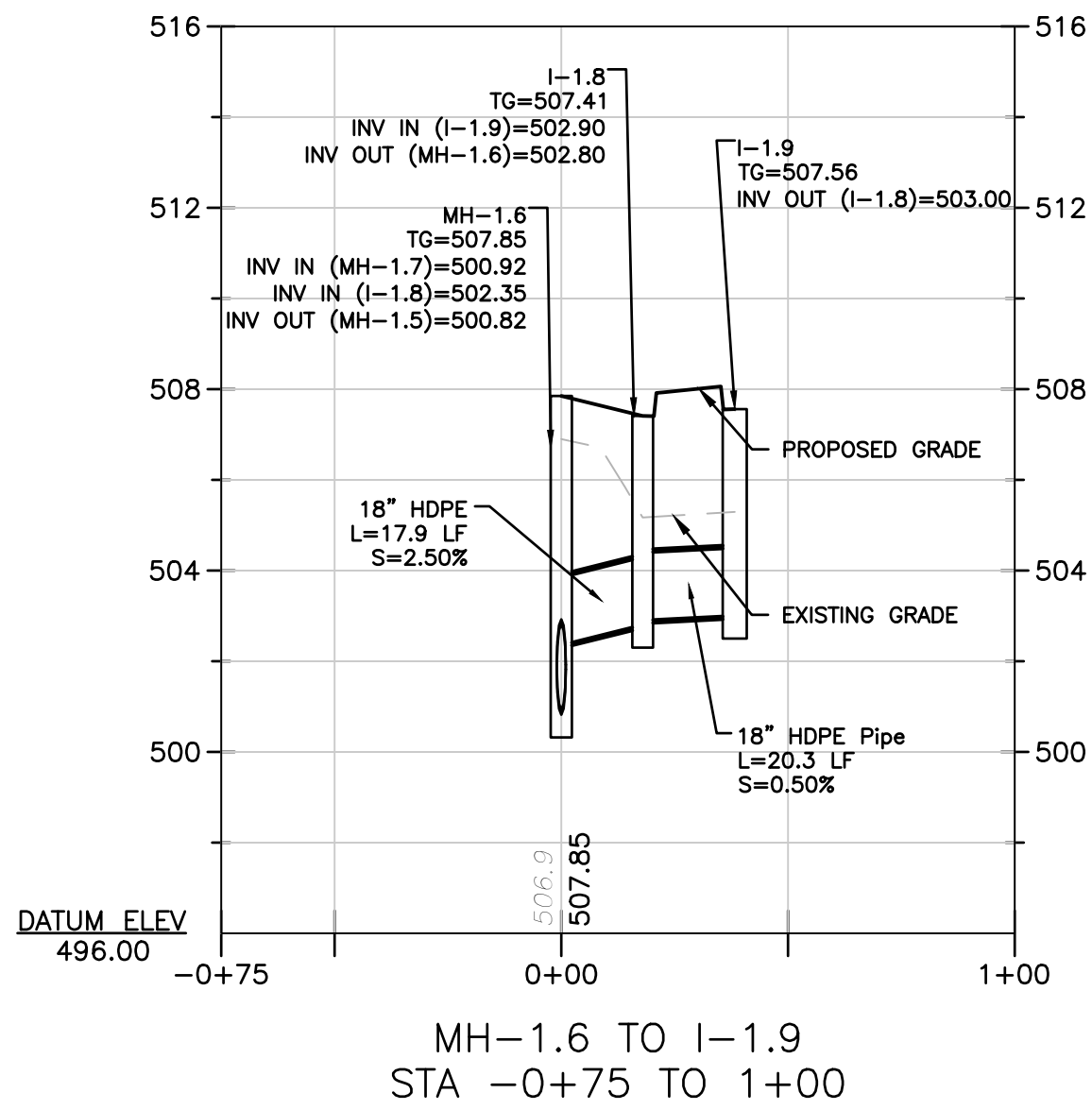
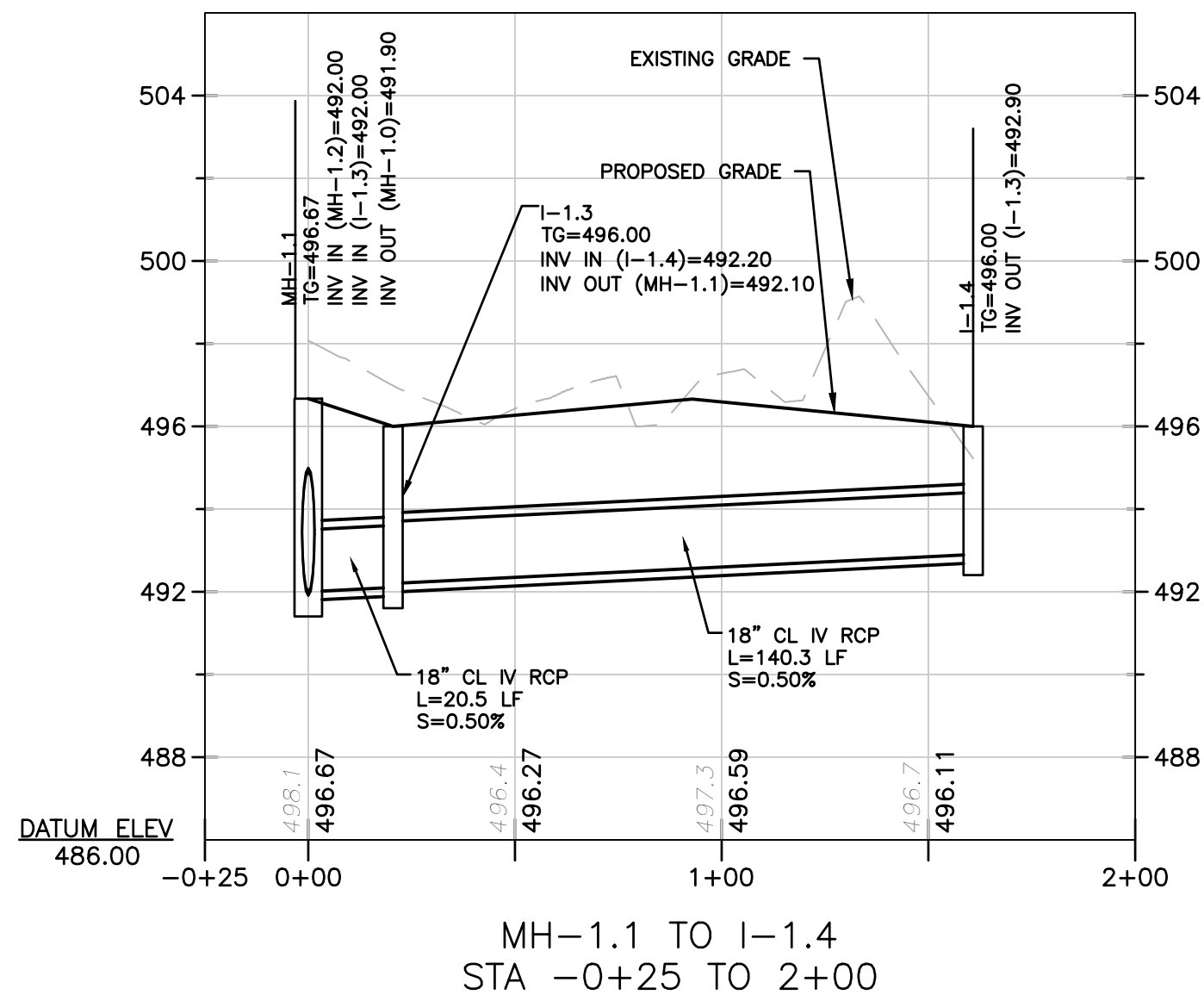
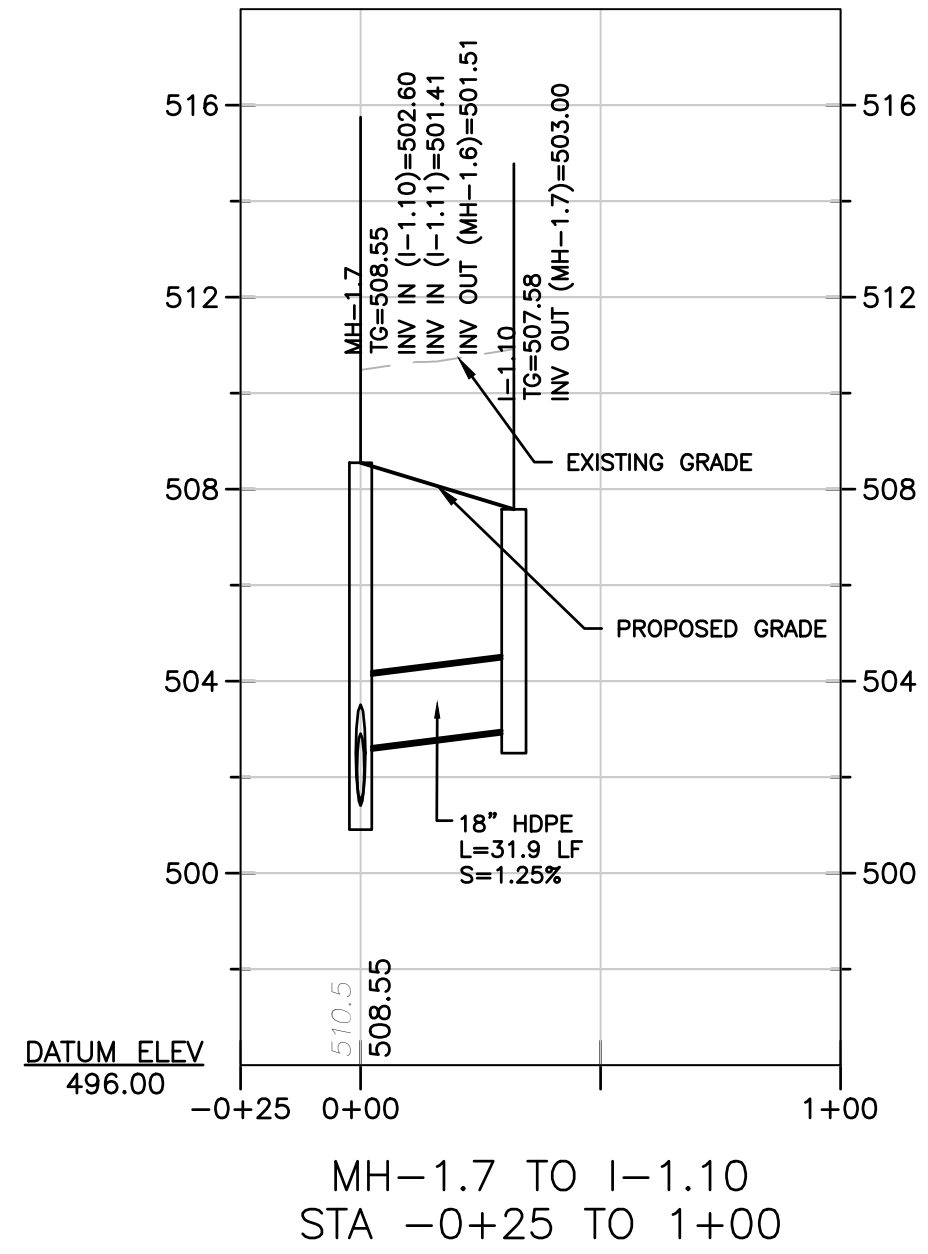
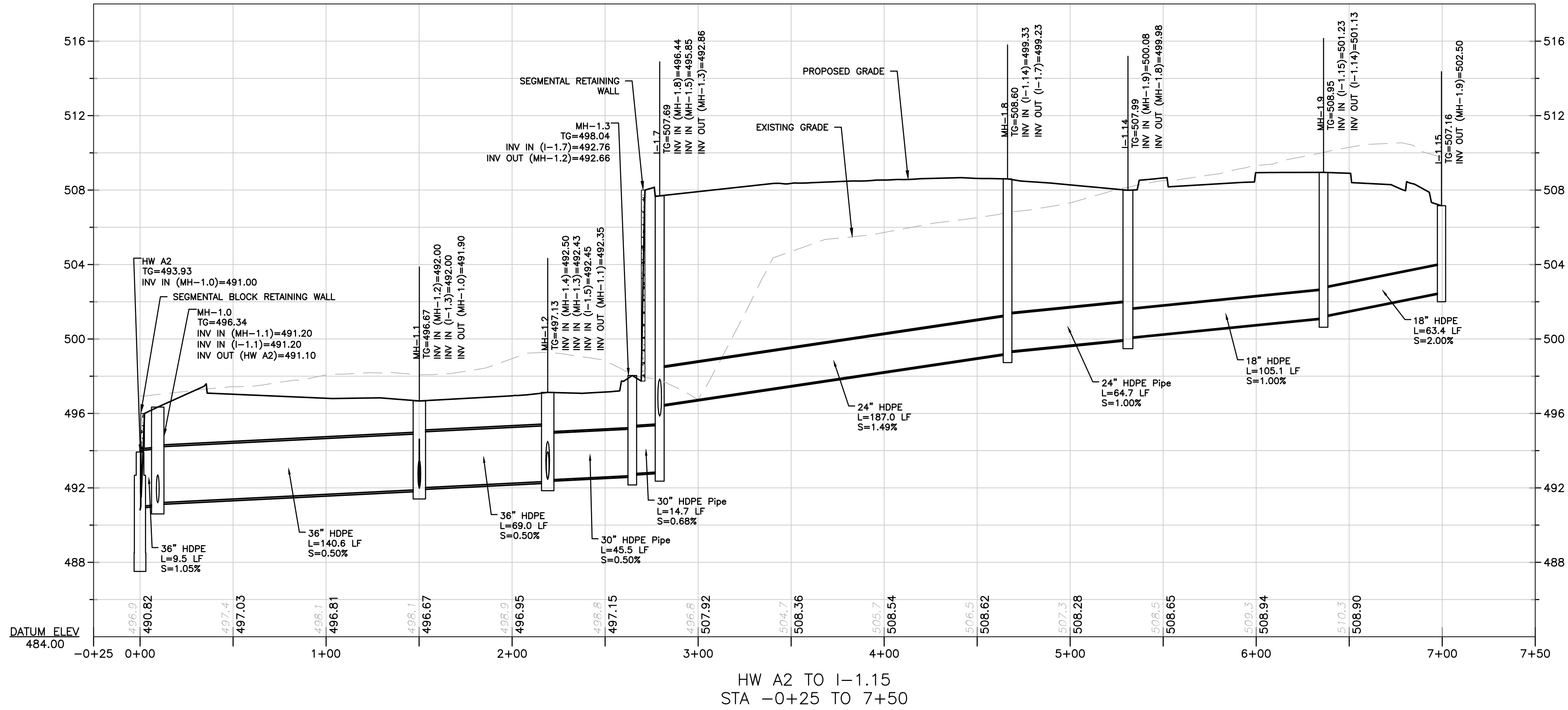
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PROJECT INFORMATION:
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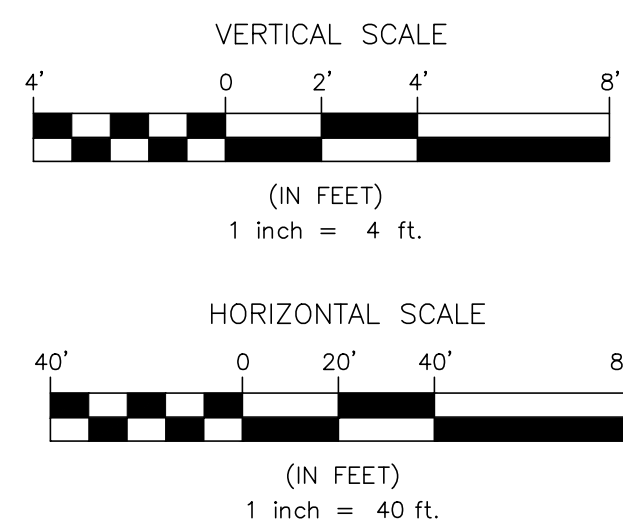
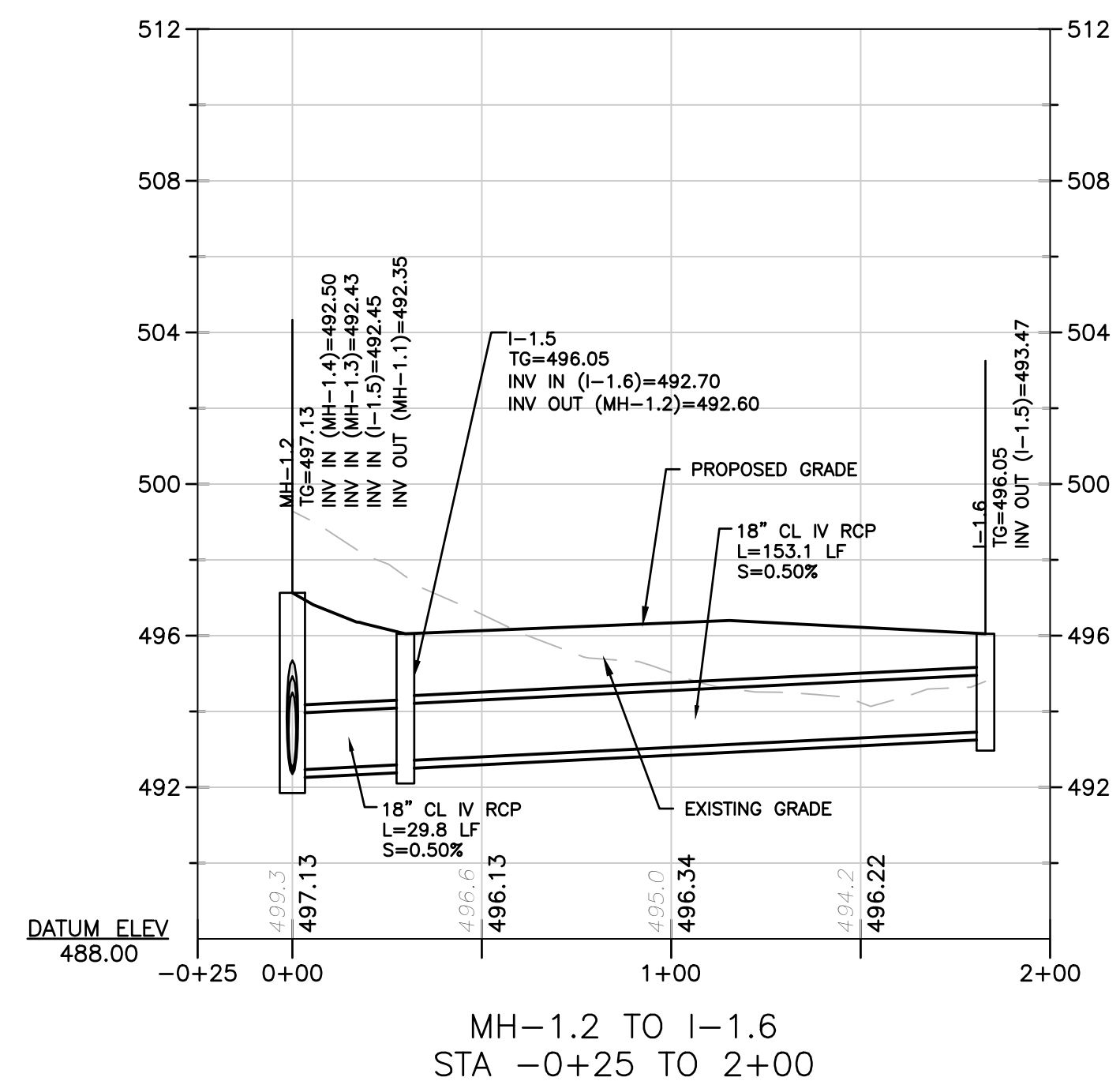
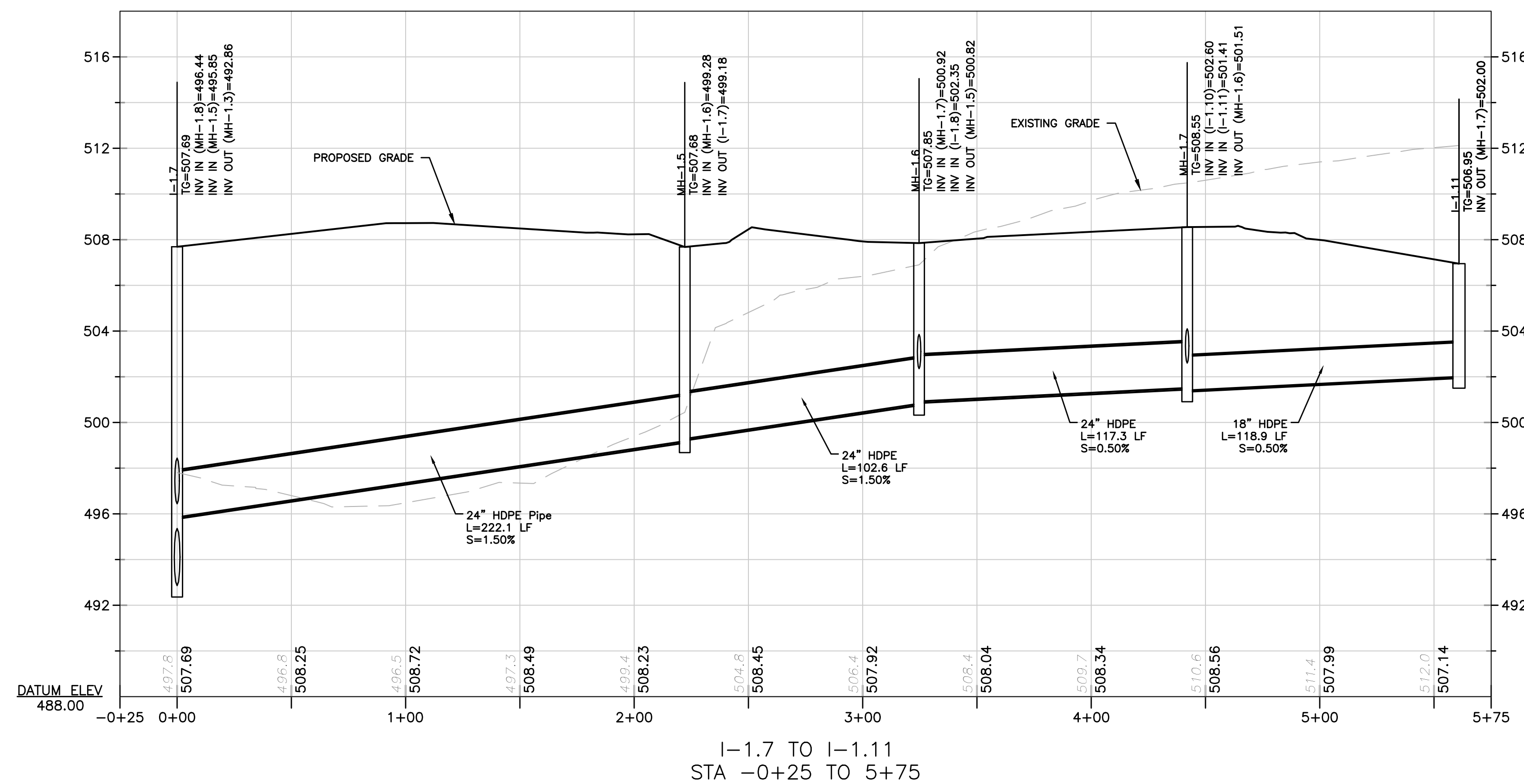
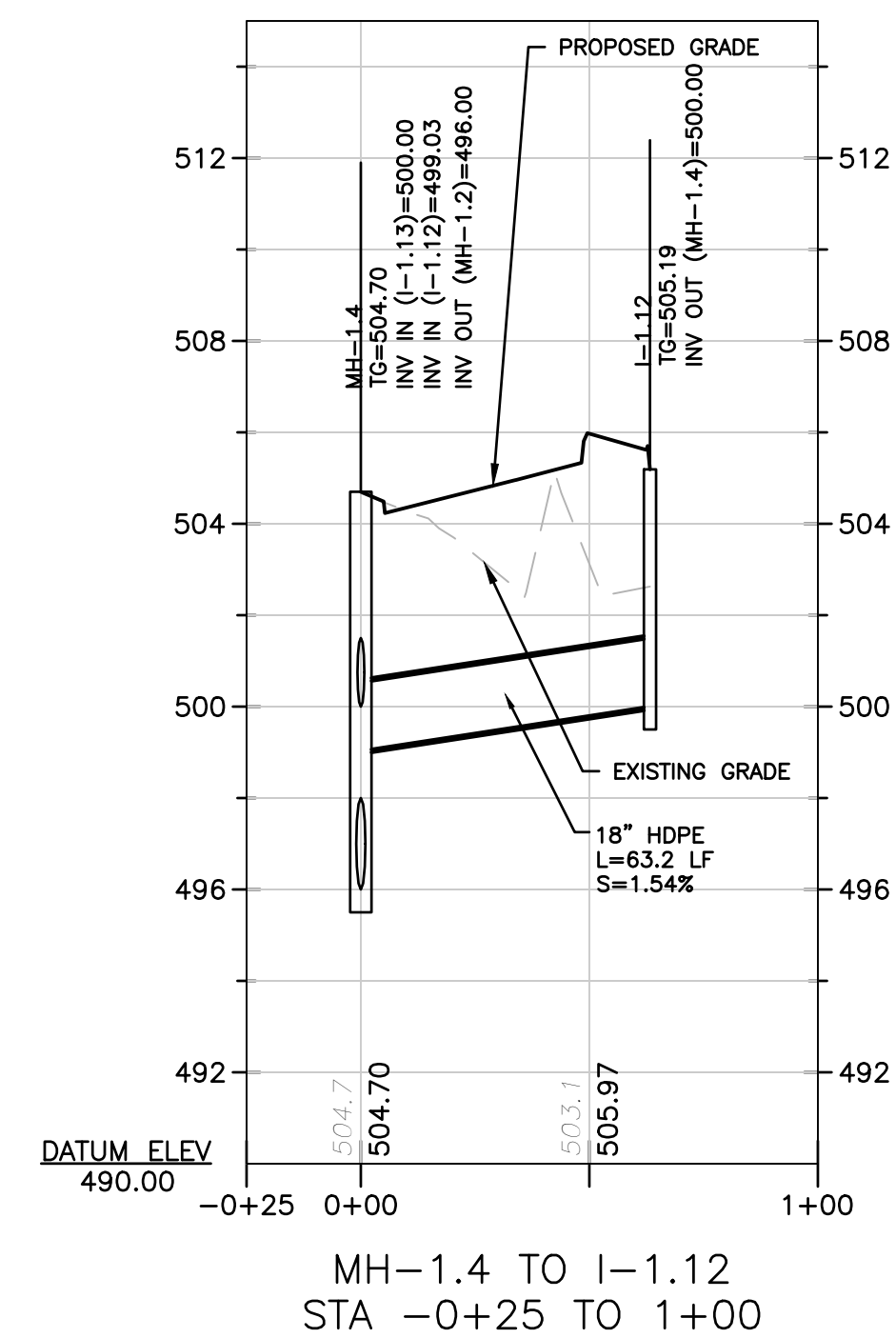
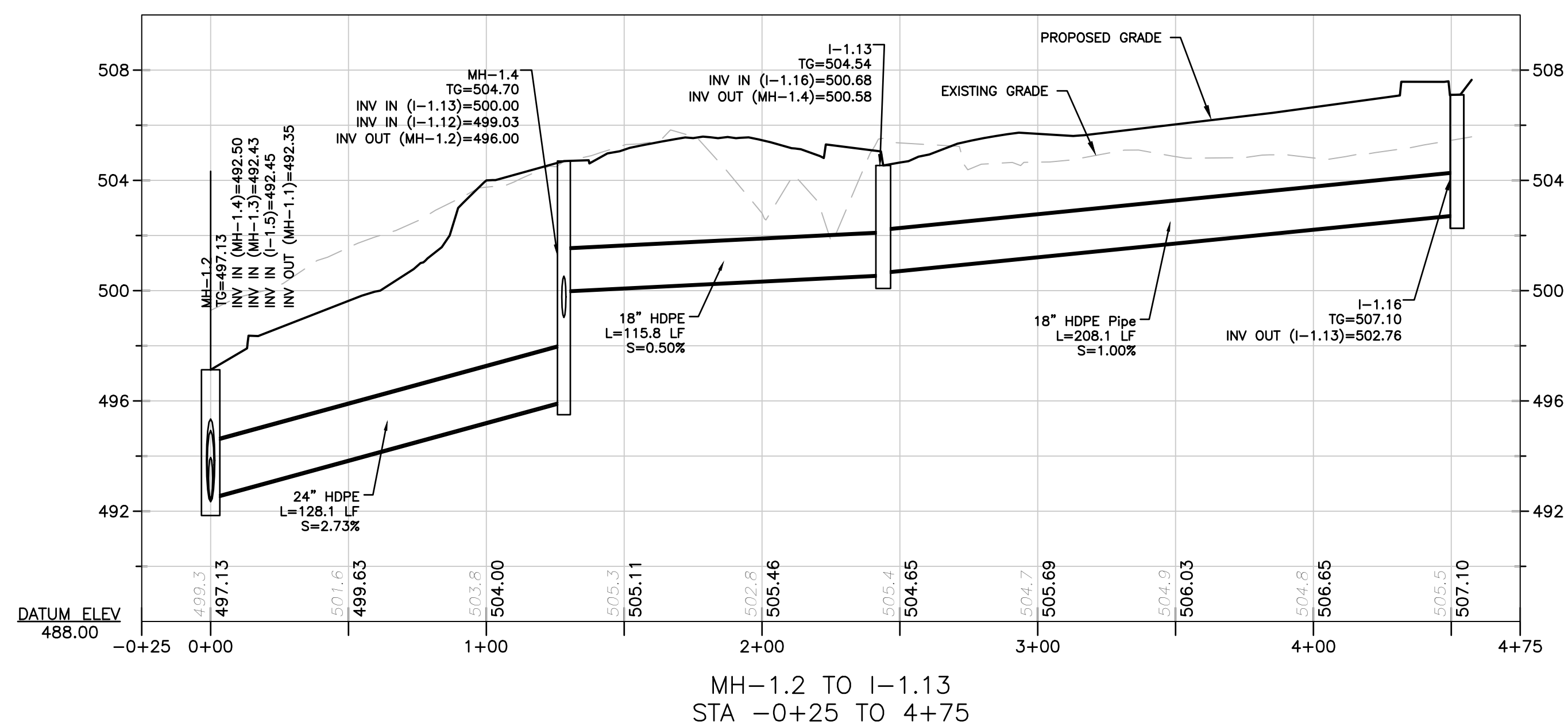
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STORM PROFILES

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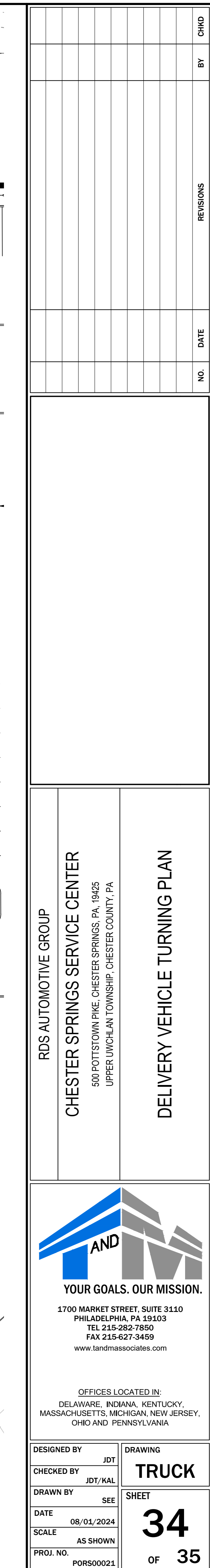
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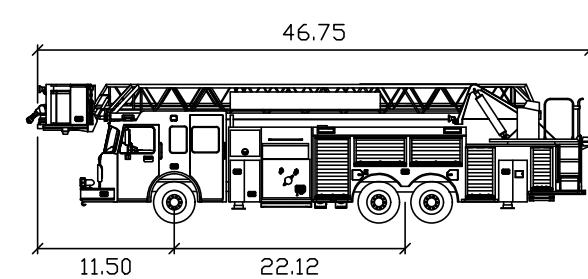
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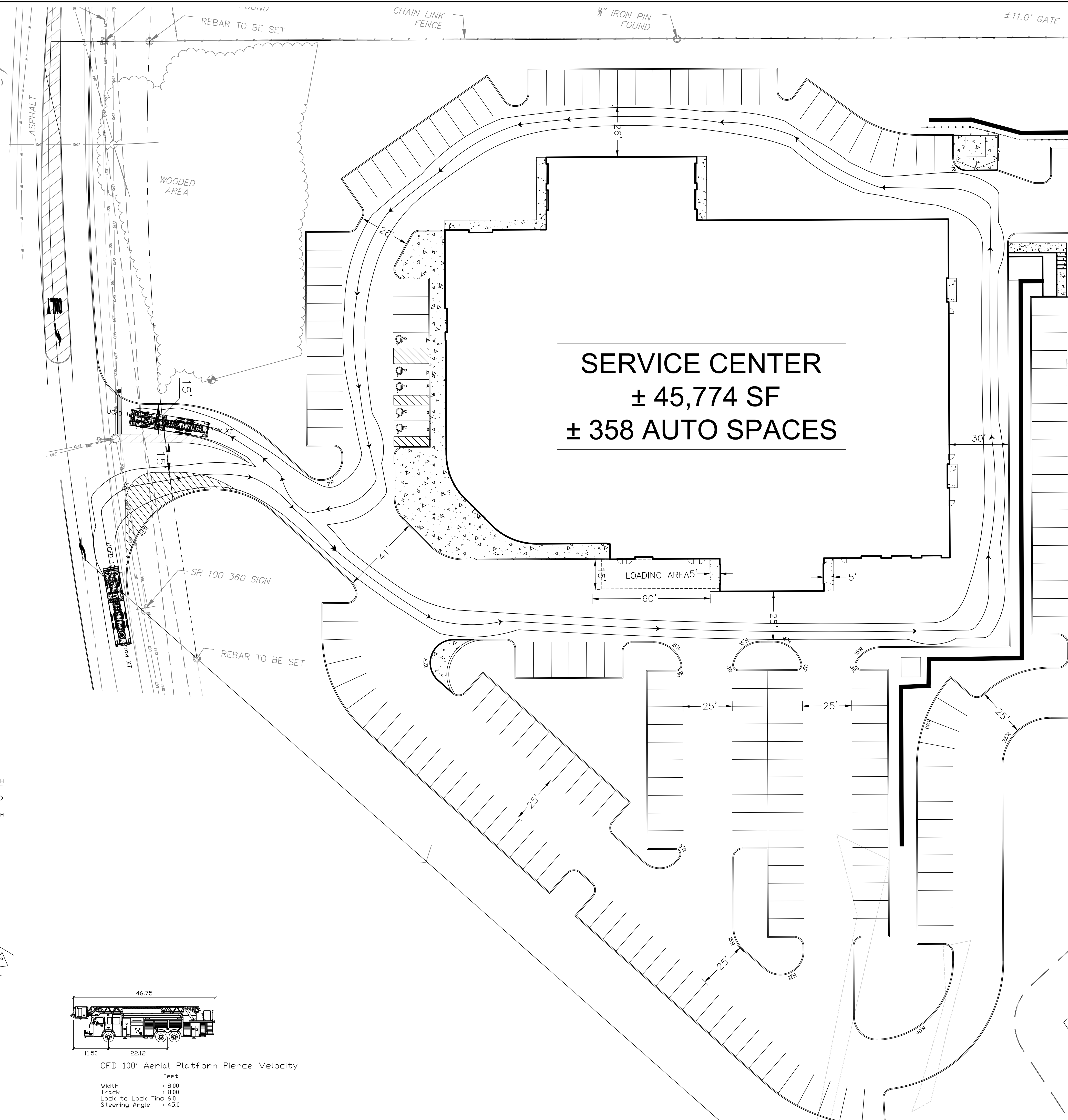
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CFD 100' Aerial Platform Pierce Velocity
      feet
Width      : 8.00
Track      : 8.00
Lock to Lock Time 6.0
Steering Angle : 45.0
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± 45,774 SF
± 358 AUTO SPACES

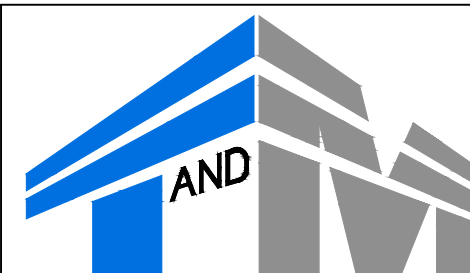
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OF 3



UPPER UWCHLAN TOWNSHIP

Planning Commission

September 12, 2024

6:00 p.m. Workshop

7:00 p.m. Meeting

Minutes

Draft

LOCATION: Township Building, 140 Pottstown Pike, Chester Springs PA 19425

Attendees:

Sally Winterton, Chair; Joe Stoyack, Vice-Chair; Chad Adams (Meeting), David Colajezzi, Jim Dewees, Steve Fean (Meeting), Jessica Wilhide

Rob Daniels, Brandywine Conservancy – Workshop

Mary Lou Lowrie, Gilmore & Associates – Meeting

Gwen Jonik, Planning Commission Secretary

Absent: Jeff Smith, Taylor Young,

Sally Winterton called the Workshop to order at 6:02 p.m. There was 1 citizen in attendance.

Rob Daniels presented a high-level summary of the September 5, 2024 draft Comprehensive Plan (CompPlan) via a slide presentation. The CompPlan is a guiding document; it contains recommendations for land use, development, and preservation efforts for the next 10-20 years. It doesn't change regulations. CompPlans are to be consistent with the County's CompPlan and neighboring municipalities. They are to be updated every 10 years. This Plan updates the Plan of 2014. We started the process late 2022 with our Boards and Commission, publicized the update, received public input at a booth at the 2023 Block Party, conducted an online survey, etc. The Township's Village Design Guidelines, Village Concept Plan and Active Transportation Plan were updated along the way. We received 759 responses to the online survey, a pretty good response rate compared to other municipalities. General priorities are to preserve open space, preserve scenic areas and views, protect natural resources, retain the village feel. Toward the end of the process, a vision and key values were crafted: history, connectivity, community, resilience and stewardship. Chapters include Future Land Use, Historic Resources, Village Concept Plan, Transportation, Community Facilities and Services, Natural Resources and Open Space, Parks and Recreation, and Implementation. On the Future Land Use Map, "site responsive" means they are open space, larger lots, with on-lot water and septic, during any development, recognizing and trying to protect natural and historic resources. At Township boundaries, we try to match neighboring townships' land uses to keep things harmonious.

After the Planning Commission's review, the next step in the process is for the Planning Commission to approve forwarding the draft to the Board of Supervisors. The Board of Supervisors will open the County's Act 247 public review period, which provides a 45-day review period for the public, Downingtown School District, County Planning Commission and our surrounding municipalities to make comment on the CompPlan. The Board will then hold a public hearing and consider adoption.

The Planning Commission's comments included:

1. input was received from our boards/commissions over the past few years; not everyone will agree 100% with everything; it's a guideline;
2. they like the action items/ recommendations;
3. all previous comments have been incorporated into this draft

4. this was a collaborative piece; all of the task force members agreed they wanted it to move along.
5. Hopefully the recommendations and strategies will be discussed at the semi-annual Joint Boards & Commissions Workshop, as well as the Board's and Commission's monthly meetings.
6. Priority needs to be given to effectuate the swap of Route 100 and Graphite Mine Road.
7. Replacing traffic lights with roundabouts keeps traffic moving.

Rob Daniels advised he'll make an excel spreadsheet that will list the overall recommendations plus tabs for each Board/Commission's specific tasks.

7:00 p.m. Meeting

Sally Winterton called the Meeting to order at 7:00 p.m. There was 1 citizen in attendance.

Sally Winterton moved to add an item to the agenda -- to vote on the draft Comprehensive Plan as discussed at the work session. Jim Dewees seconded and the motion carried unanimously.

211 Byers Road – Eagle Animal Hospital Final Land Development Plan

Bob Linn, Linn Architects, Cameron Wolfson, Riley Riper Hollin and Colagreco and Jenn Matunis, attended. Bob Linn distributed a color rendering that the Board of Supervisors had approved of previously – gray roof, sloping dormer as preferred, pent roof over the porch only, did not wrap it to the wings. Mr. Linn reiterated the history of the project proposing constructing a new 2-story building, within the impervious cover threshold. Plans had been revised July 31, 2024 and the consultants' August 30 review letter followed. He distributed 11x17 size plans revised September 11 and the rendering dated "February 2024" but which had been distributed to the Planning Commission March 14, 2024 and that's the date referenced on what the Board approved. They responded to 18 comments in the consultants' review letter, including a \$10,000 in-lieu-of-sidewalk fee. Regarding the Historical Commission's comments, German siding is not available in the cement-based product they're using and they cannot duplicate the quoins with the cement-based product. They're going to preserve the garden shed and the privy.

They are requesting 2 waivers: to not widen Byers road and from requiring 20% of the existing impervious area to be counted as meadow. They will meet infiltration requirements, and by connecting to public sewer, the on-lot system will be properly abandoned and will help absorb stormwater.

Joe Stoyack moved, seconded by Chad Admas, to recommend approval of the July 31, 2024 land development plan conditioned on compliance with the comments in the August 30, 2024 Gilmore & Associates' review letter, and to grant the requested waiver from Code Section 152.309.D.(2). The motion carried unanimously.

480 Pottstown Pike Minor Subdivision Plan

Cameron Wolfson, Riley Riper Hollin and Colagreco and Jacob Tackett, T&M Associates reviewed the proposed 2-Lot subdivision plan and consultants' review letter. There is no land development proposed at this time. The subdivision plan is for 1 lot to become 2 lots, both will be compliant with zoning. They are asking for a waiver from prohibiting further subdivision for both lots. They are not considering an easement access from Fellowship Road to Route 100.

Discussion included the number of times a parcel can be subdivided, and will they beautify the eastern lot. Mr. Wolfson did not know what would be planned for the eastern lot because no land development is proposed at this time. One of the consultants' comments was to consider consolidating the larger lot with the adjacent lot and if that happened, there would be the potential

for subdivision and/or land development, which would conflict with the “no further subdivision” requirement. Discussion continued regarding the requested waiver.

Jessica Wilhide moved to recommend approval of the subdivision plan and to not grant the waiver. After further conversation, she withdrew her motion.

Joe Stoyack moved, seconded by David Colajezzi, to recommend approval of the Minor Subdivision Plan with a note that Lot 1 is not be further subdivided and the requested waiver be granted for only Lot 2. The motion carried with five (5) in favor and two (2) opposed (Winterton and Dewees).

The Applicant will seek approval at the October 21, 2024 Board of Supervisors meeting.

Comprehensive Plan ~ Recommendation

Joe Stoyack moved, seconded by Chad Adams, that the Planning Commission recommends to the Board of Supervisors to proceed with advertising for public review of the draft Comprehensive Plan and open the Act 247 review process as appropriate. The motion carried unanimously.

Meeting Updates

Environmental Advisory Council (EAC). Sally Winterton mentioned they’re holding a clothing drive September 21.

Historical Commission (HC). Gerry Stein reported an upcoming lecture on native Americans and the Minquas Trail; they’re opening the Upland Farm farmhouse for museum sessions hopefully the last Sunday of each month, replicating the slide show and displays as they had for the Block Party. Comprehensive Plan (CompPlan). Activity as noted above.

Approval of Minutes

Jim Dewees moved, seconded by Chad Adams, to approve as presented the minutes of the August 8, 2024. The motion carried unanimously. Sally Winterton thanked Sandy Diffendal for attending the meeting and recording the minutes.

Sally announced the next Planning Commission meeting is scheduled for October 10. A workshop will be held at 6:00 to discuss the Planned Industrial/Office zoning district uses, Residential Districts, parking, signs / billboards, lighting, etc.

Open Session

Gerry Stein mentioned that Mr. Durkin had asked if there is a comparison of what’s different between the previous and the updated Plans.

Sally Winterton asked the status of the sale of 1800 Station Boulevard, an historic resource. Gwen Jonik advised it’s listed as “under contract”.

Gerry Stein commented that we should always be looking for grants.

Adjournment

Jim Dewees moved, seconded by Chad Adams, to adjourn at 8:22 p.m. All were in favor.

Respectfully submitted,

Gwen A. Jonik
Planning Commission Secretary