



UPPER UWCHLAN TOWNSHIP  
BOARD OF SUPERVISORS MEETING  
AGENDA  
MAY 20, 2024

7:00 p.m.

**LOCATION:** Township Building, 140 Pottstown Pike, Chester Springs PA 19425

I.	CALL TO ORDER	Packet Page #
A.	Salute to the Flag	2
B.	Moment of Silence	7
C.	Inquire If Any Attendee Plans to Audio or Video Record the Meeting	11
II.	APPROVAL OF MINUTES:	
	April 9, 2024 Joint Boards & Commissions Workshop, Conditional Use Hearing	2
	April 22, 2024 Board of Supervisors Meeting	7
III.	APPROVAL OF PAYMENTS	11
IV.	TREASURER'S REPORT	51
A.	2024 Budget Amendment – Solid Waste Fund	84
V.	SUPERVISORS' REPORT	
A.	Police Liaison Report	
B.	Calendar:	
	May 22, 2024 6:00 p.m. Barns of Northern Chester County: A Lecture, Barn at Upland Farm	
	May 27, 2024 Office Closed ~ Memorial Day	
	June 5, 2024 7:00 p.m. Zoning Hearing ~ Keystone Outdoor Advertising	
	June 9, 2024 4:30 – 7:30 p.m. Live Music Concert #2 at Upland Farm Park	
	June 10, 2024 (Monday) 4:00 p.m. Board of Supervisors Workshop	
	June 10, 2024 5:30 p.m. Conditional Use Hearing ~ Rockhill Real Estate Enterprises re: 500 Pottstown Pike	
	June 15, 2024 6:00 p.m. 14 <sup>th</sup> Annual Block Party on Route 100	
	June 17, 2024 7:00 p.m. Board of Supervisors Meeting	
	Yard Waste Collection Dates: May 22, June 5, 12, 19, 26	
	Do not use plastic bags as these materials are composted. Place materials curbside the night before to guarantee collection.	
VI.	ADMINISTRATION REPORTS	
A.	Township Engineer's Report	85
B.	Building and Codes Department Report	90
C.	Police Chief's Report	--
	1. Park Road Speeding	--
D.	Public Works Department Report	92

## VII. LAND DEVELOPMENT

A. Byers Station Parcel 5C Lot 2B Commercial Amended PRD Plan ~ Revision	94
B. Preserve at Marsh Creek Phase III (Toll) Escrow Release #2 - \$65,750.25	116

## VIII. ADMINISTRATION

A. Planebrook Partners LLC ~ 241 Park Road ~ Ducklings Daycare Conditional Use Decision & Order	123
B. 2024 Roadway Milling-Paving Contract ~ Award	257
C. 2025 Solid Waste / Recycling Annual Fee	259
D. Marsh Creek Watershed Protection Project ~ Completion	--
E. Township Facilities HVAC Maintenance Contracts ~ Consider Accepting Proposals	261
F. Disposition of Township Property ~ Accept High Bids and Approve Sales	269
G. C1, C3, LI Zoning District Uses ~ Discuss amendments, forward to County Planning Commission	271

## IX. OPEN SESSION

## X. ADJOURNMENT



Upper Uwchlan Township  
Board of Supervisors  
Joint Boards and Commissions Workshop,  
Conditional Use Hearing (5:30 p.m.)

April 9, 2024

4:00 PM

Minutes

**DRAFT**

Attendees:

Sandy D'Amico, Chair

Jenn Baxter, Vice-Chair

Andy Durkin, Member

Tony Scheivert, Township Manager

Gwen Jonik, Township Secretary

Tom Jones, Police Chief

Rhys Lloyd, Director – Code Enforcement

Anthony Campbell, Zoning Officer

Lindsay Yeager, Assistant to the Township Mgr.

Sally Winterton, Planning Commission Chair

Sushila Subramanian, Park & Rec Board Chair

Vivian McCardell, Historical Commission Chair

Byron Nickerson, EMPC Chair

Neil Phillips, Environmental Advisory Council Chair

Jim Greaney, Zoning Hearing Board Chair

Joe Carr, Police Lieutenant

Matt Brown, Authority Administrator

Mike Esterlis, Director of Public Works

Steve Hirsh, EMPC Member

The Workshop was held at the Township Building, 140 Pottstown Pike, Chester Springs PA 19425.

Jenn Baxter called the Workshop to order at 4:02 pm, led the Pledge of Allegiance, and offered a moment of silence. No one planned to record the meeting. There were 2 citizens in attendance.

Boards and Commissions Updates

Emergency Management Planning Commission (EMPC)

Byron Nickerson reported that while the EMPC is not the first responders, they are outfitting a trailer to help out during all kinds of emergency incidents; communications are key, and there's a great team going with both current and previous EMPC members, plus several interested parties; they are working more closely with emergency service providers to support them as best we can.

Steve Hirsh reported that EMPC members Jamie Goncharoff and Jeff Churchvara created a presentation on awareness and preparedness to present to the Homeowners Associations; they'd like to have a secondary emergency operations center; we are editing our emergency operations plan regarding pipelines, along with the County; Upper Uwchlan is one of few, if not the only, municipality that has an Emergency Management Coordinator (Byron) and an EMPC; they're monitoring Downingtown's flooding reviews and warning signs at the creek on North Reeds Road;

Byron introduced the topic of hydrogen hubs – the moving of hydrogen via pipelines. Seven regional hydrogen hubs throughout the country have been selected for funding, 2 in Pennsylvania. Upper Uwchlan is within the eastern hub and we need to be aware of what's happening. Electric cars are encouraged now but hydrogen-fueled cars will probably be the future. We may want to consider determining safety regulations, via ordinance, proactively.

Environmental Advisory Council (EAC)

Neil Phillips highlighted some of the EAC's activities over the last 6 months: a very successful Earth Day celebration was held April 20; an E-Waste collection and shredding event served @ 130 cars; 30 bags of litter were cleaned up recently along Station Boulevard and Graphite Mine Road; 1,200 daffodil bulbs were distributed at October 2023's Trunk or Treat event; reusable veggie bags will be distributed at the 2024

Block Party; the EAC has 2 Junior members; there's a potential community garden partnership with West Vincent Township.

#### Historic Commission (HC)

Vivian McCardell reported the HC has been reviewing plans for land development project or impacts to historic structures: Eagle Animal Hospital, proposed Ducklings Daycare, proposed Porsche service center near the WSFS Bank and Styer barn, the Wertz Farm, Fetters house, the Reeds Road trail continuation (county owned) will be added to the Historic Resource Inventory List. Two rooms have been renovated in the farmhouse at Upland Farm Park and will be used as meeting space, lecture area, future museum. The HC has also been reviewing and contributing to the Comprehensive Plan update, drafting an Historic Resource Protection Plan, and coordinating the quarterly lecture series. Up next is "Know Your Barns" by Bob Wise on May 22. They'll participate in the Struble Trail Life & Times event May 4, hosting one of the summer walking tours at Upland Farm Park re: Adaptive Reuse and Preservation, working on a logo and revising their page on the website.

#### Municipal Authority (Authority)

Matt Brown, Authority Administrator, reported there are 3 projects this year – expansion of public sewer service in Milford Farms, Meadow Creek neighborhood, and the conversion to a pump station of the Eaglepointe Wastewater Treatment Plant. The March 26 meeting presenting these projects went well and the vast majority of comments have been positive. It's hoped we can advertise this week the bid for a contractor for the Milford Farms project. A formal offer was made to purchase an East Township Line Road property but our offer was turned down. PaDEP's review and approval of our updated Act 537 Plan has been delayed over a year due to staffing issues but they have been providing approvals of the individual projects. Phase 3 of the Route 100 wastewater treatment plan is in the final stages, working on the communications piece of it. The Authority has asked DEP to approve a reduction in the EDU (equivalent dwelling unit) from 225 gallons per day to 200 gallons per day. That would reduce our disposal field needs and we'd have more disposal area. A final decision hasn't been received.

#### Park & Recreation Board (P&R)

Sushila Subramanian thanked the Police Dept. for their assistance and participation in the Trunk or Treat event; the annual tree lighting in November had a good turnout; the Easter Egg Hunt went well, with 5,000 eggs distributed; a Junior member has been added to the P&R; there are several vacancies on the P&R; they'd like the Board to consider installing a small playground at Upland Farm Park; the summer concert series is shaping up for the year – it was well-received last year; they suggest a trail around a 15-acre parcel on Greenridge Road. They were advised that parcel is part of the back-up spray field for the Greenridge wastewater treatment plant. P&R would like a trail connection from the proposed traffic light at Little Conestoga Road to the Milford Road trail; and Praveen Nadkarni has been coordinating events with Lindsay Yeager.

#### Planning Commission (PC)

Sally Winterton reported there are 2 new members on the PC – Jessica Wilhide and Taylor Young; they continue to work with other boards and commissions to update the Comprehensive Plan (CompPlan), Village Concept Plan and Village Design Guidelines. Sally thanked all the volunteers working on the CompPlan.

#### Technology Advisory Board (TAB)

Ric Bassler was unable to attend. Gwen Jonik reported that the TAB will begin meeting on a regular basis; they coordinated a cyber security assessment of the Township facilities with the Department of Homeland Security (DHS). Township Administration was the first area assessed. The TAB will review the results and make recommendations based on those results. The Police Department will be assessed later this month, and they will recommend the Municipal Authority be assessed as well.

### Zoning Hearing Board (ZHB)

Jim Greaney reported the ZHB recently granted extensions to 2 variance Decisions – Toll Brother's 100 Greenridge Road and P.J. Reilly / 301 Park Road. Keystone Outdoor Advertising's hearing regarding 2 billboards along the Eaglepointe Industrial Park's Turnpike frontage is scheduled for April 24, 2024.

### DCNR Grant Application Resolution ~ Hickory Park Rehabilitation Project

Tony Scheivert introduced a Resolution authorizing the Township Manager to execute a DCNR Grant Application for improvements at Hickory Park. We have submitted several applications for the rehabilitation but haven't been successful. Andy Durkin moved, seconded by Sandy D'Amico, to adopt **Resolution #04-09-24-06** authorizing the Township Manager to sign the Application. The motion carried unanimously.

### Public Works Department Gate Project

Tony Scheivert advised our insurance carrier, DVIT, had suggested the security gates at the Public Works facility be automated. We've received a \$19,392.00 quote from ProMax Fence Systems to install 2 gates with remote control to secure the building and equipment. DVIT provides a grant of \$11,000.00. The Township would cover the difference. Andy Durkin moved, seconded by Sandy D'Amico, to accept the \$19,392.00 proposal and proceed with the project. The motion carried unanimously.

### Open Session

Tony Scheivert thanked the boards/commissions members for all of their work!

### Adjournment

There being no further business to be brought before the Board, Jenn Baxter adjourned the Workshop at 5:13 p.m.

### 5:30 Conditional Use Hearing – Planebrook Partners, LLC re: 241 Park Road (Ducklings Daycare)

Attendees: Jenn Baxter, Andy Durkin, Sandy D'Amico, Tony Scheivert, Gwen Jonik, Dave Leh, Chris Williams, Rob Daniels, Dave Schlott, Jr., and Chief Tom Jones, Kristin Camp, Esq., Township Solicitor and Mark Hagerty, Court Reporter, were present. There were 8 citizens in attendance.

Jenn Baxter called the Hearing to order at 5:30 p.m. and requested Ms. Camp proceed. Ms. Camp explained the Applicant, Planebrook Partners, was seeking conditional use approval to construct a 2-story 6,000 SF daycare facility on 2 parcels located at 241 and 235 Park Road. Mark Hagerty recorded the proceedings and his transcript is the official Record.

Kristin Camp entered the following Board Exhibits into the Record:

1 = Conditional Use Application and Impact Statement dated December 4, 2023

2 = Email from Vic Kelly waiving the timeframe to hold the first hearing.

3 = March 7, 2024 letter from Ms. Camp to Mr. Malloy confirming hearing date and time.

4 = Proof of Publication

5 = Affidavit of Posting

6 = Preliminary/Final Land Development Plans dated December 4, 2023 that accompanied the conditional use application

7 = Color presentation plan by Commonwealth Engineers

8 = Fiscal Impact Analysis dated November 15, 2023.

9 = Trip Generation Analysis dated November 27, 2023.

10 = Architectural Plans dated December 13, 2023.

11 = Township Engineer review letter dated April 5, 2024.

12 = draft minutes of the March 14, 2024 Planning Commission Meeting.

13 = Historical Commission's recommendation from their April 2, 2024 Meeting.

14 = aerial image of the tax map for the properties.

Board exhibits entered into the record; Kristin asked if anyone wanted to be a Party – Leah Seace 7 Lila Lane from the Townes at Chester Springs – admitted as a Party

Mike Malloy, Esq., and Vic Kelly, P.E., were representing Planebrook Partners, LLC. Vic Kelly, Jody Thompson, Manager of 16 other Ducklings Daycare facilities, Charlie Scull, Architect, were sworn in and provided testimony regarding the architecture of the building, requested parking space modifications from 50 to 39, the general operations of the daycare, the peak drop-off and pick-up times, the size of the classrooms and play areas, the State regulations for daycares, the traffic study, estimated enrollment, length of building, etc.

Residents Leah Seace and Paul Scarola asked questions and provided comments about deliveries, traffic, aesthetics.

Chris Williams, Township traffic engineer, provided testimony regarding traffic conditions, existing sidewalks / ADA ramps, etc.

The Record was closed; the Board has 45 days to render their Decision. It was suggested that occur at the May 20, 2024 Board of Supervisors Meeting.

The evening was adjourned at 7:04 p.m.

Respectfully submitted,

Gwen A. Jonik  
Township Secretary



TOWNSHIP OF UPPER UWCHLAN  
BOARD OF SUPERVISORS MEETING

April 22, 2024

7:00 p.m.

**DRAFT**

Attending:

Board of Supervisors

Jennifer F. Baxter, Chair  
Andrew P. Durkin, Vice-Chair  
Sandra M. D'Amico, Member

Kristin Camp, Esq., Township Solicitor

Township Administration

Tony Scheivert, Township Manager  
Gwen Jonik, Township Secretary  
Rhys Lloyd, Director of Code Enforcement  
Anthony Campbell, Zoning Officer  
Steve Poley, Assistant Director of Public Works  
Kristin Roth, Public Works Administrative Assistant  
Tom Jones, Police Chief  
Joe Carr, Police Lieutenant  
Dave Leh, Township Engineer

LOCATION: Township Building, 140 Pottstown Pike, Chester Springs PA 19425

Mrs. Baxter called the evening to order at 7:00 p.m., led the Pledge of Allegiance, and offered a moment of silence. No one planned to record the meeting. There were 8 citizens in attendance.

Approval of Minutes

Mr. Durkin moved, seconded by Mrs. D'Amico, to approve as presented the minutes of the March 12, 2024 Board of Supervisors Workshop and the March 18, 2024 Board of Supervisors Meeting. The motion carried unanimously.

Approval of Payments

Mr. Durkin moved, seconded by Mrs. D'Amico, to approve the payments to all vendors listed April 18, 2024. The motion carried unanimously.

Treasurer's Report

Mr. Scheivert reported that we are 25.0% through the year; year-to-date revenues are at 28.0% of the budget; year-to-date expenses are at 20.6% of the budget; year-to-date earned income tax revenues are slightly lower than this time last year.

Supervisor's Report

Pam Shauger, a Henrietta Hankin Library representative, highlighted the summer reading program, a challenge to 'adventure' out of the reader's comfort zone, the local author's showcase (Read Local!) and many other events and activities - their calendar is very full! There are 18 libraries in the Chester County Library System.

There was no police liaison report.

Mrs. Baxter read the following published calendar: April 24, 2024 7:00 p.m. Zoning Hearing for Keystone Outdoor Advertising; May 12, 2024 4:30 p.m. Live Music Summer Concert #1 at Upland Farm Park; May 14, 2024 4:00 p.m. Board of Supervisors Workshop; May 14, 2024 5:30 p.m. Conditional Use Hearing for Rockhill Real Estate Enterprises re: 500 Pottstown Pike;

May 20, 2024 7:00 p.m. Board of Supervisors Meeting; May 22, 2024 6:00 p.m. Barns of Northern Chester County ~ Lecture at the Barn at Upland Farm; May 27, 2024 Office closed for Memorial Day; yard waste collection dates: April 24, May 1, 8, 15 and 22.

#### ADMINISTRATION REPORTS

##### Township Engineer's Report

Dave Leh reported that revised plans for 301 Park Road/P.J. Reilly Headquarters are under review and will be discussed at the Planning Commission's May 9 meeting.

##### Building and Codes Department Report

Rhys Lloyd reported that 56 building permits were issued last month, totaling \$46,201 in permit fees; he and Anthony Campbell performed 116 scheduled inspections; there were 10 resales; 12 new homes settled; and there were 16 zoning complaints logged.

##### Police Chief's Report

Chief Jones reported there were 1,127 calls last month, including 8 adult arrests; Junior Police Academy registration is open; awards presented at last month's meeting recognized Corporal Pozza and Officer Fleming with the Lifesaving Commendation plaques and recognized years of service to Lieutenant Carr, Corporal Sherman, Corporal Kemme, Officer Davis and Corporal Paradis; the community relations detail escorted 2 Pickering Valley Elementary School students to school and 2 other students had lunch with the officers; the safety tip for the month is to properly install child safety seats – the traffic safety unit can help with this.

##### Public Works Department Report

Steve Poley reported that 185 workorders were received and completed; the 902 recycling grant application was submitted; bids were opened for the solid waste / recycling collection contract, a new roof was installed on a Hickory Park dugout; improvements were made at the Upland Farm farmhouse and they moved the Historical Commission's items back into the house; fence was repaired at the Eagle Farms pump station; mulched Hickory Park; assisted with the litter cleanup and Easter Egg Hunt activities.

##### Land Development

Turnpike / Wertz Farm Subdivision Plan. David Ardini of Navarro & Wright represented the Turnpike. The subdivision plan proposes 3 lots with the Turnpike retaining the property between the pipelines and the Turnpike for the widening project and an emergency off ramp, and other 2 parcels will be sold. One lot includes the farmhouse, barn and other structures and the second lot abuts the gas facility at Milford Road. Mr. Ardini advised the plans will be revised to address the comments from the consultants; Dave Leh confirmed there were a few items to clean up but nothing significant. The Planning Commission had recommended approval at their January 2024 meeting.

Mr. Durkin moved, seconded by Mrs. D'Amico, to grant Final Minor Subdivision Plan Approval of a plan titled "Final/Minor Subdivision Plan for Pennsylvania Turnpike Commission "Wertz Farm", by Navarro & Wright Consulting Engineers, Inc., and dated October 20, 2023 (the "Plans") subject to Applicant revising the Plans to comply with all outstanding comments in Gilmore & Associates, Inc. review letter dated January 4, 2024 under the headers, "Zoning Ordinance Review" and "Subdivision and Land Development Ordinance Review" and "General Comments". Gerry Stein asked if the pipeline company was interested in the Lot next to it. Mr. Ardini did not know. The motion carried unanimously.

Eagle Animal Hospital Preliminary Land Development Plan. Alyson Zarro, Esq. and Bob Linn, Architect, represented the Veterinarians for this land development plan proposing the construction of a 2-story 5,334-SF building to replace the structure lost in a fire November 2023. Mr. Linn explained that the building had been an historic resource from 1872 and the property includes a 3-seat privy and garden shed, both historic resources that were not damaged by the fire. Additional Byers Road right-of-way can be offered for dedication. The consultants reviewed the plan and the Applicant can comply with the majority of the comments. There are a few items to discuss: providing a sidewalk, building placement, and not widening Byers Road.

The parcel is on the north side of Byers Road and there's not enough room between the buildings and the roadway on this property or neighboring properties for a sidewalk. It's suggested that perhaps the south side of Byers Road would be more amenable as there's a little more room. Following the fire and demolition of the structure, the foundation was filled in and it is not good to build a new structure over it due to settling. They will use the existing parking area and add more in front of the building. Locating the larger scale building back from the roadway lessens the "size". The veterinarian rooms will be in the front of the building, back rooms are for surgery, grooming, etc., and the office will be on the 2<sup>nd</sup> floor. The porch roof is smaller per the historical commission's comments. A country-type fence runs along the road, and the parking is lower than the road, which helps make it less conspicuous.

They're adding 1 vet and 1 staff which shouldn't change the amount of traffic, so they request waiving the traffic impact fee. They'll operate 6 days a week. The historical commission requested quoins be replicated. They were not on the original building so they're not going to add them. They also worked with the historical commission's requests regarding the type of dormers, colors, etc. Since the use is the same and the building is just slightly bigger than the previous structure, there isn't an impact on adjacent historic resources. Mr. Linn advised that they had submitted a "Historical Narrative and Request for Determination of No Adverse Effect" ("Narrative") and designed this building to address the village aesthetics so they believe they've responded to the historic resource impact statement requirement. Dave Leh commented that the correct architectural rendering should be made part of the land development plan that gets recorded.

There was discussion regarding: a fee in lieu of providing a sidewalk – base the fee on price/foot; allow the parking up front; the placement of the building is accepted; waiving the traffic impact fee is a reasonable request; they accept the Narrative as the historic resource impact statement. The Board will review the documents and consider Preliminary Plan approval at one of their May meetings.

Preserve at Marsh Creek Phase 3 Escrow Release. Dave Leh advised that Toll Brothers had requested escrow release 1 in the amount of \$60,877.25 for Phase 3 of the Preserve at Marsh Creek. The request and work had been reviewed and he recommended approval of the release. Mr. Durkin moved, seconded by Mrs. D'Amico, to approve escrow release 1 at \$60,877.25 for Toll's project – Preserve at Marsh Creek Phase 3. The motion carried unanimously.

## ADMINISTRATION

Transportation and Community Development Initiative (TCDI) Grant. Mr. Scheivert introduced a Resolution to apply for DVRPC's (Delaware Valley Regional Planning Commission) TCDI Grant to fund planning and engineering services for the improvements associated with the "Eagle Village Gateways and Mobility Plan", which may include coordinating with PennDOT the swap

of ownership of Pottstown Pike/Route 100 and Graphite Mine Road. Mr. Durkin moved, seconded by Mrs. D'Amico, to adopt **Resolution #04-20-24-07**, authorizing submission of a TCDI Grant Application. The motion carried unanimously.

Proposal to Increase Solid Waste Fees – Discussion. Mr. Scheivert spoke of the new 3-year contract awarded to A.J. Blosenski, Inc. and the increased costs (+55%) from the current contract which began August 2019. The Board is considering an annual fee increase; \$425 or \$435 annual fee is proposed, which would go be effective January 1, 2025. Most residents pay in the discount period. This would be a 1-time increase for the 5-year contract (3-year contract plus (2) 1-year extensions). At the end of the contract period, the solid waste budget would be -\$66,000. The current procedures of splitting the annual fee into 2 payments – one in March, one in September – the discount in March, and reminders late summer would continue. Mr. Scheivert is recommending the annual fee be increased to \$425.

Open Session

Mr. Scheivert thanked the Police and Public Works Departments for their assistance at this past Saturday's Earth Day event at Upland Farm Park. Lindsay Yeager, Kelly Krausz and the Environmental Advisory Council (EAC) did a great job; there were 20 vendors and @ 400 attendees.

Gerry Stein commented that the gas stove/oven in the Upland Farm farmhouse will be given back the DiLibero family.

Adjournment

There being no further business to be brought before the Board, Mrs. Baxter adjourned the Meeting at 8:10 p.m.

Respectfully submitted,

Gwen A. Jonik  
Township Secretary

Range of Checking Accts: GENERAL to GENERAL Range of Check Ids:  
Report Type: All Checks Report Format: Super Condensed Check Type: Computer: Y Manual: Y Dir Deposit: Y

Check #	Check Date	Vendor	Amount Paid	Reconciled/Void Ref Num
04/24/24	AQUAP010	AQUA PA	1,795.14	3147
05/20/24	UPPER030	UPPER UWCHLAN POLICE ASSOCIATO	3,600.00	3156
05/20/24	21ST	21st CENTURY MEDIA PHILLY	434.83	3157
05/20/24	A1SECURI	ADVANCED LOCK AND SECURITY	52.50	3157
05/20/24	A24HOUR	A 24 HOUR DOOR NATIONAL, INC	285.00	3157
05/20/24	ADVAN010	ADVANCED HORTICULTURAL SOLN	7,983.00	3157
05/20/24	ALEXAFLE	ALEXANDER FLEMING	825.00	3157
05/20/24	AQUAP010	AQUA PA	1,945.14	3157
05/20/24	ARNOLDM	MICHAEL ARNOLD	450.00	3157
05/20/24	ATTMOBIL	AT&T MOBILITY	685.77	3157
05/20/24	BESTL140	BEST LINE EQUIPMENT	1,238.53	3157
05/20/24	BETTEBOU	BETTE'S BOUNCES, LLC	3,317.45	3157
05/20/24	BRANDSPC	BRANDYWINE VALLEY SPCA	400.00	3157
05/20/24	BRANDYHD	BRANDYWINE HARLEY-DAVIDSON	1,264.16	3157
05/20/24	BUCKL010	BUCKLEY, BRION, MCGUIRE, MORRI	150.50	3157
05/20/24	BUCKL010	BUCKLEY, BRION, MCGUIRE, MORRI	1,222.00	3157
05/20/24	BUCKSCO	BUCKS COUNTY CARICATURES	510.00	3157
05/20/24	BUKAT010	JILL BUKATA	1,295.20	3157
05/20/24	CCSWA010	CCSWA	108.42	3157
05/20/24	CHARLHIG	CHARLES A HIGGINS & SONS	1,047.00	3157
05/20/24	COHENLG	COHEN LAW GROUP	2,800.00	3157
05/20/24	COLLIFL	COLLIFLOWER, INC	37.93	3157
05/20/24	COMCA010	COMCAST	1,719.74	3157
05/20/24	COMM0015	COMMONWEALTH OF PENNSYLVANIA	35.00	3157
05/20/24	CRYST010	CRYSTAL SPRINGS	130.02	3157
05/20/24	DARC0010	DARC	24,189.00	3157
05/20/24	DELAW030	DELAWARE VALLEY HEALTH TRUST	59,389.61	3157
05/20/24	DIAMOWER	DIAMOND MOWERS	159.94	3157
05/20/24	DRUGS010	DRUGSCAN. INC.	235.00	3157
05/20/24	EAGLEPOW	EAGLE POWER TURF AND TRACTOR	127.28	3157
05/20/24	EAGLHARD	EAGLE HARDWARE	169.09	3157
05/20/24	ECRAI010	E.CRAIG KALEMJIAN, ESQ.	1,485.00	3157
05/20/24	FABFACE	FABULOUS FACES ENTERTAINMENT	2,437.50	3157
05/20/24	FLEXIBEN	FLEXIBLE BENEFIT ADMINISTRATOR	56.00	3157
05/20/24	FOLEYINC	FOLEY, INCORPORATED	544.14	3157
05/20/24	GALEFITZ	GALE M FITZPATRICK	482.00	3157
05/20/24	GBCONSTR	G&B CONSTRUCTION GROUP INC	327,502.37	3157
05/20/24	GILMO020	GILMORE & ASSOCIATES, INC	7,334.16	3157
05/20/24	GLENM010	GLENMORE FIRE COMPANY	5,717.50	3157
05/20/24	GREAT010	GREAT VALLEY LOCKSHOP	610.06	3157
05/20/24	GUTHL010	GUTH LABORATORIES, INC.	299.64	3157
05/20/24	HAWEI010	H.A. WEIGAND, INC.	964.00	3157
05/20/24	HELPNOW	HELP-NOW,LLC	3,639.63	3157
05/20/24	HOOVERFE	HOOVER FENCE CO	2,186.76	3157
05/20/24	JBORYSOW	JULIE BORYSOWSKI	450.00	3157
05/20/24	JOHNSPR	JOHN SPRAGUE	510.00	3157
05/20/24	JONESSTE	STEVEN R. JONES	3,051.00	3157
05/20/24	KEENC010	KEEN COMPRESSED GAS COMPANY	52.20	3157
05/20/24	LEVEN010	LEVENGOOD SEPTIC SERVICE	693.00	3157
05/20/24	LIONV010	LIONVILLE FIRE COMPANY	49,680.00	3157
05/20/24	LUDWI030	LUDWIG'S CORNER FIRE COMPANY	49,598.00	3157

Check #	Check Date	Vendor	Amount Paid	Reconciled/Void Ref Num
05/20/24	LUDWI060	LUDWIG'S CORNER SUPPLY CO.	195.00	3157
05/20/24	MARKH010	MARK HAGERTY	75.00	3157
05/20/24	MATRIXDC	MATRIX TRUST COMPANY	12,500.00	3157
05/20/24	MCMAH010	BOWMAN CONSULTING GROUP, LTD	9,167.43	3157
05/20/24	MONTE010	MONTESANO BROS.	490.00	3157
05/20/24	MOWENS	MAUREEN OWENS	54.50	3157
05/20/24	NAPA0010	NAPA AUTO PARTS	493.17	3157
05/20/24	NEWHO010	NEW HOLLAND AUTO GROUP	2,342.89	3157
05/20/24	NOVUS	NOVUS MAINTENANCE, LLC	2,510.00	3157
05/20/24	PEC00010	PECO	3,642.31	3157
05/20/24	PETERDRI	PETER DRINKWATER	53.79	3157
05/20/24	PITNEYGL	PITNEY BOWES GLOBAL FINANCIAL	204.00	3157
05/20/24	POSTM010	US POSTAL SERVICE	77.34	3157
05/20/24	RAINERD	DICK RAINER	450.00	3157
05/20/24	RICHBENN	RICHARD BENNINGHOFF	585.00	3157
05/20/24	ROBLITTL	ROBERT E. LITTLE, INC.	198.40	3157
05/20/24	SCHWAB-1	CHARLES SCHWAB & CO, INC	98,289.50	3157
05/20/24	SCHWAB-2	CHARLES SCHWAB & CO, INC	24,407.25	3157
05/20/24	SEI010	STEPHENSON EQUIPMENT, INC.	217.02	3157
05/20/24	SEMPERON	SEMPERON	1,152.70	3157
05/20/24	SKYSHOOT	SKYSHOOTER DISPLAYS BY ZY PYRO	4,600.00	3157
05/20/24	SMALE010	MBR2 GRAPHIC SERVICES	555.76	3157
05/20/24	STRATIX	STRATIX SYSTEMS, INC	1,850.93	3157
05/20/24	STRBUSIN	STR BUSINESS SOLUTIONS	169.00	3157
05/20/24	STYER010	STYER PROPANE	361.71	3157
05/20/24	SUSMCKEN	SUSAN and PAUL MCKENNA	450.00	3157
05/20/24	SWEETWAT	SWEETWATER NATURAL PRODUCTS LL	112.00	3157
05/20/24	TAYLORL	LYNDSAY TAYLOR	69.68	3157
05/20/24	TLT	THIN LINE THREADS	2,151.00	3157
05/20/24	TONYSCHE	TONY SCHEIVERT	100.00	3157
05/20/24	TRAISR	TRAISR, LLC	2,699.25	3157
05/20/24	UPTOWN	ERICH CAWALLA MUSIC	2,750.00	3157
05/20/24	UWCHL010	UWCHLAN AMBULANCE CORPS	29,000.00	3157
05/20/24	VERIZ010	VERIZON	453.41	3157
05/20/24	VERIZFIO	VERIZON	124.99	3157
05/20/24	VERIZOSP	VERIZON - SPECIAL PROJECTS	434.28	3157
05/20/24	VFIS	VFIS	800.00	3157
05/20/24	VIVIANMC	VIVIAN MCCARDELL	54.86	3157
05/20/24	WIGGISHR	WIGGINS SHREDDING	115.56	3157
05/20/24	YCG01	YCG, INC	384.00	3157
05/20/24	YSM	YSM	510.21	3157

Report Totals	Paid	Void	Amount Paid	Amount Void
Checks:	92	0	779,747.15	0.00
Direct Deposit:	0	0	0.00	0.00
Total:	92	0	779,747.15	0.00

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Range of Checking Accts: GENERAL to GENERAL Range of Check Ids:  
Report Type: All Checks Report Format: Detail Check Type: Computer: Y Manual: Y Dir Deposit: Y

Check #	Check Date	Vendor	Amount	Paid	Charge Account	Account Type	Reconciled/Void	Ref Num	Ref	Seq	Acct
PO #	Item	Description									
24-00577	1	04/24/24 AQUAP010 AQUA PA twp	116.60		01-409-003-360 Utilities	Expenditure		3147	1	1	
24-00577	2	208.49 twp			01-409-003-360 Utilities	Expenditure			2	1	
24-00577	3	335.51 pw			01-409-001-360 Utilities	Expenditure			3	1	
24-00577	4	257.56 upland			01-454-005-360 Utilities	Expenditure			4	1	
24-00577	5	182.45 upland			01-454-005-360 Utilities	Expenditure			5	1	
24-00577	6	261.53 pw			01-409-001-360 Utilities	Expenditure			6	1	
24-00577	7	34.96 ff			01-454-003-360 Utilities	Expenditure			7	1	
24-00577	8	223.04 upland			01-454-005-360 Utilities	Expenditure			8	1	
24-00577	9	175.00 hp			01-454-002-360 Utilities	Expenditure			9	1	
					1,795.14						
24-00692	1	05/20/24 UPPER030 UPPER UWCHLAN POLICE ASSOCIATO 2024 Q1 Dues	3,600.00		01-218-000-000 Police Association Dues (PAD)	Expenditure		3156	1	1	
24-00604	1	05/20/24 21ST 21st CENTURY MEDIA PHILLY municipibid items for sale	73.67		01-400-000-341 Advertising	Expenditure			23	1	
24-00604	2	361.16 paving/milling bid			01-400-000-341 Advertising	Expenditure			24	1	
					434.83						
24-00590	1	05/20/24 A1SECURI ADVANCED LOCK AND SECURITY upland barn B key	52.50		01-454-005-200 Supplies	Expenditure		3157	6	1	
24-00588	1	05/20/24 A24HOUR A 24 HOUR DOOR NATIONAL, INC twp bldg-door adjustment	285.00		01-409-003-450 Contracted Services	Expenditure			3157	1	1
24-00589	1	05/20/24 ADVAN010 ADVANCED HORTICULTURAL SOLN ff-micro nutrient mineral turf	1,190.00		01-454-003-450 Contracted Services	Expenditure			2	1	
24-00589	2	2,143.00 hp-micro nutrient mineral turf			01-454-002-450 Contracted Services	Expenditure			3	1	
24-00589	3	1,891.00 ff-bio fert turf			01-454-003-450 Contracted Services	Expenditure			4	1	

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Check #	Check Date	Vendor	Reconciled/Void	Ref Num		
PO #	Item	Description	Account Type	Contract	Ref Seq	Acct
		ADVANCED HORTICULTURAL SOLN	Continued			
24-00589	4	hp-bio fert turf	2,759.00	01-454-002-450 Contracted Services	Expenditure	5 1
			7,983.00			
	05/20/24	ALEXAFLE ALEXANDER FLEMING				3157
24-00697	1	spring session-rosemont	825.00	01-410-000-174 Tuition Reimbursement	Expenditure	180 1
	05/20/24	AQUAP010 AQUA PA				3157
24-00689	1	twp	116.60	01-409-003-360 Utilities	Expenditure	158 1
24-00689	2	twp	208.49	01-409-003-360 Utilities	Expenditure	159 1
24-00689	3	pw	335.51	01-409-001-360 Utilities	Expenditure	160 1
24-00689	4	upland	257.56	01-454-005-360 Utilities	Expenditure	161 1
24-00689	5	upland	182.45	01-454-005-360 Utilities	Expenditure	162 1
24-00689	6	pw	261.53	01-409-001-360 Utilities	Expenditure	163 1
24-00689	7	ff	34.96	01-454-003-360 Utilities	Expenditure	164 1
24-00689	8	upland	223.04	01-454-005-360 Utilities	Expenditure	165 1
24-00689	9	hp	175.00	01-454-002-360 Utilities	Expenditure	166 1
24-00689	10	milford	150.00	01-409-004-360 Utilities	Expenditure	167 1
			1,945.14			
	05/20/24	ARNOLDM MICHAEL ARNOLD				3157
24-00683	1	caricature artist - june 15	450.00	01-454-001-202 Community Day	Expenditure	152 1
	05/20/24	ATTMOBIL AT&T MOBILITY				3157
24-00593	1	pd	469.22	01-410-000-320 Telephone	Expenditure	7 1
24-00593	2	admin	52.22	01-400-000-320 Telephone	Expenditure	8 1
24-00593	3	codes	52.22	01-413-000-320 Telephone	Expenditure	9 1
24-00593	4	public works	95.65	01-438-000-320 Telephone	Expenditure	10 1
24-00593	5	public works	16.46	01-438-000-322 Ipad Expense	Expenditure	11 1
			685.77			
	05/20/24	BESTL140 BEST LINE EQUIPMENT				3157
24-00594	1	fuel/oil filters	827.59	01-438-000-245 Highway Supplies	Expenditure	12 1

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Check #	Check Date	Vendor	Amount	Paid	Charge Account	Account Type	Reconciled/Void	Ref Num	Ref Seq	Acct
PO #	Item	Description					Contract			
		BEST LINE EQUIPMENT			Continued					
24-00594	2	bobcat 74" edge bolt o yard		350.93	01-438-000-200 Supplies		Expenditure		13	1
24-00594	3	cap canister		60.01	01-438-000-200 Supplies		Expenditure		14	1
					1,238.53					
	05/20/24	BETTEBOU BETTE'S BOUNCES, LLC						3157		
24-00679	1	bounce houses-50% balance		3,317.45	01-454-001-202 Community Day		Expenditure		148	1
	05/20/24	BRANDSPC BRANDYWINE VALLEY SPCA						3157		
24-00605	1	stray dog acquisition		400.00	01-422-000-530 Contributions/SPCA		Expenditure		25	1
	05/20/24	BRANDYHD BRANDYWINE HARLEY-DAVIDSON						3157		
24-00598	1	brakes/handle bar/clutch #3211		1,211.90	01-410-000-235 Vehicle Maintenance		Expenditure		17	1
24-00598	2	bulbs		20.95	01-410-000-235 Vehicle Maintenance		Expenditure		18	1
24-00598	3	hardware		1.99	01-410-000-235 Vehicle Maintenance		Expenditure		19	1
24-00598	4	pd - diagnostic test #3210		20.85	01-410-000-235 Vehicle Maintenance		Expenditure		20	1
24-00598	5	stnd brkt		8.47	01-410-000-235 Vehicle Maintenance		Expenditure		21	1
					1,264.16					
	05/20/24	BUCKL010 BUCKLEY, BRION, MCGUIRE, MORRI						3157		
24-00595	1	Wertz Farm		21.50	01-404-000-311 Non Reimbursable Legal		Expenditure		15	1
24-00595	2	Wertz Farm		129.00	01-404-000-311 Non Reimbursable Legal		Expenditure		16	1
					150.50					
	05/20/24	BUCKL010 BUCKLEY, BRION, MCGUIRE, MORRI						3157		
24-00609	1	twp - april services		1,222.00	01-404-000-311 Non Reimbursable Legal		Expenditure		27	1
	05/20/24	BUCKSCO BUCKS COUNTY CARICATURES						3157		
24-00678	1	block party-caricature artist		510.00	01-454-001-202 Community Day		Expenditure		147	1
	05/20/24	BUKAT010 JILL BUKATA						3157		
24-00606	1	2024 gfoa conference & travel		1,295.20	01-400-000-460 Meeting & Conferences		Expenditure		26	1
	05/20/24	CCSWA010 CCSWA						3157		
24-00611	1	construction landfill		108.42	01-438-000-200 Supplies		Expenditure		29	1

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Check #	Check Date	Vendor	Amount Paid	Charge Account	Account Type	Reconciled/Void	Ref Num	Ref Seq	Acct
PO #	Item	Description				Contract			
24-00610	1	CHARLHIG CHARLES A HIGGINS & SONS rt100/graphite - maintenance	1,047.00	01-434-000-450 Contracted Services	Expenditure		3157	28	1
24-00646	1	COHENLG COHEN LAW GROUP verizon franchise renewal	2,800.00	01-401-000-450 Contracted Services	Expenditure		3157	97	1
24-00613	1	COLLIFL COLLIFLOWER, INC prestolok/union tee	37.93	01-438-000-260 Small Tools & Equipment	Expenditure		3157	30	1
24-00614	1	COMCA010 COMCAST hp	324.32	01-454-002-450 Contracted Services	Expenditure		3157	31	1
24-00614	2	public works	313.39	01-409-001-450 Contracted Services	Expenditure		32	1	
24-00614	3	twp	674.63	01-409-003-450 Contracted Services	Expenditure		33	1	
24-00614	4	upland barn	407.40	01-454-005-450 Contracted Services	Expenditure		34	1	
			1,719.74						
24-00615	1	COMM0015 COMMONWEALTH OF PENNSYLVANIA 2024 pesticide license renewal	35.00	01-454-001-420 Dues/Memberships/Subscriptions	Expenditure		3157	35	1
24-00617	1	CRYST010 CRYSTAL SPRINGS pw - kitchen supplies	130.02	01-409-001-200 Township properties - supplies	Expenditure		3157	36	1
24-00643	1	DARC0010 DARC 2024 municipal contribution	24,189.00	01-422-000-601 Contributions - DARC	Expenditure		3157	82	1
24-00618	1	DELAW030 DELAWARE VALLEY HEALTH TRUST admin	4,923.05	01-401-000-156 Employee Benefit Expens	Expenditure		3157	37	1
24-00618	2	pd	33,360.18	01-410-000-156 Employee Benefit Expense	Expenditure		3157	38	1
24-00618	3	codes	3,793.79	01-413-000-156 Employee Benefit Expens	Expenditure		3157	39	1
24-00618	4	pw	15,006.03	01-438-000-156 Employee Benefit Expense	Expenditure		3157	40	1
24-00618	5	facilities	2,306.56	01-438-001-156 Employee Benefit Expense	Expenditure		3157	41	1
			59,389.61						
24-00621	1	DIAMOWER DIAMOND MOWERS bearings/pin capped plates	159.94	01-438-000-260 Small Tools & Equipment	Expenditure		3157	44	1

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PO #	Item	Description					Contract			
24-00644	05/20/24 1	DRUGS010 DRUGSCAN, INC. pd-test date 4/18/24		235.00	01-410-000-450 Contracted Services	Expenditure		3157	83	1
24-00619	05/20/24 1	EAGLEPOW EAGLE POWER TURF AND TRACTOR dampener		127.28	01-454-001-200 Supplies	Expenditure		3157	42	1
24-00645	05/20/24 1	EAGLHARD EAGLE HARDWARE ff-fluorescent bulbs		12.99	01-454-003-250 Maintenance & Repairs	Expenditure		3157	84	1
24-00645	2	pw-contractor bags		17.99	01-438-000-200 Supplies	Expenditure		85	1	
24-00645	3	pw-glo orange flag tape		2.79	01-438-000-200 Supplies	Expenditure		86	1	
24-00645	4	hp-flush lever		8.49	01-454-002-200 Supplies-Hickory	Expenditure		87	1	
24-00645	5	pd-hardware		11.26	01-410-000-260 Small Tools & Equipment	Expenditure		88	1	
24-00645	6	pw-soap		12.98	01-438-000-200 Supplies	Expenditure		89	1	
24-00645	7	pw-hardware		6.36	01-438-000-200 Supplies	Expenditure		90	1	
24-00645	8	hp-zinc snap link		3.29	01-454-002-250 Maintenance & Repairs	Expenditure		91	1	
24-00645	9	pw-ba anchor		18.99	01-438-000-200 Supplies	Expenditure		92	1	
24-00645	10	hp-wax ring		11.99	01-454-002-200 Supplies-Hickory	Expenditure		93	1	
24-00645	11	hp-3/8Cx1/2 connector		33.98	01-454-002-250 Maintenance & Repairs	Expenditure		94	1	
24-00645	12	hp-stop valve		16.99	01-454-002-250 Maintenance & Repairs	Expenditure		95	1	
24-00645	13	hp-toilet flange kit		10.99	01-454-002-250 Maintenance & Repairs	Expenditure		96	1	
				169.09						
24-00620	05/20/24 1	ECRAI010 E.CRAIG KALEMJIAN, ESQ. zoning hearing-billboard		1,485.00	01-404-000-310 Reimbursable Legal Fees	Expenditure		3157	43	1
24-00684	05/20/24 1	FABFACE FABULOUS FACES ENTERTAINMENT face painters - balance due		2,437.50	01-454-001-202 Community Day	Expenditure		3157	153	1
24-00698	05/20/24 1	FLEXIBEN FLEXIBLE BENEFIT ADMINISTRATOR pd-march services		56.00	01-410-000-450 Contracted Services	Expenditure		3157	181	1
24-00622	05/20/24 1	FOLEYINC FOLEY, INCORPORATED misc hardware-ret edge cutter		531.94	01-438-000-260 Small Tools & Equipment	Expenditure		3157	45	1

Check #	Check Date	Vendor	Amount Paid Charge Account			Reconciled/Void	Ref Num
PO #	Item	Description	Account Type	Contract	Ref Seq	Acct	
		FOLEY, INCORPORATED	Continued				
24-00622	2	edge	468.22	01-438-000-260 Small Tools & Equipment	Expenditure	46	1
24-00622	3	returned edge cutter	456.02	01-438-000-260 Small Tools & Equipment	Expenditure	47	1
			544.14				
05/20/24	GALEFITZ GALE M FITZPATRICK					3157	
24-00623	1	hankin - lot 6 hearing	205.00	01-414-003-301 Court Reporter Reimb	Expenditure	48	1
24-00623	2	hankin - lot 6 hearing	75.00	01-414-001-301 Court Reporter	Expenditure	49	1
24-00647	1	keystone outdoor-zoning	127.00	01-408-000-310 Reimbursable Engineer	Expenditure	98	1
24-00647	2	keystone outdoor-zoning	75.00	01-414-001-301 Court Reporter	Expenditure	99	1
			482.00				
05/20/24	GBCONSTR G&B CONSTRUCTION GROUP INC					3157	
24-00691	1	marsh creek watershed #3&4	327,502.37	01-495-000-000 Expense Reclass	Expenditure	177	1
05/20/24	GILM0020 GILMORE & ASSOCIATES, INC					3157	
24-00600	1	Wertz Farm	77.50	01-408-000-310 Reimbursable Engineer	Expenditure	22	1
24-00624	1	monthly services ending 1/18	5,186.66	01-408-000-367 General Planning	Expenditure	50	1
24-00624	2	monthly services ending 4/28	2,070.00	01-408-000-367 General Planning	Expenditure	51	1
			7,334.16				
05/20/24	GLENM010 GLENMOORE FIRE COMPANY					3157	
24-00627	1	semi annual contribution #1	5,717.50	01-411-001-004 Glenmoore	Expenditure	55	1
05/20/24	GREAT010 GREAT VALLEY LOCKSHOP					3157	
24-00641	1	pd back door entrance	610.06	01-409-003-250 Maintenance & Repairs	Expenditure	81	1
05/20/24	GUTHL010 GUTH LABORATORIES, INC.					3157	
24-00625	1	misc repair parts	299.64	01-410-000-250 Maintenance & Repairs	Expenditure	52	1
05/20/24	HAWEI010 H.A. WEIGAND, INC.					3157	
24-00628	1	30" r3-7r & r4-7	193.00	01-433-000-200 Supplies	Expenditure	56	1
24-00628	2	12x18 permit parking	105.00	01-433-000-200 Supplies	Expenditure	57	1
24-00628	3	misc signs & hardware	666.00	01-433-000-200 Supplies	Expenditure	58	1
			964.00				

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PO #	Item	Description				Contract			
24-00626	1	HELPNOW HELP-NOW, LLC					3157		
24-00626	1	twp - monthly guardian service	3,354.63	01-407-000-450 Contracted Services	Expenditure		53	1	
24-00626	2	twp - service tickets	285.00	01-407-000-450 Contracted Services	Expenditure		54	1	
			3,639.63						
24-00629	1	HOOVERFE HOOVER FENCE CO					3157		
24-00629	1	ff-poly caps & ties	2,186.76	01-454-003-250 Maintenance & Repairs	Expenditure		59	1	
24-00686	1	JBORYSOW JULIE BORYSOWSKI					3157		
24-00686	1	caricature artist-June 15 2024	450.00	01-454-001-202 Community Day	Expenditure		155	1	
24-00699	1	JOHNSPR JOHN SPRAGUE					3157		
24-00699	1	Caricature artist-june 15 2024	510.00	01-454-001-202 Community Day	Expenditure		182	1	
24-00657	1	JONESSTE STEVEN R. JONES					3157		
24-00657	1	spring semester reimburse-psu	3,051.00	01-410-000-174 Tuition Reimbursement	Expenditure		123	1	
24-00630	1	KEENC010 KEEN COMPRESSED GAS COMPANY					3157		
24-00630	1	pw - cylinder rental	52.20	01-438-000-200 Supplies	Expenditure		60	1	
24-00631	1	LEVEN010 LEVENGOOD SEPTIC SERVICE					3157		
24-00631	1	hp-pumped holding tank 4/19	301.50	01-454-002-450 Contracted Services	Expenditure		61	1	
24-00631	2	hp-pumped holding tank 5/3	391.50	01-454-002-450 Contracted Services	Expenditure		62	1	
			693.00						
24-00632	1	LIONV010 LIONVILLE FIRE COMPANY					3157		
24-00632	1	semi-annual contribution #1	49,680.00	01-411-001-002 Lionville	Expenditure		63	1	
24-00634	1	LUDWI030 LUDWIG'S CORNER FIRE COMPANY					3157		
24-00634	1	semi-annual contribution #1	49,598.00	01-411-001-001 Ludwigs	Expenditure		64	1	
24-00635	1	LUDWI060 LUDWIG'S CORNER SUPPLY CO.					3157		
24-00635	1	barb fitting/propane refills	94.49	01-438-000-245 Highway Supplies	Expenditure		65	1	
24-00635	2	snaps/eye bolts	16.54	01-438-000-200 Supplies	Expenditure		66	1	
24-00635	3	hatchet	40.99	01-454-001-260 Small Tools & Equip	Expenditure		67	1	
24-00635	4	circut breakers	42.98	01-409-001-250 Maint & Repair	Expenditure		68	1	
			195.00						

Check #	Check Date	Vendor	Amount Paid Charge Account			Reconciled/Void	Ref	Ref Num
PO #	Item	Description	Account Type	Contract	Ref Seq	Acct		
24-00637	1	05/20/24 MARKH010 MARK HAGERTY ducklings zoning hearing 4/25	75.00	01-414-001-301 Court Reporter		Expenditure	3157 70	1
24-00639	1	05/20/24 MATRIXDC MATRIX TRUST COMPANY admin - q2 dc plan	4,005.24	01-401-000-160 Non-Uniform Pension		Expenditure	3157 72	1
24-00639	2	pd admin - q2 dc plan	650.89	01-410-000-161 Pension Expense - Non Uniform		Expenditure	73	1
24-00639	3	codes - q2 dc plan	1,317.59	01-413-000-160 Pension		Expenditure	74	1
24-00639	4	public works - q2 dc plan	4,941.10	01-438-000-160 Pension		Expenditure	75	1
24-00639	5	facilities - q2 dc plan	1,585.18	01-438-001-160 Pension Expense - Facilities		Expenditure	76	1
			12,500.00					
24-00640	1	05/20/24 MCMAH010 BOWMAN CONSULTING GROUP, LTD graphite/rt100 310018-01-001	1,650.00	01-408-000-311 Traffic Engineering		Expenditure	3157 77	1
24-00640	2	station ped xing311430-01-001	220.00	01-408-000-311 Traffic Engineering		Expenditure	78	1
24-00640	3	tasa design 313607-01-002	5,533.68	01-408-000-313 Non Reimbursable		Expenditure	79	1
24-00640	4	comp plan 313914-01-001	1,763.75	01-414-001-365 Comp Plan Update		Expenditure	80	1
			9,167.43					
24-00648	1	05/20/24 MONTE010 MONTESANO BROS. cit training course	490.00	01-410-000-340 Public Relations		Expenditure	3157 100	1
24-00638	1	05/20/24 MOWENS MAUREEN OWENS reimburse constable fees	54.50	01-410-000-340 Public Relations		Expenditure	3157 71	1
24-00649	1	05/20/24 NAPA0010 NAPA AUTO PARTS fuel line hose (50)	101.00	01-438-000-245 Highway Supplies		Expenditure	3157 101	1
24-00649	2	bldmtl adpt	20.49	01-438-000-245 Highway Supplies		Expenditure	102	1
24-00649	3	multi function cn #8	162.72	01-438-000-235 Vehicle Maintenance		Expenditure	103	1
24-00649	4	battery/core deposit	208.96	01-410-000-235 Vehicle Maintenance		Expenditure	104	1
			493.17					
24-00650	1	05/20/24 NEWH0010 NEW HOLLAND AUTO GROUP pd-touchup paint	17.99	01-410-000-235 Vehicle Maintenance		Expenditure	3157 105	1
24-00650	2	pd-deflector/nut/screw/pin	270.40	01-410-000-235 Vehicle Maintenance		Expenditure	106	1

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Check #	Check Date	Vendor	Reconciled/Void Ref	Ref Num		
PO #	Item	Description	Account Type	Contract	Ref Seq	Acct
		NEW HOLLAND AUTO GROUP	Continued			
24-00650	3	parks-brakes/rotor/core	2,054.50	01-454-001-200	Expenditure	107 1
				Supplies		
			2,342.89			
24-00651	05/20/24 1	NOVUS NOVUS MAINTENANCE, LLC	1,400.00	01-409-003-450	Expenditure	3157 108 1
		twp bldg		Contracted Services		
24-00651	2	upland	790.00	01-454-005-450	Expenditure	109 1
24-00651	3	pw bldg	320.00	01-409-001-450	Expenditure	110 1
			2,510.00	Contracted Services		
24-00690	05/20/24 1	PECO0010 PECO	53.24	01-409-004-360	Expenditure	3157 168 1
		520 milford rd-pump hse		Utilities		
24-00690	2	341 fellowship rd-sports ltg	673.03	01-454-003-360	Expenditure	169 1
				Utilities		
24-00690	3	140 pottstown-street lights	455.34	01-409-003-360	Expenditure	170 1
				Utilities		
24-00690	4	140 pottstown-traffic lights	86.85	01-409-003-360	Expenditure	171 1
				Utilities		
24-00690	5	132 oscar way-pw bldg	308.00	01-409-001-360	Expenditure	172 1
				Utilities		
24-00690	6	351 park rd-hickory park	68.84	01-454-002-360	Expenditure	173 1
				Utilities		
24-00690	7	140 pottstown-twp bldg	832.90	01-409-003-360	Expenditure	174 1
				Utilities		
24-00690	8	341 fellowship rd-park	108.28	01-454-003-360	Expenditure	175 1
				Utilities		
24-00690	9	301 pottstown-upland barn	1,055.83	01-454-005-360	Expenditure	176 1
			3,642.31	Utilities		
24-00688	05/20/24 1	PETERDRI PETER DRINKWATER	53.79	01-410-000-317	Expenditure	3157 157 1
		mileage expense		Parking & travel		
24-00694	05/20/24 1	PITNEYGL PITNEY BOWES GLOBAL FINANCIAL	204.00	01-401-000-215	Expenditure	3157 178 1
		3/26 - 6/25 meter lease		Postage		
24-00668	05/20/24 1	POSTM010 US POSTAL SERVICE	77.34	01-401-000-450	Expenditure	3157 135 1
		post office box rental 1/3		Contracted Services		
24-00685	05/20/24 1	RAINERD DICK RAINER	450.00	01-454-001-202	Expenditure	3157 154 1
		stilt walker - june 15 2024		Community Day		

Check #	Check Date	Vendor	Amount Paid	Charge Account	Reconciled/Void	Ref Num		
PO #	Item	Description			Account Type	Contract	Ref Seq	Acct
24-00682	05/20/24 1	RICHBENN RICHARD BENNINGHOFF magician - june 15 2024	585.00	01-454-001-202 Community Day	Expenditure		3157 151	1
24-00652	05/20/24 1	ROBLITTL ROBERT E. LITTLE, INC. brake strap/clutch/sprocket	100.47	01-438-001-235 Vehicle Maintenance - Facilities	Expenditure		3157 111	1
24-00652	2	chain loops (3)	78.27	01-438-000-200 Supplies	Expenditure		112	1
24-00652	3	tire valve stems (2)	19.66	01-438-000-200 Supplies	Expenditure		113	1
			198.40					
24-00653	05/20/24 1	SCHWAB-1 CHARLES SCHWAB & CO, INC police pension - q2	98,289.50	01-410-000-160 Pension Expense	Expenditure		3157 114	1
24-00654	05/20/24 1	SCHWAB-2 CHARLES SCHWAB & CO, INC admin - q2	10,514.27	01-401-000-160 Non-Uniform Pension	Expenditure		3157 115	1
24-00654	2	codes - q2	6,632.98	01-413-000-160 Pension	Expenditure		116	1
24-00654	3	pw - q2	4,930.16	01-438-000-160 Pension	Expenditure		117	1
24-00654	4	facilities - q2	2,329.84	01-438-001-160 Pension Expense - Facilities	Expenditure		118	1
			24,407.25					
24-00655	05/20/24 1	SEI010 STEPHENSON EQUIPMENT, INC. misc roller parts	185.50	01-438-000-245 Highway Supplies	Expenditure		3157 119	1
24-00655	2	roller gasket	31.52	01-438-000-245 Highway Supplies	Expenditure		120	1
			217.02					
24-00656	05/20/24 1	SEMPERON SEMPERON twp	1,048.15	01-409-003-320 Telephone	Expenditure		3157 121	1
24-00656	2	pw	104.55	01-409-001-320 Telephone	Expenditure		122	1
			1,152.70					
24-00681	05/20/24 1	SKYSHOOT SKYSHOOTER DISPLAYS BY ZY PYRO fireworks - remaining balance	4,600.00	01-454-001-202 Community Day	Expenditure		3157 150	1
24-00658	05/20/24 1	SMALE010 MBR2 GRAPHIC SERVICES pd - evidence police forms	555.76	01-410-000-200 Supplies	Expenditure		3157 124	1
24-00660	05/20/24 1	STRATIX STRATIX SYSTEMS, INC contracted period 4/26-7/25	718.00	01-401-000-450 Contracted Services	Expenditure		3157 125	1

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Check #	Check Date	Vendor	Amount	Paid	Charge Account	Account Type	Reconciled/Void	Ref Num	Ref Seq	Acct
PO #	Item	Description					Contract			
		STRATIX SYSTEMS, INC			Continued					
24-00660	2	color copies			1,132.93	01-401-000-200				
						Supplies	Expenditure		126	1
					1,850.93					
05/20/24		STRBUSIN STR BUSINESS SOLUTIONS						3157		
24-00661	1	postage machine ink cartridges			169.00	01-401-000-200				
						Supplies	Expenditure		127	1
05/20/24		STYER010 STYER PROPANE						3157		
24-00662	1	hp-178 gallons			218.96	01-454-002-231				
						Propane	Expenditure		128	1
24-00662	2	milford-90 gallons			142.75	01-409-004-231				
						Propane	Expenditure		129	1
					361.71					
05/20/24		SUSMCKEN SUSAN and PAUL MCKENNA						3157		
24-00677	1	summer concert #2-June 9th			450.00	01-454-001-201				
						Park & Rec Special Events	Expenditure		146	1
05/20/24		SWEETWAT SWEETWATER NATURAL PRODUCTS LL						3157		
24-00663	1	larkins-1yd brown mulch			28.00	01-454-004-250				
						Maintenance & Repairs	Expenditure		130	1
24-00663	2	larkins-3yd brown mulch			84.00	01-454-004-250				
						Maintenance & Repairs	Expenditure		131	1
					112.00					
05/20/24		TAYLORL LYNDAY TAYLOR						3157		
24-00636	1	bucks co training ctr travel			69.68	01-410-000-317				
						Parking & travel	Expenditure		69	1
05/20/24		TLT THIN LINE THREADS						3157		
24-U0664	1	hi-vis shirts			2,151.00	01-438-000-238				
						Uniforms	Expenditure		132	1
05/20/24		TONYSCHE TONY SCHEIVERT						3157		
24-00665	1	may telephone reimbursement			100.00	01-400-000-320				
						Telephone.	Expenditure		133	1
05/20/24		TRAISR TRAISR, LLC						3157		
24-00696	1	april monthly services			2,699.25	01-407-000-220				
						Software	Expenditure		179	1
05/20/24		UPTOWN ERICH CAWALLA MUSIC						3157		
24-00680	1	block party bank - 50% balance			2,750.00	01-454-001-202				
						Community Day	Expenditure		149	1
05/20/24		UWCHL010 UWCHLAN AMBULANCE CORPS						3157		
24-00667	1	semi-annual contribution #1			29,000.00	01-412-000-540				
						Uwchlan Ambulance	Expenditure		134	1

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Check #	Check Date	Vendor	Amount Paid	Charge Account	Reconciled/Void	Ref Num		
PO #	Item	Description			Account Type	Contract	Ref Seq	Acct
24-00669	05/20/24 1	VERIZ010 VERIZON pw	154.39	01-409-001-320 Telephone	Expenditure	3157	136	1
24-00669	2	milford	299.02	01-409-004-320 Telephone	Expenditure	3157	137	1
			453.41					
24-00670	05/20/24 1	VERIZF10 VERIZON ff	124.99	01-454-003-320 Telephone	Expenditure	3157	138	1
24-00671	05/20/24 1	VERIZOSP VERIZON - SPECIAL PROJECTS april services	217.14	01-434-000-450 Contracted Services	Expenditure	3157	139	1
24-00671	2	may services	217.14	01-434-000-450 Contracted Services	Expenditure	3157	140	1
			434.28					
24-00687	05/20/24 1	VFIS VFIS eso training-carr/zmuida	800.00	01-410-000-316 Training/Seminar	Expenditure	3157	156	1
24-00672	05/20/24 1	VIVIANMC VIVIAN MCCARDELL farmhouse cleaning supplies	54.86	01-454-005-200 Supplies	Expenditure	3157	141	1
24-00673	05/20/24 1	WIGGISHR WIGGINS SHREDDING twp-april services	21.60	01-401-000-450 Contracted Services	Expenditure	3157	142	1
24-00673	2	pd-april services	93.96	01-410-000-450 Contracted Services	Expenditure	3157	143	1
			115.56					
24-00675	05/20/24 1	YCG01 YCG, INC v type/e type/sw type calibr	384.00	01-410-000-450 Contracted Services	Expenditure	3157	144	1
24-00676	05/20/24 1	YSM YSM hp project - 21uut-02	510.21	01-454-002-450 Contracted Services	Expenditure	3157	145	1

Report Totals	<u>Paid</u>	<u>Void</u>	<u>Amount Paid</u>	<u>Amount Void</u>
Checks:	92	0	779,747.15	0.00
Direct Deposit:	0	0	0.00	0.00
Total:	92	0	779,747.15	0.00

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Range of Checking Accts: GENERAL EFTS to GENERAL EFTS Range of Check Ids:  
Report Type: All Checks Report Format: Super Condensed Check Type: Computer: Y Manual: Y Dir Deposit: Y

Check #	Check Date	Vendor	Amount Paid	Reconciled/Void Ref Num
05/08/24		BANKAMER BANK OF AMERICA	8,983.21	3148
05/23/24		AQUAP010 AQUA PA	7,063.39	3150
05/06/24		WEXBANK WEX BANK	10,164.26	3151
05/01/24		STANDINS STANDARD INSURANCE COMPANY	3,712.80	3152
05/15/24		LOWES020 LOWES BUSINESS ACCOUNT	349.35	3153

Report Totals	<u>Paid</u>	<u>Void</u>	<u>Amount Paid</u>	<u>Amount Void</u>
Checks:	5	0	30,273.01	0.00
Direct Deposit:	0	0	0.00	0.00
Total:	<u>5</u>	<u>0</u>	<u>30,273.01</u>	<u>0.00</u>

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Totals by Year-Fund

Fund Description	Fund	Expend Total	Revenue Total	G/L Total	Total
General Fund	4-01	30,273.01	0.00	0.00	30,273.01
Total of All Funds:		<u>30,273.01</u>	<u>0.00</u>	<u>0.00</u>	<u>30,273.01</u>

Range of Checking Accts: GENERAL EFTS to GENERAL EFTS Range of Check Ids:  
Report Type: All Checks Report Format: Detail Check Type: Computer: Y Manual: Y Dir Deposit: Y

Check #	Check Date	Vendor	Amount	Paid	Charge Account	Account Type	Reconciled/Void	Ref	Ref Num	Contract	Ref Seq	Acct
PO #	Item	Description										
24-00578	1	05/08/24 BANKAMER BANK OF AMERICA amazon-faa compl drone part		89.99	01-410-000-200 Supplies	Expenditure			3148		1	1
24-00578	2	sheraton harrisburgh		5.30	01-410-000-317 Parking & travel	Expenditure				2	1	
24-00578	3	amazon-key fobs (25)		119.00	01-410-000-200 Supplies	Expenditure				3	1	
24-00578	4	amazon-sling swivels		9.99	01-410-000-200 Supplies	Expenditure				4	1	
24-00578	5	auto truck outfitters-keys		30.00	01-410-000-235 Vehicle Maintenance	Expenditure				5	1	
24-00578	6	guth labs - premix solution		44.48	01-410-000-200 Supplies	Expenditure				6	1	
24-00578	7	montesano-regn'l detective mtg		120.00	01-410-000-316 Training/Seminar	Expenditure				7	1	
24-00578	8	prime membership		14.99	01-410-000-420 Dues/Subscription/Memb	Expenditure				8	1	
24-00578	9	hsi care solutions-cpr certs		198.75	01-410-000-316 Training/Seminar	Expenditure				9	1	
24-00578	10	next level training		364.00	01-410-000-316 Training/Seminar	Expenditure				10	1	
24-00578	11	magpul industries corp		75.20	01-410-000-260 Small Tools & Equipment	Expenditure				11	1	
24-00578	12	dfit faa mavic 3 thermal		5.00	01-410-000-316 Training/Seminar	Expenditure				12	1	
24-00578	13	amazon car mount phone holder		14.96	01-410-000-200 Supplies	Expenditure				13	1	
24-00578	14	gfoa cancellation		345.00	01-401-000-316 Training & Seminars	Expenditure				14	1	
24-00578	15	msft		285.06	01-407-000-450 Contracted Services	Expenditure				15	1	
24-00578	16	msft		851.00	01-407-000-450 Contracted Services	Expenditure				16	1	
24-00578	17	adobe		19.99	01-407-000-220 Software	Expenditure				17	1	
24-00578	18	adobe		21.19	01-407-000-220 Software	Expenditure				18	1	
24-00578	19	costco-empc public presentatio		60.63	01-415-000-200 Supplies	Expenditure				19	1	
24-00578	20	park road cafe-eac meeting		151.50	01-455-000-450 EAC - Contracted Services	Expenditure				20	1	
24-00578	21	upland-no dogs allowed signs		12.99	01-454-005-200 Supplies	Expenditure				21	1	
24-00578	22	amazon-ink cartridges		121.78	01-401-000-200 Supplies	Expenditure				22	1	
24-00578	23	amazon-2-5/16" hitch receiver		143.74	01-438-000-260 Small Tools & Equipment	Expenditure				23	1	
24-00578	24	amazon-cleaning supplies		233.25	01-454-001-200 Supplies	Expenditure				24	1	

Check #	Check Date	Vendor	Amount	Paid	Charge Account	Reconciled/Void	Ref Num
PO #	Item	Description	Account Type	Contract	Ref Seq	Acct	
BANK OF AMERICA							
24-00578	25	amazon-replacement roller	42.30	01-454-001-200 Supplies	Expenditure	25	1
24-00578	26	amazon-bathroom faucet	209.99	01-454-002-250 Maintenance & Repairs	Expenditure	26	1
24-00578	27	helm ford diagno software	800.00	01-410-000-235 Vehicle Maintenance	Expenditure	27	1
24-00578	28	pw clothing allowance-mitch	350.00	01-438-000-238 Uniforms	Expenditure	28	1
24-00578	29	bjs-kitchen supplies	59.98	01-438-000-200 Supplies	Expenditure	29	1
24-00578	30	dunkin-supplies	10.97	01-438-000-200 Supplies	Expenditure	30	1
24-00578	31	acme-supplies	5.16	01-438-000-200 Supplies	Expenditure	31	1
24-00578	32	recycle away-black dome lid	460.21	01-454-001-200 Supplies	Expenditure	32	1
24-00578	33	reagent express	47.60	01-413-000-200 Supplies	Expenditure	33	1
24-00578	34	hyatt state college-conference	178.11	01-401-000-316 Training & Seminars	Expenditure	34	1
24-00578	35	liberty union-pd recognition	1,156.99	01-401-000-200 Supplies	Expenditure	35	1
24-00578	36	just for nets-batting cage net	2,106.40	01-454-002-200 Supplies-Hickory	Expenditure	36	1
24-00578	37	zoom subscription	158.89	01-400-000-420 Dues/Subscriptions/Mem	Expenditure	37	1
24-00578	38	apmm conference	425.00	01-401-000-316 Training & Seminars	Expenditure	38	1
24-00578	39	proshred-eac shred event	300.00	01-455-000-450 EAC - Contracted Services	Expenditure	39	1
24-00578	40	ritas-misc	23.82	01-401-000-200 Supplies	Expenditure	40	1
						8,983.21	
05/23/24 AQUAP010 AQUA PA							3150
24-00580	1	217 hydrants	6,180.47	01-411-000-451 Hydrant expenses-Aqua	Expenditure	1	1
24-00580	2	31 hydrants	882.92	01-411-000-451 Hydrant expenses-Aqua	Expenditure	2	1
						7,063.39	
05/06/24 WEXBANK WEX BANK							3151
24-00581	1	admin	290.92	01-401-000-230 Gasoline & Oil	Expenditure	1	1
24-00581	2	pd	5,474.16	01-410-000-230 Gasoline & Oil	Expenditure	2	1
24-00581	3	codes	436.67	01-413-000-230 Gasoline & Oil	Expenditure	3	1
24-00581	4	public works	3,435.75	01-438-000-230 Gasoline & Oil	Expenditure	4	1
24-00581	5	facilities	182.20	01-438-001-230 Gasoline & Oil - Facilities	Expenditure	5	1

Check #	Check Date	Vendor	Reconciled/Void	Ref Num		
PO #	Item	Description	Account Type	Contract	Ref Seq	Acct
WEX BANK		Continued				
24-00581	6	municipal authority fuel	344.56	01-495-000-000	Expenditure	6 1
				Expense Reclass		
			10,164.26			
05/01/24		STANDINS STANDARD INSURANCE COMPANY				3152
24-00582	1	admin	526.15	01-401-000-156	Expenditure	1 1
				Employee Benefit Expens		
24-00582	2	pd	2,074.81	01-410-000-156	Expenditure	2 1
				Employee Benefit Expense		
24-00582	3	codes	279.68	01-413-000-156	Expenditure	3 1
				Employee Benefit Expens		
24-00582	4	public works	681.87	01-438-000-156	Expenditure	4 1
				Employee Benefit Expense		
24-00582	5	facilities	150.29	01-438-001-156	Expenditure	5 1
				Employee Benefit Expense		
			3,712.80			
05/15/24		LOWES020 LOWES BUSINESS ACCOUNT				3153
24-00601	1	2-1/2"x 14"	17.08	01-454-005-250	Expenditure	1 1
				Repairs & Maint		
24-00601	2	al project platform/lights#10	93.98	01-438-000-235	Expenditure	2 1
				Vehicle Maintenance		
24-00601	3	farmhouse 4" black bar bit	12.12	01-454-005-200	Expenditure	3 1
				Supplies		
24-00601	4	5/4 x 6 x 8 decking	53.46	01-454-001-200	Expenditure	4 1
				Supplies		
24-00601	5	replacement handle/60" thread	60.70	01-454-001-260	Expenditure	5 1
				Small Tools & Equip		
24-00601	6	step ladder / safety cones	112.01	01-459-000-200	Expenditure	6 1
				Supplies		
			349.35			
Report Totals						
	Checks:	Paid	Void	Amount Paid	Amount Void	
		5	0	30,273.01	0.00	
	Direct Deposit:	0	0	0.00	0.00	
	Total:	5	0	30,273.01	0.00	

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Totals by Year-Fund  
Fund Description

Fund	Expend Total	Revenue Total	G/L Total	Total	
General Fund	4-01	30,273.01	0.00	0.00	30,273.01
Total of All Funds:		<u>30,273.01</u>	<u>0.00</u>	<u>0.00</u>	<u>30,273.01</u>

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Range of Checking Accts: PAYROLL EFTS to PAYROLL EFTS Range of Check Ids:  
Report Type: All Checks Report Format: Super Condensed Check Type: Computer: Y Manual: Y Dir Deposit: Y

Check #	Check Date	Vendor	Amount Paid	Reconciled/Void Ref Num
05/15/24	AFLAC010	AFLAC	978.51	3149
<hr/>				
Report Totals	<u>Paid</u>	<u>Void</u>	<u>Amount Paid</u>	<u>Amount Void</u>
Checks:	1	0	978.51	0.00
Direct Deposit:	0	0	0.00	0.00
Total:	<u>1</u>	<u>0</u>	<u>978.51</u>	<u>0.00</u>

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Totals by Year-Fund

Fund Description	Fund	Expend Total	Revenue Total	G/L Total	Total
General Fund	x-01	978.51	0.00	0.00	978.51
Total of All Funds:		<hr/> 978.51	<hr/> 0.00	<hr/> 0.00	<hr/> 978.51

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Range of Checking Accts: PAYROLL EFTS to PAYROLL EFTS Range of Check Ids:  
Report Type: All Checks Report Format: Detail Check Type: Computer: Y Manual: Y Dir Deposit: Y

Check #	Check Date	Vendor	Amount Paid	Charge Account	Account Type	Contract	Ref Seq	Reconciled/Void Ref Num
PO #	Item	Description						
05/15/24	AFLAC010 AFLAC							3149
24-00579	1	payroll benefit deduction	978.51	01-221-000-000 Benefit Deduction- Aflac (AFL)	Expenditure			1 1

Report Totals	<u>Paid</u>	<u>Void</u>	<u>Amount Paid</u>	<u>Amount Void</u>
Checks:	1	0	978.51	0.00
Direct Deposit:	0	0	0.00	0.00
Total:	<u>1</u>	<u>0</u>	<u>978.51</u>	<u>0.00</u>

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Totals by Year-Fund

Fund Description

Fund

Expend Total

Revenue Total

G/L Total

Total

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General Fund	X-01	978.51	0.00	0.00	978.51
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Total of All Funds:		978.51	0.00	0.00	978.51
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Range of Checking Accts: SOLID WASTE to SOLID WASTE Range of Check Ids:  
Report Type: All Checks Report Format: Super Condensed Check Type: Computer: Y Manual: Y Dir Deposit: Y

Check #	Check Date	Vendor	Amount Paid	Reconciled/Void Ref Num
05/20/24	AJBL0010	A.J. BLOSENSKI	18,502.29	3158
05/20/24	BUCKL010	BUCKLEY, BRION, MCGUIRE, MORRI	920.00	3158
05/20/24	CCSWA010	CCSWA	20,047.22	3158
05/20/24	TOTALREC	TOTAL RECYCLE	3,977.53	3158
05/20/24	WMCORP	WM CORPORATE SERVICES, INC	43,621.86	3158

Report Totals	<u>Paid</u>	<u>Void</u>	<u>Amount Paid</u>	<u>Amount Void</u>
Checks:	5	0	87,068.90	0.00
Direct Deposit:	0	0	0.00	0.00
Total:	<u>5</u>	<u>0</u>	<u>87,068.90</u>	<u>0.00</u>

May 16, 2024  
02:39 PM

Upper Uwchlan Township  
Check Payment Batch Verification Listing

Page No: 1

Batch Id: BABMAAS Batch Type: C Batch Date: 05/20/24 Checking Account: SOLID WASTE G/L Credit: Expenditure G/L Credit  
Generate Direct Deposit: N

Check No.	Check Date	Vendor #	Name	Payment Amt	Street 1 of Address to be printed on Check	Charge Account	Account Type	Status	Seq	Acct
PO #	Enc Date	Item Description			Description					
	05/20/24	AJBL0010	A.J. BLOSENSKI		A WASTE CONNECTIONS COMPANY					
24-00591	05/20/24	1	sw - may services	18,502.29	05-427-000-460	Expenditure	Aprv	1	1	Contracted Services - Recycling
				18,502.29						
	05/20/24	BUCKL010	BUCKLEY, BRION, MCGUIRE, MORRI		118 W. MARKET STREET					
24-00608	05/20/24	1	delinquent trash collections	920.00	05-427-000-314	Expenditure	Aprv	2	1	Legal Fees
				920.00						
	05/20/24	CCSWA010	CCSWA		P. O. BOX 476					
24-00612	05/20/24	1	sw - 4/16 - 4/23	6,853.25	05-427-000-700	Expenditure	Aprv	3	1	Tipping Fees
24-00612	05/20/24	2	sw - 4/23 - 4/30	7,254.95	05-427-000-700	Expenditure	Aprv	4	1	Tipping Fees
24-00612	05/20/24	3	sw - 5/01 - 5/07	5,939.02	05-427-000-700	Expenditure	Aprv	5	1	Tipping Fees
				20,047.22						
	05/20/24	TOTALREC	TOTAL RECYCLE		PO BOX 7250					
24-00666	05/20/24	1	april services	3,977.53	05-427-000-725	Expenditure	Aprv	6	1	Tipping Fees - Recycling
				3,977.53						
	05/20/24	WMCORP	WM CORPORATE SERVICES, INC		AS PAYMENT AGENT					
24-00674	05/20/24	1	april services	43,621.86	05-427-000-450	Expenditure	Aprv	7	1	Contracted Services
				43,621.86						

Checks: Count 5 Line Items 7 Amount 87,068.90

There are NO errors or warnings in this listing.

May 16, 2024  
02:39 PM

Upper Uwchlan Township  
Check Payment Batch Verification Listing

Page No: 2

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Totals by Year-Fund

Fund Description	Fund	Expend Total	Revenue Total	G/L Total	Total
Solid Waste Fund	4-05	87,068.90	0.00	0.00	87,068.90
Total of All Funds:		<hr/> 87,068.90	<hr/> 0.00	<hr/> 0.00	<hr/> 87,068.90

May 16, 2024  
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Upper Uwchlan Township  
Check Register By Check ID

Page No: 1

Range of Checking Accts: STORM WATER MGT to STORM WATER MGT Range of Check IDs:  
Report Type: All Checks Report Format: Super Condensed Check Type: Computer: Y Manual: Y Dir Deposit: Y

Check #	Check Date	Vendor	Amount Paid	Reconciled/Void	Ref Num
05/20/24	COUNT010	COUNTRY ESTATE FENCE, INC.	201.90		3159
05/20/24	EMKUTZ	E.M. KUTZ, INC.	182.00		3159
05/20/24	SERVI010	SERVICE TIRE TRUCK CENTERS	337.75		3159
<hr/>					
Report Totals					
Checks:		<u>Paid</u>	<u>Void</u>	<u>Amount Paid</u>	<u>Amount Void</u>
Direct Deposit:		<u>0</u>	<u>0</u>	<u>0.00</u>	<u>0.00</u>
Total:		<u><u>3</u></u>	<u><u>0</u></u>	<u><u>721.65</u></u>	<u><u>0.00</u></u>

May 16, 2024  
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Upper Uwchlan Township  
Check Register By Check Id

Page No: 2

Totals by Year-Fund

Fund Description	Fund	Expend Total	Revenue Total	G/L Total	Total
Water Resource Protection Fund	4-08	721.65	0.00	0.00	721.65
Total of All Funds:		<hr/> 721.65	<hr/> 0.00	<hr/> 0.00	<hr/> 721.65

May 16, 2024  
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Upper Uwchlan Township  
Check Payment Batch Verification Listing

Page No: 1

Batch Id: BABMAAS Batch Type: C Batch Date: 05/20/24 Checking Account: STORM WATER MGT G/L Credit: Expenditure G/L Credit  
Generate Direct Deposit: N

Check No. PO #	Check Date Enc Date	Vendor # Item Description	Payment Amt	Street 1 of Address to be printed on Check Charge Account Description	Account Type	Status	Seq	Acct
24-00616	05/20/24	COUNT010 COUNTRY ESTATE FENCE, INC. 1 aubrey circle basin split rail	201.90	35 SENN DRIVE 08-446-000-200 Supplies	Expenditure	Aprv	1	1
			201.90					
24-00695	05/20/24	EMKUTZ E.M. KUTZ, INC. 1 1520 hinge pad assembly	182.00	2456 MORGANTOWN ROAD 08-446-000-200 Supplies	Expenditure	Aprv	3	1
			182.00					
24-00659	05/20/24	SERVI010 SERVICE TIRE TRUCK CENTERS 1 sweeper-m11r225 dbcoin rr150	337.75	2255 AVENUE A 08-446-000-235 Vehicle Maintenance	Expenditure	Aprv	2	1
			337.75					

Checks:	Count	Line Items	Amount
	3	3	721.65

There are NO errors or warnings in this listing.

May 16, 2024  
02:41 PM

Upper Uwchlan Township  
Check Payment Batch Verification Listing

Page No: 2

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Totals by Year-Fund

Fund Description	Fund	Expend Total	Revenue Total	G/L Total	Total
Water Resource Protection Fund	4-08	721.65	0.00	0.00	721.65
Total of All Funds:		<hr/> 721.65	<hr/> 0.00	<hr/> 0.00	<hr/> 721.65

May 16, 2024  
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Upper Uwchlan Township  
Check Register By Check Id

Page No: 1

Range of Checking Accts: CAPITAL to CAPITAL Range of Check Ids:  
Report Type: All Checks Report Format: Super Condensed Check Type: Computer: Y Manual: Y Dir Deposit: Y

Check #	Check Date	Vendor	Amount Paid	Reconciled/Void Ref Num
05/20/24	ARMORCO	ARMOR RESEARCH COMPANY	13,001.38	3160
<hr/>				
Report Totals			<u>Paid</u>	<u>Void</u>
			Checks: 1	0
			Direct Deposit: 0	0
			Total: 1	0
			<u>Amount Paid</u>	<u>Amount Void</u>
			13,001.38	0.00
			0.00	0.00
			13,001.38	0.00

May 16, 2024  
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Upper Uwchlan Township  
Check Register By Check Id

Page No: 2

Totals by Year-Fund

Fund Description

Fund

Expend Total

Revenue Total

G/L Total

Total

Capital Fund	4-30	13,001.38	0.00	0.00	13,001.38
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Total of All Funds:		13,001.38	0.00	0.00	13,001.38
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May 16, 2024  
02:43 PM

Upper Uwchlan Township  
Check Payment Batch Verification Listing

Page No: 1

Batch Id: BABMAAS Batch Type: C Batch Date: 05/20/24 Checking Account: CAPITAL G/L Credit: Expenditure G/L Credit  
Generate Direct Deposit: N

Check No.	Check Date	Vendor #	Name	Payment Amt	Street 1 of Address to be printed on Check	Charge Account	Account Type	Status	Seq	Acct Description
PO #	Enc Date	Item Description								
	05/20/24	ARMORCO	ARMOR RESEARCH COMPANY		DEPT 274					
24-00592	05/20/24	1 pd - shields/light kits (4)		13,001.38	30-410-000-700	Expenditure	Aprv	1	1	Capital Purchases - Police
				13,001.38						

Checks:	Count	Line Items	Amount
	1	1	13,001.38

There are NO errors or warnings in this listing.

May 16, 2024  
02:43 PM

Upper Uwchlan Township  
Check Payment Batch Verification Listing

Page No: 2

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Totals by Year-Fund

Fund Description

Fund

Expend Total

Revenue Total

G/L Total

Total

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Capital Fund	4-30	13,001.38	0.00	0.00	13,001.38
--------------	------	-----------	------	------	-----------

Total Of All Funds:		<u><u>13,001.38</u></u>	<u><u>0.00</u></u>	<u><u>0.00</u></u>	<u><u>13,001.38</u></u>
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May 16, 2024  
02:46 PM

Upper Uwchlan Township  
Check Register By Check Id

Page No: 1

Range of Checking Accts: DEV ESCROW  
Report Type: All Checks

to DEV ESCROW

Range of Check Ids:

Report Format: Super Condensed Check Type: Computer: Y Manual: Y Dir Deposit: Y

Check #	Check Date	Vendor	Amount Paid	Reconciled/Void	Ref Num
04/24/24	MCMAH010	BOWMAN CONSULTING GROUP, LTD	1,540.00	04/30/24	3143
05/20/24	ARROC010	ARRO CONSULTING, INC.	3,262.45		3161
05/20/24	BUCKL010	BUCKLEY, BRION, MCGUIRE, MORRI	5,449.00		3161
05/20/24	BUCKL010	BUCKLEY, BRION, MCGUIRE, MORRI	107.50		3161
05/20/24	ECRAI010	E.CRAIG KALEMJIAN, ESQ.	990.00		3161
05/20/24	GILMO020	GILMORE & ASSOCIATES, INC	23,737.96		3161
05/20/24	MARKH010	MARK HAGERTY	634.00		3161
05/20/24	MCMAH010	BOWMAN CONSULTING GROUP, LTD	8,653.75		3161
<hr/>					
<b>Report Totals</b>					
<hr/>					
Checks:		<u>Paid</u>	<u>Void</u>	<u>Amount Paid</u>	<u>Amount Void</u>
Direct Deposit:		<u>0</u>	<u>0</u>	<u>0.00</u>	<u>0.00</u>
Total:		<u>8</u>	<u>0</u>	<u>44,374.66</u>	<u>0.00</u>
<hr/>					

Project Description	Project No.	Project Total
Vantage Point at Chester Spr	248-017	4,069.31
Eagleview Lot 1C	248-025	166.55
THE PRESERVE @ MARSH CREEK SEW	248-035	2,038.10
Prosperity Byers 5C 2B	248-046	3,169.70
301 PARK ROAD	248-048	5,567.25
EAGLEVIEW LOT 1A	248-049	1,265.00
EAGLE ANIMAL HOSPITAL	248-050	2,930.74
ROCKHILL REAL ESTATE ENTERPRIS	248-051	2,514.74
100 GREENRIDGE ROAD	248-052	180.00
241 PARK ROAD	248-054	9,451.85
THE PRESERVE @ MARSH CREEK CON	248-1-035	7,397.32
ENCLAVE at CHESTER SPRINGS sit	248-1-038	2,288.26
PMC SEWER PHASE III	248-2-035	1,054.34
PMC CONSTRUCTION PHASE III	248-3-035	2,281.50
Total of All Projects:		44,374.66

Range of Checking Accts: DEV ESCROW to DEV ESCROW Range of Check Ids:  
Report Type: All Checks Report Format: Detail Check Type: Computer: Y Manual: Y Dir Deposit: Y

Check #	Check Date	Vendor	Amount Paid	Charge Account	Account Type	Reconciled/Void Ref	Ref Num
PO #	Item	Description			Contract	Ref Seq	Acct
24-00569	1	04/24/24 MCMAH010 BOWMAN CONSULTING GROUP, LTD eaglevie view lot 1a-311412-01-001	1,265.00	248-049 EAGLEVIE LOT 1A	Project	04/30/24	3143 1 1
24-00569	2	04/24/24 ARROC010 ARRO CONSULTING, INC. rockhill-313972-01-001	275.00	248-051 ROCKHILL REAL ESTATE ENTERPRIS	Project		2 1
			1,540.00				
24-00587	1	05/20/24 ARROC010 ARRO CONSULTING, INC. vantage point	170.01	248-017 Vantage Point at Chester Spr	Project		3161 16 1
24-00597	1	05/20/24 BUCKL010 BUCKLEY, BRION, MCGUIRE, MORRI Preserve	2,038.10	248-035 THE PRESERVE @ MARSH CREEK SEW	Project		19 1
24-00597	2	05/20/24 BUCKL010 BUCKLEY, BRION, MCGUIRE, MORRI Toll Preserve	1,054.34	248-2-035 PMC SEWER PHASE III	Project		20 1
			3,262.45				
24-00583	1	05/20/24 BUCKL010 BUCKLEY, BRION, MCGUIRE, MORRI 5C 2B commercial	451.50	248-046 Prosperity Byers 5C 2B	Project		3161 1 1
24-00583	2	05/20/24 BUCKL010 BUCKLEY, BRION, MCGUIRE, MORRI rockhill	113.00	248-051 ROCKHILL REAL ESTATE ENTERPRIS	Project		2 1
24-00583	3	05/20/24 BUCKL010 BUCKLEY, BRION, MCGUIRE, MORRI 211 byers/eagle animal	1,621.50	248-050 EAGLE ANIMAL HOSPITAL	Project		3 1
24-00583	4	05/20/24 BUCKL010 BUCKLEY, BRION, MCGUIRE, MORRI 241 park/planebrook	3,263.00	248-054 241 PARK ROAD	Project		4 1
			5,449.00				
24-00596	1	05/20/24 BUCKL010 BUCKLEY, BRION, MCGUIRE, MORRI Enclave	21.50	248-1-038 ENCLAVE at CHESTER SPRINGS sit	Project		3161 17 1
24-00596	2	05/20/24 BUCKL010 BUCKLEY, BRION, MCGUIRE, MORRI Preserve	86.00	248-1-035 THE PRESERVE @ MARSH CREEK CON	Project		18 1
			107.50				
24-00584	1	05/20/24 ECRAI010 E.CRAIG KALEMJIAN, ESQ. pj reilly - zoning hearing	810.00	248-048 301 PARK ROAD	Project		3161 5 1
24-00584	2	05/20/24 ECRAI010 E.CRAIG KALEMJIAN, ESQ. toll bros - zoning hearing	180.00	248-052 100 GREENRIDGE ROAD	Project		6 1
			990.00				
24-00585	1	05/20/24 GILMO020 GILMORE & ASSOCIATES, INC 5C 2B commercial	1,126.35	248-046 Prosperity Byers 5C 2B	Project		3161 7 1
24-00585	2	05/20/24 GILMO020 GILMORE & ASSOCIATES, INC vantage point	3,899.30	248-017 Vantage Point at Chester Spr	Project		8 1
24-00585	3	05/20/24 GILMO020 GILMORE & ASSOCIATES, INC Eagleview Lot 1c	166.55	248-025 Eagleview Lot 1c	Project		9 1
24-00585	4	05/20/24 GILMO020 GILMORE & ASSOCIATES, INC 301 park rd / pj reilly	3,506.00	248-048 301 PARK ROAD	Project		10 1

Check #	Check Date	Vendor	Reconciled/Void	Ref Num		
PO #	Item	Description	Account Type	Contract	Ref Seq	Acct
		GILMORE & ASSOCIATES, INC	Continued			
24-00585	5	eagle animal hospital	924.24	248-050 EAGLE ANIMAL HOSPITAL	Project	11 1
24-00585	6	rockhill / 500 pottstown pk	1,232.99	248-051 ROCKHILL REAL ESTATE ENTERPRIS	Project	12 1
24-00585	7	241 park rd	4,042.35	248-054 241 PARK ROAD	Project	13 1
24-00585	8	prosperity parcel 5c lot 2b	565.60	248-046 Prosperity Byers 5C 2B	Project	14 1
24-00599	1	Enclave	603.01	248-1-038 ENCLAVE at CHESTER SPRINGS sit	Project	21 1
24-00599	2	Preserve	3,739.62	248-1-035 THE PRESERVE @ MARSH CREEK CON	Project	22 1
24-00599	3	Toll Preserve	2,281.50	248-3-035 PMC CONSTRUCTION PHASE III	Project	23 1
24-00599	4	Preserve	1,650.45	248-1-035 THE PRESERVE @ MARSH CREEK CON	Project	24 1
			23,737.96			
	05/20/24	MARKH010 MARK HAGERTY			3161	
24-00586	1	241 park rd / planebrook	634.00	248-054 241 PARK ROAD	Project	15 1
	05/20/24	MCMAH010 BOWMAN CONSULTING GROUP, LTD			3161	
24-00633	1	Fetters	1,921.25	248-1-035 THE PRESERVE @ MARSH CREEK CON	Project	25 1
24-00633	2	Enclave	1,663.75	248-1-038 ENCLAVE at CHESTER SPRINGS sit	Project	26 1
24-00693	1	byers 5c lot 2b	1,026.25	248-046 Prosperity Byers 5C 2B	Project	27 1
24-00693	2	301 park road	1,251.25	248-048 301 PARK ROAD	Project	28 1
24-00693	3	211 byers rd/eagle animal	385.00	248-050 EAGLE ANIMAL HOSPITAL	Project	29 1
24-00693	4	241 park rd	1,512.50	248-054 241 PARK ROAD	Project	30 1
24-00693	5	500 pottstown/rockhill	893.75	248-051 ROCKHILL REAL ESTATE ENTERPRIS	Project	31 1
			8,653.75			

Report Totals	Paid	Void	Amount Paid	Amount Void
Checks:	8	0	44,374.66	0.00
Direct Deposit:	0	0	0.00	0.00
Total:	8	0	44,374.66	0.00

Project Description	Project No.	Project Total
Vantage Point at Chester Spr	248-017	4,069.31
Eagleview Lot 1C	248-025	166.55
THE PRESERVE @ MARSH CREEK SEW	248-035	2,038.10
Prosperity Byers 5C 2B	248-046	3,169.70
301 PARK ROAD	248-048	5,567.25
EAGLEVIEW LOT 1A	248-049	1,265.00
EAGLE ANIMAL HOSPITAL	248-050	2,930.74
ROCKHILL REAL ESTATE ENTERPRIS	248-051	2,514.74
100 GREENRIDGE ROAD	248-052	180.00
241 PARK ROAD	248-054	9,451.85
THE PRESERVE @ MARSH CREEK CON	248-1-035	7,397.32
ENCLAVE at CHESTER SPRINGS sit	248-1-038	2,288.26
PMC SEWER PHASE III	248-2-035	1,054.34
PMC CONSTRUCTION PHASE III	248-3-035	2,281.50
Total of All Projects:		<u><u>44,374.66</u></u>



## UPPER UWCHLAN TOWNSHIP

### MEMORANDUM

TO: BOARD OF SUPERVISORS

FROM: Jill Bukata, Township Treasurer

RE: Status Update

DATE: May 20, 2024

---

#### **Finance has worked on the following items during the month**

- Received and processed 213 trash and 1,691 sewer payments (4/9/2024 – 5/14/2024)
- Continued working on the audit of the Municipal Authority and pension plans

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#### **Highlights of the April 30, 2024 financial statements**

- The balance sheet remains strong with cash of over **\$12.8 million** - of that amount **approximately \$7.0 million** is not available for the routine operations of the Township as it is reserved for specific purposes, ie. Liquid Fuels and Act 209 for highways, Turf Field for replacement of the Turf Field, Capital Projects for capital improvements etc.
- Combined revenue and expense status (General Fund & Solid Waste Fund):
  - Percentage through the year 33.3%
  - YTD revenues \$ 3,942,128 41.7%
  - YTD expenses \$ 2,658,271 27.8%
  - YTD net income \$ 1,283,857 (before transfers)
  - YTD transfers out \$ (662,329)
  - **YTD net income (after transfers) \$ 661,527**
  - Budgeted 2024 net income/(loss) \$ (112,767) (before transfers)
  - Budgeted 2024 net income (after) \$ (562,767) (after transfers)
- YTD EIT revenues as of April 30 are \$62,000 lower than at the end of April, 2023. This has been the trend for the first four months of the year.

**Upper Uwchlan Township  
Treasurer's Report**

**Cash Balances  
As of April 30, 2024**

**General Fund**

Meridian Bank	\$ 4,992,925
Meridian Bank - Payroll	193,396
Meridian Bank - ARPA Funds	449,547
Meridian Bank MMA - restricted	39,674
Meridian Bank-restricted-Meadow Creek	8,074
Fulton Bank	141,470
Fulton Bank - Turf Field	268,643
Petty cash	300
<b>Total General Fund</b>	<b>6,094,029</b>

Certificate of Deposit - 10/2/24 (First Resource)	279,659
Certificate of Deposit - Fulton	261,712
Certificate of Deposit - ARPA	259,016
Certificate of Deposit - Meadow Creek	1,047,634
	<b>1,848,021</b>

**Total General Fund** \$ 7,942,050

**Solid Waste Fund**

Meridian Bank - Solid Waste	387,078
Fulton Bank - Solid Waste	717,140
<b>Total Solid Waste Funds</b>	<b>1,104,218</b>
<b>Total Solid Waste Fund</b>	<b>1,104,218</b>

**Liquid Fuels Fund**

Fulton Bank	1,027,288
Certificate of Deposit -	526,005
	<b>1,553,293</b>
<b>Total Liquid Fuels Fund</b>	<b>1,553,293</b>

**Capital Projects Fund**

Fulton Bank	343,811
PSDLAF	5,110
Fulton Bank - 2019 Bond Proceeds	-
Fulton Bank - 2019 Bond Proceeds, ICS Sweep	1
	<b>348,921</b>
<b>Total Capital Projects Fund</b>	<b>348,921</b>

**Act 209 Impact Fund**

Fulton Bank	55,675
Certificate of Deposit - First Resource	1,047,634
	<b>1,103,309</b>
<b>Total Act 209 Impact Fund</b>	<b>1,103,309</b>

**Water Resource Protection Fund**

Fulton Bank	657,391
	<b>657,391</b>
<b>Total Water Resource Protection Fund</b>	<b>657,391</b>

**Sewer Fund**

PSDLAF	84
Fulton Bank	109,762
	<b>109,846</b>
<b>Total Sewer Fund</b>	<b>109,846</b>

**Total - Upper Uwchlan Township** \$ 12,819,028

**Municipal Authority** \$ 8,652,787

**Developer's Escrow Fund** \$ 322,728

Upper Uwchlan Township  
Schedule of Investments

As of April 30, 2024

	Institution	Amount Invested	Type of Investment	Maturity Date	Interest Rate	Market Value
<b><u>General Fund</u></b>						
General Fund	First Resource Bank	250,000.00	Certificate of Deposit	10/2/2024	4.500%	250,000.00
		29,350.07	Interest accrued			29,350.07
	Accrued interest - YTD	308.88				308.88
		<u>279,658.95</u>				<u>279,658.95</u>
General Fund	Fulton Bank	250,000.00	Certificate of Deposit	5/19/2024	4.750%	250,000.00
		7,808.24				7,808.24
	Accrued interest - YTD	3,904.12	Interest accrued			3,904.12
		<u>261,712.36</u>				<u>261,712.36</u>
General Fund - ARPA	Presence Bank	250,000.00	Certificate of Deposit	6/15/2024	4.510%	250,000.00
		5,309.22				5,309.22
	Accrued interest - YTD	3,706.84	Interest accrued			3,706.84
		<u>259,016.06</u>				<u>259,016.06</u>
General Fund - Meadow Creek	First Resource Bank	1,047,633.90	Certificate of Deposit	10/28/2024	4.850%	1,047,633.90
	Accrued interest - YTD	-	Interest accrued			-
		<u>1,047,633.90</u>				<u>1,047,633.90</u>
<b><u>Liquid Fuels Fund</u></b>						
Liquid Fuels	Presence Bank	500,000.00	Certificate of Deposit	6/15/2024	4.750%	500,000.00
		11,177.64				11,177.64
	Accrued interest - YTD	14,827.40	Interest accrued			14,827.40
		<u>526,005.04</u>				<u>526,005.04</u>
<b><u>Act 209 Fund</u></b>						
Act 209	First Resource Bank	1,047,633.90	Certificate of Deposit	10/28/2024	4.850%	1,047,633.90
	Accrued interest - YTD	-	Interest accrued			-
		<u>1,047,633.90</u>				<u>1,047,633.90</u>
<b><u>Sewer Fund - General Obligation Bonds (2014 Bonds)</u></b>						
Sewer Fund	PSDLAF	83.59	MAX account (MMF)			83.59
	PSDLAF	-	MAX account (MMF)		0.02%	-
		<u>83.59</u>				<u>83.59</u>
<b><u>Capital Fund</u></b>						
Capital Fund	PSDLAF	5,109.71	Collateralized CD Pool		0.100%	5,109.71
		<u>5,109.71</u>				<u>5,109.71</u>
	Fulton Bank - 2019	0.55				0.55
		<u>0.55</u>				<u>0.55</u>
	Total Capital Fund	<u>5,110.26</u>				<u>5,110.26</u>

Upper Uwchlan Township  
 Accounts Receivable  
 As of April 30, 2024

Engineering and Legal Receivables - 01-145-000-200 and 300

Reimbursable CU Fees - 01-145-000-021

	Total Amount Due 4/30/2024	Total Amount Due 3/31/2024	Less than 30 days	31 - 60	61 - 90	Over 90 days	Over 180 days	Total
Alpha Phylte Fitness	827.55	827.55	-	-	-	827.55	-	827.55
Chester Co./Struble	3,405.22	11,072.72	-	-	-	3,405.22	-	3,405.22
Hankin	3,102.50	3,102.50	-	-	-	3,102.50	-	3,102.50
Montesano	1,774.96	1,774.96	-	-	-	1,774.96	-	1,774.96
Toll Brothers	9,434.80	9,892.57	2,591.80	1,530.00	5,313.00	-	-	9,434.80
Natural Lands Trust	26,955.77	26,913.20	11,171.94	-	-	15,783.83	-	26,955.77
McKee	-	874.00	-	-	-	-	-	-
Moser	642.50	642.50	-	-	-	642.50	-	642.50
Charles Speakman	270.00		270.00					270.00
<b>Balance at April 30, 2024</b>	<b>\$ 46,413.30</b>	<b>\$ 55,100.00</b>		<b>\$ 14,033.74</b>	<b>\$ 1,530.00</b>	<b>\$ 5,313.00</b>	<b>\$ 25,536.56</b>	<b>\$ - \$ 46,413.30</b>

Upper Uwchlan Township  
 Accounts Receivable  
 As of April 30, 2024

Turf and Field Fees Receivable - Account 01-145-000-080 and 085

	Total Amount 4/30/2024	Total Amount 3/31/2024	Less than 30 days	31 - 60	61 - 90	Over 90 days	Over 180 days	Total
Penn Fusion	1,040.00	-	1,040.00	-	-	-	-	1,040.00
Next Level Sports	40.00	40.00	-	-	-	40.00	-	40.00
Downington Dawgs Lacrosse	220.00	220.00	-	-	-	220.00	-	220.00
LYA LAX	-	-	-	-	-	-	-	-
Freedom LAX	-	-	-	-	-	-	-	-
 Balance at April 30, 2024	 \$ 1,300.00	 \$ 260.00	 \$ 1,040.00	 \$ -	 \$ -	 \$ 260.00	 \$ -	 \$ 1,300.00

Upper Uwchlan Township  
Accounts Receivable  
As of April 30, 2024

Misc Accounts Receivable - Account 01-145-000-095

	Amount 4/30/2024	Amount 3/31/2024	Aging					Total
			Less than 30 days	30 days	60 days	90 days	180 days & over	
Franchise fees	-	-	-	-	-	-	-	
Diffendal AFLAC	368.70	368.70	-	368.70	-	-	-	368.70
Balance at April 30, 2024	<u>\$ 368.70</u>	<u>\$ 368.70</u>	<u>-</u>	<u>368.70</u>	<u>-</u>	<u>-</u>	<u>-</u>	<u>368.70</u>

**Upper Uwchlan Township**  
**General Fund**  
**Balance Sheet**  
**As of April 30, 2024**

**ASSETS**

Cash			
01-100-000-100	General Checking - Fulton Bank	\$	141,470.01
01-100-000-200	Meridian Bank		4,992,924.71
01-100-000-210	Meridian Bank - Payroll		193,396.39
01-100-000-220	Meridian Bank MMA - restricted		39,674.03
01-100-000-230	Meridian Bank - ARPA		449,546.71
01-100-000-250	Fulton Bank - Turf Field		268,642.96
01-100-000-260	Meridian Bank - Meadow Creek Lane		8,074.21
01-100-000-300	Petty Cash		300.00
	Total Cash		<u>6,094,029.02</u>
Investments			
01-120-000-100	Certificate of Deposit - First Resource		279,658.95
01-120-000-110	Certificate of Deposit - Fulton		261,712.36
01-120-000-120	Certificate of Deposit - Meadow Creek		1,047,633.90
01-120-000-130	Certificate of Deposit - ARPA		<u>259,016.03</u>
			<u>1,848,021.24</u>
Accounts Receivable			
01-145-000-020	Engineering Fees Receivable		10,197.42
01-145-000-021	Engineering Fees Receivable-CU		617.55
01-145-000-030	Legal Fees Receivable		30,499.23
01-145-000-040	R/E Taxes Receivable		1,947.84
01-145-000-050	Hydrant Tax Receivable		-
01-145-000-060	Domestic Relations Receivable		(5.54)
01-145-000-080	Field Fees Receivables		1,300.00
01-145-000-085	Turf Field Receivables		-
01-145-000-086	EIT Receivable		11,945.39
01-145-000-090	RE Transfer Tax Receivable		57,512.31
01-145-000-095	Misc accounts receivable		368.70
01-145-000-096	Traffic Signals Receivable		-
01-145-000-097	Advertising Fees Reimbursable		-
	Total Accounts Receivable		<u>114,382.90</u>
Other Current Assets			
01-130-000-001	Due From Municipal Authority		134,193.32
01-130-000-003	Due From Liquid Fuels		-
01-130-000-004	Due from ACT 209 Fund		-
01-130-000-005	Due From Capital Fund		-
01-130-000-006	Due from Solid Waste Fund		605.00
01-130-000-007	Due from Water Resource Protection Fund		-
01-130-000-008	Due from the Sewer Fund		-
01-130-000-009	Due from Developer's Escrow Fund		9,866.72
01-131-000-000	Suspense Account		-
	Total Other Current Assets		<u>144,665.04</u>
Prepaid Expense			
01-155-000-000	Prepaid expenses		<u>-</u>
	Total Prepaid Expense		<u>-</u>

**Total Assets** **\$ 8,201,098.20**

Upper Uwchlan Township  
General Fund  
Balance Sheet  
As of April 30, 2024

## LIABILITIES AND FUND BALANCE

Accounts Payable		
01-200-000-000	Accounts Payable	
01-252-000-001	Deferred Revenues	881,813.62
	Total Accounts Payable	881,813.62

### Other Current Liabilities

01-199-000-000	Suspense Account	
01-210-000-000	Payroll Liabilities	-
01-210-000-001	Federal Tax Withheld	-
01-211-000-000	FICA Tax Withheld	-
01-212-000-000	Earned Income Tax W/H	3,480.37
01-214-000-000	Non-Uniform Pension	-
01-214-000-100	NU Pension Plan #2	-
01-215-000-000	Police Pension Withheld	-
01-216-000-000	Domestic Relation W/H	-
01-217-000-000	State Tax Withheld	-
01-218-000-000	Police Association Dues	4,800.00
01-219-000-000	LST Tax Withheld	-
01-220-000-000	State Unemployment W/H	147.41
01-221-000-000	Benefit Deduction-Aflac	(523.45)
01-221-000-100	Benefit Deduction-Aflac After Tax	241.60
01-222-000-000	457 Contribution Deduction	-
01-223-000-000	Direct Deposit	-
01-224-000-000	Payroll Deduction Adjustments	-
01-239-000-001	Due to Municipal Authority	875.00
01-239-000-002	Due to MA Capital Fund	5,850.00
01-239-000-003	Due To Liquid Fuels	-
01-239-000-004	Due to Act 209 Fund	-
01-239-000-005	Due to Capital Fund	-
01-239-000-006	Due to Solid Waste Fund	30,442.01
01-239-000-007	Due to Water Resource Protection Fund	-
01-239-000-008	Due to Developer's Escrow Fund	6,177.29
01-258-000-000	Accrued Expenses	-
	Total Other Current Liabilities	51,490.23

**Total Liabilities** \$ 933,303.85

## EQUITY

01-272-000-000	Opening Balance Equity	812,921.60
01-272-000-001	Retained Earnings	6,309,986.16
	Current Period Net Income (Loss)	144,886.59
	Total Equity	7,267,794.35

**Total Fund Balance** \$ 7,267,794.35

**Total Liabilities & Fund Balance** \$ 8,201,098.20

**Upper Uwchlan Township  
General Fund  
Statement of Revenues and Expenditures  
For the Period Ended April 30, 2024**

GL Account #	Account Description	2024 YTD Actual	2024 Budget	Over (Under) Budget	Actual as % of Budget
<b>REVENUES</b>					
01-301-000-010	Current Real Estate Taxes	\$ 1,003,209.99	\$ 1,127,000.00	\$ (123,790.01)	89.0%
01-301-000-013	Real Estate Tax Refunds	-	(3,000.00)	3,000.00	0.0%
01-301-000-030	Delinquent Real Estate Taxes	25,491.60	30,000.00	(4,508.40)	85.0%
01-301-000-071	Hydrant Tax	63,063.91	65,000.00	(1,936.09)	97.0%
01-301-000-072	Delinquent Hydrant Taxes	-	500.00	(500.00)	0.0%
01-310-000-010	Real Estate Transfer Taxes	193,504.77	675,000.00	(481,495.23)	28.7%
01-310-000-020	Earned Income Taxes	1,446,645.64	4,600,000.00	(3,153,354.36)	31.4%
01-310-000-021	EIT commissions paid	(17,810.68)	(62,560.00)	44,749.32	28.5%
01-320-000-010	Building Permits	134,754.93	535,000.00	(400,245.07)	25.2%
01-320-000-011	Building Permits - credit card fees	-	-	-	#DIV/0!
01-320-000-020	Use & Occupancy Permit	3,000.00	12,000.00	(9,000.00)	25.0%
01-320-000-030	Sign Permits	-	100.00	(100.00)	0.0%
01-320-000-040	Contractors Permit	1,275.00	2,000.00	(725.00)	63.8%
01-320-000-050	Refinance Certification Fees	510.00	3,000.00	(2,490.00)	17.0%
01-321-000-080	Cable TV Franchise Fees	-	192,000.00	(192,000.00)	0.0%
01-331-000-010	Vehicle Codes Violation	25,902.24	75,000.00	(49,097.76)	34.5%
01-331-000-011	Reports/Fingerprints	370.00	2,000.00	(1,630.00)	18.5%
01-331-000-012	Solicitation Permits	170.00	500.00	(330.00)	34.0%
01-331-000-050	Reimbursable Police Wages	-	5,000.00	(5,000.00)	0.0%
01-341-000-001	Interest Earnings	38,698.48	90,000.00	(51,301.52)	43.0%
01-342-000-001	Rental Property Income	8,000.00	24,000.00	(16,000.00)	33.3%
01-354-000-010	County Grants	29,941.22		29,941.22	#DIV/0!
01-354-000-020	State Grants	-		-	#DIV/0!
01-354-000-030	Police Grants	-		-	#DIV/0!
01-355-000-001	PURTA	-	6,500.00	(6,500.00)	0.0%
01-355-000-004	Alcoholic Beverage Tax	600.00	800.00	(200.00)	75.0%
01-355-000-005	State Aid, Police Pension	-	122,000.00	(122,000.00)	0.0%
01-355-000-006	State Aid, Non-Uniform Pension	-	60,000.00	(60,000.00)	0.0%
01-355-000-007	Foreign Fire Insurance Tax	-	110,000.00	(110,000.00)	0.0%
01-360-000-010	Vehicle Storage Fees	-	1,000.00	(1,000.00)	0.0%
01-361-000-030	Zoning/SubDivision Land Development	3,154.00	6,000.00	(2,846.00)	52.6%
01-361-000-032	Fees from Engineering	2,680.70	40,000.00	(37,319.30)	6.7%
01-361-000-033	Admin Fees from Engineering	100.00	4,000.00	(3,900.00)	2.5%
01-361-000-035	Admin Fees from Legal	110.61	1,000.00	(889.39)	11.1%
01-361-000-036	Legal Services Fees	19,726.83	30,000.00	(10,273.17)	65.8%
01-361-000-038	Sale of Maps & Books	85.00	250.00	(165.00)	34.0%
01-361-000-039	Fire Inspection Fees	50.00	2,000.00	(1,950.00)	2.5%
01-361-000-040	Fees from Engineering - CU	-	5,000.00	(5,000.00)	0.0%
01-361-000-041	Property Inspection Fees	-	8,000.00	(8,000.00)	0.0%
01-361-000-042	Copies	2.25	100.00	(97.75)	2.3%
01-361-000-043	Fees from Traffic Signals Reimbursables	-	500.00	(500.00)	0.0%
01-361-000-044	Fees from Advertising Reimbursables	-	-	-	#DIV/0!
01-367-000-010	Recreation Donations	-	-	-	#DIV/0!
01-367-000-014	Pavillion Rental	-	500.00	(500.00)	0.0%
01-367-000-020	Tennis Fees	-	-	-	#DIV/0!
01-367-000-021	Field Programs	10,640.00	35,000.00	(24,360.00)	30.4%
01-367-000-025	Turf Field Fees	990.00	50,000.00	(49,010.00)	2.0%
01-367-000-030	Community Events Donations	6,725.00	20,000.00	(13,275.00)	33.6%
01-367-000-040	History Book Revenue	120.00	200.00	(80.00)	60.0%
01-367-000-045	Upland Farms Barn Rental Fees	11,015.00	35,000.00	(23,985.00)	31.5%
01-367-000-089	Donations for Park Equipment	-	-	-	#DIV/0!
01-380-000-001	Miscellaneous Revenue	2,102.90	20,000.00	(17,897.10)	10.5%
01-380-000-010	Insurance Reimbursement	-	10,000.00	(10,000.00)	0.0%
01-392-000-008	Municipal Authority Reimbursement	104,986.97	275,655.00	(170,668.03)	38.1%

**Upper Uwchlan Township  
General Fund  
Statement of Revenues and Expenditures  
For the Period Ended April 30, 2024**

GL Account #	Account Description	2024 YTD Actual	2024 Budget	Over (Under) Budget	Actual as % of Budget
01-392-000-020	Transfer from Capital Fund	-		-	#DIV/0!
01-392-000-030	Transfer from Solid Waste Fund	-		-	#DIV/0!
01-395-000-000	Refund of Prior Year Expenses	314.65		314.65	#DIV/0!
	<b>Total Revenue</b>	<b>\$ 3,120,131.01</b>	<b>\$ 8,216,045.00</b>	<b>\$ (5,095,913.99)</b>	<b>38.0%</b>
<b>GENERAL GOVERNMENT</b>					
01-400-000-113	Supervisors Wages	\$ 4,875.00	\$ 9,750.00	(4,875.00)	50.0%
01-400-000-150	Payroll Tax Expense	372.96	746.00	(373.04)	50.0%
01-400-000-320	Telephone	632.88	2,000.00	(1,367.12)	31.6%
01-400-000-340	Public Relations	1,250.00	2,000.00	(750.00)	62.5%
01-400-000-341	Advertising	370.90	7,500.00	(7,129.10)	4.9%
01-400-000-342	Printing	3,759.00	5,000.00	(1,241.00)	75.2%
01-400-000-344	Community Notice	-	2,000.00	(2,000.00)	0.0%
01-400-000-350	Insurance-Bonding	2,707.00	2,945.00	(238.00)	91.9%
01-400-000-352	Insurance-Liability	10,698.40	21,397.00	(10,698.60)	50.0%
01-400-000-420	Dues/Subscriptions/Memberships	2,893.00	4,375.00	(1,482.00)	66.1%
01-400-000-460	Meeting & Conferences	832.39	6,000.00	(5,167.61)	13.9%
01-400-000-461	Bank Fees	4,602.68	15,000.00	(10,397.32)	30.7%
01-400-000-463	Misc expenses	3,119.28	2,000.00	1,119.28	156.0%
01-400-000-464	Wallace Twp. Tax Agreement	-	6,280.00	(6,280.00)	0.0%
		36,113.49	86,993.00	(50,879.51)	41.5%
<b>EXECUTIVE</b>					
01-401-000-100	Administration Wages	176,896.47	609,137.00	(432,240.53)	29.0%
01-401-000-150	Payroll Tax Expense	14,483.65	46,599.00	(32,115.35)	31.1%
01-401-000-151	PSATS Unemployment Compensation	2,454.41	2,695.00	(240.59)	91.1%
01-401-000-156	Employee Benefit Expense	21,736.54	80,612.00	(58,875.46)	27.0%
01-401-000-157	ACA Fees	-	240.00	(240.00)	0.0%
01-401-000-159	Employer HSA Contribution	11,200.00	11,200.00	-	100.0%
01-401-000-160	Non-Uniform Pension	14,521.43	58,088.00	(43,566.57)	25.0%
01-401-000-165	Employer 457 Match	-	12,000.00	(12,000.00)	0.0%
01-401-000-174	Tuition Reimbursements	693.35	5,000.00	(4,306.65)	13.9%
01-401-000-181	Longevity Pay	1,050.00	7,950.00	(6,900.00)	13.2%
01-401-000-183	Overtime Wages	2,744.38	5,000.00	(2,255.62)	54.9%
01-401-000-200	Supplies	4,486.41	15,000.00	(10,513.59)	29.9%
01-401-000-205	Meals & Meal Allowances	-	200.00	(200.00)	0.0%
01-401-000-215	Postage	2,752.55	4,500.00	(1,747.45)	61.2%
01-401-000-230	Gasoline & Oil	667.41	2,200.00	(1,532.59)	30.3%
01-401-000-235	Vehicle Maintenance	-	1,000.00	(1,000.00)	0.0%
01-401-000-252	Repair & Maintenance	-	2,000.00	(2,000.00)	0.0%
01-401-000-316	Training & Seminars	2,626.00	300.00	2,326.00	875.3%
01-401-000-317	Parking/Travel	52.52	1,200.00	(1,147.48)	4.4%
01-401-000-322	Ipad Expenses	-	600.00	(600.00)	0.0%
01-401-000-352	Insurance - Liability	127.24	255.00	(127.76)	49.9%
01-401-000-353	Insurance-Vehicle	227.60	455.00	(227.40)	50.0%
01-401-000-354	Insurance-Workers Compensation	376.36	753.00	(376.64)	50.0%
01-401-000-420	Dues/Subscriptions/Memberships	3,481.54	6,100.00	(2,618.46)	57.1%
01-401-000-450	Contracted Services	7,909.94	16,000.00	(8,090.06)	49.4%
		268,487.80	889,084.00	(620,596.20)	30.2%
<b>AUDIT</b>					
01-402-000-450	Contracted Services	7,740.00	27,100.00	(19,360.00)	28.6%
		7,740.00	27,100.00	(19,360.00)	28.6%

**Upper Uwchlan Township  
General Fund**  
**Statement of Revenues and Expenditures**  
**For the Period Ended April 30, 2024**

GL Account #	Account Description	2024 YTD Actual	2024 Budget	Over (Under) Budget	Actual as % of Budget
<b>TAX COLLECTION</b>					
01-403-000-110	Deputy Treasurer Expense	-	11,000.00	(11,000.00)	0.0%
01-403-000-200	Supplies	-	-	-	#DIV/0!
01-403-000-215	Postage	-	-	-	#DIV/0!
01-403-000-350	Insurance-Bonding	-	-	-	#DIV/0!
01-403-000-450	Contracted Services	-	-	-	#DIV/0!
		-	11,000.00	(11,000.00)	0.0%
<b>LEGAL</b>					
01-404-000-305	Reimbursable Legal Fees - CU	340.50	500.00	(159.50)	68.1%
01-404-000-310	Reimbursable Legal Fees	3,707.00	9,500.00	(5,793.00)	39.0%
01-404-000-311	Non Reimbursable Legal	8,056.00	40,000.00	(31,944.00)	20.1%
01-404-000-450	Contracted Services	-	5,000.00	(5,000.00)	0.0%
		12,103.50	55,000.00	(42,896.50)	22.0%
<b>MUNICIPAL AUTHORITY ADMINISTRATOR</b>					
01-406-000-100	Administrator Wages	28,310.00	86,400.00	(58,090.00)	32.8%
01-406-000-101	Employee Cost Transferred to MA	(29,616.94)	(93,395.00)	63,778.06	31.7%
01-406-000-150	Payroll Tax Expense	921.94	6,610.00	(5,688.06)	13.9%
01-406-000-151	PSATS Unemployment Compensation	385.00	385.00	-	100.0%
		0.00	-	(0.00)	#DIV/0!
<b>TECHNOLOGY</b>					
01-407-000-200	Supplies	-	2,000.00	(2,000.00)	0.0%
01-407-000-220	Software	35,545.79	88,748.00	(53,202.21)	40.1%
01-407-000-222	Hardware	1,177.00	12,000.00	(10,823.00)	9.8%
01-407-000-240	Web Page	8,283.12	7,000.00	1,283.12	118.3%
01-407-000-450	Contracted Services	24,551.35	65,000.00	(40,448.65)	37.8%
		69,557.26	174,748.00	(105,190.74)	39.8%
<b>ENGINEERING</b>					
01-408-000-305	Reimbursable Conditional Use	716.40	25,000.00	(24,283.60)	2.9%
01-408-000-310	Reimbursable Engineering	3,582.03	75,000.00	(71,417.97)	4.8%
01-408-000-311	Traffic Engineering	13,939.20	25,000.00	(11,060.80)	55.8%
01-408-000-313	Non Reimbursable Engineering	26,167.49	30,000.00	(3,832.51)	87.2%
01-408-000-365	Act 209	-	-	-	-
01-408-000-366	Ordinance Update	-	4,500.00	(4,500.00)	0.0%
01-408-000-367	General Planning	4,115.05	10,000.00	(5,884.95)	41.2%
01-408-000-368	MS4 Expenses	930.00	-	930.00	#DIV/0!
01-408-000-369	Reimbursable Traffic Signals	-	-	-	#DIV/0!
01-408-000-370	Reimbursable Advertising	-	-	-	#DIV/0!
		49,450.17	169,500.00	(120,049.83)	29.2%
<b>TOWNSHIP PROPERTIES</b>					
<i>Public Works Building</i>					
01-409-001-200	Supplies	1,176.71	2,000.00	(823.29)	58.8%
01-409-001-231	Propane & heating - PW bldg	5,174.72	15,000.00	(9,825.28)	34.5%
01-409-001-250	Maint & Repair	2,338.94	20,500.00	(18,161.06)	11.4%
01-409-001-320	Telephone	1,045.36	4,000.00	(2,954.64)	26.1%
01-409-001-351	Insurance - property	16,386.96	32,774.00	(16,387.04)	50.0%
01-409-001-360	Utilities	2,968.87	10,000.00	(7,031.13)	29.7%
01-409-001-450	Contracted Services	3,114.33	12,000.00	(8,885.67)	26.0%

**Upper Uwchlan Township  
General Fund  
Statement of Revenues and Expenditures  
For the Period Ended April 30, 2024**

GL Account #	Account Description	2024 YTD Actual	2024 Budget	Over (Under) Budget	Actual as % of Budget
<b><i>Township Building</i></b>					
01-409-003-101	Employee Cost Allocated	-	-	-	#DIV/0!
01-409-003-200	Supplies	318.52	4,000.00	(3,681.48)	8.0%
01-409-003-231	Propane & Heating Oil	-	5,000.00	(5,000.00)	0.0%
01-409-003-250	Maintenance & Repairs	2,439.76	3,000.00	(560.24)	81.3%
01-409-003-320	Telephone	4,197.73	7,000.00	(2,802.27)	60.0%
01-409-003-351	Insurance Property	19,118.12	38,236.00	(19,117.88)	50.0%
01-409-003-360	Utilities	7,499.33	25,000.00	(17,500.67)	30.0%
01-409-003-450	Contracted Services	9,429.51	40,000.00	(30,570.49)	23.6%
<b><i>Milford Road</i></b>					
01-409-004-200	Supplies	-	500.00	(500.00)	0.0%
01-409-004-231	Propane	877.82	2,000.00	(1,122.18)	43.9%
01-409-004-250	Maintenance & Repairs	349.09	5,000.00	(4,650.91)	7.0%
01-409-004-320	Telephone	1,194.22	3,000.00	(1,805.78)	39.8%
01-409-004-351	Insurance - property	2,731.16	5,462.00	(2,730.84)	50.0%
01-409-004-360	Utilities	289.58	2,000.00	(1,710.42)	14.5%
01-409-004-450	Contracted Services	-	5,000.00	(5,000.00)	0.0%
		80,650.73	241,472.00	(160,821.27)	33.4%
<b>POLICE EXPENSES</b>					
01-410-000-100	Police Wages	552,825.38	1,925,485.00	(1,372,659.62)	28.7%
01-410-000-110	Police Wages - WC reimbursement	-	-	-	#DIV/0!
01-410-000-150	Payroll Tax Expense	48,670.07	147,300.00	(98,629.93)	33.0%
01-410-000-151	PSATS Unemployment Compensation	6,609.97	7,315.00	(705.03)	90.4%
01-410-000-156	Employee Benefit Expense	141,361.13	390,278.00	(248,916.87)	36.2%
01-410-000-158	Medical Expense Reimbursements	1,749.38	10,000.00	(8,250.62)	17.5%
01-410-000-159	Employer HSA Contribution	52,800.00	49,600.00	3,200.00	106.5%
01-410-000-160	Pension Expense	98,289.50	393,158.00	(294,868.50)	25.0%
01-410-000-161	Pension Expense - Non Uniform	651.20	2,605.00	(1,953.80)	25.0%
01-410-000-165	Employer 457 Match	-	36,000.00	(36,000.00)	0.0%
01-410-000-174	Tuition Reimbursement	1,650.00	12,000.00	(10,350.00)	13.8%
01-410-000-181	Longevity Pay	7,500.00	33,300.00	(25,800.00)	22.5%
01-410-000-182	Education incentive	5,750.00	4,250.00	1,500.00	135.3%
01-410-000-183	Overtime - Patrol Functions	5,617.07	45,000.00	(39,382.93)	12.5%
01-410-000-184	Overtime - Shift Coverage	12,105.78	38,000.00	(25,894.22)	31.9%
01-410-000-185	Overtime - Holiday Worked	10,914.66	35,236.00	(24,321.34)	31.0%
01-410-000-187	Courttime Wages	3,373.11	14,000.00	(10,626.89)	24.1%
01-410-000-190	ARPA - COVID Pay	12,975.00	-	12,975.00	#DIV/0!
01-410-000-191	Uniform/Boot Allowances	10,275.00	16,350.00	(6,075.00)	62.8%
01-410-000-200	Supplies	13,506.49	12,000.00	1,506.49	112.6%
01-410-000-215	Postage	-	750.00	(750.00)	0.0%
01-410-000-230	Gasoline & Oil	15,004.66	50,000.00	(34,995.34)	30.0%
01-410-000-235	Vehicle Maintenance	6,101.28	20,000.00	(13,898.72)	30.5%
01-410-000-238	Clothing/Uniforms	2,739.01	22,000.00	(19,260.99)	12.5%
01-410-000-250	Maintenance & Repairs	-	-	-	#DIV/0!
01-410-000-260	Small Tools & Equipment	14,344.52	20,000.00	(5,655.48)	71.7%
01-410-000-311	Non-Reimbursable-Legal	-	-	-	#DIV/0!
01-410-000-316	Training/Seminar	8,719.91	15,000.00	(6,280.09)	58.1%
01-410-000-317	Parking & travel	151.00	1,000.00	(849.00)	15.1%
01-410-000-320	Telephone	1,870.82	7,000.00	(5,129.18)	26.7%
01-410-000-322	Ipad Expense	-	-	-	#DIV/0!
01-410-000-327	Radio Equipment M & R	-	1,000.00	(1,000.00)	0.0%

**Upper Uwchlan Township  
General Fund  
Statement of Revenues and Expenditures  
For the Period Ended April 30, 2024**

GL Account #	Account Description	2024 YTD	2024	Over (Under)	Actual as
		Actual	Budget	Budget	% of Budget
01-410-000-340	Public Relations	3,089.30	10,000.00	(6,910.70)	30.9%
01-410-000-342	Police Accreditation	1,300.00	4,000.00	(2,700.00)	32.5%
01-410-000-352	Insurance - Liability	6,771.00	13,542.00	(6,771.00)	50.0%
01-410-000-353	Insurance - Vehicles	804.00	1,608.00	(804.00)	50.0%
01-410-000-354	Insurance - Workers Compensation	23,711.62	47,423.00	(23,711.38)	50.0%
01-410-000-420	Dues/Subscriptions/Memberships	509.96	1,000.00	(490.04)	51.0%
01-410-000-450	Contracted Services	8,326.63	59,224.00	(50,897.37)	14.1%
01-410-000-740	Computer/Furniture	947.36	8,000.00	(7,052.64)	11.8%
		1,081,014.81	3,453,424.00	(2,372,409.19)	31.3%

**FIRE/AMBULANCE**

01-411-000-354	Insurance - Workers Compensation	-	11,100.00	(11,100.00)	0.0%
01-411-000-420	Dues/Subscriptions/Memberships	-	-	-	#DIV/0!
01-411-000-450	Contracted Services	-	-	-	#DIV/0!
01-411-000-451	Hydrant expenses-Aqua	21,190.17	70,000.00	(48,809.83)	30.3%
01-411-001-001	Ludwigs	-	99,196.00	(99,196.00)	0.0%
01-411-001-002	Lionville	-	99,360.00	(99,360.00)	0.0%
01-411-001-003	Lionville Capital	-	-	-	100.0%
01-411-001-004	Glenmoore	-	11,435.00	(11,435.00)	0.0%
01-411-001-005	E. Brandywine	10,639.50	46,279.00	(35,639.50)	23.0%
01-411-001-006	Reimbursement - Uwchlan Township	-	2,300.00	(2,300.00)	0.0%
01-411-001-007	Reimbursement - East Brandywine Twp.	-	200.00	(200.00)	0.0%
01-411-002-530	Contributions-Fire Relief	-	110,000.00	(110,000.00)	0.0%
		31,829.67	449,870.00	(418,040.33)	7.1%

**AMBULANCE**

01-412-000-540	Uwchlan Ambulance	-	58,000.00	(58,000.00)	0.0%
01-412-000-544	Uwchlan Ambulance - Capital	-	-	-	#DIV/0!

**CODES ADMINISTRATION**

01-413-000-100	Code Adminstrator Wages	80,349.18	278,777.00	(198,427.82)	28.8%
01-413-000-150	Payroll Tax Expenses	6,750.14	21,326.00	(14,575.86)	31.7%
01-413-000-151	PSATS Unemployment Compensation	1,173.56	1,540.00	(366.44)	76.2%
01-413-000-156	Employee Benefit Expense	16,247.44	49,641.00	(33,393.56)	32.7%
01-413-000-159	Employer HSA Contribution	8,000.00	8,000.00	-	100.0%
01-413-000-160	Pension	7,951.20	31,805.00	(23,853.80)	25.0%
01-413-000-165	Employer 457 Match	-	6,000.00	(6,000.00)	0.0%
01-413-000-181	Longevity Pay	2,850.00	5,700.00	(2,850.00)	50.0%
01-413-000-183	Overtime	-	2,000.00	(2,000.00)	0.0%
01-413-000-200	Supplies	266.51	2,000.00	(1,733.49)	13.3%
01-413-000-230	Gasoline & Oil	991.07	3,400.00	(2,408.93)	29.1%
01-413-000-235	Vehicle Maintenance	203.23	1,500.00	(1,296.77)	13.5%
01-413-000-316	Training/Seminar	503.00	3,000.00	(2,497.00)	16.8%
01-413-000-317	Parking/Travel	91.92	250.00	(158.08)	36.8%
01-413-000-320	Telephone	232.88	3,000.00	(2,767.12)	7.8%
01-413-000-322	Ipad Expense	-	-	-	#DIV/0!
01-413-000-352	Insurance - Liability	127.26	255.00	(127.74)	49.9%
01-413-000-353	Insurance - Vehicle	227.60	455.00	(227.40)	50.0%
01-413-000-354	Insurance - Workers Compensation	376.38	753.00	(376.62)	50.0%
01-413-000-420	Dues/Subscriptions/Memberships	801.24	1,500.00	(698.76)	53.4%
01-413-000-450	Contracted Services	-	5,600.00	(5,600.00)	0.0%
01-413-000-460	Meetings & Conferences	-	1,000.00	(1,000.00)	0.0%
		127,142.61	427,502.00	(300,359.39)	29.7%

**PLANNING & ZONING**

**Upper Uwchlan Township  
General Fund**  
**Statement of Revenues and Expenditures**  
**For the Period Ended April 30, 2024**

GL Account #	Account Description	2024 YTD	2024	Over (Under)	Actual as
		Actual	Budget	Budget	% of Budget
01-414-001-116	Compensation	-	-	-	#DIV/0!
01-414-001-200	Supplies	427.70	500.00	(72.30)	85.5%
01-414-001-301	Court Reporter	150.00	1,500.00	(1,350.00)	10.0%
01-414-001-315	Legal Fees	-	3,000.00	(3,000.00)	0.0%
01-414-001-365	Comp Plan Update	9,062.31	25,000.00	(15,937.69)	36.2%
01-414-001-366	Ordinance Update	-	20,000.00	(20,000.00)	0.0%
01-414-001-367	General Planning	-	3,000.00	(3,000.00)	0.0%
01-414-001-368	Advertising	1,444.64	500.00	944.64	288.9%
01-414-001-451	ACT 209	-	-	-	#DIV/0!
		11,084.65	53,500.00	(42,415.35)	20.7%
<b>VILLAGE CONCEPT</b>					
01-414-002-367	General Planning	8,222.50	1,000.00	7,222.50	822.3%
		8,222.50	1,000.00	7,222.50	822.3%
<b>ZONING</b>					
01-414-003-100	Compensation	-	800.00	(800.00)	0.0%
01-414-003-301	Court Reporter	152.00	2,000.00	(1,848.00)	7.6%
01-414-003-315	Legal Fees	-	6,000.00	(6,000.00)	0.0%
01-414-003-450	Contracted Services	-	1,000.00	(1,000.00)	0.0%
		152.00	9,800.00	(9,648.00)	1.6%
<b>EMERGENCY OPERATIONS</b>					
01-415-000-200	Supplies	298.58	3,100.00	(2,801.42)	9.6%
01-415-000-260	Small Tools & Equipment	286.34	12,500.00	(12,213.66)	2.3%
01-415-000-316	Training/Seminar	44.54	1,250.00	(1,205.46)	3.6%
01-415-000-317	Parking/Travel	-	500.00	(500.00)	0.0%
01-415-000-320	Telephone	-	250.00	(250.00)	0.0%
01-415-000-330	Other Services/Charges	-	350.00	(350.00)	0.0%
01-415-000-420	Dues/subscriptions/memberships	-	250.00	(250.00)	0.0%
01-415-000-450	Contracted Services	-	500.00	(500.00)	0.0%
01-415-000-740	Computer/Office Equipment	-	250.00	(250.00)	0.0%
		629.46	18,950.00	(18,320.54)	3.3%
<b>ANIMAL CONTROL/OTHER</b>					
01-422-000-530	Contributions - SPCA	6,000.00	9,200.00	(3,200.00)	65.2%
01-422-000-601	Contributions - DARC	-	25,398.00	(25,398.00)	0.0%
01-422-000-603	Downington Senior Center	-	2,000.00	(2,000.00)	0.0%
01-422-000-605	Natural Lands Trust	-	-	-	-
		6,000.00	36,598.00	(30,598.00)	16.4%
<b>SIGNS</b>					
01-433-000-200	Supplies	810.18	8,000.00	(7,189.82)	10.1%
01-433-000-450	Contracted Services	-	1,000.00	(1,000.00)	0.0%
		810.18	9,000.00	(8,189.82)	9.0%
<b>SIGNALS</b>					
01-434-000-450	Contracted Services	1,940.18	35,200.00	(33,259.82)	5.5%
		1,940.18	35,200.00	(33,259.82)	5.5%
<b>PUBLIC WORKS</b>					
01-438-000-100	Public Works Wages	150,979.14	528,236.00	(377,256.86)	28.6%
01-438-000-101	Employee Cost Allocated	-	(23,228.00)	23,228.00	0.0%
01-438-000-150	Payroll Tax Expense	13,810.68	40,410.00	(26,599.32)	34.2%
01-438-000-151	PSATS Unemployment Compensation	3,349.75	3,080.00	269.75	108.8%
01-438-000-156	Employee Benefit Expense	58,648.84	157,196.00	(98,547.16)	37.3%

**Upper Uwchlan Township  
General Fund**  
**Statement of Revenues and Expenditures**  
**For the Period Ended April 30, 2024**

GL Account #	Account Description	2024 YTD	2024	Over (Under)	Actual as
		Actual	Budget	Budget	% of Budget
01-438-000-159	Employer HSA Contribution	20,800.00	17,600.00	3,200.00	118.2%
01-438-000-160	Pension	9,867.65	39,471.00	(29,603.35)	25.0%
01-438-000-165	Employer 457 Match	-	14,000.00	(14,000.00)	0.0%
01-438-000-181	Longevity	4,650.00	6,750.00	(2,100.00)	68.9%
01-438-000-183	Overtime Wages	11,440.96	26,000.00	(14,559.04)	44.0%
01-438-000-200	Supplies	4,670.70	40,000.00	(35,329.30)	11.7%
01-438-000-205	Meals & Meal Allowances	93.07	600.00	(506.93)	15.5%
01-438-000-230	Gasoline & Oil	12,186.03	45,000.00	(32,813.97)	27.1%
01-438-000-235	Vehicle Maintenance	19,766.59	22,000.00	(2,233.41)	89.8%
01-438-000-238	Uniforms	2,810.47	6,000.00	(3,189.53)	46.8%
01-438-000-245	Highway Supplies	6,167.40	35,000.00	(28,832.60)	17.6%
01-438-000-260	Small Tools & Equipment	10,384.83	16,000.00	(5,615.17)	64.9%
01-438-000-316	Training/Seminar	2,616.87	7,500.00	(4,883.13)	34.9%
01-438-000-317	Parking & travel	175.00	800.00	(625.00)	21.9%
01-438-000-320	Telephone	430.79	4,300.00	(3,869.21)	10.0%
01-438-000-322	Ipad Expense	557.76	1,200.00	(642.24)	46.5%
01-438-000-341	Advertising	-	-	-	#DIV/0!
01-438-000-342	Accreditation	400.00	5,000.00	(4,600.00)	8.0%
01-438-000-352	Insurance - Liability	728.00	1,456.00	(728.00)	50.0%
01-438-000-353	Vehicle Insurance	910.40	1,821.00	(910.60)	50.0%
01-438-000-354	Insurance - Workers Compensation	6,774.76	13,550.00	(6,775.24)	50.0%
01-438-000-420	Dues and Subscriptions	590.88	400.00	190.88	147.7%
01-438-000-450	Contracted Services	421.00	98,600.00	(98,179.00)	0.4%
01-438-000-463	Miscellaneous	-	-	-	#DIV/0!
01-438-000-720	Road Resurfacing	-	-	-	#DIV/0!
		343,231.57	1,108,742.00	(765,510.43)	31.0%

Public Works - Facilities Division

01-438-001-100	Wages	58,412.74	256,815.00	(198,402.26)	22.7%
01-438-001-101	Employee Costs Allocated	(51,258.90)	(233,204.00)	181,945.10	22.0%
01-438-001-150	Payroll Tax Expense	5,316.74	19,646.00	(14,329.26)	27.1%
01-438-001-151	PSATS Unemployment Compensation	1,459.76	2,830.00	(1,370.24)	51.6%
01-438-001-156	Employee Benefit Expense	9,799.17	44,429.00	(34,629.83)	22.1%
01-438-001-159	Employer HSA Contribution	8,000.00	8,000.00	-	100.0%
01-438-001-160	Pension Expense	3,915.77	15,663.00	(11,747.23)	25.0%
01-438-001-165	Employer 457 Match	-	6,000.00	(6,000.00)	0.0%
01-438-001-174	Tuition Reimbursement	-	-	-	#DIV/0!
01-438-001-181	Longevity	-	3,450.00	(3,450.00)	0.0%
01-438-001-183	Overtime Wages	5,083.80	8,000.00	(2,916.20)	63.5%
01-438-001-200	Supplies	690.37	2,500.00	(1,809.63)	27.6%
01-438-001-230	Gasoline & Oil	1,800.69	18,000.00	(16,199.31)	10.0%
01-438-001-235	Vehicle Maintenance	4,871.35	8,500.00	(3,628.65)	57.3%
01-438-001-238	Uniforms	-	1,500.00	(1,500.00)	0.0%
01-438-001-260	Small Tools & Equipment	207.46	500.00	(292.54)	41.5%
01-438-001-316	Training & Seminars	-	1,600.00	(1,600.00)	0.0%
01-438-001-352	Insurance - Liability	728.00	1,456.00	(728.00)	50.0%
01-438-001-353	Insurance - Vehicles	910.40	1,821.00	(910.60)	50.0%
01-438-001-354	Insurance - Workers Compensation	4,516.50	9,033.00	(4,516.50)	50.0%
01-438-001-450	Contracted Services	240.00	-	240.00	#DIV/0!
		54,693.85	176,539.00	(121,845.15)	31.0%

**ROAD CONSTRUCTION**

01-439-000-752	East West Link	-	-	-	#DIV/0!
		-	-	-	#DIV/0!

**Upper Uwchlan Township  
General Fund**  
**Statement of Revenues and Expenditures**  
**For the Period Ended April 30, 2024**

GL Account #	Account Description	2024 YTD Actual	2024 Budget	Over (Under) Budget	Actual as % of Budget
<b>PARK &amp; RECREATION</b>					
<i>Parks - General</i>					
01-454-000-150	Scholarships for Youth Groups	-	-	-	#DIV/0!
01-454-001-101	Park wages allocation	51,258.90	233,204.00	(181,945.10)	22.0%
01-454-001-200	Supplies	9,337.87	18,000.00	(8,662.13)	51.9%
01-454-001-201	Park & Rec Special Events	3,905.63	21,000.00	(17,094.37)	18.6%
01-454-001-202	Community Day	8,783.04	30,000.00	(21,216.96)	29.3%
01-454-001-230	Gasoline & Oil	-	-	-	#DIV/0!
01-454-001-235	Vehicle Maintenance	158.55	4,000.00	(3,841.45)	4.0%
01-454-001-250	Maintenance & Repairs	-	1,000.00	(1,000.00)	0.0%
01-454-001-260	Small Tools & Equipment	5,871.72	6,500.00	(628.28)	90.3%
01-454-001-316	Training/Seminars	-	1,000.00	(1,000.00)	0.0%
01-454-001-340	Public Relations	-	-	-	#DIV/0!
01-454-001-354	Insurance - Workers Compensation	1,881.88	3,764.00	(1,882.12)	50.0%
01-454-001-420	Dues/Subscriptions/Memberships	-	300.00	(300.00)	0.0%
01-454-001-427	Waste Disposal	-	1,500.00	(1,500.00)	0.0%
01-454-001-450	Contracted Services	230.00	230.00	230.00	#DIV/0!
		81,427.59	320,268.00	(238,840.41)	25.4%
 <b>HICKORY PARK</b>					
01-454-002-200	Supplies-Hickory	1,613.45	6,000.00	(4,386.55)	26.9%
01-454-002-231	Propane	-	3,000.00	(3,000.00)	0.0%
01-454-002-250	Maintenance & Repairs	2,578.56	8,000.00	(5,421.44)	32.2%
01-454-002-351	Insurance-Property	5,462.32	10,925.00	(5,462.68)	50.0%
01-454-002-360	Utilities	1,128.59	5,000.00	(3,871.41)	22.6%
01-454-002-450	Contracted Services	13,606.64	38,000.00	(24,393.36)	35.8%
		24,389.56	70,925.00	(46,535.44)	34.4%
 <b>FELLOWSHIP FIELDS</b>					
01-454-003-200	Supplies	-	3,000.00	(3,000.00)	0.0%
01-454-003-250	Maintenance & Repairs	7,125.82	10,000.00	(2,874.18)	71.3%
01-454-003-312	Engineering Fees	-	-	-	#DIV/0!
01-454-003-320	Telephone	499.96	2,500.00	(2,000.04)	20.0%
01-454-003-351	Insurance Property	5,462.32	10,925.00	(5,462.68)	50.0%
01-454-003-360	Utilities	678.76	12,000.00	(11,321.24)	5.7%
01-454-003-450	Contracted Services	585.75	20,000.00	(19,414.25)	2.9%
		14,352.61	58,425.00	(44,072.39)	24.6%
 <b>LARKINS FIELD</b>					
01-454-004-200	Supplies-Larkins	-	500.00	(500.00)	0.0%
01-454-004-250	Maintenance & Repair	-	500.00	(500.00)	0.0%
01-454-004-312	Engineering Fee-Larkins	-	-	-	#DIV/0!
01-454-004-450	Contracted Services	-	3,000.00	(3,000.00)	0.0%
		-	4,000.00	(4,000.00)	0.0%

**Upper Uwchlan Township  
General Fund  
Statement of Revenues and Expenditures  
For the Period Ended April 30, 2024**

GL Account #	Account Description	2024 YTD Actual	2024 Budget	Over (Under) Budget	Actual as % of Budget
<b>UPLAND FARMS</b>					
01-454-005-200	Supplies	3,615.45	7,500.00	(3,884.55)	48.2%
01-454-005-231	Propane & Heating Oil	2,206.29	5,000.00	(2,793.71)	44.1%
01-454-005-250	Repairs & Maintenance	6,392.54	30,000.00	(23,607.46)	21.3%
01-454-005-351	Insurance - Building	5,462.32	10,925.00	(5,462.68)	50.0%
01-454-005-360	Utilities	12,217.26	15,000.00	(2,782.74)	81.4%
01-454-005-450	Contracted Services	8,618.96	20,000.00	(11,381.04)	43.1%
01-454-005-513	Engineering Fees	-	-	-	#DIV/0!
		38,512.82	88,425.00	(49,912.18)	43.6%
	<b>Total Parks and Recreation</b>	<b>158,682.58</b>	<b>542,043.00</b>	<b>(383,360.42)</b>	<b>29.3%</b>
<b>LIBRARY and EAC</b>					
01-455-000-450	EAC Contracted Services	2,300.00	10,000.00	(7,700.00)	23.0%
01-456-000-530	Library Contributions	-	5,000.00	(5,000.00)	0.0%
		2,300.00	15,000.00	(12,700.00)	15.3%
<b>HISTORICAL COMMISSIONS</b>					
01-459-000-200	Supplies	1,078.04	2,500.00	(1,421.96)	43.1%
01-459-000-320	Telephone	-	1,000.00	(1,000.00)	0.0%
01-459-000-450	Contracted Services	-	1,500.00	(1,500.00)	0.0%
		1,078.04	5,000.00	(3,921.96)	21.6%
	<b>Total Expenditures Before Operating Transfers</b>	<b>2,352,915.05</b>	<b>8,055,065.00</b>	<b>(5,702,149.95)</b>	<b>29.2%</b>
	<b>Excess of Revenues over Expenses Before Operating Transfers</b>	<b>767,215.96</b>	<b>160,980.00</b>	<b>606,235.96</b>	<b>476.6%</b>
<b>OPERATING TRANSFERS</b>					
01-492-000-030	Transfer from Turf Field Cash account	-	-	-	#DIV/0!
01-492-000-031	Transfer to Capital Projects Fund	450,000.00	450,000.00	-	100.0%
01-492-000-032	Transfer to Solid Waste Fund	-	-	-	#DIV/0!
01-492-000-033	Transfer to Developer's Escrow Fund	-	-	-	#DIV/0!
01-492-000-034	Transfer to Act 209 Fund	-	-	-	#DIV/0!
01-492-000-035	Transfer to Municipal Authority	-	-	-	#DIV/0!
01-492-000-036	Transfer to Water Resource Protection Fund	172,329.37	172,329.37	172,329.37	#DIV/0!
		622,329.37	450,000.00	172,329.37	138.3%
	<b>Total Expenditures after Operating Transfers</b>	<b>2,975,244.42</b>	<b>8,505,065.00</b>	<b>(5,529,820.58)</b>	<b>35.0%</b>
	<b>EXCESS OF REVENUES OVER EXPENSES</b>	<b>\$ 144,886.59</b>	<b>\$ (289,020.00)</b>	<b>\$ 433,906.59</b>	<b>-50.1%</b>

**Upper Uwchlan Township**  
**Liquid Fuels Fund**  
**Balance Sheet**  
**As of April 30, 2024**

**ASSETS**

Cash		
04-100-000-000	Cash - Fulton Bank	\$ 1,027,288.09
	Total Cash	<u>1,027,288.09</u>
Investments		
04-120-000-100	Certificate of Deposit - Presence Bank	526,005.04
	Total Certificates of Deposit	<u>526,005.04</u>
Other Current Assets		
04-130-000-001	Due from General Fund	-
04-130-000-002	Due from Capital Fund	-
	Other Assets	<u>-</u>
	Total Other Current Assets	<u>-</u>
	<b>Total Assets</b>	<b>\$ 1,553,293.13</b>

**LIABILITIES AND FUND BALANCE**

Accounts Payable		
04-200-000-000	Accounts Payable	-
04-258-000-000	Accrued Expenses	-
	Total Accounts Payable	<u>-</u>
Other Current Liabilities		
	Other Liabilities	
04-230-000-010	Due To General Fund	-
04-252-000-000	Deferred Revenues	-
	Total Other Current Liabilities	<u>-</u>

**Total Liabilities**

Equity		
04-272-000-001	Opening Balance Equity	192,790.66
04-272-000-002	Retained Earnings	1,017,302.35
04-272-000-003	Transfer from Other Funds	-
	Unrestricted Net Assets	-
	Current Period Net Income (Loss)	<u>343,200.12</u>
	Total Equity	<u>1,553,293.13</u>
	<b>Total Fund Balance</b>	<b>\$ 1,553,293.13</b>

**Total Liabilities & Fund Balance**

**Upper Uwchlan Township**  
**Liquid Fuels Fund**  
**Statement of Revenues and Expenditures**  
**For the Period Ending April 30, 2024**

GL Account #	Account Description	2024 YTD Actual	2024 Budget	Over (Under) Budget	Actual as % of Budget
<b>REVENUES</b>					
04-341-000-000	Interest Earnings	\$ 23,050.55	\$ 7,000.00	16,050.55	329%
04-355-000-002	Motor Fuel Vehicle Taxes	396,257.05	394,802.00	1,455.05	100%
04-389-000-001	Winter Snow Agreement	795.00	600.00	195.00	133%
04-389-000-002	Turnback Maintenance	14,520.00	14,520.00	-	100%
	<b>Total Revenues</b>	<b>\$ 434,622.60</b>	<b>\$ 416,922.00</b>	<b>\$ 17,700.60</b>	<b>662%</b>
<b>EXPENDITURES</b>					
<b>Equipment</b>					
04-400-000-074	Equipment Purchases	-	-	-	#DIV/0!
	Total Equipment	-	-	-	#DIV/0!
<b>Snow</b>					
04-432-000-239	Snow & Ice Supplies	88,848.09	75,000.00	13,848.09	118%
04-432-000-250	Vehicle Maintenance & Repair	2,394.39	4,000.00	(1,605.61)	60%
04-432-000-450	Snow & Ice Contracted Services	180.00	24,000.00	(23,820.00)	1%
	Total Snow	91,422.48	103,000.00	(11,577.52)	179%
<b>Road Projects</b>					
04-438-000-239	Road Project Supplies	-	31,000.00	(31,000.00)	0%
04-438-000-450	Road Project Contracted Services	-	-	-	#DIV/0!
	Total Road Projects	-	31,000.00	(31,000.00)	#DIV/0!
<b>Highway Construction</b>					
04-439-001-250	Resurfacing	-	549,333.00	(549,333.00)	0%
04-439-002-250	Base Repairs - Pa. Drive	-	6,000.00	(6,000.00)	0%
	Total Highway Construction	-	555,333.00	(555,333.00)	-
	<b>Total Expenditures</b>	<b>\$ 91,422.48</b>	<b>\$ 689,333.00</b>	<b>\$ (597,910.52)</b>	<b>13%</b>
	<b>Excess of Revenues over Expenditures</b>	<b>\$ 343,200.12</b>	<b>\$ (272,411.00)</b>	<b>\$ 615,611.12</b>	<b>-126%</b>

**Upper Uwchlan Township**  
**Solid Waste Fund**  
**Balance Sheet**  
**As of April 30, 2024**

**ASSETS**

Cash		
05-100-000-010	Meridian Bank	\$ 387,078.44
05-100-000-030	Cash - Fulton Bank	717,140.10
	Total Cash	<hr/> 1,104,218.54
Accounts Receivable		
05-130-000-045	WIPP Receivable from MA	93,727.50
05-145-000-010	Solid Waste Receivable	97,528.03
05-145-000-095	Misc. Receivable	<hr/> 191,255.53
Other Current Assets		
05-130-000-010	Due from General Fund	30,442.01
05-130-000-020	Due from Capital Fund	-
05-130-000-050	Due from Municipal Authority	6,435.70
05-155-000-010	Prepaid Attorney Fees	-
	Other Assets	-
	Total Other Current Assets	<hr/> 36,877.71
	<b>Total Assets</b>	<b>\$ 1,332,351.78</b>

**LIABILITIES AND FUND BALANCE**

Accounts Payable		
05-200-000-020	Accounts Payable	-
05-258-000-000	Accrued Expenses	<hr/> -
	Total Accounts Payable	-
Other Current Liabilities		
05-239-000-010	Due To General Fund	605.00
05-239-000-020	Due To Capital Fund	-
05-239-000-030	Due to Liquid Fuels Fund	-
05-239-000-040	Due to Act 209 Fund	-
05-239-000-050	Due to Municipal Authority	1,804.09
05-239-000-055	Due to Water Resource Protection Fund	-
05-252-000-010	Deferred Revenues	<hr/> 90,318.41
	Total Other Current Liabilities	<hr/> 92,727.50
	<b>Total Liabilities</b>	<b>\$ 92,727.50</b>
Equity		
05-272-000-001	Opening Balance Equity	984,603.98
05-272-000-004	Unrestricted Net Assets	(261,620.18)
	Current Period Net Income (Loss)	<hr/> 516,640.48
	Total Equity	<hr/> 1,239,624.28
	<b>Total Fund Balance</b>	<b>\$ 1,239,624.28</b>
	<b>Total Liabilities &amp; Fund Balance</b>	<b>\$ 1,332,351.78</b>

**Upper Uwchlan Township  
Solid Waste Fund  
Statement of Revenues and Expenditures  
For the Period Ending April 30, 2024**

GL Account #	Account Description	2024 YTD Actual	2024 Budget	Over (Under) Budget	Actual as % of Budget
<b>REVENUES</b>					
05-341-000-000	Interest Earnings	\$ 7,795.14	\$ 25,000.00	(17,204.86)	31%
05-364-000-010	Solid Waste Income	789,649.98	1,171,800.00	(382,150.02)	67%
05-364-000-015	Resident Refunds	(938.70)	(2,000.00)	1,061.30	47%
05-364-000-020	Recycling Income	-	5,000.00	(5,000.00)	0%
05-364-000-025	Hazardous Waste Event	-	2,000.00	(2,000.00)	0%
05-364-000-030	Leaf Bags Sold	47.50	500.00	(452.50)	10%
05-364-000-035	Scrap Metal Sold	-	500.00	(500.00)	0%
	Equipment Purchase Grant (Pa.)	-	-	-	#DIV/0!
05-364-000-040	Performance Grant	25,442.71	25,000.00	442.71	102%
05-380-000-000	Misc Income	-	-	-	#DIV/0!
<b>Total Revenues</b>		<b>\$ 821,996.63</b>	<b>\$ 1,227,800.00</b>	<b>\$ (405,803.37)</b>	<b>#DIV/0!</b>
<b>EXPENDITURES</b>					
<b>Operations</b>					
05-427-000-101	Employee Cost Allocation	-	23,228.00	(23,228.00)	0%
05-427-000-150	Bank Fees	70.00	200.00	(130.00)	35%
05-427-000-200	Supplies	74.55	2,000.00	(1,925.45)	4%
05-427-000-210	Utility Billing Expenses	2,546.68	5,000.00	(2,453.32)	51%
05-427-000-220	Postage	1,825.80	2,300.00	(474.20)	79%
05-427-000-230	Toters	-	36,069.00	(36,069.00)	0%
05-427-000-314	Legal Fees	2,030.00	10,000.00	(7,970.00)	20%
05-427-000-316	Training & Seminars	-	500.00	(500.00)	0%
05-427-000-420	Dues/Subscriptions/Memberships	-	200.00	(200.00)	0%
05-427-000-450	Contracted Services - Solid Waste	130,578.26	714,000.00	(583,421.74)	18%
05-427-000-460	Contracted Services - Recycling	73,861.26	306,000.00	(232,138.74)	24%
05-427-000-700	Tipping Fees	83,032.88	317,550.00	(234,517.12)	26%
05-427-000-725	Tipping Fees - Recycling	11,336.72	67,500.00	(56,163.28)	17%
05-427-000-800	Recycling Disposal	-	9,000.00	(9,000.00)	0%
05-427-000-805	Electronic Waste Event	-	6,000.00	(6,000.00)	0%
05-427-000-810	Hazardous Waste Event	-	2,000.00	(2,000.00)	0%
<b>Total Operations</b>		<b>305,356.15</b>	<b>1,501,547.00</b>	<b>(1,196,190.85)</b>	<b>20%</b>
<b>Operating Transfers</b>					
05-492-000-030.	Transfer to Capital Fund	-	-	-	#DIV/0!
	Transfer to General Fund	-	-	-	#DIV/0!
	<b>Total Operating Transfers</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>#DIV/0!</b>
<b>Total Expenditures</b>		<b>\$ 305,356.15</b>	<b>\$ 1,501,547.00</b>	<b>\$ (1,196,190.85)</b>	<b>20%</b>
<b>Excess of Revenues over Expenditures</b>					
		<b>\$ 516,640.48</b>	<b>\$ (273,747.00)</b>	<b>\$ 790,387.48</b>	<b>-189%</b>

**Upper Uwchlan Township  
Water Resource Protection Fund  
Balance Sheet  
As of April 30, 2024**

**ASSETS**

Cash		
08-100-000-100	Cash - Fulton Bank	<u>657,391.37</u>
	Total Cash	<u>657,391.37</u>
Other Current Assets		
08-130-000-010	Due from General Fund	-
08-130-000-020	Due from Municipal Authority	-
08-130-000-030	Due from Solid Waste Fund	-
08-145-000-095	Misc. Receivable	-
	Total Other Current Assets	<u>-</u>
	<b>Total Assets</b>	<b>\$ 657,391.37</b>

**LIABILITIES AND FUND BALANCE**

Accounts Payable		
08-200-000-000	Accounts Payable	-
08-258-000-000	Accrued Expenses	<u>-</u>
	Total Accounts Payable	<u>-</u>
Other Current Liabilities		
08-230-000-010	Due To General Fund	-
08-230-000-020	Due to Municipal Authority	-
08-230-000-030	Due to Capital Fund	-
	Deferred Revenues	-
	Total Other Current Liabilities	<u>-</u>
	<b>Total Liabilities</b>	<b>-</b>
Equity		
08-272-000-100	Unrestricted Net Assets	677,739.14
08-272-000-200	Restricted Net Assets	-
	Current Period Net Income (Loss)	<u>(20,347.77)</u>
	Total Equity	<u>657,391.37</u>
	<b>Total Fund Balance</b>	<b>\$ 657,391.37</b>
	<b>Total Liabilities &amp; Fund Balance</b>	<b>\$ 657,391.37</b>

**Upper Uwchlan Township  
Water Resource Protection Fund  
Statement of Revenues and Expenditures  
For the Period Ending April 30, 2024**

GL Account #	Account Description	2024 YTD Actual	2024 Budget	Over (Under) Budget	Actual as % of Budget
<b>REVENUES</b>					
08-341-000-010	Interest Earnings	\$ 7,395.93	\$ 12,500.00	(5,104.07)	59%
08-351-000-010	Federal Grants	-	-	-	#DIV/0!
08-354-000-010	County Grants	-	-	-	#DIV/0!
08-354-000-020	State Grants	-	275,000.00	(275,000.00)	0%
08-361-000-100	Water Resource Protection Fees	-	186,000.00	(186,000.00)	0%
08-392-000-010	Transfer from the General Fund	172,329.37	-	172,329.37	#DIV/0!
08-392-000-020	Transfer from Municipal Authority	-	-	-	#DIV/0!
08-395-000-000	Refund of Prior Year Expenditures	-	-	-	#DIV/0!
	Miscellaneous Revenue	-	-	-	#DIV/0!
	<b>Total Revenues</b>	<b>\$ 179,725.30</b>	<b>\$ 473,500.00</b>	<b>\$ (293,774.70)</b>	<b>38%</b>
<b>EXPENDITURES</b>					
<i>Operations</i>					
08-404-000-310	Wage Allocation	-	-	-	#DIV/0!
08-404-000-311	Legal Fees	-	-	-	#DIV/0!
08-406-000-010	Grant Application Fees	-	-	-	#DIV/0!
08-406-000-340	Public Relations	-	-	-	#DIV/0!
08-408-000-010	Engineering	-	5,000.00	(5,000.00)	0%
08-408-000-020	Feasibility Studies	-	-	-	#DIV/0!
08-420-000-035	Permits	2,500.00	-	2,500.00	#DIV/0!
08-420-000-260	Small Tools & Equipment	-	1,500.00	(1,500.00)	0%
08-446-000-101	Allocated Wages	-	-	-	#DIV/0!
08-446-000-200	Supplies	18,131.88	27,112.00	(8,980.12)	67%
08-446-000-230	Gasoline & Oil	-	2,400.00	(2,400.00)	0%
08-446-000-235	Vehicle maintenance	6,161.82	4,250.00	1,911.82	145%
08-446-000-250	Maintenance & Repair	-	25,600.00	(25,600.00)	0%
08-446-000-316	Training & Seminars	-	2,000.00	(2,000.00)	0%
08-446-000-450	Contracted Services	950.00	20,000.00	(19,050.00)	5%
08-446-000-600	Construction	-	-	-	#DIV/0!
08-446-004-600	Construction - Upland Farms	-	-	-	#DIV/0!
08-446-005-600	Construction - Marsh Creek	172,329.37	461,000.00	(288,670.63)	37%
08-446-001-250	Maintenance & Repair - MA	-	-	-	#DIV/0!
08-446-001-600	Construction - MA	-	-	-	#DIV/0!
	<b>Total Operations</b>	<b>200,073.07</b>	<b>548,862.00</b>	<b>\$ (348,788.93)</b>	<b>36%</b>
<i>Operating Transfers</i>					
	Transfer to General Fund	-	-	-	#DIV/0!
	<b>Total Operating Transfers</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>#DIV/0!</b>
	<b>Total Expenditures</b>	<b>\$ 200,073.07</b>	<b>\$ 548,862.00</b>	<b>\$ (348,788.93)</b>	<b>36%</b>
	<b>Excess of Revenues over Expenditures</b>	<b>\$ (20,347.77)</b>	<b>\$ (75,362.00)</b>	<b>\$ 55,014.23</b>	<b>27%</b>

**Upper Uwchlan Township**  
**Act 209 Fund**  
**Balance Sheet**  
**As of April 30, 2024**

**ASSETS**

Cash		
09-100-000-010	Cash - Fulton Bank	\$ 55,675.49
	Total Cash	<u>55,675.49</u>
Investments		
09-120-000-100	Certificate of Deposit	1,047,633.90
	Total Certificates of Deposit	<u>1,047,633.90</u>
Other Current Assets		
09-130-000-000	Due from General Fund	-
09-130-000-001	Due from Capital Fund	-
09-191-000-000	Other Assets	-
	Reserve - Accounts Receivable	-
	Total Other Current Assets	<u>-</u>
	<b>Total Assets</b>	<b>\$ 1,103,309.39</b>

**LIABILITIES AND FUND BALANCE**

Accounts Payable		
09-200-000-000	Accounts Payable	-
09-258-000-000	Accrued Expenses	-
	Total Accounts Payable	<u>-</u>
Other Current Liabilities		
09-297-000-000	Other Liabilities	-
09-297-000-001	Due To General Fund	-
09-297-000-002	Due To Capital Fund	-
	Total Other Current Liabilities	<u>-</u>
	<b>Total Liabilities</b>	<b>\$ -</b>

Equity		
09-272-000-001	Opening Balance Equity	299,600.19
09-272-000-002	Permanently Restricted Net Assets	-
09-272-000-003	Retained Earnings	538,479.32
09-272-000-004	Temporarily Restricted Net Assets	-
09-272-000-005	Unrestricted Net Assets	251,305.53
	Current Period Net Income (Loss)	13,924.35
	Total Equity	<u>1,103,309.39</u>

**Total Fund Balance** **\$ 1,103,309.39**

**Total Liabilities & Fund Balance** **\$ 1,103,309.39**

**Upper Uwchlan Township**  
**Act 209 Fund**  
**Statement of Revenues and Expenditures**  
**For the Period Ended April 30, 2024**

GL Account #	Account Description	2024 YTD Actual	2024 Budget	Over (Under) Budget	Actual as % of Budget
09-341-000-000	Interest Income	\$ 17,024.91	\$ 30,000.00	\$ (12,975.09)	56.7%
09-354-000-030	Grant Revenue - Federal	-	-	-	#DIV/0!
09-354-000-140	Grant Revenue - State (ARLE)	-	-	-	#DIV/0!
09-379-000-010	Transportation Impact Fees	-	-	-	#DIV/0!
09-379-000-020	Transportation Impact Fees - Reserve	-	-	-	#DIV/0!
09-380-000-000	Misc Revenue	-	-	-	#DIV/0!
09-395-000-100	Transfer from General Fund	-	-	-	#DIV/0!
09-395-000-200	Transfer from Capital Fund	-	-	-	#DIV/0!
<b>Total Revenue</b>		<b>17,024.91</b>	<b>30,000.00</b>	<b>(12,975.09)</b>	<b>#DIV/0!</b>
09-427-000-150	Bank Fees	100.00	150.00	-	0.67
09-489-000-000	Arle Grant - Act 209	-	-	-	#DIV/0!
09-489-000-010	Engineering Fees	3,000.56	-	3,000.56	#DIV/0!
09-489-000-020	Construction	-	-	-	#DIV/0!
09-489-000-045	Contracted Services	-	-	-	#DIV/0!
09-489-000-600	Capital Construction	-	-	-	#DIV/0!
<b>Total Expenditures</b>		<b>3,100.56</b>	<b>150.00</b>	<b>3,000.56</b>	<b>#DIV/0!</b>
<b>Excess of Revenues over Expenditures</b>		<b>\$ 13,924.35</b>	<b>\$ 29,850.00</b>	<b>\$ (15,975.65)</b>	<b>#DIV/0!</b>

**Upper Uwchlan Township  
Sewer Fund  
Balance Sheet  
As of April 30, 2024**

**ASSETS**

Cash		
15-100-000-100	Cash - Fulton Bank	\$ 109,762.12
15-100-000-200	Cash - Construction Fund (PSDLAF)	83.59
	Total Cash	<hr/> 109,845.71
Other Current Assets		
15-130-000-001	Due from General Fund	-
15-130-000-002	Due from Municipal Authority	-
15-136-000-100	Interest Receivable	-
	Other Assets	<hr/> -
	Total Other Current Assets	-
Long-Term Assets		
15-130-000-005	Due from Municipal Authority - 2019 Bonds	5,205,556.07
15-161-000-100	Sewer Easements	-
15-163-000-100	Capital Assets - Plant	26,377,547.00
15-163-000-110	Construction in Progress	74,706.00
15-163-000-200	Capital Assets - Expansion	116,592.00
15-163-000-500	Accumulated Depreciation	(5,953,761.08)
15-157-000-100	Discount on Bonds - Series of 2019	16,587.35
15-157-000-110	OID Amortization - Series of 2019	<hr/> (3,021.87)
		25,834,205.47
	<b>Total Assets</b>	<b>\$ 25,944,051.18</b>

**LIABILITIES AND FUND BALANCE**

Current Liabilities		
15-200-000-000	Accounts Payable	-
15-230-000-001	Due To General Fund	-
15-230-000-002	Due to Municipal Authority	-
15-258-000-000	Accrued Expenses	-
15-258-000-045	Retainage Payable	-
15-258-000-100	Interest Payable on Bonds - 2014	-
15-258-000-105	Interest Payable on Bonds - 2019	85,143.25
15-258-000-110	Interest Payable on Bonds - Series A of 2019	<hr/> 47,697.90
	Total Accounts Payable	132,841.15
Long Term Liabilities		
15-261-000-100	General Obligation Bonds- Series of 2014	-
15-261-000-105	General Obligation Bonds- Series of 2019	5,155,000.00
15-261-000-110	General Obligation Bonds- Series A of 2019	4,235,000.00
15-261-000-200	Premium on Bonds - Series of 2014	86,933.00
15-261-000-210	Premium on Bonds - Series A of 2019	132,902.90
15-261-000-250	Accrued Amortization on Bond Premium - 2014	-
15-261-000-260	Accrued Amortiz on Bond Premium - Series of 2019	<hr/> (31,564.43)
		9,578,271.47
	<b>Total Liabilities</b>	<b>9,711,112.62</b>

**Equity**

15-272-000-100	Unrestricted Net Assets	16,338,520.82
	Current Period Net Income (Loss)	<hr/> (105,582.26)
	Total Equity	16,232,938.56

<b>Total Fund Balance</b>	<b>\$ 16,232,938.56</b>
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<b>Total Liabilities &amp; Fund Balance</b>	<b>\$ 25,944,051.18</b>
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**Upper Uwchlan Township  
Sewer Fund**  
**Statement of Revenues and Expenditures**  
**For the Period Ending April 30, 2024**

GL Account #	Account Description	2024 YTD Actual	2024 Budget	Over (Under) Budget	Actual as % of Budget
<b>REVENUES</b>					
15-341-000-000	Interest Earnings	\$ 1,190.66	\$ 4,000.00	(2,809.34)	30%
15-342-000-100	Operations Mgmt Agreement Fees - 2014 bonds	-	-	-	#DIV/0!
15-342-000-200	Operations Mgmt Agreement Fees - 2019 bonds	-	239,344.00	(239,344.00)	0%
15-342-000-300	Operations Mgmt Agreement Fees - Series A of 2019 (MA)	-	334,475.00	(334,475.00)	0%
<b>Total Revenues</b>		<b>\$ 1,190.66</b>	<b>\$ 577,819.00</b>	<b>\$ (576,628.34)</b>	<b>#DIV/0!</b>
<b>EXPENDITURES</b>					
<b>General</b>					
15-400-000-461	Bank Fees	500.00	1,000.00	(500.00)	50%
15-400-000-463	Misc Expenses	-	1,000.00	(1,000.00)	0%
15-404-000-100	Legal Fees	-	-	-	#DIV/0!
		<b>500.00</b>	<b>2,000.00</b>	<b>(1,500.00)</b>	<b>0.50</b>
<b>Bond expenses</b>					
15-472-000-100	Bond Interest Expense - Series of 2014	-	-	-	#DIV/0!
15-472-000-105	Bond Interest Expense - Series of 2019	68,114.60	204,344.00	(136,229.40)	33%
15-472-000-110	Bond Interest Expense - Series A of 2019	38,158.32	114,475.00	(76,316.68)	33%
15-472-000-200	Bond Issuance Costs	-	-	-	#DIV/0!
15-472-000-300	Bond Amortization Expense - 2014 Bonds	-	-	-	#DIV/0!
15-472-000-305	Bond Amortization Expense - 2019 Bonds	-	829.00	(829.00)	0%
15-472-000-310	Bond Amortization Expense - 2019A Bonds	-	(6,645.00)	6,645.00	0%
	Total Debt Expenses	<b>106,272.92</b>	<b>313,003.00</b>	<b>(212,546.08)</b>	<b>#DIV/0!</b>
<b>Other</b>					
15-493-000-083	Depreciation	-	-	-	#DIV/0!
		<b>-</b>	<b>-</b>	<b>-</b>	<b>#DIV/0!</b>
<b>Total Expenditures before Transfers</b>		<b>\$ 106,772.92</b>	<b>\$ 315,003.00</b>	<b>\$ (214,046.08)</b>	<b>34%</b>
<b>Transfers</b>					
15-492-000-010	Transfer to Municipal Authority	-	-	-	#DIV/0!
	Total Transfers	-	-	-	#DIV/0!
<b>Total Expenditures and Transfers</b>		<b>106,772.92</b>	<b>315,003.00</b>	<b>(214,046.08)</b>	<b>#DIV/0!</b>
<b>Excess of Revenues over Expenditures</b>					
		<b>\$ (105,582.26)</b>	<b>\$ 262,816.00</b>	<b>\$ (362,582.26)</b>	<b>-40%</b>

**Upper Uwchlan Township  
Capital Projects Fund  
Balance Sheet  
As of April 30, 2024**

**ASSETS**

Cash			
30-100-000-010	Cash - Fulton Bank	\$	343,811.37
30-100-000-020	PSDLAF		5,109.71
30-110-000-100	Fulton Bank - 2019 Bond Proceeds		
30-110-000-200	Fulton Bank - 2019 Bond Proceeds - ICS		0.55
	Total Cash		<u>348,921.63</u>
Accounts Receivable			
30-130-000-001	Due from General Fund		-
30-130-000-002	Due From Municipal Authority		-
30-130-000-003	Due from Escrow Fund		-
30-130-000-004	Due from Solid Waste Fund		-
30-130-000-005	Due From Liquid Fuels Fund		-
30-130-000-006	Due from Act 209 Fund		-
30-130-000-007	Due from Water Resource Protection Fund		-
30-130-000-008	Due from MA Capital Fund		<u>15,100.00</u>
	Total Accounts Receivable		<u>15,100.00</u>
Other Current Asset			
30-155-000-000	Prepaid Expenses		17,500.00
30-191-000-000	Other Assets		-
	Total Other Current Asset		<u>17,500.00</u>
<b>Total Assets</b>		<b>\$</b>	<b>381,521.63</b>

**LIABILITIES AND FUND BALANCE**

Accounts Payable			
30-200-000-000	Accounts Payable		-
30-258-000-000	Accrued Expenses		-
30-258-000-100	Interest Payable - 2019 Bonds		75,270.85
30-261-000-100	General Obligation Bonds - Series of 2019		4,730,000.00
30-261-000-150	Premium on GO Bonds - Series of 2019		247,103.30
30-261-000-160	Accrued Amortization - Series of 2019		(55,598.23)
	Total Accounts Payable		<u>4,996,775.92</u>
Long Term Liabilities			
30-297-000-000	Other Liabilities		-
	Total Long Term Liabilities		<u>-</u>
Other Current Liabilities			
30-230-000-000	Due to General Fund		-
30-230-000-001	Due To Liquid Fuels		-
30-230-000-002	Due to Act 209		-
30-230-000-003	Due to Solid Waste Fund		-
30-230-000-004	Due to Municipal Authority		-
30-230-000-005	Due To Escrow Fund		-
	Total Other Current Liabilities		<u>-</u>
<b>Total Liabilities</b>		<b>\$</b>	<b>4,996,775.92</b>

**Equity**

30-272-000-001	Opening Balance Equity		948,398.39
30-272-000-004	Unrestricted Net Assets		(5,684,769.61)
	Current Period Net Income (Loss)		121,116.93
	Total Equity		<u>(4,615,254.29)</u>
<b>Total Fund Balance</b>		<b>\$</b>	<b>(4,615,254.29)</b>

<b>Total Liabilities &amp; Fund Balance</b>		<b>\$</b>	<b>381,521.63</b>
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**Upper Uwchlan Township  
Capital Projects Fund  
Statement of Revenues and Expenditures  
For the Period Ending March 31, 2024**

GL Account #	Account Description	2024 YTD Actual	2024 Budget	Over (Under) Budget	Actual as % of Budget
<b>REVENUES</b>					
30-341-000-000	Interest Earnings	\$ 2,618.66	10,000.00	(7,381.34)	26%
30-354-000-010	Grant Revenue - County	-	-	-	#DIV/0!
30-354-000-020	Grant Revenue - State	-	100,000.00	(100,000.00)	0%
30-354-000-030	Grant Revenue - Federal	-	-	-	#DIV/0!
30-354-000-040	Grant Revenue - Other	-	5,800.00	(5,800.00)	0%
30-391-000-100	Sale of Fixed Assets	-	5,000.00	(5,000.00)	0%
30-392-000-001	Transfer from General Fund	450,000.00	450,000.00	-	100%
30-392-000-005	Transfer from Solid Waste Fund	-	-	-	#DIV/0!
30-392-000-020	Transfer from Act 209 Fund	-	-	-	#DIV/0!
30-392-000-030	Transfer from the Municipal Authority	-	-	-	#DIV/0!
30-393-000-000	Capital Income	-	-	-	#DIV/0!
30-393-000-020	Proceeds from Long Term Debt	-	-	-	#DIV/0!
30-393-000-400	Other financing sources	-	-	-	#DIV/0!
		452,618.66	570,800.00	(118,181.34)	79%
<b>Total Revenues</b>					
\$ 452,618.66					
<b>CAPITAL EXPENSES</b>					
<b>Township Properties</b>					
30-409-000-700	Capital Purchases-General	-	-	-	#DIV/0!
30-409-001-700	Capital Purchases-Executive	-	-	-	#DIV/0!
30-409-002-600	Capital Construction - Township Bldg	10,508.00	103,000.00	(92,492.00)	10%
30-409-002-610	Township Bldg Expansion 2018-2020	-	-	-	#DIV/0!
30-409-002-700	Capital Purchases - Twp Bldg	-	-	-	#DIV/0!
30-409-003-600	Capital Construction - PW Bldg	-	-	-	#DIV/0!
30-409-003-700	Capital Purchases - PW Bldg	-	-	-	#DIV/0!
30-409-004-600	Capital Construction - Milford Rd.	-	-	-	#DIV/0!
30-409-004-700	Capital Purchases - Milford Rd.	-	-	-	#DIV/0!
	Total Township	10,508.00	103,000.00	(92,492.00)	10%
<b>Police</b>					
30-410-000-700	Capital Purchases- Police	56,195.07	120,525.00	(64,329.93)	47%
	Future Purchase	-	-	-	#DIV/0!
		56,195.07	120,525.00	(64,329.93)	47%
<b>Codes</b>					
30-413-000-700	Capital Purchases	-	-	-	#DIV/0!
		-	-	-	#DIV/0!
<b>Emergency Management</b>					
30-415-000-700	Capital Purchases	-	-	-	#DIV/0!
		-	-	-	#DIV/0!
<b>Public Works</b>					
30-438-000-700	Capital Purchases-Vehicles	-	-	-	#DIV/0!
30-438-000-701	Capital Purchases - Equipment	147,407.78	223,382.00	(75,974.22)	66%
	Total Public Works	147,407.78	223,382.00	(75,974.22)	#DIV/0!
<b>Roads</b>					
30-502-434-700	Traffic Signals	-	-	-	#DIV/0!
	Little Conestoga Road Crosswalk	-	-	-	#DIV/0!
	Lyndell Road Bridge	-	-	-	#DIV/0!
		-	-	-	#DIV/0!

**Upper Uwchlan Township**  
**Capital Projects Fund**  
**Statement of Revenues and Expenditures**  
**For the Period Ending March 31, 2024**

<b>Parks</b>					
<i>All Parks</i>					
30-454-000-700	Capital Purchases - All Parks	13,849.20	14,069.00	(219.80)	98%
<i>Hickory Park</i>					
30-454-001-600	Capital Construction - Hickory	-	-	-	#DIV/0!
30-454-001-700	Capital Purchases - Hickory	-	-	-	#DIV/0!
<i>Fellowship Fields</i>					
30-454-002-600	Capital Construction - Fellowship	-	-	-	#DIV/0!
30-454-002-700	Capital Purchases - Fellowship	11,000.00	11,000.00	-	#DIV/0!
<i>Larkins Field</i>					
30-454-003-600	Capital Construction - Larkins	-	-	-	#DIV/0!
30-454-003-700	Capital Purchases - Larkins	-	-	-	#DIV/0!
<i>Upland Farms</i>					
30-454-004-600	Capital Construction - Upland	32,125.00	-	32,125.00	#DIV/0!
30-454-004-610	Fund Raising - Upland	-	-	-	#DIV/0!
30-454-004-700	Capital Purchases - Upland	-	-	-	#DIV/0!
<i>Village of Eagle Pocket Park</i>					
30-506-000-100	Design	-	-	-	#DIV/0!
30-506-000-600	Capital Construction	-	-	-	#DIV/0!
30-506-000-700	Capital Purchases	-	-	-	#DIV/0!
Total Parks Capital		56,974.20	14,069.00	42,905.20	405%
 <b>Trails</b>					
30-455-000-650	Grant-Trails/Bridge - Struble Trail	-	-	-	#DIV/0!
30-455-000-651	Phase IV-Pk Rd Trail	125,000.00	(125,000.00)	0%	#DIV/0!
30-455-000-652	Side Path Project	-	-	-	#DIV/0!
Total Trails		125,000.00	(125,000.00)	0%	#DIV/0!
 <b>Debt Service</b>					
30-472-000-100	Interest Expense - Series of 2019	60,416.68	185,000.00	(124,583.32)	33%
30-472-000-200	Cost of Issuance - Series of 2019	-	-	-	#DIV/0!
30-472-000-300	Bond Amortization Expense - Series of 2019	-	(12,355.00)	12,355.00	0%
30-500-471-003	Capital Lease - Principal	-	-	-	#DIV/0!
30-500-472-003	Capital Lease - Interest	-	-	-	#DIV/0!
Total Debt Service		60,416.68	172,645.00	(112,228.32)	35%
 <b>Village Concept</b>					
30-506-000-100	Design - Village of Eagle	-	-	-	#DIV/0!
30-506-000-600	Construction - Village of Eagle	-	-	-	#DIV/0!
30-507-000-010	Misc Expenses	-	-	-	#DIV/0!
 <b>Total Expenditures before Operating Transfers</b>					
		\$ 331,501.73	\$ 758,621.00	\$ (427,119.27)	44%
 <b>Operating Transfers</b>					
30-505-000-010	Transfers to the General Fund	-	-	-	#DIV/0!
30-505-000-020	Transfers to the Solid Waste Fund	-	-	-	#DIV/0!
30-505-000-030	Transfers to the Act 209 Fund	-	-	-	#DIV/0!
Total Operating Transfers		-	-	-	#DIV/0!
 <b>Excess of Revenues over Expenditures and Operating Transfers</b>					
		\$ 121,116.93	\$ (187,821.00)	\$ 308,937.93	-64.49%

**Upper Uwchlan Township  
Developers Escrow Fund  
Balance Sheet  
As of April 30, 2024**

**ASSETS**

Cash		
40-100-000-100	Cash - Fulton Bank	\$ 322,728.35
	Total Cash	<u>322,728.35</u>
Other Current Assets		
40-130-000-010	Due from General Fund	(3,171.20)
40-130-000-020	Due from Solid Waste Fund	-
40-130-000-030	Due from Municipal Authority	<u>-</u>
	Total Other Current Assets	<u>(3,171.20)</u>
	<b>Total Assets</b>	<b>\$ 319,557.15</b>

**LIABILITIES AND FUND BALANCE**

Accounts Payable		
40-200-000-000	Accounts Payable	<u>-</u>
	Total Accounts Payable	<u>-</u>
Other Current Liabilities		
40-230-000-010	Due To General Fund	460.00
40-230-000-020	Due to Solid Waste Fund	-
40-230-000-030	Due to Municipal Authority	13,658.07
	<u>Due to Developers:</u>	
40-248-000-001	Toll Brothers	-
40-248-000-004	Columbia Gas Transmission LLC	8,150.24
40-248-000-005	Chester County - Radio Tower	-
40-248-000-006	Executive Land Holdings	-
40-248-000-007	Park Road Townhomes	-
40-248-000-009	Open Community Corp.	(20,197.91)
40-248-000-010	Sunoco Reed Road	4,147.14
40-248-000-011	McHugh	-
40-248-000-012	Marsh Lea	-
40-248-000-013	Eagle Pointe	-
40-248-000-014	Grashof	-
40-248-000-015	McKee Fettters	-
40-248-000-017	Vantage Point Retirement	(7,215.50)
40-248-000-018	CarSense	-
40-248-000-019	Village at Byers	-
40-248-000-020	Milford Rd. Associates	-
40-248-000-021	Townes at Chester Springs	-
40-248-000-022	Eagle Village Parking	-
40-248-000-023	Fish Eye	19,182.67
40-248-000-024	Jankowski	-
40-248-000-025	Eagleville Lot 1C	211.24
40-248-000-026	Lot 1B Maintenance Area	3,887.94
40-248-000-027	122 Oscar Way	-
40-248-000-028	Commercial 5C	-
40-248-000-030	Profound Technologies	-
40-248-000-031	Windsor Baptist Church	4,491.90
40-248-000-032	Eagle Village Parking Expansion	-
40-248-000-033	Chester Springs Crossing	8.81
40-248-000-034	Starbucks @ Eaglepoint Village	-
40-248-000-035	The Preserve at Marsh Creek SD	(21,946.37)
40-248-000-036	McKee Toll Traffic Impact Fee	63.75
40-248-000-500	Gunner Properties Performance	-
40-248-000-038	Enclave at Chester Springs	5,253.74

**Upper Uwchlan Township  
Developers Escrow Fund  
Balance Sheet  
As of April 30, 2024**

40-248-000-039	164 Byers Rd QBD	845.37
40-248-000-040	Aurora Greenridge	-
40-248-000-041	Aurora Greenridge	-
40-248-000-042	DeWees 363 Byers Road	-
40-248-000-043	Black Horse Farm	-
40-248-000-044	Aecom Technology	-
40-248-000-045	11 Senn Drive Parking	380.37
40-248-000-046	Byers Station Parcel 5C Lot 2B	2,190.72
40-248-000-047	461 Font Road	-
40-248-000-048	301 Park Road	9,329.82
40-248-000-049	Eagleview Lot 1A	274.82
40-248-000-050	Eagle Animal Hospital	2,714.20
40-248-000-051	Rockhill Real Estate Enterprises	(1,536.93)
40-248-000-052	100 Greenridge Road	2,508.97
40-248-000-053	J Downend Landscaping	2,139.52
40-248-000-054	241 Park Road	217.77
40-248-000-055	Rotelle Development Co.	2,087.60
40-248-001-019	Villages Dedication	22,926.05
40-248-001-032	Gunner Parking Exp Construction	-
40-248-001-033	Crossings Dedication	-
40-248-001-035	The Preserve at Marsh Creek Sewer	38,061.67
40-248-001-038	Enclave at Chester Springs site	54,702.41
40-248-002-035	PMC Sewer Phase III	(6,044.31)
40-248-002-038	Enclave Station Blvd Improvements	157,473.15
40-248-003-035	PMC Construction Phase III	21,130.23
<hr/>		
	Total Other Current Liabilities	<hr/> 319,557.15
40-258-000-000	Accrued Expenses	-
<hr/>		
	<b>Total Liabilities</b>	<b>\$ 319,557.15</b>

Equity		
40-279-000-000	Opening Balance Equity	-
	Current Period Net Income (Loss)	-
	Total Equity	<hr/> -
<hr/>		
	<b>Total Fund Balance</b>	<b>\$ -</b>
<hr/>		
	<b>Total Liabilities &amp; Fund Balance</b>	<b>\$ 319,557.15</b>

**Upper Uwchlan Township**  
**Developers Escrow Fund**  
**Statement of Revenues and Expenditures**  
**For the Period Ended April 30, 2024**

GL Account #	Account Description	2024 YTD Actual	2024 Budget	Over (Under) Budget	Actual as % of Budget
40-341-000-000	Interest Income	\$ 3,845.74	\$ -	\$ 3,845.74	-
40-341-000-010	Interest Income - allocated to Developers	(3,845.74)	-	(3,845.74)	-
40-392-000-100	Transfer from General Fund	-	-	-	-
<b>Total Revenue</b>					
40-400-000-461	Bank Fees	-	-	-	-
<b>Total Expenditures</b>					
<b>Excess of Revenues over Expenditures</b>					



# UPPER UWCHLAN TOWNSHIP

## MEMORANDUM

### ADMINISTRATION

**TO:** **Board of Supervisors**

**FROM:** **Jill Bukata**  
**Township Treasurer**

**RE:** **Budget Amendment – Solid Waste Fund**

**DATE:** **May 20, 2024**

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The Solid Waste Fund Budget for 2024 included extremely conservative estimates of the new Solid Waste and Recycling contract for the period beginning August 1, 2024. The Board approved a new contract for the period August 1, 2024 through July 31, 2028 (includes extensions) at the March 18, 2024 Board of Supervisors meeting which significantly reduces the costs that were included in the original budget adopted in December, 2023.

I am respectfully requesting that the Board amend the Budget for 2024 to reflect the updated costs according to the new contract. The following is a comparison of the original and proposed amended budgets:

	<b>Original</b>	<b>Amended</b>
Revenues	\$1,227,800	\$1,227,800
Expenses	\$1,501,547	\$1,366,859
Net Income (Loss)	(\$273,747)	(\$139,059)



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***ENGINEER'S REPORT – UPPER UWCHLAN TOWNSHIP***

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**Date:** May 16, 2024

**To:** Tony Scheivert - Township Manager  
Board of Supervisors

**From:** David Leh, P.E.

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The following is an overview of engineering activities for the previous month:

**Preserve at Marsh Creek** – Bond Reduction Request No. 2 for Phase 3 of the project has been submitted by Toll Brothers. We have submitted our recommendation for release under separate cover.

**301 Park Road (PJ Reilly)** – Updated land development plans have been submitted and are under review by the township consultants. The application was reviewed by the Planning Commission at their May 9<sup>th</sup> Meeting, no action was taken.

**Byers Station (Lot 6C)- Vantage Point** – Site work is substantially complete.

Construction continues at the following developments with no significant issues:

- Byers Station (Parcel 6C) (Vantage Point)
- Eagleview (Lot 1C)
- Preserve at Marsh Creek



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## **DEVELOPMENT UPDATE – UPPER UWCHLAN TOWNSHIP**

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**Date:** May 16, 2024

**To:** Board of Supervisors

**From:** David Leh, P.E.

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**Bold items have been additions since our last report.**

**100 Greenridge Road (Toll)** – The Board granted approval for the Conditional Use for a 64-home subdivision at their October 11<sup>th</sup>, 2022, meeting. Toll Brothers has now submitted Preliminary Land Development Plans for the project. Consistent with the conditional use approval, 64 homes are proposed. The Planning Commission accepted the plans at their April 13<sup>th</sup> 2023 meeting. The plans have been reviewed by the Township Consultants and a review letter has been issued. The Zoning Hearing Board's decision regarding the disturbance of Prohibitive Steep Slopes has been appealed.

**211 Byers Road – Eagle Animal Hospital** – The Applicant is proposing to construct a new 5,334 SF building and 36 space parking facility to replace the elements which were lost to the fire. The Planning Commission reviewed the plan and recommended Preliminary Approval at their April 11<sup>th</sup> meeting. The Board of Supervisors granted Preliminary Approval at their May 14<sup>th</sup> workshop meeting.

**241 Park Road** – The applicant has submitted a conditional use / land development application for the construction of a 6,000 SF daycare facility. The plans were reviewed by the Planning Commission at their January 11<sup>th</sup> meeting where no action was taken. The Planning Commission reviewed revised plans at their March 14<sup>th</sup> meeting where a recommendation for conditional use approval was recommended. The Applicant will be submitting revised plans for land development consideration. **A conditional Use Hearing was held on April 9<sup>th</sup>. And reopened for additional testimony on May 14<sup>th</sup>. In addition, the Applicant has submitted revised land development plans for consideration at the Planning Commission's April 11<sup>th</sup> meeting. The planning commission took no action on the plan and the applicant will be submitting revised plans for consideration.**

Reference: Development Update

File No. 9991080  
May 16, 2024

**301 Park Road (PJ Reilly)** - A preliminary land development plan has been submitted by PJ Reilly Contractors for a new 8,400 SF office and equipment storage facility. The plan was reviewed by the consultants and the Planning Commission at their December 8<sup>th</sup> meeting. No action was taken. Revised plans were reviewed by The Planning Commission at their April 13, 2023 meeting, no action was taken. The applicant will be making an application to the Zoning Hearing Board for zoning relief prior to returning to the Planning Commission. A hearing was held on August 30 2023, regarding the requested zoning relief. It is our understanding the Applicant is in the process of revising the plans for resubmission. **Updated land development were reviewed by the Planning Commission at their May 9<sup>th</sup> Meeting. No action was taken.**

**500 Pottstown Pike (Rockhill Real Estate Enterprises)** – The Applicant has submitted a conditional use application for a 415-space service and storage facility. The application was reviewed by the Planning Commission at their April 11<sup>th</sup> meeting and a recommendation of conditional use approval made. **The hearing was opened on May 14<sup>th</sup> and will continue June 10<sup>th</sup>.**

**Byers Station (Parcel 5C – Lot 2A)- [Enclave at Chester Springs]** – This is the 55 Unit Townhouse development being constructed by Toll on Lot 2A of Byers Station. Final paving has been completed. The performance bond was released at the Board of Supervisor's October 16<sup>th</sup> meeting. The project will not enter the maintenance period until the Station Boulevard crosswalk is completed. The pedestrian path from Station Boulevard to the trail on the Pickering Valley Elementary School Property has been completed. The foundations for the RRFB signals have been poured with the installation of the majority of the equipment has been installed. **The only remaining tasks are the installation of the flasher cabinets and energization.**

**Byers Station (Parcel 5C – Lot 2B)- [Commercial]** – An Amended PRD Application has been submitted for the undeveloped commercial portion of the site. The plan proposes a 10,500 SF daycare facility, an 1,820 SF freestanding eating and drinking establishment, and 13,200 SF of additional retail space. The Board granted Amended Final Plan Approval at their September 19, 2022 meeting. Revised plans have been submitted to the consultants to verify all outstanding comments have been satisfactorily addressed. We met with the applicant to discuss the potential of phasing the construction of this property. **The Applicant has submitted a phasing plan which has been reviewed by the Consultants and the Board at their May 14<sup>th</sup> workshop. The plan will be formally considered at the May 20<sup>th</sup> Board of Supervisors Meeting.**

Reference: Development Update

File No. 9991080  
May 16, 2024

**Byers Station (Lot 6C)- Vantage Point** – The Applicant has received Final PRD Approval at the Board of Supervisors April 20<sup>th</sup>, 2020, meeting for a 36,171 SF, 3 story retirement facility. **Site work is substantially complete.**

**Eagleview Lot 1A** – Hankin has submitted a Preliminary / Final Land Development Application for a one-story, 60,600 SF Flex Use office / warehouse building to be located along Sierra Drive. The plan was reviewed by the Planning Commission at their March 9<sup>th</sup> meeting. No action was taken with regard to plan approval; however, the Planning Commission did recommend the granting of several waivers. The Board granted the requested waivers at their March 20, 2023 meeting. Revised land development plans have been submitted and reviewed by the consultants. The Board granted Preliminary / Final Approval to the application at their June 19, 2023 meeting. Revised plans have been submitted for review prior to recording.

**Eagleview Lot 1C** – This project proposes a 113,000 SF Flex Office building. The Board granted Final Land Development Approval at their November 19<sup>th</sup>, 2018, meeting. Site and building construction had been paused due to loss of tenant but has now once again commenced. The front portion of the building is now occupied.

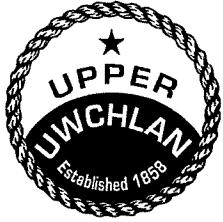
**Preserve at Marsh Creek (Fetters Property)** - The Board granted Final Land Development Approval at their October 16<sup>th</sup>, 2017, meeting. Site construction continues in all 3 phases. (i.e.- The entire development) We have received grading permit applications for **291** of the 376 building units to date.

**Struble Trail Extension** – Chester County has submitted an application to reopen the Conditional Use Hearing as well as land development plans to allow for the continuance of the trail from where it currently terminates to a point on the west side of Dorlan Mill Road. The Planning Commission reviewed the application at their June 13<sup>th</sup>, 2019, and July 11<sup>th</sup>, 2019, meetings and recommended Conditional Use Approval as well as Preliminary Land Development approval. The County has submitted revised land development plans which have been reviewed by the consultants. The Planning Commission reviewed the application at their June 8<sup>th</sup> meeting and recommended conditional use as well as Preliminary / Final Land Development Approval. The Board granted conditional Use and land development approval at their July 17<sup>th</sup> Meeting. The County has now made application to Pa-DOT for a Highway Occupancy Permit for the trail crossing of Dorlans Mill Road.

Reference: Development Update

File No. 9991080  
May 16, 2024

**640 Little Conestoga Road (Wertz Property)** – The Pennsylvania Turnpike Commission has submitted a three (3) lot subdivision for this property. The plans have been reviewed by the consultants and the Planning Commission recommended Minor Subdivision approval at their January 11<sup>th</sup> meeting. **The Board granted minor subdivision approval at their April 22<sup>nd</sup> meeting.**



## UPPER UWCHLAN TOWNSHIP

### MEMORANDUM

#### ADMINISTRATION

**TO:** The Board of Supervisors

**FROM:** Kathi McGrath *Kathi*  
Administrative Assistant

**RE:** Building/Codes Department Activity Report

**DATE:** May 8, 2024

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Attached, please find the Building Department Activity Report for the month of April, 2024.

Attachments:  
Activity Report

/km

UPPER UWCHLAN TOWNSHIP  
Permit Analysis  
2021-2024

	2021				2022				2023				2024			
	# of Permits	Fees	YTD Permits	YTD Fees	# of Permits	Fees	YTD Permits	YTD Fees	# of Permits	Fees	YTD Permits	YTD Fees	# of Permits	Fees	YTD Permits	YTD Fees
Jan	94	\$ 87,742.42	94	\$ 87,742.42	83	\$ 88,198.96	83	\$ 88,198.96	39	\$ 16,560.04	39	\$ 16,560.04	65	\$ 46,474.10	65	\$ 46,474.10
Feb	67	\$ 38,565.98	161	\$ 126,308.40	39	\$ 25,249.00	122	\$ 113,447.96	58	\$ 115,689.00	97	\$ 132,249.04	53	\$ 29,120.38	118	\$ 75,594.48
Mar	86	\$ 44,724.50	247	\$ 171,032.90	77	\$ 52,822.55	199	\$ 166,270.51	72	\$ 32,216.00	169	\$ 164,465.04	56	\$ 46,201.34	174	\$ 121,795.82
Apr	88	\$ 79,069.01	335	\$ 250,101.91	84	\$ 63,858.84	283	\$ 230,129.35	51	\$ 37,396.20	220	\$ 201,864.24	57	\$ 48,358.00	231	\$ 170,153.82
May	75	\$ 44,389.44	410	\$ 294,491.35	65	\$ 44,000.00	348	\$ 274,129.35	82	\$ 38,301.00	302	\$ 240,165.24				
Jun	89	\$ 77,793.00	499	\$ 372,284.35	96	\$ 28,606.00	444	\$ 302,735.35	66	\$ 26,909.50	368	\$ 267,074.74				
Jul	99	\$ 131,055.84	598	\$ 503,340.19	68	\$ 37,917.72	512	\$ 340,653.07	77	\$ 127,398.14	445	\$ 394,472.88				
Aug	78	\$ 32,545.19	676	\$ 535,885.38	68	\$ 112,113.82	580	\$ 452,766.89	65	\$ 68,299.92	510	\$ 462,772.80				
Sept	78	\$ 36,528.88	754	\$ 572,414.26	73	\$ 46,052.92	653	\$ 498,819.91	52	\$ 20,696.00	562	\$ 483,468.80				
Oct	72	\$ 40,825.00	826	\$ 613,239.26	54	\$ 42,196.00	707	\$ 541,015.91	59	\$ 35,511.00	621	\$ 518,979.80				
Nov	58	\$ 41,691.42	884	\$ 654,930.68	45	\$ 21,304.00	752	\$ 562,319.91	57	\$ 32,429.00	678	\$ 551,408.80				
Dec	62	\$ 68,824.63	946	\$ 723,755.31	47	\$ 22,295.00	799	\$ 584,614.91	27	\$ 11,076.28	705	\$ 562,485.08				



## APRIL 2024 REPORT UPPER UWCHLAN TOWNSHIP PUBLIC WORKS DEPARTMENT

The following projects were underway since we last met:

### Ongoing:

- Aside from regular routine maintenance, the following work orders were submitted last month.

Tracking of work orders through Traisr: 178

- Municipal Authority & PA 1-calls
  - 97 Work orders completed
- Parks
  - 8 Work orders completed
- Public Works
  - 33 Work orders completed
- Solid Waste
  - 25 Work orders completed
- Vehicles and Equipment (All Depts.)
  - 15 Work orders completed

- Painted crosswalks and stop bars in Byers Station and Windsor Ridge.
- Installed 450' of conduit around the Route 100 Sewer Plant for camera upgrades.
- Replaced 100' of split rail fence around the Aubrey Circle basin.
- Installed parking bumpers and painted lines in the police parking lot.
- Assisted EAC with the E-Waste and Shredding Event on April 6, 2024.

- Completed street sweeping in the township.
- Hauled approximately 52 tons of street sweepings to the landfill.
- Assisted with Earth Day at Upland on April 20<sup>th</sup>.
- Prepared the Roadway Milling and Paving Bid which will be awarded on May 15, 2024.
- Minor maintenance issues were handled at the Township Building.
- Tree trimming for sight distance at intersections and along roadways where trees are hanging into the road.
- Sign replacements at various locations.
- Cleared inlets on multiple roadways throughout the Township.
- Toter swaps and deliveries were done as requested.
- Preventive maintenance, repairs, and Pa State Inspections.
- Serviced Police vehicles.
- PA 1-Calls were responded to as they came in.

#### Workforce

- Summer help will be starting soon, working on gathering all of their paperwork.

Respectfully submitted,

Michael Esterlis  
Public Works Director  
Upper Uwchlan Township

**BEFORE THE BOARD OF SUPERVISORS  
UPPER UWCHLAN TOWNSHIP  
CHESTER COUNTY, PENNSYLVANIA**

**APPLICATION OF PROSPERITY PROPERTY INVESTMENTS, LLC FOR  
REVISED AMENDED FINAL PLANNED RESIDENTIAL DEVELOPMENT APPROVAL  
FOR PARCEL 5C – LOT 2B OF THE BYERS STATION  
PLANNED RESIDENTIAL DEVELOPMENT**

**DECISION AND ORDER**

**BACKGROUND**

A. In August 1998, Bryn Coed Farms submitted an application to Upper Uwchlan Township (the “Township”) for tentative plan approval under the Township’s Planned Residential Development Ordinance then in effect and Article VII of the Pennsylvania Municipalities Planning Code for property situated at the intersection of Route 100 and Byers Road in the Township known as the Byers Station Property (the “Property”).

B. On June 7, 1999, the Township granted tentative planned residential development approval (the “Tentative Approval”) for development of the Property as a planned residential development (the “Byers Station PRD”). The Tentative Approval approved a Tentative Plan that included six parcels identified as Parcels 1, 2, 3, 4, 5C and 6C.

C. On July 21, 2003, the Township granted final PRD approval for Parcels 1, 2, 3 and 4 of the Byers Station PRD as depicted in the approved Tentative Plan (“2003 Final Approval”). The 2003 Final Approval did not grant final plan approval for Parcels 5C and 6C of the Tentative Plan.

D. On May 23, 2016, Byers Residential Acquisition Limited Partnership and Byers Retail Acquisition Limited Partnership, then equitable owners of Parcel 5C, submitted an application for final PRD approval for a portion of Parcel 5C depicted in the application and referred to as Lot 1 (“the Lot 1 Application”). The Lot 1 Application proposed 121 residential townhouse units on Lot 1. The Lot 1 Application did not seek final PRD approval for the part of Parcel 5C depicted in the Lot 1 Application as Lot 2, consisting of approximately 13.439 acres fronting on Station Boulevard between Pottstown Pike and Graphite Mine Road.

E. The Township granted approval of the Lot 1 Application by Decision and Order dated March 17, 2017, as amended by Decision and Order dated May 15, 2017. The Lot 1 Application Decisions did not grant final approval for Parcel 5C, Lot 2. Lot 1 has been developed by Toll PA, II, L.P. with a 121-unit townhome community known as Villages at Chester Springs (formerly referred to as the Villages at Byers Station.)

F. On February 16, 2018, Byers Retail Acquisition Limited Partnership (“Byers Retail”) filed with the Township an application for Final Approval of Parcel 5C, Lot 2, depicting approximately 81,000 square feet of commercial development on Lot 2 (the “2017 Commercial Plan”). Byers Retail chose not to request final approval of the 2017 Commercial Plan from the Board of Supervisors.

G. On April 1, 2019, Byers Retail filed an alternative final PRD plan for Lot 2, depicting 67 residential townhouse units on the east side of Lot 2 and 15,000 square feet of commercial development on the west side of Lot 2. Byers Retail sought approval of the Alternative Plan.

H. After advice by the Township that Lot 2 was limited to 55 residential units by the Tentative Approval, Byers Retail revised the Alternative Plan to depict 55 townhouse units.

I. The Alternative Plan was also revised to depict two commercial pad sites on the western side of Lot 2, one pad on the northwest corner depicting a one and one-half story retail building with a floor area of 2,793 square feet; and a second pad on the southeast corner depicting a two story building containing 2,000 square feet of restaurant and 9,980 square feet of retail on the first floor and 11,800 square feet of office on the second floor.

J. The Alternative Plan also proposed a subdivision of Lot 2 into two lots, Lot 2A comprising 9.468 acres containing the residential development; and Lot 2B comprising 3.971 acres containing the commercial development.

K. The Alternative Plan was titled “Amended Final PRD Plans for Byers Retail Acquisition , L. P. – Final Plan for Lot 2A & 2B of Parcel 5C” prepared by Bohler Engineering, dated March 25, 2019, last revised August 16, 2019, consisting of 42 plan sheets (the “Alternative Final Plan”).

L. The Board approved the Alternative Final Plan in a Decision and Order approved on October 14, 2019 (“2019 Alternative Final Plan Decision”).

M. The Minor Subdivision Plan for Lot 2A and Lot 2B was recorded in the Office of the Chester County Recorder of Deeds at Plan Book No. 20781.

N. Byers Retail sold Lot 2A of Parcel 5C to Toll Mid-Atlantic LP Company, Inc. who is in the process of developing the lot with a 55-unit townhome community known as

The Enclave at Chester Springs in accordance with the Alternative Final Plan and the conditions imposed in the 2019 Alternative Final Plan Decision.

O. Byers Retail sold Lot 2B of Parcel 5C (identified as Chester County Tax Parcel No. 32-4-1090.1) to Prosperity Property Investments, LLC (“Applicant”).

P. Applicant filed an amended final PRD plan for Lot 2B in accordance with the plan titled “Byers Station Amended Final PRD Plans (Final Plan from Lot 2B of Parcel 5C)” prepared by Bohler Engineering dated March 15, 2022, last revised May 25, 2022 (the “2022 Amended Final PRD Plan for Lot 2B of Parcel 5C”) which proposed the development of Lot 2B with the following: (i) a 1,820 square foot freestanding eating and drinking establishment with a drive through lane; (ii) a 6,000 square foot retail pad; (iii) a 7,200 square foot retail pad; and (iv) a 10,500 square foot day care center with a 5,500 square foot outdoor play area.

Q. In a Decision and Order approved on September 19, 2022, the Board of Supervisors approved the 2022 Amended Final PRD Plan for Lot 2B of Parcel 5C with conditions. The Board also approved Applicant’s request to reduce the number of parking spaces to allow a total of 130 spaces and shared parking.

R. Applicant did not proceed with recording the 2022 Amended Final PRD Plan for Lot 2B of Parcel 5C and instead on April 19, 2024 filed another application to amend the Final PRD Plan to develop a 10,500 square foot daycare center with a 5,500 square foot outdoor play area and a 10,500 square foot commercial building. Applicant also proposes to utilize shared parking pursuant to the terms of the Tentative Approval for the Byers Station PRD.

S. With its application, Applicant filed plans titled “Byers Station Amended Final PRD Plans for Lot 2B of Parcel 5C” prepared by Bohler dated March 15, 2022, last revised April 18, 2024 (“2024 Amended Final PRD Plan for Lot 2B of Parcel 5C”).

T. The Planning Commission reviewed the 2024 Amended Final PRD Plan for Lot 2B of Parcel 5C on May 9, 2024 and recommended that the Board approve the same subject to compliance with Gilmore & Associates’ review letter dated May 3, 2024 and the following conditions: (i) Applicant install protective bollards between the outdoor playground for the day care and Pottstown Pike/Route 100; (ii) Applicant shall install another receptacle for trash and recycling disposal; and (iii) Applicant shall withdraw the 2022 Amended Final PRD Plan for Lot 2B of Parcel 5C.

U. At its public meeting on May 20, 2024, the Board considered and approved this Order.

**ORDER**

AND NOW, the Board of Supervisors of Upper Uwchlan Township hereby grants approval of the 2024 Amended Final PRD Plan for Lot 2B of Parcel 5C (“2024 Amended Final PRD Plan”), dated March 15, 2022, last revised April 18, 2024, subject to compliance with the conditions set forth herein. Pursuant to Section 200-73.F of the Ordinance, the Board also approves the use of shared parking with a reduction in the total required parking spaces to allow a minimum of 80 spaces with an additional 8 future reserve spaces that Applicant may be required to install pursuant to condition \_\_\_\_ below.

1. The 2024 Amended Final Plan shall be revised to address outstanding comments in Gilmore & Associates, Inc.’s review letter dated May 3, 2024.

2. If the Township determines that the 80 spaces are not sufficient to accommodate the parking demand from the proposed uses of Lot 2B of Parcel 5C (based on parking overflowing onto the public streets in and around the Property), the Board shall send written notice to Applicant and require Applicant to install the 8 parking spaces depicted on the 2024 Amended Final PRD Plan and additional parking spaces in the vacant space on the north side of the Lot. The number of spaces that Applicant must install in the vacant space on the north side of the Lot shall be determined by the Township and Applicant. The timing for the installation of these additional spaces shall be determined by the Township and secured by Applicant with financial security.

3. Applicant shall install bollards or another suitable barrier between Pottstown Pike and the outdoor play area for the day care to protect children from vehicles veering off of the road. The specifications for the bollards or barrier shall be approved by the Board in consultation with the Township traffic engineer.

4. Applicant shall install a second dumpster for trash and recycling disposal for use by the day care. The dumpster shall be screened in accordance with the Ordinance requirements.

5. Applicant shall purchase sufficient sewer capacity for all of the uses on the 2024 Amended Final PRD Plan once capacity needs have been determined by the Upper Uwchlan Municipal Authority.

6. The architecture for the commercial building depicted on the 2024 Amended Final PRD Plan shall be built substantially in conformance with the proposed building elevations prepared by JAM Arch, now known as Colliers Engineering & Design issued on March 15, 2024. The architecture for the day care building depicted on the 2024

Amended Final PRD Plan shall be built substantially in conformance with the proposed building elevations prepared by JamArch dated October 31, 2022.

7. All deliveries to the buildings on the Lot shall be from SU-30 vehicles or smaller sized vehicles. There shall be no deliveries from tractor trailers.

8. Applicant shall designate a sufficient number of parking spaces around the buildings as designated loading and unloading spaces and shall install signage to reserve such spaces for deliveries during off peak hours. All deliveries to the site must occur during off peak hours for the uses, preferably when the uses are closed; provided such time does not conflict with the Township Noise Ordinance.

9. If requested by the Township, Applicant shall allow public parking on a portion of the parking lot in front of the day care building during hours and days when the day care is closed provided that the Township agrees to enter into a License Agreement or other written agreement with Applicant acceptable to Applicant and the Board, which shall include, without limitation, appropriate insurance coverage and indemnification by the Township for the public parking.

10. If the day care use provides transportation for students, it shall limit drop off and pick up from smaller passenger vans; larger standard sized school buses shall not be used.

11. Applicant shall obtain all required outside agency permitting and approvals (e.g., PaDEP Planning Module approval) prior to recordation of the 2024 Amended Final Plan.

12. To the extent that the 2024 Amended Final PRD Plan or any of the conditions imposed by this Decision and Order are inconsistent with any other conditions

in the Tentative Approval as applicable to Parcel 5C, or the 2019 Alternative Final Plan Decision or 2022 Amended Alternative Final Plan Decision, the conditions of approval related to the development of Lot 2B of Parcel 5C set forth herein shall control.

**ADOPTED** at a duly-advertised public meeting of the Board this 20th day of May, 2024.

**BOARD OF SUPERVISORS  
UPPER UWCHLAN TOWNSHIP**

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Jennifer F. Baxter, Chair

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Andrew P. Durkin, Vice-Chair

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Sandra M. D'Amico, Supervisor

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Gwen Jonik, Township Secretary

## **CERTIFICATION OF MAILING**

I certify that an executed, true and correct copy of the foregoing Decision and Order of the Upper Uwchlan Township Board of Supervisors was mailed by USPS First Class mail, postage prepaid, to Alyson M. Zarro, Esquire, Riley Riper Hollin & Colagreco, P.O. Box 1265, 717 Constitution Drive, Suite 201, Exton, PA 19341, Applicant's legal counsel, on \_\_\_\_\_, 2024.

---

Gwen Jonik, Township Secretary

ALYSON ZARRO  
[alyson@rrhc.com](mailto:alyson@rrhc.com)  
extension 202



April 19, 2024

Via email and hand delivery

Tony Scheivert, Township Manager  
Upper Uwchlan Township  
140 Pottstown Pike  
Chester Springs, PA 19425  
[tscheivert@upperuwchlan-pa.gov](mailto:tscheivert@upperuwchlan-pa.gov)

**Re: Prosperity Property Investments, LLC/Upper Uwchlan Township  
Byers Station Parcel 5C Lot 2B  
Amended Final Planned Residential Development Plan Application**

Dear Tony:

As you know, I represent Prosperity Property Investments, LLC ("Applicant") in connection with Lot 2B of Parcel 5C in the Byers Station Planned Residential Development ("Property"). Applicant is the legal owner of the Property which is approximately 3.887 acres and is further identified as UPI Number 32-4-1090.1. Applicant is the legal owner of the Property.

On September 22, 2022, Applicant received Amended Final Planned Residential Development Plan Approval for the development of the Property with a 1,820 sq. ft. eating and drinking establishment with a drive through, a 6,000 sq. ft. retail pad, a 7,200 sq. ft. retail pad, and a 10,500 sq. ft. daycare center with a 5,500 sq. ft. play area ("2022 Approval"). The plan depicting the improvements from the 2022 Approval has not been recorded. Subsequently, Applicant filed an application seeking to phase the 2022 Approval on January 9, 2024. Applicant is now hereby withdrawing the January 9, 2024 application.

Applicant is now filing an application to amend the Final PRD Plan for the Property. This new amended plan depicts the development of the 10,500 sq. ft. daycare center with the 5,500 sq. ft. outdoor play area, although the outdoor play area has been relocated on this plan. Additionally, the plan depicts the development of one 10,500 sq. ft. commercial building which assumes that the space will primarily be retail and may include at least 1,250 sq. ft. of eating and drinking establishment space. In connection with this amended plan, the Applicant is again proposing to utilize shared parking for the proposed uses pursuant to Section J.8 of the Tentative Approval for the Byers Station Planned Residential Development dated June 7, 1999.

Enclosed for filing in connection with this Amended Final PRD Plan Application ("Application") for the Property are the following materials:

rrhc.com

717 Constitution Drive, Suite 201 Exton, PA 19341 P. 610-458-4400 F. 610-458-4441  
#1641541v1

April 19, 2024

Page 2

1. Four (4) copies of a plan entitled 'Byers Station' Amended Final PRD Plans (Final Plan for Lot 2B of Parcel 5C) prepared by Bohler dated March 15, 2022, and last revised April 18, 2024;
2. Four (4) copies of the General Project Description and Stormwater Management Calculations prepared by Bohler dated March 25, 2019, and last revised April 18, 2024;
3. Four (4) copies of a Parking and Traffic Analysis prepared by Traffic Planning and Design, Inc. dated April 18, 2024;
4. Four (4) copies of a schematic floor plan for the retail building prepared by JAM Architecture;
5. Four (4) copies of proposed building elevations for the retail building prepared by JAM Architecture dated March 15, 2024;
6. One (1) copy of the Chester County Act 247 Referral form;
7. A check in the amount of \$250 made payable to Upper Uwchlan Township, the final plan application fee; and
8. A check in the amount of \$1,467 made payable to the Chester County Planning Commission for its review.

The proposed daycare center remains unchanged, so a new elevation is not being submitted with this Application. Additionally, a Reimbursement Agreement has previously been submitted to the Township and an escrow established for consultant review fees.

The electronic version of this letter includes a link to download all of the materials comprising the Application.

As always, please feel free to contact me with any questions or if you require any additional information. Thank you for your assistance with this matter.

Very truly yours,

/s/ *Alyson M. Zarro*

Alyson M. Zarro

AMZ/kdj  
Enclosures

cc: Gwen Jonik, Township Secretary (*via email, w/enclosure*)  
Kristin Camp, Esquire, Township Solicitor (*via email, w/enclosure*)  
Allan Greenberg, Prosperity Property Investments, LLC (*w/enclosures, via email*)  
Gary Large (*w/enclosures, via email*)  
Chris Puzinas, P.E., Bohler Engineering (*w/enclosures, via email*)  
Guy DiMartino, P.E., TPD (*w/enclosures, via email*)  
Weston Blaney, JAM Architecture (*w/enclosures, via email*)



May 3, 2024

File No. 03-0434.07

E-MAIL ONLY

Mr. Tony Scheivert  
Upper Uwchlan Township Manager  
140 Pottstown Pike  
Chester Springs, PA 19425

Reference: Parcel 5C (Byers Station) – Lot 2B  
Amended Final PRD Plans – Fourth Review  
Upper Uwchlan Township, Chester County, PA

Dear Tony:

Gilmore & Associates, Inc. (G&A) is in receipt of the following documents from Bohler Engineering, unless otherwise noted:

- Plan set consisting of Thirty Five (35) sheets titled “Byers Station Amended Final PRD Plans (Final Plan for Lot 2B of Parcel 5C)” dated March 15, 2022, last revised April 18, 2024.
- Byers Station Lot 2B, Parcel 5C - Parking and Traffic Analysis, prepared by TPD, dated April 18, 2024.
- General Project Description and Stormwater Management Calculations, dated March 25, 2019, last revised April 18, 2024.
- Correspondence from Alyson Zarro, Esq., RRH&C, dated April 19, 2024.

G&A, as well as the Township Traffic Consultant, Bowman, have completed our fourth review of the above referenced Amended Final Plans for compliance with the Conditions of Tentative Approval Byers Station PRD, Township Zoning Ordinance, Subdivision and Land Development Ordinance, as well as the Stormwater Management Ordinance, and wish to submit the following comments for consideration.

## I. OVERVIEW

The subject parcel is located at the northeastern corner of the intersection of Station Boulevard and Pottstown Pike. The tract is approximately 29.8 acres in size and is located in the R-4 Residential District and C-1 Village District, being developed under the Planned Residential Development Option as set forth in the Byers Station conditions of tentative approval. The parcel was subdivided into three lots; Lot 1, Lot 2A, and Lot 2B. Lots 1 and 2A consisting of

184 West Main Street | Suite 300 | Trappe, PA 19426 | Phone: 610-489-4949 | Fax: 610-489-8447

File No.: 03-0434.07

May 3, 2024

16.353 acres and 9.468 acres respectively, are now fully constructed. This application is for Lot 2B which is 3.971 acres in size and is proposed to be developed as follows:

- 10,500 SF Daycare Center
- 10,500 SF Retail Space

The project received Amended Final PRD Approval on September 19, 2022. Due to difficulty finding tenants for the project, the applicant would like to reduce the scope of the project. This includes the reduction in the amount of proposed retail space as well as the elimination of a previously proposed 1,820 SF drive-thru restaurant. The location and size of the previously proposed daycare center will remain unchanged.

**II. TOWNSHIP ENGINEERS COMMENTS**  
**GILMORE & ASSOCIATES, INC.**

1. Please update the reference to the Parking Analysis Study in the Site Design Requirements Table on Sheet C-102 to indicate the current study date of April 18, 2024.
2. With the Iris Lane Extension to Pottstown Pike no longer proposed, if there are no immediate future plans for its intersection with Begonia Drive, we would recommend the existing curb radii along Begonia Drive be removed and a straight curb line be installed.
3. As Begonia Drive was paved less than a year ago, and Station Boulevard potentially being paved soon, extreme care must be taken with construction access to the site.

**III. TOWNSHIP TRAFFIC CONSULTANT COMMENTS**  
**BOWMAN**

1. ZO Section 200-73.F – The Byers Station Conditions of Tentative Approval allow for a reduction in the sum total of the required parking if there are efficiencies derived by shared parking for uses with complementary peak demands based on parking generation data, which is consistent with the parking supply methodology previously approved by the Township for this site. The applicant is using this same approach for the current plan based on the specific proposed land uses, consisting of the day care center, Jersey Mike's, and other retail space. Based on the results of the submitted shared parking analysis, the total combined peak parking demand for the mix of uses on the site is 69 parking spaces. By comparison, the plan proposes 80 parking spaces, and an additional eight future reserve parking spaces, and therefore, the proposed parking supply is sufficient to serve the needs of the development.

File No.: 03-0434.07

May 3, 2024

2. Although the proposed parking supply meets the parking needs of the site based on the shared parking analysis, we recommend a condition of approval, whereby if the actual parking needs of the development exceeds the proposed 80 space parking supply, then at the request of the Township, the applicant will construct the eight future reserve parking spaces, and if needed, the applicant will construct additional parking spaces within the vacant space on the north side of the site. The number of future parking spaces shall be approved by the Township.
3. ZO Section 200-73.H(3) – The current plan includes a new access to Begonia Drive, as well as the previously proposed access to Begonia Drive. The available sight distances for exiting traffic (looking to the left and right), and for left-turn traffic entering (looking ahead and behind) should be labeled on the plan at both Begonia Drive driveway locations and the following note should be added to the plan:
  4. “All sight distance obstructions (including but not limited to embankments and vegetation) shall be removed by the applicant to provide a minimum of XXX sight distance to the left and XXX sight distance to the right for a driver exiting the proposed driveways onto the through highway. The driver must be considered to be positioned ten feet from the near edge of the closest highway through travel lane (from the curbline if curbing is present) at an eye height of three feet six inches (3' 6”) above the pavement surface located in the center of the closest highway travel lane designated for use by approaching traffic. This sight distance shall be maintained by the applicant.”
  5. For the ADA Garding Detail ‘D’ on Sheet C-402, please verify the existing top of curb elevations for the two proposed curb ramps at the newly proposed site access intersection with Begonia Drive in order to verify the ramp slopes meet ADA requirements.
  6. The current development proposal consists of less development space and eliminates the access to Route 100. The applicant’s trip generation evaluation concludes the proposed site generates fewer trips than the previously approved plans for the site, and will not adversely impact area traffic conditions. If there are future plans to develop the vacant space on the north side of the site, then a new traffic study will be required, which may require the addition of the new direct access to Route 100, as previously proposed.

This concludes our fourth review of the above referenced Amended Final Plans. If you have any questions, please do not hesitate to contact me.

Mr. Tony Scheivert  
Upper Uwchlan Township Manager  
Reference: Parcel 5C (Byers Station) – Lot 2B  
Amended Final PRD Plans – Fourth Review  
Upper Uwchlan Township, Chester County, PA

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File No.: 03-0434.07  
May 3, 2024

Sincerely,

*David N. Leh*

David N. Leh, P.E.  
Vice President  
Gilmore & Associates, Inc.

cc: Upper Uwchlan Township Planning Commission Members  
Upper Uwchlan Township Board of Supervisors  
Kristin S. Camp, Esq., BBM&M  
Christopher J. Williams, P.E., Bowman  
David Schlott, P.E., ARRO Consulting, Inc.  
Matt Brown, P.E., DEE – UUTMA Authority Administrator  
Alyson Zarro, Esq. – RRHC  
Chris Puzinas, P.E., Bohler Engineering  
Guy DiMartino, P.E., TPD  
Allan Greenberg Applicant  
Gwen Jonik, Township Secretary







# THE COUNTY OF CHESTER



## COMMISSIONERS

Josh Maxwell  
Marian D. Moskowitz  
Eric M. Roe  
  
Brian N. O'Leary, AICP  
Executive Director

## PLANNING COMMISSION

Government Services Center, Suite 270  
601 Westtown Road  
P. O. Box 2747  
West Chester, PA 19380-0990  
(610) 344-6285      Fax (610) 344-6515

May 7, 2024

Tony Scheivert, Manager  
Upper Uwchlan Township  
140 Pottstown Pike  
Chester Springs, PA 19425

Re: Final Land Development - Byers Station Amended Final PRD Plans  
# Upper Uwchlan Township - LD-04-24-18077

Dear Mr. Scheivert:

A final land development plan entitled "Byers Station Amended Final PRD Plans", prepared by Bohler Engineering, dated May 25, 2022 and last revised on April 18, 2024, was received by this office on April 24, 2024. This plan is reviewed by the Chester County Planning Commission in accord with the provisions of Section 502 of the Pennsylvania Municipalities Planning Code. We offer the following comments on the proposed land development for your consideration.

## **PROJECT SUMMARY:**

Location:	East side of Pottstown Pike (State Route 100), north of Station Boulevard
Site Acreage:	3.89 acres
Lots:	1 lot; two structures
Non-Res. Square Footage:	21,000 square feet
Proposed Land Use:	Child daycare, retail
New Parking Spaces:	80 spaces
Municipal Land Use Plan Designation:	Village (2014 Comprehensive Plan)
UPI#:	32-4-1090.1

## **PROPOSAL:**

The applicant proposes the construction of two 10,500 square foot commercial buildings totaling 21,000 square feet and 80 parking spaces. The site, which will be served by public water and public sewer facilities, is located in the Upper Uwchlan Township PRD Planned Residential Development Overlay zoning district.

**RECOMMENDATION:** The County Planning Commission recommends that the issues raised in this letter should be addressed and all Upper Uwchlan Township issues should be resolved before action is taken on this land development plan.

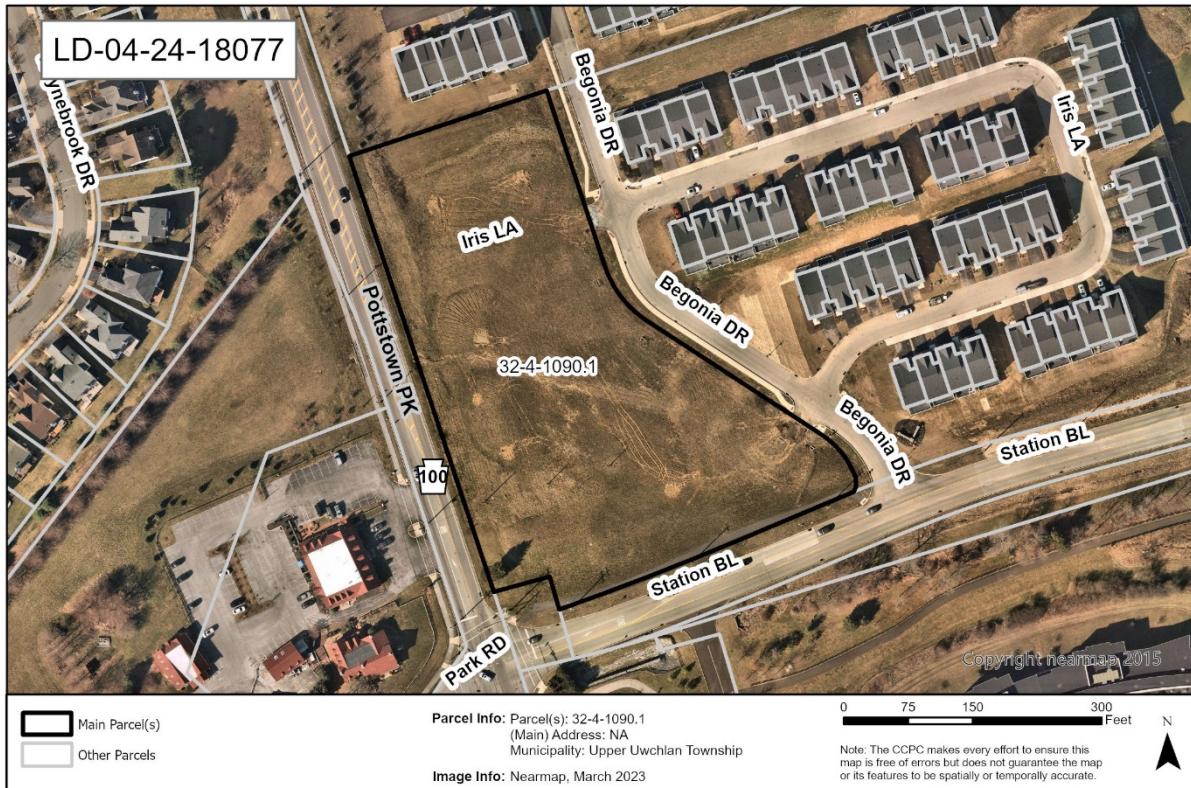
## **BACKGROUND:**

1. The Chester County Planning Commission has previously reviewed a land development proposal for this site. Our review of that plan was submitted to the Township on April 12, 2022 (refer to CCPC# LD-03-22-17149). We have no record of Township action on that submission. This letter includes some of the previous comments that are still relevant to the current submission.

## **COUNTY POLICY:**

## LANDSCAPES:

2. The site is located within the **Suburban Center Landscape** designation of [Landscapes3](#), the 2018 County Comprehensive Plan. The vision for the **Suburban Center Landscape** is regional economic, population and transportation centers with varying land uses, accommodating substantial future growth of medium to high intensity. Repurposing obsolete structures and sites and encouraging sustainable development will be critical as suburban centers grow, and transportation infrastructure and amenities will need to expand to create an integrated multimodal network. The proposed land development is consistent with the objectives of the **Suburban Center Landscape**.

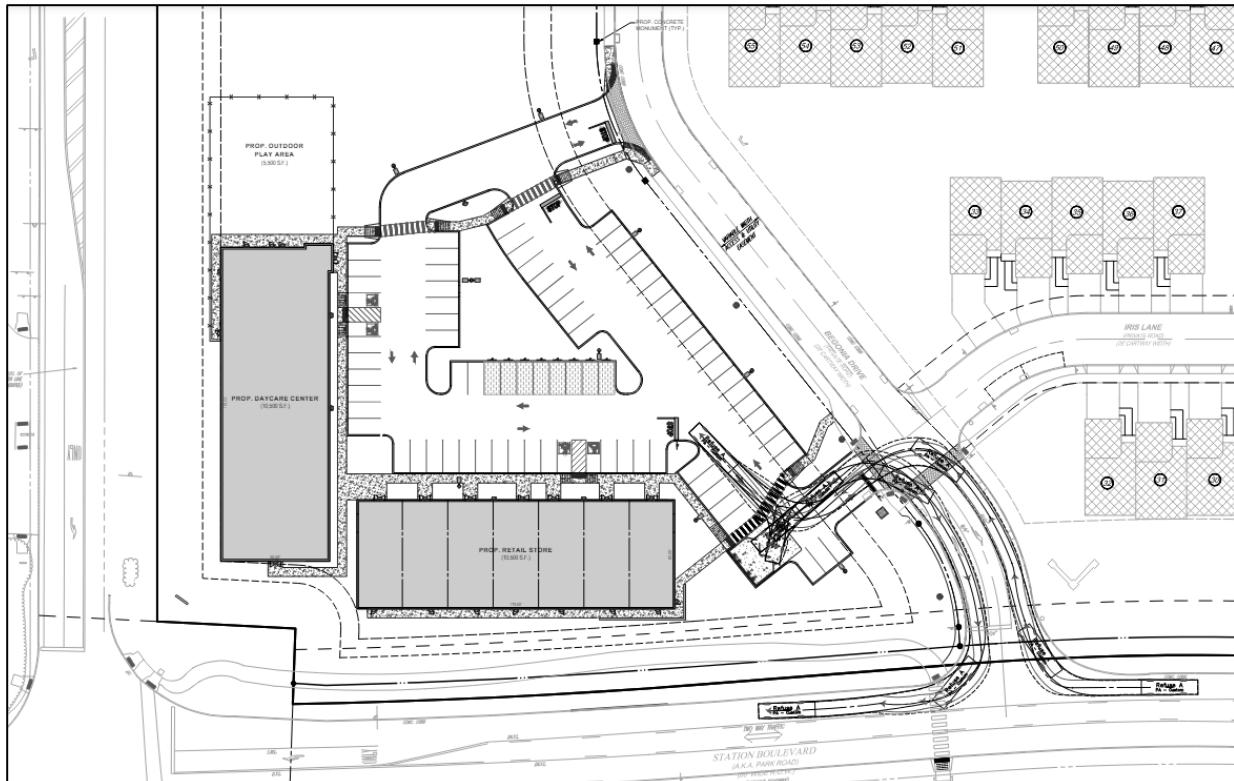


## WATERSHEDS 2045:

3. **Watersheds 2045**, the County-wide integrated water resources plan and Act 167 Stormwater Management Plan, indicates the proposed development is located within the Pickering Creek watershed. The **Watersheds 2045** plan's highest priority objectives within this watershed are:

- protecting and restoring vegetated riparian buffers, first order streams, and floodplain connectivity;
- reducing storm water runoff and mitigating flooding; implementing source water protection measures; and
- encouraging holistic planning to reduce potential conflict between development and natural resources.

**Watersheds 2045** can be accessed at [www.chesco.org/watersheds2045](http://www.chesco.org/watersheds2045).



# *Detail of Byers Station Amended Final PRD Plan Final Land Development Plan*

## PRIMARY ISSUES:

4. The County Planning Commission's Multimodal Circulation Handbook (2016 Update), which is available online at [www.chescoplanning.org/resources/PubsTransportation.cfm](http://www.chescoplanning.org/resources/PubsTransportation.cfm), classifies Pottstown Pike (State Route 100) as a Major Arterial roadway. The Handbook (page 183) recommends a 150-foot-wide right-of-way for Major Arterial roads to accommodate future road and infrastructure improvements. We recommend that the applicant and the Township contact PennDOT to determine the appropriate right-of-way to be reserved for this section of Pottstown Pike and that be offered to PennDOT for dedication.

5. Pedestrian connectivity between sidewalks and buildings is an important component of a complete sidewalk system in the **Suburban Center Landscape**. “Connect” Objective C of *Landscapes3*, the 2018 County Comprehensive Plan, is to provide universally accessible sidewalks, trails, and public transit connections to create a continuous active transportation network within designated growth areas. We endorse the provision of sidewalks on this site, which also connect to the adjacent residential areas. We also encourage the applicant to provide appropriate crosswalk connections from this site across Pottstown Pike as well as along the eastern portion of Pottstown Pike.

PennDOT’s Design Manual 2-Chapter 6: Pedestrian Facilities and the Americans with Disabilities Act (ADA) recommend that sidewalks be a minimum of 5 feet in width. Additional information on this topic is provided in the Pedestrian Facilities Design Element of the County Planning Commission’s Multimodal Circulation Handbook (2016 Update), which is available online at: [www.chescoplanning.org/MuniCorner/MultiModal/02-PedFacs.cfm](http://www.chescoplanning.org/MuniCorner/MultiModal/02-PedFacs.cfm).

6. While we acknowledge the proposed landscaping along Pottstown Pike and Station Boulevard, we recommend that the applicant consider incorporating pitched roofs to mitigate the views of the rear elevations from the public right-of-way. We also suggest that the applicant avoid the use of flat roofs on the structures because many of the nearby structures have pitched roofs and especially because the site is at a lower elevation from Pottstown Pike and Station Boulevard.
7. The roof areas may also offer opportunities to improve the facility’s long-term sustainability and reduce its reliance on energy from the grid, such as designs that incorporate “green roofs,” “white roofs” and solar photovoltaic energy systems. Green roofs can reduce a building’s stormwater runoff, improve insulation, increase the longevity of the roof system, and reduce heating and cooling costs. White roofs can help reflect solar radiation and also reduce cooling costs. Photovoltaic energy systems can improve the facility’s long-term sustainability and reduce its reliance on energy from the grid. Additional information on green roofs is available at: <https://www.chescoplanning.org/MuniCorner/eTools/05-GreenRoofs.cfm>. Additional information on alternative energy systems such as photovoltaic systems is available at: <https://www.dvRPC.org/EnergyClimate/AEOWG/>.
8. The Stormwater Management Plans indicate that vegetated swales will be utilized to manage a portion of the site’s stormwater runoff. The applicant should submit the Operations and Management Plan for the stormwater facilities to the Township, which should be reviewed by the Township Engineer. To ensure this system continues to function as designed, the applicant and/or those responsible for future maintenance should strictly adhere to the inspection schedule included in the Operation and Maintenance Plan. Appropriate pre-treatment Best Management Practices (BMPs) should be installed to remove sediment and other debris from runoff before it discharges to the planned subsurface infiltration system. Sediment, oil, grease, or other debris should be regularly removed from these pretreatment BMPs.
9. The Township’s emergency service providers should be requested to review the plan to ensure that safe access and egress is provided for this site, especially to the structures’ rear areas.

#### ADMINISTRATIVE ISSUES:

10. The applicant should contact the office of the Chester County Conservation District (telephone #610-455-1360) for information and clarification on erosion control measures. The provisions of the Commonwealth Erosion Control Regulations may apply to the project and may require an Earth Disturbance Permit or a National Pollutant Discharge Elimination System permit for

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Re: Final Land Development - Byers Station Amended Final PRD Plans

# Upper Uwchlan Township - LD-04-24-18077

discharge of stormwater from construction activities. Additional information on this topic is provided online at: <https://www.chesco.org/284/ErosionStormwater>.

11. A minimum of four copies of the plan should be presented at the Chester County Planning Commission for endorsement to permit recording of the final plan in accord with the procedures of Act 247, the Pennsylvania Municipalities Planning Code, and to meet the requirements of the Recorder of Deeds and the Assessment Office.

This report does not review the plan for compliance to all aspects of your ordinance, as this is more appropriately done by agents of Upper Uwchlan Township. However, we appreciate the opportunity to review and comment on this plan. The staff of the Chester County Planning Commission is available to you to discuss this and other matters in more detail.

Sincerely,



Wes Bruckno, AICP  
Senior Review Planner

cc: Bohler Engineering  
Prosperity Property Investments, LLC  
Anthony Antonelli, District Permits Manager, PennDOT  
Francis J. Hanney, PennDOT  
Chester County Conservation District



**GILMORE & ASSOCIATES, INC.**  
ENGINEERING & CONSULTING SERVICES

May 15, 2024

File No. 14-12031T3

Tony Scheivert  
Upper Uwchlan Township Manager  
140 Pottstown Pike  
Chester Springs, PA 19425

Reference: The Preserve at Marsh Creek – Phase 3 (Toll)  
Bond Reduction Recommendation No. 2  
Upper Uwchlan Township, Chester County, PA

Dear Tony:

Gilmore & Associates, Inc. has reviewed Toll Brothers May 15, 2024, request for bond reduction for the above-referenced project. Based upon our review of the submitted request, we recommend a reduction of **\$65,750.25**. Following this release, the value of the bond will be \$1,713,425.56.

Also enclosed is one (1) copy of the Escrow Status Report summary spreadsheet for this project for the Board's review and consideration. If you have any questions, please do not hesitate to contact me.

Sincerely,

*David N. Leh*

David N. Leh, P.E.  
Vice President  
Gilmore & Associates, Inc.

Attachment- Escrow Spreadsheet

cc: Kristin Camp, Esq. BBMM, LLC (Via e-mail only)  
Justin Hunt, Toll Brothers, Inc. (Via e-mail only)  
Gwen Jonik, Upper Uwchlan Township Secretary (Via e-mail only)

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184 West Main Street | Suite 300 | Trappe, PA 19426  
Phone: 610-489-4949 | Fax: 610-489-8447

[www.gilmore-assoc.com](http://www.gilmore-assoc.com)

## ESCROW STATUS REPORT

GILMORE & ASSOCIATES, INC.  
 184 WEST MAIN STREET  
 SUITE 300  
 TRAPPE, PA 19426

SUMMARY OF ESCROW ACCOUNT														
PROJECT NAME: The Preserve at Marsh Creek (Phase 3)- Toll					PROJECT NUMBER: 14-12031T3									
PROJECT SPONSOR: Toll					MUNICIPALITY: Upper Uwchlan Township									
TOTAL CONSTRUCTION (100%) = \$ 3,579,250.19 TOWNSHIP CONTINGENCY (10%) = \$ 357,925.02														
GRAND TOTAL ESCROWED = \$ 3,937,175.21														
RELEASE NO.: 2 REQUEST DATE: May 15, 2024														
ESCROW TABULATION					CURRENT ESCROW RELEASE		ESCROW RELEASED TO DATE (INCLUDES CURRENT REQUEST)		PERCENT COMPLETE					
CONSTRUCTION ITEMS	UNITS	QUANTITY	UNIT PRICE	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	PERCENT			
<b>A. CLEARING &amp; GRUBBING</b>														
Clearing and Grubbing	LS	1.00	\$ 45,000.00	\$ 45,000.00	\$ -	\$ -	1	\$ 45,000.00	\$ -	\$ -	100%			
<b>SUBTOTAL ITEM A</b>				<b>\$ 45,000.00</b>	<b>\$ -</b>	<b>\$ -</b>		<b>\$ 45,000.00</b>	<b>\$ -</b>	<b>\$ -</b>	<b>100%</b>			
<b>B. EROSION &amp; SEDIMENT CONTROLS</b>														
orange construction fence at bio-basin 6A, 6B, 7A	LF	1278	\$ 2.00	\$ 2,556.00	\$ -	\$ -	1,278	\$ 2,556.00	\$ -	\$ -	100%			
tree protection/LOD fence	LF	2248	\$ 2.00	\$ 4,496.00	\$ -	\$ -	2,248	\$ 4,496.00	\$ -	\$ -	100%			
24" compost sock	LF	238	\$ 11.50	\$ 2,737.00	\$ -	\$ -	238	\$ 2,737.00	\$ -	\$ -	100%			
32" compost sock	LF	2575	\$ 15.00	\$ 38,625.00	\$ -	\$ -	2,575	\$ 38,625.00	\$ -	\$ -	100%			
18" silt fence	LF	1735	\$ 1.50	\$ 2,602.50	\$ -	\$ -	1,735	\$ 2,602.50	\$ -	\$ -				
inlet protection / asphalt berm	EA	36	\$ 100.00	\$ 3,600.00	\$ -	\$ -		\$ -	36	\$ 3,600.00				
S-75 erosion blanket w/seed	SF	121085	\$ 0.20	\$ 24,217.00	\$ -	\$ -	121,085	\$ 24,217.00	\$ -	\$ -	100%			
C-125 matting in swales 6A, 7A & 8A	SF	1775	\$ 3.25	\$ 5,768.75	\$ -	\$ -	1,775	\$ 5,768.75	\$ -	\$ -	100%			
Tire Scrubber	EA	1	\$ 2,750.00	\$ 2,750.00	\$ -	\$ -	1	\$ 2,750.00	\$ -	\$ -	100%			
<b>SEDIMENT BASIN #6</b>														
Orange construction fence	LF	413	\$ 2.00	\$ 826.00	\$ -	\$ -	413	\$ 826.00	\$ -	\$ -				
Basin skimmer	EA	1	\$ 1,000.00	\$ 1,000.00	\$ -	\$ -	1	\$ 1,000.00	\$ -	\$ -				
S-75 erosion blanket w/seed	SF	10056	\$ 0.20	\$ 2,011.20	\$ -	\$ -	10,056	\$ 2,011.20	\$ -	\$ -				
strip topsoil	CY	780	\$ 2.00	\$ 1,560.00	\$ -	\$ -	780	\$ 1,560.00	\$ -	\$ -				
cut / fill / compact - key trench	CY	156	\$ 4.50	\$ 702.00	\$ -	\$ -	156	\$ 702.00	\$ -	\$ -				
cut / fill / compact	CY	506	\$ 3.40	\$ 1,720.40	\$ -	\$ -	506	\$ 1,720.40	\$ -	\$ -				
cut to site	CY	1670	\$ 2.00	\$ 3,340.00	\$ -	\$ -	1,670	\$ 3,340.00	\$ -	\$ -				
grade basin	SY	2450	\$ 0.35	\$ 857.50	\$ -	\$ -	2,450	\$ 857.50	\$ -	\$ -				
respread topsoil to berms	CY	538	\$ 5.25	\$ 2,824.50	\$ -	\$ -	538	\$ 2,824.50	\$ -	\$ -				
outlet structure w/4" knife value	EA	1	\$ 6,000.00	\$ 6,000.00	\$ -	\$ -	1	\$ 6,000.00	\$ -	\$ -				
24" RCP outflow- no cradle	LF	152	\$ 65.00	\$ 9,880.00	\$ -	\$ -	152	\$ 9,880.00	\$ -	\$ -				
anti-seep collar	EA	3	\$ 1,100.00	\$ 3,300.00	\$ -	\$ -	3	\$ 3,300.00	\$ -	\$ -				
4" HDPE with concrete end section	LF	16	\$ 40.00	\$ 640.00	\$ -	\$ -		\$ -	16	\$ 640.00				
Basin 6 conversion	LS	1	\$ 45,000.00	\$ 45,000.00	\$ -	\$ -		\$ -	1	\$ 45,000.00				
Mobilization / Stakeout	LS	1	\$ 10,000.00	\$ 10,000.00	\$ -	\$ -		\$ -	1	\$ 10,000.00				
<b>SEDIMENT BASIN #7</b>														

ESCROW TABULATION					CURRENT ESCROW RELEASE		ESCROW RELEASED TO DATE (INCLUDES CURRENT REQUEST)		ESCROW REMAINING (AFTER CURRENT REQUEST)		PERCENT COMPLETE
CONSTRUCTION ITEMS	UNITS	QUANTITY	UNIT PRICE	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	PERCENT
Orange construction fence	LF	976	\$ 2.00	\$ 1,952.00		\$ -	976	\$ 1,952.00		\$ -	100%
Basin Baffle Wall	LF	740	\$ 15.00	\$ 11,100.00		\$ -	740	\$ 11,100.00		\$ -	100%
Basin skimmer	EA	1	\$ 1,000.00	\$ 1,000.00		\$ -	1	\$ 1,000.00		\$ -	100%
S-75 erosion blanket w/seed	SF	26837	\$ 0.20	\$ 5,367.40		\$ -	26,837	\$ 5,367.40		\$ -	100%
strip topsoil	CY	2064	\$ 2.00	\$ 4,128.00		\$ -	2,064	\$ 4,128.00		\$ -	100%
cut / fill / compact - key trench	CY	681	\$ 4.50	\$ 3,064.50		\$ -	681	\$ 3,064.50		\$ -	100%
cut / fill / compact	CY	1150	\$ 3.40	\$ 3,910.00		\$ -	1,150	\$ 3,910.00		\$ -	100%
fill / compact from site stockpile	CY	4051	\$ 1.00	\$ 4,051.00		\$ -	4,051	\$ 4,051.00		\$ -	100%
grade basin	SY	6460	\$ 0.35	\$ 2,261.00		\$ -	6,460	\$ 2,261.00		\$ -	100%
respread topsoil to berms	CY	1662	\$ 5.25	\$ 8,725.50		\$ -	1,662	\$ 8,725.50		\$ -	100%
outlet structure	EA	1	\$ 3,000.00	\$ 3,000.00		\$ -	1	\$ 3,000.00		\$ -	100%
15" RCP outflow with concrete cradle	LF	32	\$ 175.00	\$ 5,600.00		\$ -	32	\$ 5,600.00		\$ -	100%
anti-seep collar	EA	1	\$ 1,100.00	\$ 1,100.00		\$ -	1	\$ 1,100.00		\$ -	100%
15" DW end wall	EA	1	\$ 1,450.00	\$ 1,450.00		\$ -	1	\$ 1,450.00		\$ -	100%
4" HDPE w/end caps	LF	133	\$ 15.00	\$ 1,995.00		\$ -		\$ -	133	\$ 1,995.00	
yard inlets with knife drain	EA	2	\$ 2,750.00	\$ 5,500.00		\$ -		\$ -	2	\$ 5,500.00	
R-3 rip-rap level spreader	TN	43	\$ 45.00	\$ 1,935.00		\$ -		\$ -	43	\$ 1,935.00	
curb level spreader - 8 X 36"	LF	60	\$ 145.00	\$ 8,700.00		\$ -		\$ -	60	\$ 8,700.00	
P-300 emergency spillway	SF	2400	\$ 0.60	\$ 1,440.00		\$ -		\$ -	2,400	\$ 1,440.00	
Basin 7 conversion	LS	1	\$ 200,000.00	\$ 200,000.00		\$ -		\$ -	1	\$ 200,000.00	
Mobilization / Stakeout	LS	1	\$ 10,000.00	\$ 10,000.00		\$ -		\$ -	1	\$ 10,000.00	
<b>SEDIMENT BASIN #8</b>											
Orange construction fence	LF	368	\$ 2.00	\$ 736.00		\$ -	368	\$ 736.00		\$ -	100%
Basin skimmer	EA	1	\$ 1,000.00	\$ 1,000.00		\$ -	1	\$ 1,000.00		\$ -	100%
S-75 erosion blanket w/seed	SF	21360	\$ 0.20	\$ 4,272.00		\$ -	21,360	\$ 4,272.00		\$ -	100%
strip topsoil	CY	1259	\$ 2.00	\$ 2,518.00		\$ -	1,259	\$ 2,518.00		\$ -	100%
cut / fill / compact - key trench	CY	430	\$ 4.50	\$ 1,935.00		\$ -	430	\$ 1,935.00		\$ -	100%
cut / fill / compact	CY	1183	\$ 3.40	\$ 4,022.20		\$ -	1,183	\$ 4,022.20		\$ -	100%
cut material to basin	CY	633	\$ 2.50	\$ 1,582.50		\$ -	633	\$ 1,582.50		\$ -	100%
grade basin	SY	3880	\$ 0.35	\$ 1,358.00		\$ -	3,880	\$ 1,358.00		\$ -	100%
respread topsoil to berms	CY	1018	\$ 5.25	\$ 5,344.50		\$ -	1,018	\$ 5,344.50		\$ -	100%
temp. riser with 15" pipe and trash rack	EA	1	\$ 3,500.00	\$ 3,500.00		\$ -	1	\$ 3,500.00		\$ -	100%
outlet structure	EA	1	\$ 2,450.00	\$ 2,450.00		\$ -	1	\$ 2,450.00		\$ -	100%
18" RCP outflow with concrete cradle	LF	36	\$ 185.00	\$ 6,660.00		\$ -	36	\$ 6,660.00		\$ -	100%
anti-seep collar	EA	2	\$ 1,100.00	\$ 2,200.00		\$ -	2	\$ 2,200.00		\$ -	100%
18" DW end wall	EA	1	\$ 1,450.00	\$ 1,450.00		\$ -	1	\$ 1,450.00		\$ -	100%
4" HDPE with concrete end section	LF	17	\$ 35.00	\$ 595.00		\$ -		\$ -	17	\$ 595.00	
yard inlets with knife drain	EA	1	\$ 2,500.00	\$ 2,500.00		\$ -		\$ -	1	\$ 2,500.00	
R-3 rip-rap level spreader	TN	26	\$ 45.00	\$ 1,170.00		\$ -		\$ -	26	\$ 1,170.00	
curb level spreader - 8 X 36"	LF	70	\$ 145.00	\$ 10,150.00		\$ -		\$ -	70	\$ 10,150.00	
R-4 rip-rap swale	TN	93	\$ 45.00	\$ 4,185.00		\$ -		\$ -	93	\$ 4,185.00	
P-300 emergency spillway	SF	1285	\$ 0.50	\$ 642.50		\$ -		\$ -	1,285	\$ 642.50	
Basin 8 conversion	LS	1	\$ 20,000.00	\$ 20,000.00		\$ -		\$ -	1	\$ 20,000.00	
Mobilization / Stakeout	LS	1	\$ 10,000.00	\$ 10,000.00		\$ -		\$ -	1	\$ 10,000.00	
<b>BIO-RETENTION BASIN # 6-A</b>											
Orange construction fence	LF	376	\$ 2.00	\$ 752.00		\$ -	376	\$ 752.00		\$ -	100%
S-75 erosion blanket w/seed	SF	7342	\$ 0.20	\$ 1,468.40		\$ -	7,342	\$ 1,468.40		\$ -	100%
strip topsoil	CY	225	\$ 2.00	\$ 450.00		\$ -	225	\$ 450.00		\$ -	100%
cut / fill / compact	CY	31	\$ 4.50	\$ 139.50		\$ -	31	\$ 139.50		\$ -	
cut to site	CY	967	\$ 2.00	\$ 1,934.00		\$ -	967	\$ 1,934.00		\$ -	
grade basin	SY	705	\$ 0.35	\$ 246.75		\$ -	705	\$ 246.75		\$ -	
respread topsoil to berms	CY	334	\$ 5.25	\$ 1,753.50		\$ -	334	\$ 1,753.50		\$ -	
outlet structure	EA	1	\$ 3,250.00	\$ 3,250.00		\$ -	1	\$ 3,250.00		\$ -	100%

ESCROW TABULATION					CURRENT ESCROW RELEASE		ESCROW RELEASED TO DATE (INCLUDES CURRENT REQUEST)		ESCROW REMAINING (AFTER CURRENT REQUEST)		PERCENT COMPLETE
CONSTRUCTION ITEMS	UNITS	QUANTITY	UNIT PRICE	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	PERCENT COMPLETE
15" HDPE outflow pipe	LF	74	\$ 45.00	\$ 3,330.00	\$ -	\$ -	74	\$ 3,330.00	\$ -	\$ -	100%
anti-seep collar	EA	2	\$ 1,100.00	\$ 2,200.00	\$ -	\$ -	2	\$ 2,200.00	\$ -	\$ -	100%
PAVH - Heavy Metal Switch Grass - plugs	EA	80	\$ 3.85	\$ 308.00	\$ -	\$ -	\$ -	\$ -	80	\$ 308.00	
ANV - Broom Sedge - plugs	EA	140	\$ 3.85	\$ 539.00	\$ -	\$ -	\$ -	\$ -	140	\$ 539.00	
EUGL - Dwarf Joe Pye Weed - plugs	EA	170	\$ 3.85	\$ 654.50	\$ -	\$ -	\$ -	\$ -	170	\$ 654.50	
bio-basin 6-A PEDH - Huskers Red Foxglove Beardtongue - plugs	EA	290	\$ 3.85	\$ 1,116.50	\$ -	\$ -	\$ -	\$ -	290	\$ 1,116.50	
CAS - Tussock Sedge - plugs	EA	550	\$ 3.85	\$ 2,117.50	\$ -	\$ -	\$ -	\$ -	550	\$ 2,117.50	
mulch bed (5,052 sf at 6" thick)	CY	94	\$ 40.00	\$ 3,742.22	\$ -	\$ -	\$ -	\$ -	94	\$ 3,742.22	
river rock inlet berm	EA	1	\$ 1,725.00	\$ 1,725.00	\$ -	\$ -	\$ -	\$ -	1	\$ 1,725.00	
bio-basin 6-A conversion	LS	1	\$ 40,000.00	\$ 40,000.00	\$ -	\$ -	\$ -	\$ -	1	\$ 40,000.00	
<b>BIO-RETENTION BASIN # 6-B</b>											
Orange construction fence	LF	489	\$ 2.00	\$ 978.00	\$ -	\$ -	489	\$ 978.00	\$ -	\$ -	
outlet structure	EA	1	\$ 3,850.00	\$ 3,850.00	\$ -	\$ -	1	\$ 3,850.00	\$ -	\$ -	
24" HDPE outflow pipe	LF	118	\$ 65.00	\$ 7,670.00	\$ -	\$ -	118	\$ 7,670.00	\$ -	\$ -	
anti-seep collar	EA	3	\$ 1,100.00	\$ 3,300.00	\$ -	\$ -	3	\$ 3,300.00	\$ -	\$ -	
cultec system	LS	1	\$ 125,000.00	\$ 125,000.00	\$ -	\$ -	1	\$ 125,000.00	\$ -	\$ -	
EUGL - Dwarf Joe Pye Weed - plugs	EA	160	\$ 3.85	\$ 616.00	\$ -	\$ -	\$ -	\$ -	160	\$ 616.00	
HIM - Swamp Rose Mallow - plugs	EA	160	\$ 3.85	\$ 616.00	\$ -	\$ -	\$ -	\$ -	160	\$ 616.00	
ANGO - Red October Big Bluestem - plugs	EA	190	\$ 3.85	\$ 731.50	\$ -	\$ -	\$ -	\$ -	190	\$ 731.50	
PAVH - Heavy Metal Switch Grass - plugs	EA	300	\$ 3.85	\$ 1,155.00	\$ -	\$ -	\$ -	\$ -	300	\$ 1,155.00	
CAS - Tussock Sedge - plugs	EA	350	\$ 3.85	\$ 1,347.50	\$ -	\$ -	\$ -	\$ -	350	\$ 1,347.50	
JUE - Soft Rush - plugs	EA	600	\$ 3.85	\$ 2,310.00	\$ -	\$ -	\$ -	\$ -	600	\$ 2,310.00	
CHL - Northern Sea Oats - plugs	EA	880	\$ 3.85	\$ 3,388.00	\$ -	\$ -	\$ -	\$ -	880	\$ 3,388.00	
mulch bed (9,379 sf at 6" thick)	CY	174	\$ 40.00	\$ 6,947.41	\$ -	\$ -	\$ -	\$ -	174	\$ 6,947.41	
river rock inlet berm	EA	1	\$ 1,725.00	\$ 1,725.00	\$ -	\$ -	\$ -	\$ -	1	\$ 1,725.00	
bio-basin 6-B conversion	LS	1	\$ 7,000.00	\$ 7,000.00	\$ -	\$ -	\$ -	\$ -	1	\$ 7,000.00	
<b>BIO-RETENTION BASIN # 7-A</b>											
Orange construction fence	LF	410	\$ 2.00	\$ 820.00	\$ -	\$ -	410	\$ 820.00	\$ -	\$ -	
outlet structure	EA	1	\$ 3,450.00	\$ 3,450.00	\$ -	\$ -	1	\$ 3,450.00	\$ -	\$ -	
18" HDPE outflow pipe	LF	29	\$ 45.00	\$ 1,305.00	\$ -	\$ -	29	\$ 1,305.00	\$ -	\$ -	
anti-seep collar	EA	3	\$ 1,100.00	\$ 3,300.00	\$ -	\$ -	3	\$ 3,300.00	\$ -	\$ -	
cultec system	LS	1	\$ 100,000.00	\$ 100,000.00	\$ -	\$ -	1	\$ 100,000.00	\$ -	\$ -	
COP - Swamp Tickseed - plugs	EA	190	\$ 3.85	\$ 731.50	\$ -	\$ -	\$ -	\$ -	190	\$ 731.50	
IRV - Blue Flag Iris - plugs	EA	290	\$ 3.85	\$ 1,116.50	\$ -	\$ -	\$ -	\$ -	290	\$ 1,116.50	
bio-basin 7-A PEDH - Huskers Red Foxglove Beardtongue - plugs	EA	330	\$ 3.85	\$ 1,270.50	\$ -	\$ -	\$ -	\$ -	330	\$ 1,270.50	
CHL - Northern Sea Oats - plugs	EA	360	\$ 3.85	\$ 1,386.00	\$ -	\$ -	\$ -	\$ -	360	\$ 1,386.00	
ERS - Purple Lovegrass - plugs	EA	370	\$ 3.85	\$ 1,424.50	\$ -	\$ -	\$ -	\$ -	370	\$ 1,424.50	
PAVN - Northwind Switch Grass - plugs	EA	410	\$ 3.85	\$ 1,578.50	\$ -	\$ -	\$ -	\$ -	410	\$ 1,578.50	
mulch bed (5,210 sf at 6" thick)	CY	96	\$ 40.00	\$ 3,859.26	\$ -	\$ -	\$ -	\$ -	96	\$ 3,859.26	
river rock inlet berm	EA	3	\$ 1,725.00	\$ 5,175.00	\$ -	\$ -	\$ -	\$ -	3	\$ 5,175.00	
<b>SUBTOTAL ITEM B</b>				<b>\$ 909,341.99</b>	\$ -			<b>\$ 478,708.60</b>		<b>\$ 430,633.39</b>	<b>53%</b>
<b>C. EARTHWORK</b>											
strip topsoil - to stockpile	CY	21865	\$ 2.00	\$ 43,730.00	\$ -	\$ -	21,865	\$ 43,730.00	\$ -	\$ -	100%
strip topsoil - fill & compact	CY	1038	\$ 3.25	\$ 3,373.50	\$ -	\$ -	1,038	\$ 3,373.50	\$ -	\$ -	100%
cut / fill / compact	CY	47226	\$ 3.25	\$ 153,484.50	\$ -	\$ -	47,226	\$ 153,484.50	\$ -	\$ -	100%
cut / fill / compact - dirt from phase 2	CY	34095	\$ 3.00	\$ 102,285.00	\$ -	\$ -	34,095	\$ 102,285.00	\$ -	\$ -	100%
respread topsoil to open space	CY	7064	\$ 4.25	\$ 30,022.00	\$ -	\$ -	7,064	\$ 30,022.00	\$ -	\$ -	100%
permanent seed, mulch and tack open spaces	SF	53676	\$ 0.10	\$ 5,367.60	\$ -	\$ -	26,838	\$ 2,683.80	26,838	\$ 2,683.80	50%
<b>SUBTOTAL ITEM C</b>				<b>\$ 338,262.60</b>	\$ -			<b>\$ 335,578.80</b>		<b>\$ 2,683.80</b>	<b>99%</b>

ESCROW TABULATION					CURRENT ESCROW RELEASE		ESCROW RELEASED TO DATE (INCLUDES CURRENT REQUEST)		ESCROW REMAINING (AFTER CURRENT REQUEST)		PERCENT COMPLETE
CONSTRUCTION ITEMS	UNITS	QUANTITY	UNIT PRICE	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	PERCENT
<b>D. STORM SEWER</b>											
15" HDPE - temporary run	LF	200	\$ 44.00	\$ 8,800.00		\$ -	200	\$ 8,800.00		\$ -	100%
15" HDPE - 0 to 8'	LF	1537	\$ 44.00	\$ 67,628.00		\$ -	1,537	\$ 67,628.00		\$ -	100%
18" HDPE - 0 to 8'	LF	693	\$ 48.00	\$ 33,264.00		\$ -	693	\$ 33,264.00		\$ -	100%
18" HDPE - 8 to 12'	LF	131	\$ 51.00	\$ 6,681.00		\$ -	131	\$ 6,681.00		\$ -	100%
24" HDPE - 0 to 8'	LF	263	\$ 60.00	\$ 15,780.00		\$ -	263	\$ 15,780.00		\$ -	100%
24" HDPE - 8 to 12'	LF	123	\$ 63.00	\$ 7,749.00		\$ -	123	\$ 7,749.00		\$ -	100%
24" HDPE 12 to 16'	LF	17	\$ 65.00	\$ 1,105.00		\$ -	17	\$ 1,105.00		\$ -	100%
type C storm inlet - 24 X 45" - 0 to 8'	EA	34	\$ 2,850.00	\$ 96,900.00		\$ -	34	\$ 96,900.00		\$ -	100%
type C storm inlet - 24 X 45" - 8 to 12'	EA	1	\$ 3,875.00	\$ 3,875.00		\$ -	1	\$ 3,875.00		\$ -	100%
type C storm inlet - 42 X 48" - 0 to 8'	EA	1	\$ 3,000.00	\$ 3,000.00		\$ -	1	\$ 3,000.00		\$ -	100%
type M storm inlet - 24 X 45" - 0 to 8'	EA	4	\$ 2,500.00	\$ 10,000.00		\$ -	4	\$ 10,000.00		\$ -	100%
type M storm inlet - 24 X 45" - 12 to 16'	EA	1	\$ 4,750.00	\$ 4,750.00		\$ -	1	\$ 4,750.00		\$ -	100%
15" D. W. end wall - temporary run	EA	2	\$ 1,250.00	\$ 2,500.00		\$ -	2	\$ 2,500.00		\$ -	100%
15" D. W. end wall	EA	1	\$ 1,250.00	\$ 1,250.00		\$ -	1	\$ 1,250.00		\$ -	
18" D. W. end wall	EA	5	\$ 1,450.00	\$ 7,250.00		\$ -	5	\$ 7,250.00		\$ -	
24" D. W. end wall	EA	2	\$ 1,600.00	\$ 3,200.00		\$ -	2	\$ 3,200.00		\$ -	
R-3 rip-rap aprons - temp storm run	TN	3	\$ 45.00	\$ 135.00		\$ -	3	\$ 135.00		\$ -	
R-3 rip-rap aprons	TN	6	\$ 45.00	\$ 270.00		\$ -	6	\$ 270.00		\$ -	
R-4 rip-rap aprons	TN	40	\$ 48.00	\$ 1,920.00		\$ -	40	\$ 1,920.00		\$ -	
R-5 rip-rap aprons	TN	11	\$ 50.00	\$ 550.00		\$ -	11	\$ 550.00		\$ -	
R-6 rip-rap aprons	TN	20	\$ 55.00	\$ 1,100.00		\$ -	20	\$ 1,100.00		\$ -	
R-7 rip-rap aprons	TN	37	\$ 62.00	\$ 2,294.00		\$ -	37	\$ 2,294.00		\$ -	
stream crossing	LS	1	\$ 5,500.00	\$ 5,500.00		\$ -	1	\$ 5,500.00		\$ -	
footers	LF	88	\$ 600.00	\$ 52,800.00		\$ -	88	\$ 52,800.00		\$ -	
footers	LF	48	\$ 1,500.00	\$ 72,000.00		\$ -	48	\$ 72,000.00		\$ -	
arch culvert	LS	1	\$ 150,000.00	\$ 150,000.00		\$ -	1	\$ 150,000.00		\$ -	
crane to set bridge - estimated at 3 days	LS	1	\$ 28,500.00	\$ 28,500.00		\$ -	1	\$ 28,500.00		\$ -	
block wing walls	LS	1	\$ 25,000.00	\$ 25,000.00		\$ -	1	\$ 25,000.00		\$ -	
<b>SUBTOTAL ITEM D</b>				<b>\$ 613,801.00</b>		<b>\$ -</b>		<b>\$ 613,801.00</b>		<b>\$ -</b>	<b>100%</b>
<b>E. PAVING &amp; CONCRETE WORK</b>											
<b>CONCRETE</b>											
Belgian Block Curb	LF	7472	\$ 19.00	\$ 141,968.00		\$ -	3,736	\$ 70,984.00	3,736	\$ 70,984.00	50%
Curb Seal	LF	7472	\$ 0.50	\$ 3,736.00		\$ -	3,736	\$ 1,868.00	3,736	\$ 1,868.00	50%
Grade & Stone	LF	7472	\$ 4.00	\$ 29,888.00	3,736	\$ 14,944.00	7,472	\$ 29,888.00			
4' Wide Sidewalk (4" Depth)	SF	9820	\$ 5.25	\$ 51,555.00		\$ -		\$ -	9,820	\$ 51,555.00	
Driveway Apron (6" Depth) - Single	EA	14	\$ 1,440.00	\$ 20,160.00		\$ -		\$ -	14	\$ 20,160.00	
Driveway Apron (6" Depth) - Double	EA	10	\$ 3,200.00	\$ 32,000.00		\$ -		\$ -	10	\$ 32,000.00	
Handicap Ramp ADA Matting	EA	9	\$ 450.00	\$ 4,050.00		\$ -		\$ -	9	\$ 4,050.00	
<b>PAVEMENT</b>											
Preparation for Paving	SY	12370	\$ 1.25	\$ 15,462.50	6,185	\$ 7,731.25	12,370	\$ 15,462.50		\$ -	100%
2A Compacted Stone (5" Depth)	SY	12370	\$ 6.75	\$ 83,497.50	4,900	\$ 33,075.00	11,085	\$ 74,823.75	1,285	\$ 8,673.75	90%
25mm Base Course (5" Depth)	SY	12370	\$ 22.50	\$ 278,325.00		\$ -	6,185	\$ 139,162.50	6,185	\$ 139,162.50	50%
19mm Binder Course (3" Depth)	SY	12370	\$ 15.00	\$ 185,550.00		\$ -	6,185	\$ 92,775.00	6,185	\$ 92,775.00	50%
Sweep and Tack for Wearing Course	SY	12370	\$ 0.73	\$ 9,030.10		\$ -		\$ -	12,370	\$ 9,030.10	
9.5mm Wearing Course (1.5" Depth)	SY	12370	\$ 8.50	\$ 105,145.00		\$ -		\$ -	12,370	\$ 105,145.00	
<b>WALKING TRAIL</b>											
Excavate	CY	20	\$ 15.00	\$ 300.00		\$ -		\$ -	20	\$ 300.00	
Fine Grade and Compaction	SY	40	\$ 2.50	\$ 100.00		\$ -		\$ -	40	\$ 100.00	
Class 4 Fabric	SY	40	\$ 4.00	\$ 160.00		\$ -		\$ -	40	\$ 160.00	
2A Modified Base (6" Depth)	SY	40	\$ 10.00	\$ 400.00		\$ -		\$ -	40	\$ 400.00	
19mm Binder Course (2" Depth)	SY	40	\$ 20.00	\$ 800.00		\$ -		\$ -	40	\$ 800.00	

ESCROW TABULATION					CURRENT ESCROW RELEASE		ESCROW RELEASED TO DATE (INCLUDES CURRENT REQUEST)		ESCROW REMAINING (AFTER CURRENT REQUEST)		PERCENT COMPLETE
CONSTRUCTION ITEMS	UNITS	QUANTITY	UNIT PRICE	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	PERCENT
9.5mm Wearing Course (1.5" Depth)	SY	40	\$ 21.00	\$ 840.00		\$ -		\$ -	40	\$ 840.00	
Topsoil and Seed Edges of Walking Path	LF	100	\$ 1.50	\$ 150.00		\$ -		\$ -	100	\$ 150.00	
<b>GUIDE RAIL</b>											
Type 31-S guide rail - leading to culvert	LF	125	\$ 45.00	\$ 5,625.00		\$ -	125	\$ 5,625.00		\$ -	
Type 31-S guide rail - leading out of Prescott	LF	110	\$ 45.00	\$ 4,950.00		\$ -	110	\$ 4,950.00		\$ -	
<b>SUBTOTAL ITEM E</b>				<b>\$ 973,692.10</b>		<b>\$ 55,750.25</b>		<b>\$ 435,538.75</b>		<b>\$ 538,153.35</b>	<b>45%</b>
<b>F. SURVEYING</b>											
Contractor Layout	LS	1	\$ 85,000.00	\$ 85,000.00		\$ -	0.75	\$ 63,750.00	0	\$ 21,250.00	75%
Final Basin As-Built	LS	1	\$ 15,000.00	\$ 15,000.00		\$ -		\$ -	1	\$ 15,000.00	
Iron Pins & Monuments	EA	1	\$ 4,500.00	\$ 4,500.00		\$ -		\$ -	1	\$ 4,500.00	
<b>SUBTOTAL ITEM F</b>				<b>\$ 104,500.00</b>		<b>\$ -</b>		<b>\$ 63,750.00</b>		<b>\$ 40,750.00</b>	<b>61%</b>
<b>G. LANDSCAPING &amp; LIGHTING</b>											
<b>LIGHTING</b>											
Lumenarea LE3 - 56L - WW	EA	14	\$ 5,000.00	\$ 70,000.00		\$ -	7	\$ 35,000.00	7	\$ 35,000.00	50%
<b>LANDSCAPING</b>											
Shrubs (24" to 30" Height)	EA	456	\$ 50.00	\$ 22,800.00		\$ -		\$ -	456	\$ 22,800.00	
Trees (7' to 8' Height)	EA	282	\$ 350.00	\$ 98,700.00		\$ -		\$ -	282	\$ 98,700.00	
Trees (8' to 10' Height) EVERGREENS	EA	259	\$ 250.00	\$ 64,750.00		\$ -		\$ -	259	\$ 64,750.00	
Deciduous Trees (2.5" to 3" Caliper)	EA	157	\$ 450.00	\$ 70,650.00		\$ -		\$ -	157	\$ 70,650.00	
<b>SUBTOTAL ITEM G</b>				<b>\$ 326,900.00</b>		<b>\$ -</b>		<b>\$ 35,000.00</b>		<b>\$ 291,900.00</b>	<b>11%</b>
<b>H. MISCELLANEOUS</b>											
Line Striping	LS	1	\$ 1,000.00	\$ 1,000.00		\$ -		\$ -	1	\$ 1,000.00	
Signs (Regulatory & Street)	EA	30	\$ 200.00	\$ 6,000.00		\$ -	15	\$ 3,000.00	15	\$ 3,000.00	
Mailboxes	EA	7	\$ 1,000.00	\$ 7,000.00		\$ -		\$ -	7	\$ 7,000.00	
Remove Radek Temp. Cul De Sac	LS	1	\$ 10,000.00	\$ 10,000.00	1	\$ 10,000.00	1	\$ 10,000.00		\$ -	
Remove end of Prescott	LS	1	\$ 5,000.00	\$ 5,000.00		\$ -	1	\$ 5,000.00		\$ -	
<b>RETAINING WALLS AND FENCES</b>											
Excavate for Retaining Wall	LF	970	\$ 4.50	\$ 4,365.00		\$ -	970	\$ 4,365.00		\$ -	100%
Retaining Walls (TOTAL)	SF	6355	\$ 25.00	\$ 158,875.00		\$ -	6,355	\$ 158,875.00		\$ -	100%
Retaining Wall Fence Sleeves	EA	138	\$ 100.00	\$ 13,800.00		\$ -	138	\$ 13,800.00		\$ -	100%
Retaining Wall Fence	LF	805	\$ 26.50	\$ 21,332.50		\$ -	805	\$ 21,332.50		\$ -	100%
10' Double Wide Gate	EA	3	\$ 800.00	\$ 2,400.00		\$ -		\$ -	3	\$ 2,400.00	
3 Rail Fence with Wire (Basin 6)	LF	500	\$ 18.00	\$ 9,000.00		\$ -		\$ -	500	\$ 9,000.00	
3 Rail Fence with Wire (Basin 7)	LF	1000	\$ 18.00	\$ 18,000.00		\$ -		\$ -	1,000	\$ 18,000.00	
3 Rail Fence with Wire (Basin 8)	LF	610	\$ 18.00	\$ 10,980.00		\$ -		\$ -	610	\$ 10,980.00	
<b>SUBTOTAL ITEM H</b>				<b>\$ 267,752.50</b>		<b>\$ 10,000.00</b>		<b>\$ 216,372.50</b>		<b>\$ 51,380.00</b>	<b>81%</b>

ESCROW TABULATION					CURRENT ESCROW RELEASE		ESCROW RELEASED TO DATE (INCLUDES CURRENT REQUEST)		ESCROW REMAINING (AFTER CURRENT REQUEST)		PERCENT COMPLETE
CONSTRUCTION ITEMS	UNITS	QUANTITY	UNIT PRICE	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	PERCENT
TOTAL IMPROVEMENTS - ITEMS A-H				\$ 3,579,250.19		\$ 65,750.25		\$ 2,223,749.65		\$ 1,355,500.54	62%
I. RETAINAGE (10%)						\$ (6,575.03)		\$ (222,374.97)		\$ 222,374.97	
J. CONTINGENCY (10%)				\$ 357,925.02		\$ 6,575.03		\$ 222,374.97		\$ 135,550.05	62%
NET CONSTRUCTION RELEASE						\$ 65,750.25		\$ 2,223,749.65		\$ 1,713,425.56	
SURETY AMOUNT				\$ 3,937,175.21		\$ 65,750.25		\$ 2,223,749.65		\$ 1,713,425.56	56%

BUCKLEY, BRION, McGuire,  
& MORRIS LLP  
By: KRISTIN S. CAMP, Esquire  
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**IN RE: CONDITIONAL USE** : **BEFORE THE UPPER UWCHLAN**  
**APPLICATION OF PLANE BROOK** : **TOWNSHIP BOARD OF SUPERVISORS**  
**PARTNERS, LLC** : **CHESTER COUNTY, PENNSYLVANIA**

**DECISION AND ORDER**

On or about December 4, 2023, Planebrook Partners, LLC ("Applicant") filed an application (the "Application") seeking conditional use approval pursuant to Section 200-33.B(3) of the Upper Uwchlan Township Zoning Ordinance of 1989, as amended (the "Ordinance"), to develop property located at 235 Park Road (Chester County Tax Parcel No. 32-4-38.8) and 241 Park Road (Chester County Tax Parcel No. 32-4-37) with a day-care center.

The Board conducted a public hearing on the Application on April 9, 2024. On May 1, 2024 Applicant requested that the Board re-open the record and continue the hearing to allow it to present additional evidence. The Board readvertised a public hearing for May 14, 2024 at 5:00 p.m. and re-posted the Property with a public notice of the new hearing date.

Applicant appeared at the hearings represented by its counsel, Michael Malloy, Esquire from Obermeyer Rebmann Maxwell & Hippel LLP. The Board was represented by Township Solicitor, Kristin S. Camp, Esquire.

Leah Seace, who resides at 7 Lila Lane, was admitted as a party.

The Board voted at the May 20, 2024 public meeting to approve the Application with the conditions listed in this Decision.

From the testimony and exhibits presented at the hearings, the Board makes the following:

**FINDINGS OF FACT**

1. All facts set forth in the introductory paragraphs above are incorporated herein by reference and are deemed to be factual findings of the Board.

2. The hearing scheduled for April 9, 2024 was advertised in the *Daily Local News* on March 28, 2024 and April 1, 2024. See Exhibit B-4.

3. The Property was posted with a copy of the public notice of the April 9, 2024 hearing on March 15, 2024. See Exhibit B-5.

4. The hearing scheduled for May 14, 2024 was advertised in the *Daily Local News* on March 28, 2024 and April 1, 2024. See Exhibit B-16.

5. The Property was posted with a copy of the public notice of the May 14, 2024 hearing on May 2, 2024. See Exhibit B-17.

6. 241 Park Avenue, LLC is the owner of the Property pursuant to a deed recorded June 12, 2019 in the Chester County Recorder of Deeds in Book 9939, page 1137. See Exhibit B-14.

7. Applicant is the equitable owner of the Property.

8. The Property consists of two parcels that Applicant intends to consolidate. Parcel 32-4-37 has an address of 241 Park Road, contains 0.447 acres and is improved

with a 1 ½ story dwelling. Parcel 32-4-38.8 has an address of 235 Park Road, contains 0.443 acres and is improved with a shed.

9. The Property is located on the east side of Park Road across the street from the Windsor Baptist Church, south of Ticonderoga Boulevard, to the west and north of the Federal Express facility.

10. The Property fronts on Park Road in an area which is designated as a school zone for the Windsor Christian Academy with a 15 mile per hour flashing beacon.

11. The Property is located in the C-1 Village District.

12. Applicant proposes to consolidate the two parcels to form a 0.819 acre (34,404 sq ft) tract and build a two-story day care building with a building footprint of 6,000 square feet, a 3,258 square foot pervious surface outdoor play area for toddlers, a 1,281 square foot pervious surface play area for infants and 39 off-street parking spaces.

13. Applicant intends to build the day-care center and then lease it to Jody Thompson, the owner of Ducklings Early Learning Center Franchise.

14. Ms. Thompson testified at the hearing and explained that she expects to have a maximum enrollment of 110-120 children ranging in age from six weeks to five years of age.

15. The proposed day-care does not plan to transport children or to operate a before or after care school program.

16. Ms. Thompson testified that not all of the students are enrolled five days a week so that a maximum enrollment of 120 children does not mean that there will be 120 children at the day-care five days a week.

17. Ms. Thompson provides the parents/guardians with an app that allows them to communicate directly with the children's teacher throughout the day which decreases the amount of time that parents/guardians spend dropping off and picking up their child.

18. Ms. Thompson expects to hire 18-20 employees for the day-care.

19. Ms. Thompson testified that the day-care will not have deliveries by large trucks after the day-care is open and that typical deliveries are from Federal Express or Amazon trucks.

20. In addition to the Application, Applicant filed preliminary/final land development plans prepared by Commonwealth Engineers, Inc. dated December 4, 2023, consisting of 12 sheets (the "Plans").

21. Mr. Kelly presented as Exhibit A-7 a revised plan at the May 14, 2024 hearing with a last revision date of May 10, 2024 (the "Revised Plans") which designated 4 spaces in front of the building and 6 spaces on the eastern side of the building as drop off/pick up spaces for parents/guardians to use when dropping off and picking up their children. These 10 parking spaces shall be designated with signs that they are reserved for drop off and pick up.

22. The Revised Plans propose that access to the Property will be from a 24-foot wide full service driveway located on Park Road approximately 210 feet south of the intersection of Park Road and Ticonderoga Blvd.

23. Applicant presented the testimony of Victor Kelly, Jr. P.E., a civil engineer from Commonwealth Engineers, Inc., who testified as an expert in civil engineering and who prepared the Plans and Revised Plans.

24. Mr. Kelly explained that Section 200-64.A of the Ordinance requires that the minimum lot area of a lot used for a day-care is 1,000 square feet per child, but no lot containing a day-care center shall be less than 30,000 square feet.

25. Mr. Kelly testified that this is an unreasonable and overly restrictive requirement.

26. Mr. Kelly testified that the lot area of the Property (34,000 square feet) is large enough for the day-care operation and is similar to the lot sizes for other day cares that he has designed for other Duckling franchises in and around the Property.

27. Section 200-64.B of the Ordinance requires the day-care to provide an indoor play area of 50 square feet per child and an outdoor play area of 75 square feet per child.

28. Mr. Kelly asked that the Board interpret Section 200-64.B based on the number of children using the play area at any one time, not the total number of children enrolled at the day-care.

29. Mr. Kelly testified that given the proposed sizes of the proposed play areas, a maximum of 42 children may be in the 3,258 square foot outdoor play area for toddlers, a maximum of 16 children may be in the 1,281 square foot play area for infants and a maximum of 16 children may be in the indoor play area.

30. Applicant intends to provide two different playground areas- one which is 3,258 square feet for toddlers and another which is 1,281 square feet for infants. See Ex. A-1.

31. The Commonwealth of Pennsylvania regulates day-care centers and imposes minimum sizes for the classrooms and for play areas based on the number of children and the age of the children in the classroom or play area.

32. Mr. Kelly testified that employees will be instructed to park in the spaces on the southeast side of the parking lot and parents will be instructed to park in the 10 spaces designated for drop-off and pick-up.

33. Parents will be required to park their vehicles in these 10 designated parking spaces and walk their child into and out of the day-care where they meet their teacher for drop off/pick up.

34. The majority of the children are dropped off between 7:00 a.m. to 9:00 a.m. and picked up between 3:00 p.m. and 6:00 p.m. However, Ms. Thompson testified that some parents drop off and pick up their children at different times of the day.

35. Mr. Kelly testified that a Ducklings day-care with 110-120 children typically has anywhere from 10-12 parents dropping off their children at the same time.

36. Mr. Kelly testified that they estimate that there will be 21 parking spaces available for parent drop off and pick up.

37. Mr. Kelly testified that special events at the Ducklings will be broken into age categories so that not all children and their parents will be attending the same events at the same time.

38. There is not sufficient parking on the Property to allow the day-care to conduct special events and parties for all children who are enrolled in the day-care at the same time and thus these parties will have to be staggered or alternative parking arrangements must be made.

39. Section 200-73.H of the Ordinance requires one space per 300 square feet of gross floor area, plus one space per employee of the day-care, which equates to 50 off-street parking spaces for the proposed day-care center.

40. Applicant seeks the Board's approval pursuant to Section 200-73.K(2) of the Ordinance to provide only 37 parking spaces.

41. Section 200-73.H(1) of the Ordinance authorizes the Township to reduce the minimum number of off-street parking spaces where the applicant justifies the reduction and still provides adequate parking facilities.

42. Section 200-73.K(2) of the Ordinance allows the Board to modify the applicable off street parking requirements as part of a conditional use application.

43. Section 200-73.C of the Ordinance requires parking spaces to be a minimum dimension of 9 feet by 18 feet. The Revised Plans provide 39 parking spaces with dimensions of 9 feet by 18 feet.

44. Applicant would prefer to increase the dimensions of 25 of the parking spaces to be 10 feet wide by 18 feet long which would reduce the overall number of spaces to 37.

45. Mr. Kelly testified that many of the other Ducklings franchises that he has worked on for locations in other municipalities have between 35 to 39 parking spaces and that number is more than enough.

46. Applicant proposes to connect the day-care center to public sewer and public water.

47. Applicant proposes to install two subsurface infiltration beds underneath portions of the parking lot to the north and east of the day-care building.

48. Mr. Kelly testified that Applicant intends to replace or supplement the curb line along the Property frontage along Park Road and widen Park Road to 16 feet from the center line.

49. Applicant intends to install a five foot wide sidewalk on the east side of Park Road along a portion of the Property frontage and around the south and east side of the day-care building.

50. Applicant submitted a Fiscal Impact Analysis dated November 15, 2023 prepared by EH Creative Services, LLC with the Application. See Exhibit B-8.

51. The Fiscal Impact Analysis concluded that the day-care would generate an annual net positive impact of \$266 to the Township and \$37,961 to the Downingtown Area School District.

52. Applicant submitted a Trip Generation Analysis prepared by Heinrich & Klein Associates, Inc. dated November 27, 2023 (“TGA”) with the Application. See Exhibit B-9.

53. Applicant submitted a Memorandum dated May 9, 2024 from Andreas Heinrich, P.E., which was an update to the TGA and was admitted as Exhibit A-4.

54. The TGA analyzed the anticipated traffic generation for the day-care center using data from the Institute of Transportation Engineers *Trip Generation Manual 11th Edition*. Based on the ITE Manual, Mr. Heinrich estimated that the 12,000 square foot day-care center would generate 320 external trips, 74 in the morning peak hour and 76 in the afternoon peak hour.

55. Mr. Heinrich estimated that of the 320 trips, 252 of the trips will be “pass-by trips” meaning that these trips are from vehicles that are already travelling on the surrounding roads and pass by the day-care to drop off their children.

56. Mr. Heinrich opined that with proper grading and removal of vegetation along Park Road, there will be in excess of 450 feet of sight distance at the intersection of the access driveway and Park Road in both directions which he believes is acceptable.

57. Mr. Heinrich completed a volume/capacity analysis for the intersections and driveways in the vicinity of the site based upon peak hour traffic volumes in accordance with standard procedures contained in the Highway Capacity Manual.

58. After conducting this analysis Mr. Heinrich concluded that there will be little change in levels of service due to the addition of new traffic generated by the proposed day-care center. The increase in peak hour traffic delay will be such that there is no requirement for mitigation in accordance with PennDOT criteria.

59. Charles Scull, AIA was admitted as an expert in architecture and designed the floor plans and architectural renderings which were admitted as Exhibits A-2 and A-3 respectively.

60. According to Mr. Scull, the architectural elevations of the proposed day-care building prepared by Skull Architecture, LLC dated December 13, 2023 were designed in compliance with the architectural design guidelines in Section 200-36.B of the Ordinance. See Exhibit B-10.

61. Section 200-36.B of the Ordinance has architectural design guidelines that apply to the construction of buildings in the C-1 District. See Exhibit B-10.

62. Mr. Scull testified that he revised the architecture renderings of the day-care building to address concerns raised by the Historical Commission.

63. The exterior building materials include thin stone, horizontal siding, vertical board and batten siding, and straight cut siding, all in earth tones.

64. Mr. Scull testified that he designed the facade of the day-care building to meet the requirements in Section 200-36.B(1)(a) of the Ordinance which provides that if any individual building facade is visible from any public right-of-way or public space (including internal public spaces within a development) and exceeds 60 feet in length, there shall be a clear dimensional differentiation of roofline (i.e., an obvious difference in height) and/or an offset in facade of at least 10 feet, effectively breaking the single facade into two or more facades each no more than 60 feet in length.

65. Mr. Scull and Mr. Kelly were asked by the Board if the facade on the eastern side of the building which will be visible from Ticonderoga Blvd. was also designed to meet the requirements in Section 200-36.B(1)(a).

66. The facade on the eastern side of the building which will be visible from Ticonderoga Blvd. exceeds 60 feet in length and does not have a clear dimensional differentiation of roofline (i.e., an obvious difference in height) and/or an offset in facade of at least 10 feet, effectively breaking the single facade into two or more facades each no more than 60 feet in length.

67. Mr. Kelly testified that Applicant seeks the Board's approval to modify this requirement for the facade on the eastern side of the building.

68. Mr. Scull testified that the roof is a gable roof with charcoal asphalt shingles.

69. The architectural floor plans for the proposed day-care building were introduced as Exhibit A-2. These floor plans depict 12 classrooms which are broken down by age of children, offices, a lobby area, a gymnasium and a kitchenette.

70. Mr. Kelly introduced revised architectural plans dated May 12, 2024 for the proposed day-care building as Exhibit A-7. The revised architectural plans depict fences around the playground areas and the HVAC system on the western side of the building.

71. Mr. Scull testified that they plan to locate the HVAC mechanical units on the western side of the building closest to Park Road and intend to shield the HVAC with a four foot high vinyl fence.

72. The Historical Commission did not provide any input on the location of the HVAC mechanical units or the fence details.

73. The dumpster for the day-care is located on the southeastern side of the parking lot and will be enclosed by a six foot high privacy fence on three sides.

74. Mr. Scull testified that the building will be connected to a sprinkler system.

75. Mr. Scull testified that Applicant intends to install a 5 foot tall white vinyl privacy fence around the play areas.

76. The Plans also depict a proposed rock landscape wall less than 4 feet in height along the southern Property boundary and northern Property boundary where it abuts Ticonderoga Blvd.

77. The Township Planning Commission expressed concern over the safety of this wall.

78. Michael Esterlis, in his capacity as Chief of the Glenmoore Fire Company, reviewed the Plans and confirmed that the fire company has adequate facilities to reach

the height of the day-care building with ladders and hoses. In addition to the building being fully sprinkled, the fire company has access to two fire hydrants within 500 feet of the proposed building. See Exhibit A-5.

79. Mr. Scull provided correspondence dated May 10, 2024 to confirm that a water supply and fire plan will be prepared by a certified licensed sprinkler designer or engineer and submitted with building permit application. See Exhibit A-6.

80. The Township consultants reviewed the Plans and issued a comprehensive review letter issued by Gilmore & Associates, Inc. dated April 5, 2024 ("Township Review Letter"). See Exhibit B-11.

81. The majority of the comments in the Township Review Letter must be addressed by Applicant prior to the Board issuing preliminary subdivision and land development approval.

82. The Township Historical Commission reviewed the Plans and architectural elevations and concluded that it was not necessary for Applicant to prepare a historic resource impact statement.

83. The Historical Commission provided recommendations which are summarized in a report dated April 2, 2024, which was admitted as Exhibit B-13.

84. The Historical Commission agreed that the dwelling on the Property lacked architectural and historical significance and thus they had no objection to it being demolished.

85. The Township Planning Commission reviewed the Application and Plans at its meeting on March 14, 2024.

86. The Planning Commission recommended that the Application move forward in the hearing process and that Applicant do the following: (i) evaluate the adequacy of the structural wall along Ticonderoga Blvd.; (ii) consider installation of a protective barrier in the parking lot near the outdoor play area; (iii) break up the architecture of the facades along the long side of the buildings; (iv) evaluate the flow of traffic in the parking lot. See Exhibit B-12.

87. Christopher Williams, P.E., the Township traffic engineer from the Bowman Company, testified at the hearing and commented that the location of the access driveway is in the preferred location away from the busy intersection of Park Road and Ticonderoga Blvd.

88. Mr. Williams suggested that Applicant be required to upgrade the ADA curb ramps at the intersection of Park Road and Ticonderoga Blvd. on both the southeast and northeast side of the intersection.

89. Ms. Seace did not offer any testimony at the hearing.

90. The Board entered the following exhibits, without objection by Applicant or the parties:

- B-1: Conditional Use Application and Impact Statement dated December 4, 2023
- B-2: Email from Victor Kelly dated December 21, 2023 waiving time frame to hold hearing
- B-3: Letter to Michael Malloy, Esquire dated March 7, 2024 confirming date and time of hearing
- B-4: Proof of publication in Daily Local News on March 28, 2024 and April 1, 2024
- B-5: Affidavit of Posting on March 15, 2024

- B-6: Preliminary/Final Land Development Plans prepared by Commonwealth Engineers, Inc. dated December 4, 2023 consisting of 12 sheets
- B-7: Presentation Plan prepared by Commonwealth Engineers Inc. dated December 14, 2023
- B-8: Fiscal Impact Analysis prepared by EH Creative Services LLC dated November 15, 2023
- B-9: Trip Generation Analysis prepared by Heinrich & Klein Associates, Inc. dated November 27, 2023
- B-10: Architectural Plan prepared by Scull Architecture, LLC dated December 13, 2023
- B-11: Review Letter from Gilmore & Associates, Inc. dated April 5, 2024
- B-12: Draft Planning Commission Minutes from March 14, 2024 meeting
- B-13: Historical Commission Recommendations dated April 2, 2024
- B-14: Aerial Tax Map of Properties
- B-15: Correspondence from Michael Malloy re: Request to Reopen Hearing received May 1, 2024
- B-16: Proof of publication in Daily Local News on May 3, 2024 and May 6, 2024
- B-17: Affidavit of Posting on May 2, 2024

91. Applicant entered the following exhibits without objection by the Township or any of the parties:

- A-1: Presentation rendering of the Plans prepared by Commonwealth Engineers, Inc. dated December 14, 2023
- A-2: Floor plan of proposed day care building prepared by Scull Architecture LLC dated April 5, 2024
- A-3: Architectural plan of proposed day care building prepared by Scull Architecture LLC dated April 5, 2024

- A-4: Traffic Impact Assessment from Heinrich & Klein Associates, Inc. dated May 9, 2024
- A-5: Email Opinion from Mike Esterlis dated May 13, 2024 re: Access by Fire Company
- A-6: Letter from Scull Architecture dated May 10, 2024 re: water availability
- A-7: Plan prepared by Scull Architecture, LLC dated May 12, 2024

### **CONCLUSIONS OF LAW**

- 1. Applicant as equitable owner of the Property has standing to file the Application.
- 2. The conditional use hearing was duly advertised in accordance with the provisions of the Pennsylvania Municipalities Planning Code (“MPC”) and the Ordinance and the Property was posted in accordance with the requirements of the MPC.
- 3. The Property is located in the C-1 District.
- 4. Section 200–33.B(3) of the Ordinance allows a day-care center in the C-1 District by conditional use of the Board of Supervisors subject to compliance with the provisions in Sections 200–64 and 200-116.
- 5. The Revised Plans comply with the applicable area and bulk regulations in Section 200-34 for lots in the C-1 District.
- 6. The Revised Plans do not comply with the minimum lot size requirement in Section 200-64.A which requires a minimum lot size of 1,000 square feet per child for a lot improved with a day-care.
- 7. The Board may approve a modification of the minimum lot area pursuant to Section 200-34.A(1) of the Ordinance.

8. The Board agrees that the minimum size for the play area required by Section 200-64.B should be interpreted to apply to the number of children using the play areas at any one time and not the total number of children enrolled at the day-care.

9. Section 200-64.D of the Ordinance requires an area suitable for drop off and pick up which is removed from both the parking and ingress/egress for the site.

10. The Revised Plans designate 10 parking spaces immediately in front and along the eastern side of the building that must be signed and designated solely for drop off and pick up of the children.

11. The Revised Plans do not comply with the minimum required parking spaces in Section 200-73.H of the Ordinance.

12. The Board may approve a reduction in the minimum number of parking spaces pursuant to the authority in Sections 200-73.H(1) and 200-73.K(2) of the Ordinance.

13. The building facade along the eastern side of the building will be visible from Ticonderoga Blvd. and therefore must comply with Section 200-36.B(1)(a) and have a clear dimensional differentiation of roofline and/or an offset of 10 feet to break up the single facade into two or more facades. each no more than 60 feet in length.

14. Subject to Applicant's compliance with the conditions imposed herein by the Board, Applicant has proven compliance with the objective requirements for conditional use in Section 200-117 of the Ordinance.

## **DISCUSSION**

A conditional use is a use permitted in a particular zoning district pursuant to the provisions in Article VI of the MPC, 53 P.S. §10603. A conditional use concerns only a

proposed use of land, not particular design details of the proposed development. *Joseph v. North Whitehall Township Board of Supervisors*, 16 A.3d 1209 (Pa.Cmwlth. 2011). A conditional use is a special exception which falls within the jurisdiction of the municipal legislative body rather than the zoning hearing board. 53 P.S. §10603(c). *Id.* A conditional use is not an exception to the zoning ordinance, but rather a use to which the applicant is entitled provided the specific standards enumerated in the ordinance for conditional use are met by the applicant. *In Re Appeal of AMA/American Marketing Association*, 142 A.3d 923 (Pa.Cmwlth. 2015). The fact that a use is permitted as a conditional use, rather than prohibited, reflects a legislative decision that the use is not *per se* adverse to the public interest. *Appeal of Richboro CD Partners LP*, 89 A.3d 742 (Pa Cmwlth. 2014).

An applicant seeking a conditional use initially bears the burden of establishing that the application complies with the objective standards and criteria in the zoning ordinance. *Id.* Once the applicant has satisfied this initial burden, there is a legislative presumption that the use is consistent with the health, safety and welfare of the community. *Id.* The burden then shifts to the objectors to rebut this presumption by establishing that the use will have a detrimental impact on the surrounding community. The objectors must prove with a high degree of probability that allowing the conditional use will create a substantial risk of harm to the community and will impose detrimental impacts exceeding those ordinarily to be expected from the use at issue. *Id.* The degree of harm required to justify denial of a conditional use must be greater than that which normally flows from the proposed use. *In Re Cutler Group, Inc.*, 880 A.2d 39 (Pa. Cmwlth. 2005).

In granting a conditional use, the Board has the authority to impose reasonable conditions and safeguards if such conditions are necessary to implement the purposes of the Ordinance and to protect the health, safety and welfare of the surrounding property owners. 53 P.S. §10603(c)(2). Conditions imposed by the Board are designed to protect the public interest of surrounding property owners. *Ford v. Zoning Hearing Bd. Of Caernarvon Twp.*, 616 A.2d 1089 (Pa. Cmwlth. 1992).

The Board finds that a day-care use is an appropriate use of the Property and is willing to grant a modification to the minimum lot area requirement. Given Applicant's request to reduce the minimum number of parking spaces to 37, as opposed to the Ordinance requirement of 50, the Board will restrict the maximum enrollment at the daycare to 120 children. Applicant will be required to provide its enrollment log of the number of children that are enrolled to demonstrate compliance with this condition.

The Board is willing to interpret Section 200-64.D(4) to apply to the maximum number of children using the playground areas at any one time and will impose a condition that limits the number of children playing in each playground based on the size limits in the Ordinance.

Given that the Property is located in the C-1 Village District, the Board will require compliance with the architectural standards in Section 200-36.B(1)(a) and will not agree to grant a modification of that requirement. Applicant will be required to revise the facade and potentially roofline of the eastern building facade so that it has a clear dimensional differentiation of roofline (i.e., an obvious difference in height) and/or an offset in facade of at least 10 feet, effectively breaking the single facade into two or more facades each no more than 60 feet in length.

Wherefore, the Board will vote to approve the conditional use requested subject to Applicant's compliance with the conditions imposed in this Decision and Order.

**ORDER**

AND NOW, this 20<sup>th</sup> day of May, 2024, the Board hereby approves the Application and grants the following approval:

1. A conditional use pursuant to Section 200-33.B of the Ordinance to develop the Property with a 12,000 square foot day-care center consistent with the Revised Plans which were admitted as Exhibit A-7 as such plans are revised to comply with this Order and to obtain final land development approval.
2. A modification of the minimum lot area in Section 200-64.A to allow a minimum lot area of 34,404 square feet which is less than 1,000 square feet per child enrolled at the day-care.
3. A modification pursuant to Sections 200-73.H(1) and 200-73.K(2) of the Ordinance to allow Applicant to install a minimum of 37 parking spaces with 25 of those spaces having dimensions of 10 X 18 and the remaining spaces at 9 X 18.

**CONDITIONS OF APPROVAL**

1. The day-care development shall be built and designed generally in accordance with the Revised Plans which were admitted as Exhibit A-7 and the Presentation Plan that was admitted as Exhibit A-1 as such plans are revised to comply with this Order and to obtain land development approval from the Board of Supervisors.
2. Applicant shall address to the satisfaction of the Board all outstanding comments in the Township engineer's review letter dated April 5, 2024 which was

admitted as Exhibit B-11, unless recommendations in that letter are modified by the Board through the imposition of conditions in this Decision and Order.

3. The maximum enrollment at the day-care center shall be limited to 120 children and the age of the children which may be registered is limited to infants to five years of age. By September 1 of every year after the day care is open, Applicant shall provide the Township with a log of its enrollment to demonstrate compliance with this condition.

4. There shall be no bus or van transportation to the day-care center.

5. The day-care may not operate a kindergarten.

6. If the day-care conducts special events or parties, these must be staggered by age group or classroom so that there is sufficient parking for the attendees of the event.

7. If after the day-care is open, there are not sufficient spaces in the parking lot which causes vehicles to back up onto Park Road or Ticonderoga Blvd. creating a dangerous traffic condition, Applicant must institute a drop off/pick up policy with staggered assigned times, or make another modification to the drop off/pick up procedures to mitigate the traffic congestion. The Township traffic engineer and Board must approve the mitigation measures.

8. Applicant shall upgrade the ADA pedestrian ramp at the intersection of Park Road and Ticonderoga Blvd. on the southeastern and northeastern leg of the intersection.

9. Applicant shall install sidewalks along Park Road in the location depicted on the Revised Plans.

10. Applicant shall evaluate the adequacy of the structural wall along Ticonderoga Blvd. and install protective barriers in the parking lot near the outdoor play

area. The design and specifications for the protective barriers shall be approved by the Board as part of land development.

11. Applicant shall make all road improvements depicted on the Revised Plans and described by Mr. Kelly in his testimony and shall coordinate such traffic improvements with Windsor Baptist Church.

12. Trash pick-up shall be restricted to hours when the day-care center is not open.

13. Applicant shall present to the Historical Commission the plans and details of the fences that are intended to enclose the outdoor play areas. The Board shall approve the fence details as part of land development.

14. The HVAC mechanicals that are installed on the west side of the building near Park Road shall be screened so that they are not visible from Park Road. The specifications of the screening shall be approved by the Board as part of land development.

15. Applicant shall revise the architectural details of the eastern facade of the building that can be seen from Ticonderoga Blvd. so that it has a clear dimensional differentiation of roofline (i.e., an obvious difference in height) and/or an offset in facade of at least 10 feet, effectively breaking the single facade into two or more facades each no more than 60 feet in length as required by Section 200-36.B(2) of the Ordinance.

16. The final landscaping plan for the development shall be approved by the Board during land development and shall comply with the Township Code unless the Board grants waivers of certain provisions of the Code.

17. Applicant shall pay the Township's transportation impact fee based on Chapter 79 of the Township Code as calculated by the Township Traffic Engineer.

18. A maximum of 42 children may be in the 3,258 square foot outdoor play area for toddlers at one time, a maximum of 16 children may be in the 1,281 square foot play area for infants at one time and a maximum of 16 children may be in the indoor play area at one time.

19. Applicant and its successors and assigns in interest to the Property shall be strictly bound by this Decision.

**UPPER UWCHLAN TOWNSHIP  
BOARD OF SUPERVISORS**

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Jennifer F. Baxter, Chairperson

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Andrew P. Durkin, Vice Chairperson

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Sandra M. D'Amico, Supervisor



April 5, 2024

File No. 23-12026

Mr. Tony Scheivert  
Upper Uwchlan Township Manager  
140 Pottstown Pike  
Chester Springs, PA 19425

Reference: 241 Park Road  
Preliminary Land Development Review  
Upper Uwchlan Township, Chester County, PA

Dear Tony:

Gilmore & Associates, Inc. (G&A) is in receipt of the following documents prepared by Commonwealth Engineers, Inc. unless stated otherwise:

- Letter to the Board of Supervisors dated February 14, 2024 granting a time extension for plan review;
- Letter of Transmittal for 241 Park Road Preliminary/Final Land Development Plans submission to Upper Uwchlan Township dated March 13, 2024;
- Letter to Upper Uwchlan Township dated March 11, 2024 responding to G&A's January 5, 2024 review letter;
- Letter to Upper Uwchlan Township dated March 11, 2024 outlining waiver requests;
- Letter from Aqua to Commonwealth Engineers Inc. dated November 20, 2023 confirming water service;
- "Post Construction Stormwater Management Plan Narrative prepared for 241 Park Road" dated December 4, 2023 and revised March 11, 2024;
- Plan set consisting of fifteen (15) sheets titled "Preliminary/Final Land Development Plans for 241 Park Road" dated December 4, 2023 and revised March 11, 2024;
- Plan sheet titled "Post Development Drainage Area Plan" dated December 4, 2023 and revised March 11, 2024;

- Plan sheet titled “Pre Development Drainage Area Plan” dated December 4, 2023 and revised March 11, 2024;
- Traffic Impact Assessment Child Day Care Center – 214 Park Road, dated March 12, 2024, and prepared by Heinrich & Klein Associate, Inc.;
- Architectural plans consisting of two (2) sheets titled “Schematic 241 Park Road” dated March 7, 2024;

The subject site is comprised of two (2) parcels (TMP 32-4-37 and TMP 32-4-38.8) located at the intersection of Park Road and Ticonderoga Blvd. The property is located in the C-1 Village Commercial Zoning District.

G&A, as well as other Township Consultants, has completed our second review of the above referenced preliminary land development application for compliance with the applicable sections of the Township’s Zoning Ordinance, Subdivision and Land Development Ordinance, and Stormwater Management Ordinance, and wish to submit the following comments for your consideration.

Please note that for the Township Engineers portion of the letter, comments with a **(V)**, **(RW)** or a **(W)** may require relief from the Township Ordinances. A **(V)** denotes a variance may be required or has previously been granted, a **(CU)** denotes conditional use, an **(RW)** denotes a requested waiver, and a **(W)** denotes a waiver that has not been requested, but we believe is required. Comments in *italics* are from our previous review letter, and comments in **bold text** require resolution from the applicant. Previous comments that have been satisfactorily addressed are not repeated herein.

## I. OVERVIEW

The Applicant is proposing to consolidate two existing lots and construct a 6,000 SF (footprint) two-story building with outdoor play areas, parking and stormwater management in the C-1 Village District. The parking area has access from Park Road. The total impervious surface coverage onsite is approximately 20,359 square feet, and the total proposed disturbance for the construction is approximately 0.865 acres. Two underground infiltration beds, inlets and piping are proposed to control the runoff from the proposed improvements. Retaining walls approximately 3.5-feet in height at their maximum are proposed along three sides of the property. There are no floodplains on the site.

## II. ZONING OFFICERS COMMENTS

The Applicant should provide sufficient information supporting the proposed reduction in parking.

**III. TOWNSHIP ENGINEER COMMENTS – ZONING ORDINANCE  
GILMORE & ASSOCIATES**

1. (CU) §200-33.B.(3) – *A daycare center is permitted as a principal use when authorized by conditional use by the Board of Supervisors. The applicant is seeking conditional use approval.*
2. (CU) §200-36.B.(1)(a) – *Where any individual building facade is visible from any public right-of-way and exceeds 60 feet in length, there shall be a clear dimensional differentiation of roofline and/or an offset in facade of at least 10 feet, effectively breaking the single facade into two or more facades each no more than 60 feet in length. Where approved by the Board of Supervisors as a conditional use, single facades greater than 60 feet in length may be permitted in accordance with this section. The building façade facing Park Road is 100-feet in length and no break is proposed. Therefore, approval by conditional use is required.*

The response letter states that architectural plans will be provided to show compliance at the Conditional Use hearing.

3. §200-36.B.(1)(b) – *The architectural rendering indicates a pitched roof. Desired materials on pitched roofs include slate (either natural or man-made), shingle (either wood or asphalt composition), and metal formed to resemble "standing seams." Roof color should reflect local traditional use of color, and shall specifically exclude white, tan, or blue shingles, red clay tiles, and corrugated metal or other corrugated material. The use of fascias, dormers, and gables is encouraged to provide visual interest. The applicant shall provide information on the roofing to show compliance with these requirements.*

The response letter states that information regarding the roof color and material will be provided at the Conditional Use hearing.

4. §200-36.B.(1)(c) – *Exterior wall materials may include stucco, wood clapboard (including vinyl or aluminum imitation clapboard siding), native stone, brick, or other material of a shape, color, and texture similar to that found on historic structures in the vicinity. The applicant shall provide information on the exterior wall materials to show compliance with these requirements.*

Architectural plans have been provided that show the proposed exterior wall material. We defer to the Board of Supervisors regarding this.

5. §200-36.B.(1)(d) – *All facilities and equipment for heating/air conditioning, trash collection and compaction, and other structural elements not in keeping with historical architectural themes shall be concealed architecturally or otherwise screened from view from any public right-of-way or public space. The applicant shall clarify where HVAC equipment is located to determine if screening is required.*

Reference: 241 Park Road

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A fence detail has been provided for the fence surrounding the outdoor play areas. Note #2 in the Vinyl Privacy Fence Detail on Sheet 8 states that the fence height is "designated on the plan"; Sheet 2 notes "Proposed 6' Privacy Fence (Typ.)". **The detail shall be revised to specify a 6-foot fence.**

6. *§200-36.B.(2)* – *For all principal uses permitted by conditional use approval, applicant shall provide drawings of sufficient detail to illustrate the character of the intended exterior design of structures, including scale, height, roof pitch, relationship between varying facade elements, and principal exterior materials. The Township may require that material samples also be provided. It shall be the burden of the applicant to demonstrate that submitted architectural designs are consistent with, and promote, the purposes and standards set forth for the C-1 Village District.*
7. *§200-36.B.(3)* – *Where the Board of Supervisors determines that architectural design, as presented by applicant, is an essential means by which the proposed use will comply with the purposes and standards set forth for the C-1 Village District, as a condition of approval of any conditional use, the Board may require adherence to the intended architectural character as proposed by the applicant.*
8. *§200-36.D.* – *Streetscape landscaping and pedestrian amenities shall be provided as necessary to meet overall village planning objectives and shall be coordinated with adjacent properties. Where appropriate, the Township may require any of the amenities outlined herein, including provision for their regular upkeep and maintenance. We defer to the Township Planning Commission and Land Planner in this matter.*
9. *§200-64.A.* – *The minimum lot area for each child shall be 1,000 square feet, but no lot containing a day-care center shall be less than 30,000 square feet. The Conditional Use Impact Statement states an anticipated capacity of 120-125 children; therefore, the minimum lot area is 120,000 SF to 125,000 SF. The proposed lot area is 34,000 SF, which appears to be inadequate.*

The response letter states that this shall be addressed at the Conditional Use Hearing, and that the applicant will comply with state guidelines.

10. *§200-64.B.* – *There shall be an indoor play area of 50 square feet per child and an outdoor play area of 75 square feet per child provided. The Conditional Use Impact Statement states an anticipated capacity of 120-125 children. Therefore, 6,000 SF to 6,250 SF of indoor play area is required. The outdoor play area is required to be 9,000 SF to 9,375 SF; a 3,000 SF outdoor play area with a 900 SF infant outdoor play area are proposed. The play areas appear to be inadequate.*

The response letter states that this shall be addressed at the Conditional Use Hearing, and that the applicant will comply with state guidelines.

11. §200-64.C. – The outdoor play area shall be fenced on all sides, and fencing shall be a minimum height of four feet.

A fence detail has been provided. Note #2 in the Vinyl Privacy Fence Detail on Sheet 8 states “fence height shall be either 4 and 6 feet where designated on the plan”; Sheet 2 notes “Proposed 6' Privacy Fence (Typ.)”. **Note #2 should be revised to state 6 feet.**

12. §200-64.D. – *Off-street parking spaces shall be in accordance with §200-73. In addition, during the Conditional Use hearing, it should be discussed how the discharge and pickup of children shall be handled.*

The response letter states that this shall be addressed at the Conditional Use Hearing.

13. §200-64.E. – *The facility shall be licensed by the applicable departments of the Commonwealth of Pennsylvania and their regulations.*

14. §200-73.B.(2). and §200-74. – *Please indicate where delivery vehicles are intended to park.*

The response letter states that delivery trucks are limited to local carriers who will utilize the proposed parking spaces. **We would recommend one parking space be designated as a “Delivery Space.”**

15. (CU) §200-73.K.(2) and (4) – *Where any use or activity is subject to application for approval of a conditional use, modification(s) to the provisions of this section may be requested as part of such application. In approving any application pursuant to Subsection K(2), the Board of Supervisors, as a condition of approval of such application, may permit specific modification(s) to the provisions of this section subject to the conditions outlined in K(4). The applicant does not provide the required number of parking spaces (50) and is seeking a modification to reduce the number provided (39).*

The response letter states that a traffic study has been prepared and that this shall be addressed at the Conditional Use Hearing. We defer to The Township Traffic Engineer on this matter.

16. §200-93. – *The applicant shall clarify what signage is proposed.*

Proposed signage is shown on the plans, and building mounted signage is indicated on the architectural plans. We defer to the Zoning Officer regarding proposed signage.

**IV. TOWNSHIP ENGINEER COMMENTS – SUBDIVISION AND LAND DEVELOPMENT ORDINANCE - GILMORE & ASSOCIATES**

1. **(RW)** §162-7.B.(2) – A waiver is being requested to allow preliminary and final plan submission. Due to the scope of the project, we have no objection to this request.
2. **§162-9.B.(1)(b) – Provide a legal description for the consolidated lot.**  
**§162-9.B.(2)(b)[18] – Location and elevation of the datum to which contour elevations refer shall be stated, and the datum used shall be a known established benchmark. Provide the benchmark used.**  
Benchmark is indicated as an existing 1-inch iron pin. **Provide a known established benchmark.**
4. **(RW)** §162-9.H.(1)(b) and §162-9.H.(5) – We defer to the Township's Historical Commission whether an Historic Impact Statement is required.  
A waiver from the Historic Impact Statement is being requested.
5. **§162-9.H.(4) – All of our previous comments regarding the fiscal impact statement have been adequately addressed in the engineers response letter. **However, the impact statement itself should be updated with this information and submitted.****
6. **§162-49.D – Wherever a public or community water system is provided, fire hydrants or acceptable alternatives shall be installed for fire protection. We note the plans show a fire hydrant on the opposite side of Park Road. We defer to the Fire Marshal.**
7. **§162-55.B.(2) – No specimen tree(s) shall be removed from any lot or tract except where the applicant demonstrates to the satisfaction of the Board of Supervisors that such removal is essential to eliminate hazardous condition(s) or otherwise permit lawful use of the lot or tract; where permitted, removal of specimen trees shall be minimized. It appears some specimen trees are proposed to be removed. This should be discussed with the Planning Commission.**
8. **(RW)** §162-55.B.(7) – Replacement trees are required for each tree greater than six inches dbh removed. Based on the size and number of trees proposed to be removed, either four (4) replacement trees (at 4-6.5" caliper) or twenty-three (23) replacement trees (at 3-3.5" caliper) are required to be planted and are in addition to other required landscaping.

The applicant is requesting a waiver from this requirement.

9.(RW) §162-57.C.(7) – *The interior of each parking area shall have at least one shade tree for every five parking spaces. Based on 39 proposed spaces eight (8) shade trees are required but only four (4) are proposed. A waiver has been requested from this requirement.*

10.(RW) §162-57.D.(1) – *Per 1,000 SF of gross building area two (2) deciduous trees, one (1) evergreen tree and eight (8) shrubs are required to be planted and are in addition to any required replacement plantings due to woodland disturbance. Based on the 6,000 SF proposed building 12 deciduous trees, 6 evergreen trees and 48 shrubs are required. The applicant is requesting a waiver from providing 12 deciduous trees and 6 evergreen trees. (48 shrubs are provided.)*

11.(RW) §162-57.D.(1) – *Per 100 linear feet of existing tract boundary where not coincident with existing road frontage, 1 deciduous tree 2 evergreen trees and 8 shrubs are required. Based on the eastern and southern property lines linear footage, 4 deciduous trees, 8 evergreen trees and 32 shrubs are required. The applicant is requesting a partial waiver from providing 3 evergreen trees (5 are provided) and 2 shrubs (30 are provided). The applicant is requesting a waiver from this requirement.*

12. §162-58.C(1) – Illumination levels: Building Entrance light levels are not provided. Levels shall be in accordance with IES RP-43-22.

13. §162-58.C(1) – Illumination levels: Sidewalk light levels are not provided. Levels shall be in accordance with IES RP-43-22.

14. §162-58.C(2)(d) – Light fixtures shall be equipped with shielding devices to reduce glare and light spill. It appears that significant light spill is proposed where SL-3 light fixtures are directly adjacent to the neighboring properties. Backlight shields shall be utilized to reduce the spill to the extent possible. Note #6 also indicates that lights shall be “effectively shielded from neighboring properties”, however it does not appear that backlight shielding is proposed.

15. §162-58.C(2)(h) – 3000K color temperature shall be utilized in commercial areas. Catalog numbers provided in the lighting schedule on sheet 11 of 15 appear to indicate that 4000K color temperature fixtures are proposed.

16. §162-58.C(3)(d) – Requires lights to be extinguished after 11 PM. Note #7 on sheet 11 of 15 indicates that lights would be reduced by 75%, although note #4 indicates that “lights shall be controlled as per local codes”. Clarification shall be provided.

17. §162-58.C(4)(b) – Light poles shall be a minimum of five feet (5') outside paved area or on pedestals thirty inches (30") high above the pavement. It is noted that the Base Detail provided on Sheet 11 of 15 does not address the location of the pole bases as they relate to the adjacent paved parking area. Plan and detail shall be revised accordingly to provide the required

setback or modified pole base. Also see General Comment regarding coordination between light pole base locations and proposed retaining wall structures.

18. §162-58.D(1)(a) – Site plan shall show all lighting including building and architectural lighting. The plan does not indicate any additional lighting beyond the proposed area lights. The applicant shall verify that no additional architectural lighting is proposed.
19. §162-58.D(1)(a) – The lighting plan should be revised to show proposed plantings or the landscaping plan should be revised to show proposed lighting to verify that there are no conflicts.
20. §162-58.D(1)(c) – Plan shall include fixtures and pole cut sheets.
22. §162-58.D(3)(o) – Wall mount fixtures shall not be used to provide area lighting unless it can be demonstrated that pole mounted lights are not possible. A majority of the site lighting appears to be accomplished by utilizing seven (7) wall mounted fixtures mounted at an unknown mounting height. Pole mounted fixtures shall be utilized.

## **V. STORMWATER MANAGEMENT ORDINANCE REVIEW**

1. §152-110. – The applicant shall post financial security to the municipality for the timely installation and proper construction of all stormwater management facilities as required by the approved SWM site plan and this chapter.
2. (RW) §152-306.J(3) – *Setbacks from property lines and rights-of-way for all infiltration practices are to be consistent with accessory structures in the Zoning Ordinance, for the applicable zoning district. Note that the Zoning Ordinance states that no accessory structure shall be located within the front yard, nor within 10-feet of any rear or side lot line. SB-2 is located within the front yard setback from Ticonderoga Blvd.*

The applicant is requesting a partial waiver from this requirement.

3. §152-306.O. – Provide maintenance procedures for the Snout devices in the Stormwater O&M plan.
4. §152-402.F.(2) and §152-701.D.(1), (2) and F(1) and (2), and §152-703.A. – *An Operation and Maintenance agreement shall be prepared and submitted to the municipality for review and approval. The Stormwater Management Plans and the agreement shall be recorded.*
5. §152-702.D. and §152-702.E. – *The statements in these sections shall be added to the Stormwater Management Plan.*

6. Verify the 51 LF fully perforated pipe dimension in the SB-1 detail, as the pipe outside the bed (i.e., pipe segments from Inlets 101 and 102 to SB-1) should not be perforated.
7. Fencing is proposed along the edge of SB-2. The detail indicates the fence line posts are 36-inches below grade minimum, with concrete 10-inches minimum diameter. The fence should be adjusted to avoid conflict.
8. Add the “Blanket Stormwater Management Easement” to the Stormwater Management Plan (Sheet 7).

## VI. GENERAL COMMENTS

1. *A preliminary design shall be provided for the retaining walls to verify that any required tie-backs will not conflict with the adjacent FedEx property.*

The retaining walls are now indicated to be rock landscape walls. **Provide details for the proposed rock retaining walls. In addition, it appears at least a temporary construction easement will be needed from FedEx for their installation.**

2. *Detail how the level spreader (3-feet deep) will be constructed directly adjacent to the retaining wall.*

**Provide details for the proposed rock retaining walls.**

3. *Remove reference to the Conservation District from the Sequence of Construction.*

**Remove references to the “Local Conservation District” and “the Department” from the Standard E&S Control Plan Notes #2, #4 (replace with Township), #9 (replace with Township), #11 (replace with Township), #16 (replace “regulatory agency officials” with Township), #29 (replace with Township), #30 (replace with Township), #32 (replace with Township) on Sheet 13. Replace “Chester County Conservation District” with “the Township” in the Erosion Control Plan Revision Note (Sheet 13).**

4. Existing features to be removed (TBR) should not be shown on any proposed conditions plans. Currently existing features TBR are shown on most proposed conditions plan sheets.

5. Provide a detail for the roof drain connection into the perforated piping in SB-2.

6. It appears there is a significant drop off between the edge of sidewalk and the top of curb at the bend in the sidewalk along Park Road. At a minimum, fencing should be provided and possibly a small retaining wall.

7. Two (2) SL3 light fixture locations appear to conflict with the proposed retaining wall. Locations shall be coordinated.
8. Lighting Plan scale is noted as 1"=50'; however, the plan appears to be scaled at 1"=20'.

**VII. TOWNSHIP TRAFFIC CONSULTANT COMMENTS**  
**BOWMAN**

1. SALDO Section 162-9.H(1)(a) – Based on the results of the traffic study, the traffic generated by the proposed development can be accommodated at the study intersections without the need for any off-site traffic improvements. Furthermore, auxiliary turn lanes are not warranted at the site access intersection based on PennDOT guidelines.
2. SALDO Section 162-27.1 – This project is located within the C1 zoning district and is subject to the Township's access management standards. Based on the plan, we offer the following comments with respect to these standards:
  - a. Section 162-27.1.K(1) – The plans include truck turning templates at the access and within the site for a delivery truck and trash truck. The plans do not include turning templates for a fire truck. The applicant's engineer indicates that fire trucks are not able to turn around within the site, and instead, it is the applicant's position that based on the location of the building, fire response will occur from Park Road and Ticonderoga Boulevard. This approach should be reviewed with the Township's emergency service personnel.
  - b. We understand that Windsor Baptist Church may be proposing an expansion to their existing facilities, and we previously requested the applicant coordinate with Windsor Baptist regarding any proposed roadway improvements that should be considered for planning purposes between the two developments. Regardless, the proposed day care access is acceptable in our opinion; however, the applicant should inform the Township whether there has been any coordination with Windsor Baptist Church.
3. SALDO Section 162-36 – Provide a typical road widening section of the proposed widening along Park Road that includes the following information:
  - a. The existing Park Road pavement edge.
  - b. A two-foot sawcut line into the existing pavement.
  - c. The proposed pavement section for the widening, which meets the Township's pavement specification.

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- d. Mill and overlay of Park Road to the double yellow center line.
- e. The proposed five-foot wide sidewalk.

4. The plans show replacement of all curb along Park Road as part of the proposed widening, except for a short 15-foot section of curb near the corner with Ticonderoga Boulevard. This additional section of curb should also be replaced as part of the proposed widening and curb ramp work.

5. Modify the grading at the southern driveway radius in order to end the curb at the PC and remove the short section of curb which ties into the existing edge of road.

6. There appear to be several signs along the Park Road site frontage that must be relocated to accommodate the proposed driveway, the Park Road widening, and sidewalk. In addition, it appears that at least one utility pole relocation is required. The plans should show the relocation of these signs and utility poles, as needed.

7. ZO Section 200-73.H and 200-73.K – The proposed daycare requires one parking space per 300 square feet of gross floor area, and one parking space per employee, which equates to 50 parking spaces (i.e., 40 parking spaces for the building size, plus 10 parking spaces for the employees) as outlined in the parking tabulation on sheet 1. However, the plans propose a total parking supply of 39 parking spaces, and the applicant requests a modification of the parking requirements per ZO Section 200-73.K to allow a reduction in the required parking supply. Prior to the Township rendering a decision on this requested parking supply reduction, the applicant should provide technical justification to support the proposed parking supply. Furthermore, the Township Solicitor should review the requested parking reduction based on the requirements described in Section 220-73K.

8. ZO Section 200-75.H(3) – The following comments pertain to the sight distance plans for the proposed site access intersection shown on sheet 14:

- a. The sight line for left-turn entering vehicles looking ahead should be revised to start at a location 35 feet east of the centerline of the proposed driveway. In addition, this sight line should extend to a point 324 feet west of the centerline of the proposed driveway in the center of the eastbound Park Road travel lane.
- b. The plan view should be revised to show the grading contours for the proposed regarding in order to determine whether the regrading can be achieved within the existing legal right-of-way, or whether a grading easement will be necessary along the adjacent property (Parcel No. 32-3-69.4).

9. The ADA curb ramp on the southeast corner of the Park Road/Ticonderoga Boulevard should be revised to a Type 1 curb ramp, as opposed to a Type 1A curb ramps as currently shown. In addition, we continue to recommend the receiving ramp on the northeast corner should also be upgraded to meet current ADA requirements. Detailed curb ramp designs should be provided for review. As previously requested, the detailed designs for these ramps should include separate grading details (including spot elevations at all proposed grade changes), and all dimensions, including widths, lengths, and all slopes to assist during construction. In addition, please label all proposed curb ramp types, and provide the appropriate PennDOT curb ramp details and notes on the detail sheets.
10. Chapter 79-8.C – The proposed redevelopment is located in the Township's Act 209 Transportation Service Area, and as such, this development is subject to the Townships Transportation Impact Fee of \$2,334 per weekday afternoon peak hour trip. As such, based on the trip generation calculations provided by the applicant's traffic engineer, the site will generate 34 new weekday afternoon peak hour trips. Furthermore, the existing home on the site would generate one new weekday afternoon peak hour trip, which can be credited against the total Transportation Impact Fee for the site. As such, the number of trips subject to the Township's Transportation Impact Fee is 33 and the resultant Transportation Impact Fee is **\$77,022.**

**VIII. TOWNSHIP PLANNING CONSULTANT COMMENTS  
BRANDYWINE CONSERVANCY**

1. As noted in our prior review letter, the applicant shows the landscape plan on the current topography of the site. We suggest the landscape plan incorporates the as-built topography for improved accuracy.
2. We note the changes in plant material choices from the last plan set. However, we suggest that consideration be given to replacing the boxwoods with the ink berries shown on other areas of the plan, or another alternative small native shrub.
3. For ease of referencing the plants shown on the landscape plan, the plant schedule should be placed on the same sheet, rather than on the next sheet.
4. It is unclear from the plans what is proposed for ground cover within the planting areas and around the building. While not clearly marked on the landscape plan, but seen on other plan sheets, it appears that a shallow depression will exist in the northwest corner of the property. If so, and this is part of the proposed stormwater management for the property, consideration should be given to incorporating native vegetation into this swale for added interest, improved infiltration properties, and enhanced environmental benefits. Turf grass provides little

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environmental benefit and can, over time, limit infiltration. Could a mix of native grasses and perennial plugs be incorporated into what appears to be a stormwater swale?

5. The Conservancy recognizes that Inkberry is widely used in the landscaping plan already, and that choices for native evergreen shrubs are limited, but we encourage the applicant to seek an alternative native plant material for along the property boundary where the skip laurels are proposed.

In addition to the comments above, below I have listed again the general comments included in our first review.

6. The proposed development is located within the area identified in the 2014 Upper Uwchlan Comprehensive Plan's Future Land Use Map as Village, areas that would continue to be limited to residential infill that is consistent with current historic structures, considers adaptive reuse of historic buildings for residential purposes, and that consider open space, buffering, and pedestrian needs. More specifically, the proposed development falls within the Eagle Village-Village of Eagle/Byers Concept Plan of the 2014 Comprehensive Plan, an update to which is currently underway.

The 2014 Village Concept Plan identifies several planning objectives for the village, which include maintaining its visual integrity, preserving Class I and Class II historic resources, providing controlled access to Graphite Mine Road, ensuring traffic access management, enhancing interconnectivity for pedestrians, and providing consistent streetscapes and ample civic spaces throughout.

The proposed development sits on the very edge of the Turnpike sub-area for the 2014 Village Concept Plan, which envisions this area being utilized for larger scale commercial uses, as well as office buildings and light industrial uses.

While the proposed development appears to align with the general goals of the 2014 Village Concept Plan, it does sit at the edge of an area designated for heavier land uses. As such, the Township and applicant should ensure the plant material chosen for the southern property boundary adjacent to parcel 32-3-69.4 is appropriate and would provide adequate screening between the two uses.

7. The Brandywine Conservancy notes the applicant intends to seek modifications to the parking requirements under Section 200-73K of the Zoning Ordinance. Given the nature of the proposed use (pick-up and drop-offs at a day care facility tend to occur over a more prolonged time than at a traditional K-12 institution), the Brandywine Conservancy is in support of this modification request. However, the Township and applicant might consider exploring options for shared parking that might be utilized by staff who work at the day care center.

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8. The Township should ensure the applicant has made every effort to conform to the landscaping requirements under Section 162-57 of the Township Code.
9. The Brandywine Conservancy notes the inclusion of a 5' pedestrian sidewalk along most of the frontage along Park Rd. This will provide for pedestrian access to the facility from nearby residential areas, such as the Townes at Chester Springs, reducing the need for additional vehicular trips and lowering parking needs at the site during drop-off and pick-up times. It also enhances the growing pedestrian network in the Township.
10. Given the proposed development is within the C-1 zoning district, the Township should ensure the applicant is in compliance with the applicable design standards set forth in Section 200-36 of the Township Code, including that the structure be designed with either a traditional village architectural character or be a contemporary expression of traditional styles and forms. Given the proximity of the development to Windsor Baptist Church, a historic resource in Upper Uwchlan Township, the Brandywine Conservancy suggests the Historical Commission review the plans and architectural drawings. In addition, the Township might consider seeking the advice of the Township's Historic Resource Consultant on the proposed schematic of the facility.

**IX. TOWNSHIP SEWER CONSULTANT COMMENTS**  
**ARRO CONSULTING, INC.**

1. The site is currently a single-family dwelling. Plans proposed the demolition of the existing single-family home and the construction of a two-story office daycare facility, a play area and parking lot. Based on discussions with the applicant's engineer, the anticipated building capacity is 120-125 children with approximately 20 employees. We estimate the anticipated usage to be 675 gallons per day (GPD) or three (3) equivalent dwelling units (EDUs). The required capacity will need to be purchased by the applicant. We recommend the Township reserve the right to review water usage in the future and require the purchase of additional sanitary sewer capacity if warranted.
2. Sewage facilities planning module (SFPM) approval will need to be obtained by the Pennsylvania Department of Environmental Protection (PADEP). The SFPM mailer package has been submitted the PADEP to review and approval.
3. The proposed lateral should connect into the sanitary sewer main not the terminal manhole.
4. An appropriately-sized grease interceptor shall be provided for any proposed kitchen facilities.
5. The necessary financial security shall be posted with the Township, which shall be in a form and amount acceptable to the Township.

**X. TOWNSHIP FIRE MARSHAL COMENTS**

1. What is the width of the entrance from Park Road into the parking lot and the aisle in the parking lot?
2. The property is served by fire hydrants on Park Road. Please provide the location of each and the distance from the proposed building to each of the fire hydrants.
3. The needed hydrant flow is 2,000 GPM @ 20 PSI residual pressure.

**XI. TOWNSHIP HISTORICAL COMMISSION COMMENTS**

1. Approve daycare center as conditional use.
2. Since the 241 Park Road existing house is not within 250 feet of Windsor Baptist Church or the parsonage, the house is of relatively recent vintage and lacks architectural significance, is not included in the 2001 Historic Resources Inventory and there is uncertainty if it was later formally added to the Inventory, as long as the proposed new building complies with the Section 200-36 C-1 Village District design standards and the side facing Park Road is landscaped to shield it from view, the historic resources impact statement may be waived
3. Although it is unclear if 241 Park Road house is a protected "historic structure" under Section 200-36, due to its relatively recent 1951 building date and lack of architectural significance, the house (and more modern outbuildings) may be demolished.
4. Request that Planebrook Partners, LLC explain how its architectural designs for the proposed daycare center are consistent with, and promote, purposes and standards set forth for the C-1 Village Zoning District, including, but not limited to, by providing more information about how the proposed design reflects the "traditional village architectural character or contemporary expression of traditional styles and forms...of historic examples in Byers, Eagle and the surrounding area" (e.g., what the massive size, stacked stone portions and three different types of siding contribute) and reducing the 100 foot facade facing Park Road to less than 60 feet or inserting "breaks" as required under Section 200-36B.
5. If not already provided, request that Planebrook Partners, LLC provide more information on the proposed signage to determine if it complies with the C-1 Village Zoning District signage requirements under Ordinance Section 200-98H and other applicable signage sections.

Mr. Tony Scheivert, Upper Uwchlan Township Manager  
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This concludes our second review of the above referenced preliminary land development application. We would recommend the plans be revised to address the above referenced comments. If you have any questions, please do not hesitate to contact me.

Sincerely,

*David N. Leh*

David N. Leh, P.E.  
Vice President  
Gilmore & Associates, Inc.

cc: Upper Uwchlan Township Planning Commission Members  
Upper Uwchlan Township Board of Supervisors  
Upper Uwchlan Historic Commission  
Gwen Jonik, Township Secretary  
Kristin Camp, Esq., BBM&M  
G. Matthew Brown, P.E. – Upper Uwchlan Township Municipal Authority  
Rob Daniels, ASLA, Brandywine Conservancy  
Christopher J. Williams, P.E., McMahon Associates, Inc.  
David Schlott, P.E., ARRO Consulting, Inc.  
Victor Kelly, Jr., P.E., Commonwealth Engineers, Inc.  
Andrew Pancoast, 241 Park Avenue, LLC  
Scott Risbon, Planebrook Partners, LLC  
Mike Malloy, Esq. - Obermayer Rebmann Maxwell & Hippel LLP

**CHESTER COUNTY, PENNSYLVANIA  
CONDITIONAL USE APPLICATION**

**Applicant, Planebrook Partners, LLC seeks conditional use approval pursuant to Section 200-33.B(3) of the Upper Uwchlan Township Zoning Ordinance to construct a two-story, 6,000 SF daycare facility on two parcels of property located at 241 Park Road (Chester County Tax Parcel No. 32-4-37) and 235 Park Road (Chester County Tax Parcel No. 32-4-38.8 (the “Properties”). The Properties are owned by 241 Park Avenue, LLC and are located in the C-1 Village District.**

**Hearing Date: Tuesday, April 9, 2024 at 5:30 p.m.; continued to Tuesday, May 14, 2024 at 5:00 p.m.**

**APPLICANT EXHIBITS**

- A-1: Presentation rendering of the Plans prepared by Commonwealth Engineers, Inc. dated December 14, 2023
- A-2: Floor plan of proposed day care building prepared by Scull Architecture LLC dated April 5, 2024
- A-3: Architectural plan of proposed day care building prepared by Scull Architecture LLC dated April 5, 2024
- A-4: Traffic Impact Assessment from Heinrich & Klein Associates, Inc. dated May 9, 2024
- A-5: Email Opinion from Mike Esterlis dated May 13, 2024 re: Access by Fire Company
- A-6: Letter from Scull Architecture dated May 10, 2024 re: water availability
- A-7: Plan prepared by Scull Architecture, LLC dated May 12, 2024





PRESENTATION PLAN  
FOR  
241 PARK ROAD

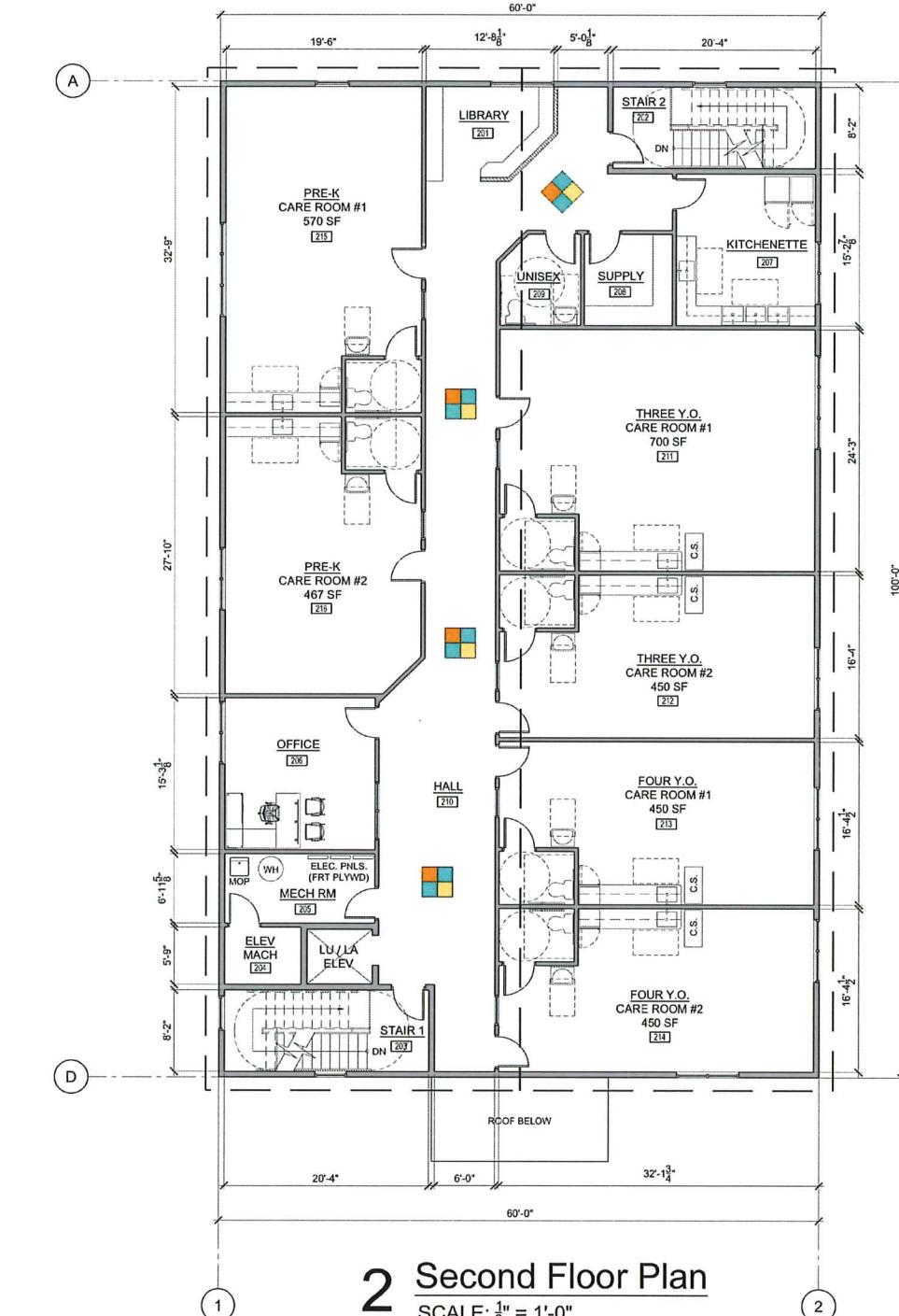
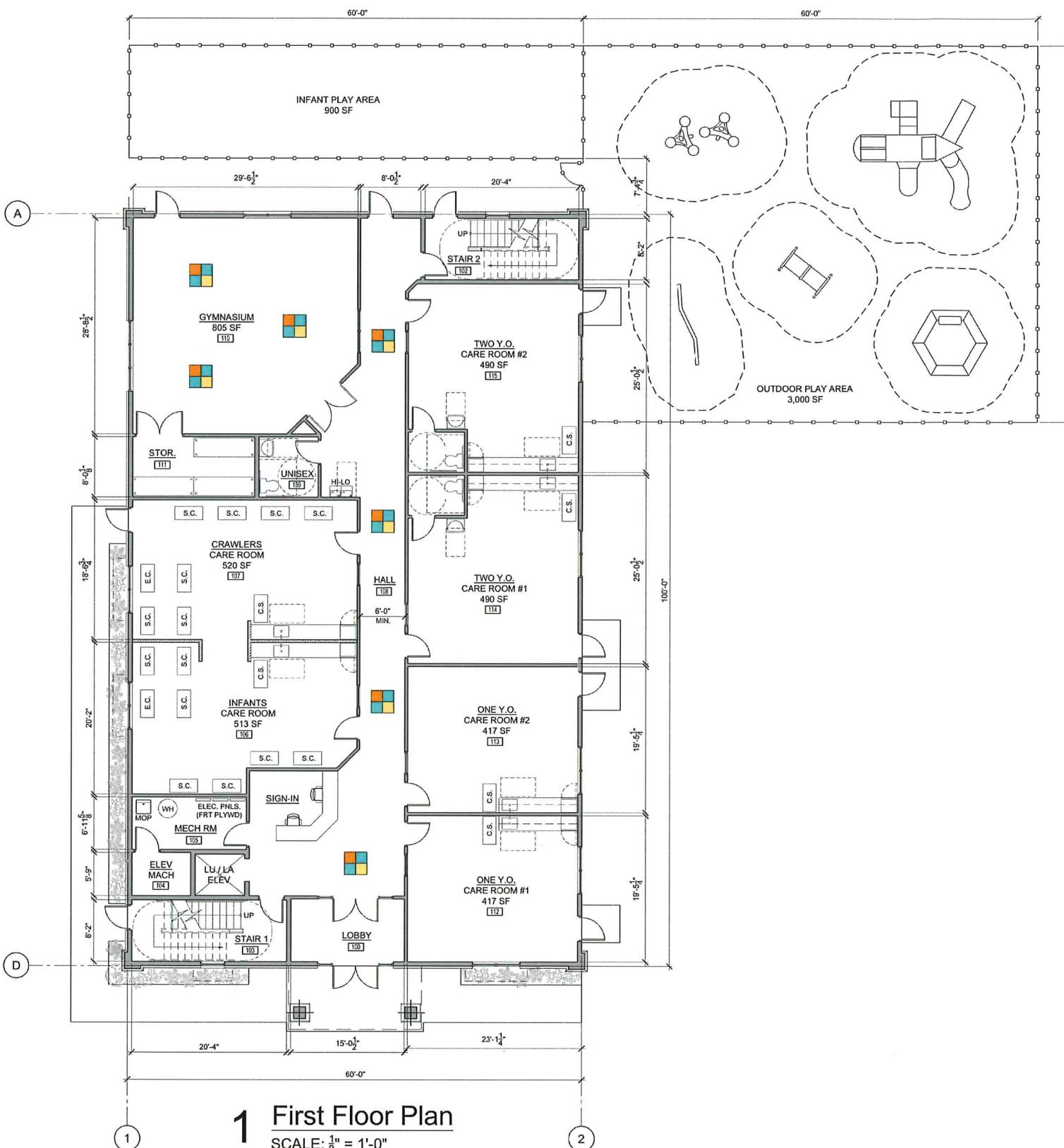
# COMMONWEALTH ENGINEERS. | NC.

114 EAST LANCASTER AVENUE ~ SECOND FLOOR  
DOWNTON, PA 19335  
TELEPHONE: (610) 518-9003 ~ FAX: (610) 518-9004  
COMENG@CEL-1.COM

A-1

CHESTER COUNTY, PA	
DATE:	DECEMBER 14, 2023
SCALE:	AS SHOWN
SURVEY:	---
DRAWN:	MDC
CHECKED:	VK
DRAWING NO.	202317-1(C)
SHEET:	1
OF:	1

A-2



A-3



### 1 Elevation

SCALE:  $\frac{1}{8}$ " = 1'-0"



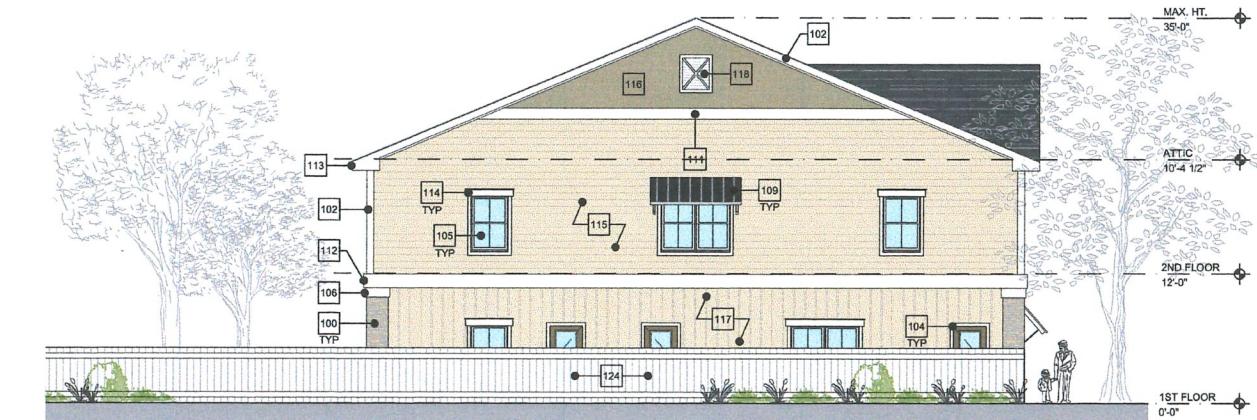
### 2 Elevation

SCALE:  $\frac{1}{8}$ " = 1'-0"



### 3 Elevation

SCALE:  $\frac{1}{8}$ " = 1'-0"



### 4 Elevation

SCALE:  $\frac{1}{8}$ " = 1'-0"

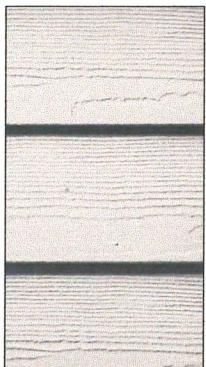
#### EXTERIOR FINISH MATERIALS SCHEDULE

TAG	MATERIAL	MANUFACT'R	COLOR / NO.	NOTES
100	THIN STONE	STONE CRAFT	LAUREL CAVERN LEDGE ASHER	DRYSTACK
101	PRE-ENG ROOF TRUSS W/ ASPHALT SHINGLES	GAF TIMBERLINE HDZ	CHARCOAL	-
102	8" AZEK RAKE BOARD & CORNER TRIM	AZEK	WHITE	SMOOTH
103	PRECAST SILL	T.B.D.	BROWN	-
104	EXTERIOR DOOR	AS SCHEDULED	TO MATCH ADJACENT	AS SCHEDULED
105	VINYL DOUBLE HUNG WINDOW SYSTEM	ANDERSEN	WHITE 400 SERIES	REFER TO DETAILS IN THIS DRAWING SET
106	PRECAST / PRE-MFR. BASE OR CAP	SELECTED BY OWNER	NATURAL	MORTAR COLOR TO MATCH BASE OR CAP
107	ALUM. DOWNSPOUT	SELECTED BY OWNER	MATCH CORNICE	PVC BOOT TO STORM WATER SYSTEM
108	ALUM. CONT. GUTTER	SELECTED BY OWNER	MATCH CORNICE	-
109	PRE-MANUFACTURED ALUM. METAL AWNING	-	BLACK	AS APPROVED BY OWNER PROVIDE SUPPORT BRACKETS
110	PRE-MANUFACTURED ZEE BOX	ATAS INTERNL, INC.	BLACK	INSTALL PER MFR'S DETAILS AND INSTRUCTIONS MANUAL
111	12" AZEK BAND TRIM	AZEK	WHITE	SMOOTH
112	16" AZEK BAND TRIM	AZEK	WHITE	SMOOTH
113	10" AZEK FASCIA TRIM	AZEK	WHITE	SMOOTH
114	4" AZEK JAMB / SILL TRIM 8" AZEK HEAD TRIM	AZEK	WHITE	SMOOTH
115	8" HORIZONTAL SIDING PLANK SIDING	HARDI-BOARD CLIFFS	WEATHERED CLIFFS	FINISH TYPE TO BE DETERMINED BY OWNER
116	STRAIGHT-CUT SIDING	HARDI-BOARD	WARM CLAY	FINISH TYPE TO BE DETERMINED BY OWNER
117	BOARD & BATTEN SIDING	HARDI-BOARD	WEATHERED CLIFFS	FINISH TYPE TO BE DETERMINED BY OWNER
118	DECORATIVE VINYL VENT	CERTAINTED	WHITE	-
119	FRT PLYWOOD AT SIGNAGE	-	-	PROVIDE BEHIND EXTERIOR SIGNAGE
120	SIGNAGE	-	-	BY OWNER / TENANT
121	BEAMS & BEAM END TRIM	AZEK	WHITE	SMOOTH
122	FIBERGLASS COLUMN SURROUND (TAPERED)	BUILDER'S STANDARD	WHITE	PROVIDE MATCHING BASES & CAPITALS (SMOOTH)
123	STANDING SEAM METAL ROOF	ATAS	BLACK	PREFINISHED
124	6" VINYL FENCE PRIVACY PLANK BOARDS	CERTAINTED	WHITE	HEIGHT AS DETERMINED BY OWNER / TENANT
125	GOOSE NECK LIGHTING	T.B.D.	BLACK	BY OWNER / TENANT
126	SCONCE LIGHTING	T.B.D.	BLACK	BY OWNER / TENANT
127	DECORATIVE VINYL GABLE TRIM	T.B.D.	WHITE	BY OWNER / TENANT

NOTE: ALL NEW CMU ON THIS PROJECT SHALL BE "DRY BLOCK" TYPE CMU & ALL MORTAR TO HAVE WATERPROOFING ADDITIVE AGENTS.



THIN STONE



HORIZONTAL  
SIDING



STRAIGHT-CUT SIDING



SK-5.2  
April 5, 2024

SA Project No. 2023.67



A-4



**HEINRICH & KLEIN  
ASSOCIATES, INC.**

TRAFFIC ENGINEERING & PLANNING  
1134 Heinrich Lane • Ambler, Pennsylvania 19002  
215-793-4177 • FAX 215-793-4179

A-4

**MEMORANDUM**

TO: Victor Kelly, P.E.  
Commonwealth Engineers, Inc.

FROM: Andreas Heinrich, P.E., P.T.O.E.

DATE: May 9, 2024

RE: Traffic Impact Assessment  
Child Day Care Center – 241 Park Road  
Upper Uwchlan Township, Chester County, PA

In accordance with your request, please accept the results of this Traffic Impact Assessment for the Child Day Care Center proposed on the southwest corner of the intersection of Park Road and Ticonderoga Boulevard in Upper Uwchlan Township, Chester County, Pennsylvania. It is proposed to develop the site for a child day care center comprised of 12,000 square feet of floor space. Access to the site will be provided via an unsignalized driveway that will intersect Park Road at a point approximately 240 feet west of Ticonderoga Boulevard.

The purpose of this Traffic Impact Assessment is to quantify the potential traffic generation characteristics for the proposed child day care center and to assess site access from the viewpoint of both traffic efficiency and safety. As such, this study includes:

- visits to the site to observe traffic conditions and to note existing physical characteristics of the adjacent roadways;
- completion of Turning Movement Traffic Counts on a weekday from 7:00 AM to 9:00 AM and from 4:00 PM to 6:00 PM at the intersections listed below:
  - Pottstown Pike (PA Route 100) and Park Road/Station Boulevard
  - Little Conestoga Road and Park Road
  - Park Road and Ticonderoga Boulevard/Windsor Christian Driveway
- estimation of the anticipated traffic generation characteristics and potential travel patterns of new traffic generated by the proposed child day care center;

- completion of a volume/capacity analysis of existing peak hour traffic and of future peak hour traffic without and after development of the proposed child day care center at the intersections and driveways in the study area; and,
- provision of conclusions and recommendations relative to the potential impact and site access requirements of new traffic generated by the proposed child day care center.

### **Existing Transportation Setting**

Park Road is generally a two-way, two-lane local road. Park Road widens to provide a three-lane cross-section from Ticonderoga Boulevard to Pottstown Pike (PA Route 100) with dedicated left turn lanes westbound at Ticonderoga Boulevard and in both directions at Little Conestoga Road and at Pottstown Pike (PA Route 100); and, a separate right turn lane on the westbound approach to Little Conestoga Road. The posted speed limit along Park Road is 35 miles per hour.

Ticonderoga Boulevard is generally a two-way, three-lane local road throughout much of its length. Ticonderoga Boulevard provides separate right-turn and left-turn lanes on the approach to Park Road. The posted speed limit along Ticonderoga Boulevard is 30 miles per hour.

Little Conestoga Road (S.R. 4016) is a state highway that generally provides one through travel lane in each direction. At the intersection with Park Road, the southbound approach of Little Conestoga Road is widened for a separate right turn lane. The posted speed limit along Little Conestoga Road is 35 miles per hour.

Pottstown Pike (S.R. 0100) is a state highway that generally provides one through travel lane in each direction. At the intersection with Park Road, Pottstown Pike (PA Route 100) is widened for a separate left turn lane in both directions. The posted speed limit along Pottstown Pike (PA Route 100) is 35 miles per hour.

Traffic traveling through the intersection of Pottstown Pike (PA Route 100) and Park Road/Station Boulevard is regulated by a traffic-actuated, three-phased traffic signal controller that provides a lead left turn phase for the northbound approach of Pottstown Pike (PA Route 100). Traffic traveling through the intersection of Little Conestoga Road and Park Road is regulated by a traffic-actuated, two-phased traffic signal controller. The two traffic signal controllers are interconnected with nine other intersections by means of fiber optic cable with programs selected by traffic responsive operations to operate on a 120-second signal cycle during the weekday morning peak period and a 110 second signal cycle during the weekday afternoon period (Signal Permit Plans attached). It should be noted, however, that the intersection of Little Conestoga Road and Park Road operates free during all time periods.

Existing highway travel demand and traffic patterns in the vicinity of the site were determined from completion of a Turning Movement Traffic Count on a typical weekday from 7:00 AM to 9:00 AM and from 4:00 PM to 6:00 PM at the intersections listed below:

- Pottstown Pike (PA Route 100) and Park Road/Station Boulevard
- Little Conestoga Road and Park Road
- Park Road and Ticonderoga Boulevard/Windsor Christian Driveway

Figure 1 summarizes weekday morning and weekday afternoon peak hour traffic, respectively, at the study area intersections. A copy of the Traffic Count Summary Data sheets is attached.

#### **Traffic Generation Characteristics**

As described previously, it is proposed to develop the site for a child day care center comprised of 12,000 square feet of floor space. The proposed child day care center will obviously generate some new traffic -- as might any development of the property.

Based on the size of the proposed development, an estimate of new traffic demand can be calculated for the proposed development. The anticipated traffic generation characteristics of the proposed development is estimated from trip generation data compiled by the Institute of Transportation Engineers and documented in the publication entitled Trip Generation Manual<sup>(1)</sup>. Table 1 presents the vehicular trip generation rates for the proposed development. Application of these rates to the size of the proposed development produces the daily and peak hourly traffic volumes presented in the bottom of Table 1.

It should be noted that not all traffic generated by and attracted to child day care centers is new traffic. A significant proportion of traffic generated by and attracted to child day care centers is diverted as pass-by trips or diverted link trips from the existing stream of traffic on the adjacent highways. Most child day care centers are situated in commercial areas, near employment centers, or along heavily traveled roads. This is to facilitate the home-to-work trip during the morning peak hour and the reverse work-to-home trip during the afternoon peak hour. The results of origin-destination surveys published in the Mid-Atlantic Section of the Institute of Transportation Engineers Newsletter<sup>(2)</sup> reveal that 76% of the traffic generated by child day care centers (44% pass-by trips and 32% diverted trips) is part of the home-to-work or work-to-home trip and is already on the adjacent or nearby roadways with the child day care center representing an intermediate stop on the way to another destination. These "pass-by" trips and diverted trips can represent up to 95% of the total traffic generated by child day care centers. Therefore, less than 25% and as little as 5% to 10% of the traffic generated by child day care centers represents "new" traffic added to the adjacent roadways. Based on this data, it is anticipated that 44% of the traffic

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(1) Trip Generation Manual 11th Edition, Institute of Transportation Engineers, Washington DC, 2021.  
(2) "Trip Generation of Day Care Centers", Preston W. Hitchens, Jr., MASITE Newsletter, Oct. 1990,

**TABLE 1**  
**TRAFFIC GENERATION CHARACTERISTICS**  
**CHILD DAY CARE CENTER**  
**UPPER UWCHLAN, CHESTER COUNTY, PENNSYLVANIA**

**TRIP RATES<sup>(1)</sup>**

<u>Description</u>	<u>Daily</u>	<u>Morning Peak Hour</u>			<u>Afternoon Peak Hour</u>		
		<u>In</u>	<u>Out</u>	<u>Total</u>	<u>In</u>	<u>Out</u>	<u>Total</u>
Child Day Care Center (12,000 SF) <sup>(2)</sup>	47.62	5.83	5.17	11.00	5.23	5.89	11.12

**TRAFFIC VOLUMES**

Child Day Care Center (12,000 SF)	572	70	62	132	63	71	134
Pass-by Trips <sup>(3)</sup>	252	29	29	58	29	29	58
Diverted Trips <sup>(3)</sup>	182	21	21	42	21	21	42
<b>TOTAL EXTERNAL TRIPS</b>	<b>138</b>	<b>20</b>	<b>12</b>	<b>32</b>	<b>13</b>	<b>21</b>	<b>34</b>

(1) *Trip Generation Manual*, 11th Edition, Institution of Transportation Engineers, Washington, D.C., 2021 (ITE Land Use Code 565).

(2) *Trips per 1,000 square feet (SF) of floor space*.

(3) "Trip Generation of Day Care Centers", Preston W; Hitchens, Jr., MASITE Newsletter, October 1990.

generated by the proposed child day care center will be pass-by traffic; while an additional 32% of the traffic generated by the proposed child day care center will be diverted link traffic.

As shown in Table 1, after deducting 44% of the trip generation as pass-by traffic and 32% as diverted trips, it is anticipated that the proposed child day care center will generate a total of about 138 new trips per day (total inbound and outbound), 32 new trips per hour during the weekday morning peak hour and 34 new trips per hour during the weekday afternoon peak hour.

It is anticipated that traffic generated by the proposed child day care center will approach and depart the site according to existing traffic patterns along Park Road and the adjacent roadways. While directional patterns will fluctuate throughout the day, it is anticipated that about 26% of the traffic generated by the proposed child day care center will be oriented to/from the north on Pottstown Pike (PA Route 100), about 24% of the traffic generated by the proposed child day care center will be oriented to/from the south on Ticonderoga Boulevard, about 23% of the traffic generated by the proposed child day care center will be oriented to/from the north on Little Conestoga Road, about 21% of the traffic generated by the proposed child day care center will be oriented to/from the west on Park Road, and about 6% of the traffic generated by the proposed child day care center will be oriented to/from the east on Station Boulevard,. Figure 2 presents the potential assignment of new, pass-by and diverted trips generated by and attracted to the proposed new child day care center.

### Volume/Capacity Analysis

While traffic volumes provide a measure of activity on the area road system, it is also important to calculate the ability of the road system to adequately accommodate the traffic demand. This involves a comparison of peak hour traffic demand with available roadway or intersection capacity. Intersections are usually the critical points in any road network. At intersections, conflicts occur between through, crossing and turning traffic. It is at intersections where congestion is most likely to occur.

A volume/capacity analysis was completed for the intersections and driveways in the vicinity of the site based upon the peak hour traffic volumes illustrated in Figure 1. The volume/capacity analysis was completed in accordance with the standard procedures contained in the "Highway Capacity Manual"<sup>(2)</sup>. By definition, vehicle capacity represents "the maximum number of vehicles that can pass a given point during a specified period under prevailing roadway, traffic and control conditions". The level of functioning of an intersection or a uniform section of lane or roadway can be expressed in terms of levels of service. A level of service is a qualitative measure describing operational conditions within

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(2) "Highway Capacity Manual", 6<sup>th</sup> Edition, Transportation Research Board of the National Academies, Washington, D.C., 2016.

a traffic stream and their perception by motorists and/or passengers. Such measures include speed and travel time, freedom to maneuver, traffic interruptions, and comfort and convenience.

In calculating the capacity of an unsignalized intersection, it is assumed that the through movements on the major street and the right turns from the major street are unimpeded and have the right-of-way over all minor street traffic and left turns from the major street. All other movements in the intersection cross, merge with, or are affected by other flows. For each movement, all conflicting flows are summed and a "critical gap" is determined. The control delay of a critical movement includes initial deceleration delay, queue move-up time, stopped delay, and final acceleration delay.

At signalized intersections other factors affect the various approach capacities including width of approach, number of lanes, signal green time, turning percentages, truck volumes, etc. The relative functioning of an intersection is, therefore, based on the average control delay per vehicle for the various movements within the intersection. While volume/capacity relationships affect the capacity, there are other parameters that affect delay and must also be considered. It is possible under certain conditions to have excessive delays without exceeding roadway capacity. Conversely, a saturated approach may have relatively low vehicular delay under certain conditions. Thus, both capacity and control delay must be considered to evaluate the overall operation of a signalized intersection.

Since operation at capacity is usually unsatisfactory to most drivers, a descriptive mechanism has been developed which relates capacity with the expected traffic delay. This is known as Level of Service (LOS). Level of service for a two-way stop-controlled intersection is determined by the computed or measured control delay and is defined for each minor movement. Level of service for a signalized intersection is defined in terms of delay, which is a measure of driver discomfort, frustration, fuel consumption, and lost travel time. Table 2 provides the correlation between levels of service and the average total delay at unsignalized intersections. The correlation between levels of service and the stopped delay per vehicle at signalized intersections is provided in Table 3.

It should be noted that the analysis has been completed using HCS2022 software incorporating the use of certain default values (PennDOT Publication 46 – Traffic Engineering Manual) for base saturation flow rates, base critical headways at unsignalized intersections, and base follow-up headways at unsignalized intersections.

The resultant levels of service calculated from the volume/capacity analysis of existing traffic conditions, as shown in Figure 3, indicate that, with the exception of left turning traffic on the eastbound approach of Park Road at Pottstown Pike (PA Route 100) which is operating at LOS E during the morning peak hour, all movements at the two signalized intersections and all movements at the unsignalized intersections in the study area are operating at an acceptable LOS D or better during both the morning and afternoon peak hours. At the signalized intersection of Pottstown Pike (PA Route 100) and Park Road/Station Boulevard, overall the intersection operates at LOS C during both the morning and afternoon peak hours with total average vehicle delay of 25.0 seconds per vehicle during the morning peak hour and 27.3 seconds per vehicle during the afternoon

**TABLE 2**  
**LEVEL OF SERVICE**  
**UNSIGNALIZED INTERSECTIONS**

At unsignalized intersections the criteria used to evaluate the quality of flow is the measure of the adequacy of the number of acceptable gaps in the through traffic stream for drivers facing a STOP or YIELD condition. Variables affecting the gaps are the distribution or arrival of vehicles in the through traffic stream, percentage of trucks, grades, and the amount of time it requires to enter the traffic stream from a stop position (critical gap size). The control delay of a critical movement includes the initial deceleration delay, queue move-up time, stopped delay, and final acceleration delay.

As a result, the following criteria has been established:

<u>Level of Service</u>	<u>Control Delay Range (sec./veh/)</u>
A	less than 10
B	10 to 15
C	15 to 25
D	25 to 35
E	35 to 50
F	more than 50 and/or volume-to- capacity ratio greater than 1.0

**TABLE 3**  
**LEVEL OF SERVICE**  
**SIGNALIZED INTERSECTIONS**

Level of Service for signalized intersections is defined in terms of average stopped delay. Delay is a measure of driver discomfort, frustration, fuel consumption, and lost travel time. Delay at a traffic signal is a complex measure and is dependent on a number of variables including quality of progression, the cycle length, the green time ratio, the volume to capacity ratio for each lane group on each approach, trucks, pedestrians, and signal phasing.

The following has therefore been established by the Transportation Research Board as the average stopped delay in vehicles per second:

<u>LEVEL OF SERVICE</u>	<u>DESCRIPTION</u>	<u>AVERAGE STOPPED DELAY (sec./veh.)</u>
A	Very low delay, good progression; most vehicles do not stop at intersection.	less than 10.0
B	Generally good signal progression and/or short cycle length; more vehicles stop at intersection than level of service A.	10.1 to 20.0
C	Fair progression and/or longer cycle length; significant numbers of vehicles stop at intersection.	20.1 to 35.0
D	Congestion becomes noticeable; individual cycle failures; longer delay from unfavorable progression, long cycle length, or high volume/capacity ratio; most vehicles stop at intersection.	35.1 to 55.0
E	Considered limit of acceptable delay, indicative of poor progression, long cycle length, high volume/capacity ratio; frequent individual cycle failures.	55.1 to 80.0
F	Unacceptable delay, frequently an indication of oversaturation (i.e., arrival flow exceeds available capacity).	greater than 80.0 and/or volume-to-capacity ratio greater than 1.0

peak hour. At the signalized intersection of Little Conestoga Road and Park Road, overall the intersection operates at LOS A during both the morning and afternoon peak hours with total average vehicle delay of 9.2 seconds per vehicle during the morning peak hour and 7.8 seconds per vehicle during the afternoon peak hour. A copy of the volume/capacity analysis worksheets for existing traffic conditions is attached.

### **Future Traffic**

Existing traffic traveling through the intersections in the study area was then increased by about 1.45% (0.48% compounded annually for three years based on the Pennsylvania Department of Transportation Bureau of Planning and Research Growth Factors for the period August 2023 to July 2024 for Chester County) to reflect some traffic growth over the next few years. Future peak hour traffic volume without development of the proposed child day care center are presented in Figure 4 for the weekday morning and weekday afternoon peak hours.

The resultant levels of service calculated from the volume/capacity analysis of future traffic conditions without development of the proposed child day care center, are shown in Figure 5. The results of the analysis reveal that, with the exception of left turning traffic on the eastbound approach of Park Road at Pottstown Pike (PA Route 100) which will continue to operate at LOS E during the morning peak hour, all movements at the two signalized intersections and all movements at the unsignalized intersections in the study area will continue to operate at an acceptable LOS D or better during both the morning and afternoon peak hours. At the signalized intersection of Pottstown Pike (PA Route 100) and Park Road/Station Boulevard, overall the intersection will continue to operate at LOS C during both the morning and afternoon peak hours with total average vehicle delay of 25.5 seconds per vehicle during the morning peak hour and 28.2 seconds per vehicle during the afternoon peak hour. At the signalized intersection of Little Conestoga Road and Park Road, overall the intersection will continue to operate at LOS A during both the morning and afternoon peak hours with total average vehicle delay of 9.4 seconds per vehicle during the morning peak hour and 7.9 seconds per vehicle during the afternoon peak hour. A copy of the volume/capacity analysis worksheets for future traffic conditions without development is attached.

New traffic generated by and attracted to the proposed child day care center, as previously shown in Figure 2, was then added to future peak hour traffic volumes without development as shown in Figure 4. Future peak hour traffic volume after development of the proposed child day care center is presented in Figure 6 for the weekday morning and weekday afternoon peak hours.

The resultant levels of service calculated from the volume/capacity analysis of future traffic conditions after development of the proposed child day care center is shown in Figure 7. The results of the analysis reveal that, with the exception of left turning traffic on the eastbound approach of Park Road at Pottstown Pike (PA Route 100) which will continue to operate at LOS E during the morning peak hour and left turning traffic from Ticonderoga Boulevard which will operate at LOS E during the morning peak hour, all movements at the two signalized intersections and all movements at the unsignalized

intersections in the study area will continue to operate at an acceptable LOS D or better during both the morning and afternoon peak hours. At the signalized intersection of Pottstown Pike (PA Route 100) and Park Road/Station Boulevard, overall the intersection will continue to operate at LOS C during both the morning and afternoon peak hours with total average vehicle delay of 26.4 seconds per vehicle during the morning peak hour and 30.5 seconds per vehicle during the afternoon peak hour. At the signalized intersection of Little Conestoga Road and Park Road, overall the intersection will continue to operate at LOS A during both the morning and afternoon peak hours with total average vehicle delay of 9.6 seconds per vehicle during the morning peak hour and 8.0 seconds per vehicle during the afternoon peak hour. A copy of the volume/capacity analysis worksheets for future traffic conditions after development is attached.

Table 4 summarizes the results of the volume/capacity analysis for the existing, future (2027) without development, and future (2027) after development scenarios. Table 5 summarizes the results of the queue analysis for the existing, future (2027) without development, and future (2027) after development scenarios.

The results of the analysis of future traffic conditions without and after development of the proposed child day care center reveal that, while there will be some increase in peak hour traffic delay, as can be expected with any increase in peak hour traffic volumes, there will be little change in levels of service due to the addition of new traffic generated by the proposed child day care center. Further, the increase in peak hour traffic delay will be such that there is no requirement for mitigation in accordance with the criteria set forth by the Pennsylvania Department of Transportation.

#### Site Access

As described previously, access to the site will be provided via an unsignalized driveway that will intersect Park Road at a point approximately 240 feet west of Ticonderoga Boulevard. Based on the anticipated trip generation characteristics for the proposed development, the proposed access driveway will be classified as a "low volume driveway" in accordance with PADOT Regulations Governing Access To And Occupancy Of Highways By Driveways And Local Roads.

The access driveway will be constructed 24 feet wide to provide one entry lane and one exit lane, with right turn corner radii to accommodate the appropriate design vehicle. Review of auxiliary turn lane warrants reveals that widening Park Road for a separate left turn lane and/or right turn deceleration lane is not warranted.

Based on the posted speed limit of 35 miles per hour along Park Road, it is desirable to provide safe sight distance of 440 feet to the left and 350 feet to the right of the access driveway, as measured from a position 10 feet back of the pavement edge along Seven Stars Road. In addition, it is desirable to provide safe sight distance of 300 feet to the left for a vehicle turning left into the proposed driveway. Observations reveal that there is adequate sight distance of almost 1,000 feet available to the right along Park Road, and adequate sight distance in excess of 400 feet to the left for left turn entering traffic; but, sight distance to the left for exiting traffic from the proposed driveway is limited less than

TABLE 4  
LEVEL OF SERVICE (DELAY) SUMMARY/OPENING YEAR 2027

Intersection	Approach	AM Peak Hour LOS (Delay sec./veh.)			PM Peak Hour LOS (Delay sec./veh.)		
		Existing	2027 W/O Development	2027 After Development	Existing	2027 W/O Development	2027 After Development
Portstown Pike (PA Route 100) & Park Road/ Station Boulevard	EB L	E(56.3)	E(56.2)	E(56.6)	D(51.3)	D(51.4)	D(52.0)
	EB T/R	D(42.1)	D(41.9)	D(41.2)	C(31.5)	C(30.4)	
	WB L	D(44.5)	D(44.3)	D(43.6)	C(32.9)	C(31.8)	
	WB T/R	D(42.2)	D(42.0)	D(41.3)	C(32.3)	C(32.1)	C(31.0)
	NB L	B(16.3)	B(17.3)	B(18.2)	C(26.4)	C(28.7)	C(31.9)
	NB T/R	A(5.3)	A(5.4)	A(5.6)	B(10.0)	B(10.3)	B(10.9)
	SB L	A(8.6)	A(8.8)	A(9.1)	B(15.5)	B(15.8)	B(16.9)
	SB T/R	C(20.4)	C(20.9)	C(22.0)	C(30.1)	C(31.6)	D(35.3)
	INTERSECTION	C(25.0)	C(25.5)	C(26.4)	C(27.3)	C(28.2)	C(30.5)
	EB L	B(11.4)	B(11.6)	B(11.8)	A(7.7)	A(7.8)	A(7.9)
Little Conestoga Road & Park Road	EB T/R	A(10.0)	B(10.1)	A(9.9)	A(5.8)	A(5.8)	A(5.8)
	WB L	B(10.6)	B(10.7)	B(10.7)	A(6.5)	A(6.5)	A(6.5)
	WB T	A(9.7)	A(9.8)	A(9.8)	A(5.3)	A(5.4)	A(5.3)
	WB R	A(8.6)	A(8.7)	A(8.6)	A(5.8)	A(5.8)	A(5.7)
	NB L/T/R	A(6.6)	A(6.7)	A(7.0)	B(10.4)	B(10.6)	B(11.1)
	SB L	A(9.3)	A(9.4)	A(9.8)	B(10.6)	B(10.8)	B(11.3)
	SB T/R	A(8.5)	A(8.6)	A(9.3)	A(9.4)	A(10.0)	A(10.0)
	INTERSECTION	A(9.2)	A(9.4)	A(9.6)	A(7.8)	A(7.9)	A(8.0)
	EB L	A(9.9)	A(9.9)	B(10.0)	A(8.6)	A(8.6)	A(8.7)
	SB L/R	C(15.6)	C(15.8)	C(16.6)	A(9.6)	A(9.6)	A(9.7)
Park Road & Windsor Christian Driveway	INTERSECTION	A(0.6)	A(0.6)	A(0.6)	A(0.3)	A(0.3)	A(0.3)
	WB L	B(10.3)	B(10.3)	B(10.6)	A(9.0)	A(9.0)	A(9.2)
	NB L	D(30.5)	D(31.7)	E(38.5)	C(15.5)	C(15.7)	C(17.8)
	NB R	B(10.4)	B(10.4)	B(10.7)	B(10.0)	B(10.1)	B(10.3)
	INTERSECTION	A(4.0)	A(4.1)	A(4.4)	A(4.5)	A(4.9)	A(5.2)
Park Road & Site Access	WB L/R	-	-	A(9.7)	-	-	A(9.0)
	SB L	-	-	B(13.6)	-	-	B(11.4)
	INTERSECTION	-	-	A(1.8)	-	-	A(1.8)

**TABLE 5****QUEUE ANALYSIS**

Intersection	Movement	Available/Proposed Storage	Existing	2027 w/o Devel.	2027 After Devel.
<b>AM Peak Hour/PM Peak Hour</b>					
Pottstown Pike (PA Route 100) & Park Road/Station Boulevard	EB L	75'/75'	188'/253'	188'/255'	198'/273'
	EB T/R	550'/550'	85'/60'	88'/60'	88'/60'
	WB L	115'/115'	18'/13'	18'/13'	18'/13'
	WB T/R	1,000'+/1,000'+	80'/83'	80'/83'	80'/83'
	NB L	350'/350'	55'/180'	58'/188'	60'/193'
	NB T/R	1,000'+/1,000'+	38'/200'	40'/205'	40'/208'
	SB L	185'/185'	3'/5'	3'/5'	3'/5'
	SB T/R	1,000'+/1,000'+	510'/480'	528'/498'	543'/528'
Little Conestoga Road & Park Road	EB L	110'/110	15'/20'	15'/20'	18'/23'
	EB T/R	250'/250'	38'/20'	40'/20'	43'/23'
	WB L	100'/100'	8'/8'	8'/8'	8'/8'
	WB T	550'/550'	33'/10'	35'/13'	38'/13'
	WB R	120'/120'	10'/18'	10'/18'	10'/18'
	NB L/T/R	775'/775'	8'/35'	8'/35'	8'/38'
	SB L/T	1,000'+/1,000'+	80'/38'	83'/40'	88'/43'
	SB R	140'/140'	48'/8'	50'/8'	58'/10'
Park Road & Windsor Christian Driveway	EB L	25'/25'	5'/0'	5'/0'	5'/0'
	SB L/R	50'/50'	0'/0'	0'/0'	0'/0'
Park Road & Ticonderoga Boulevard	WB L	90'/90'	18'/5'	18'/5'	18'/5'
	NB L	100'/100'	30'/30'	30'/30'	45'/40'
	NB R	1,000'+/1,000'+	8'/13'	8'/13'	8'/18'
Park Road & Site Access	WB L	-/175'	-/-	-/-	5'/5'
	NB L/R	-/50'	-/-	-/-	15'/10'

Note: The queue lengths represent the 95<sup>th</sup>% queue length.

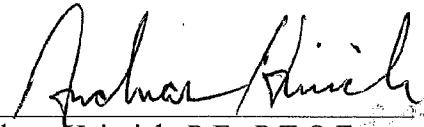
Victor Kelly, P.E.  
Commonwealth Engineers, Inc.  
May 9, 2024  
Page 8

200 feet. Calculation of the minimum Safe Stopping Sight Distance (SSSD) based on the 85<sup>th</sup>% vehicle operating speed of 36 miles per hour and the approach grade of about 7.4% from west to east yields a minimum SSSD of 324 feet from the west. Removal of vegetation and perhaps some re-grading along Park Road will be required to achieve at least 330 feet of Safe Stopping Sight Distance from the west along Park Road.

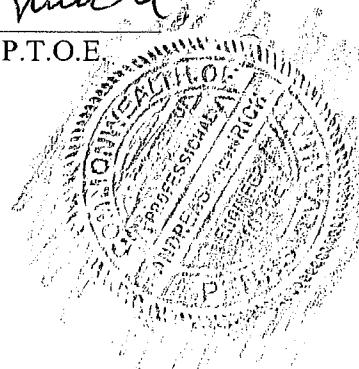
Finally, all critical movements at the unsignalized site access driveway that will intersect Park Road will operate at an acceptable LOS B or better during the morning and afternoon peak hours.

### **Conclusions**

The foregoing Traffic Impact Assessment for the Child Day Care Center proposed at intersection of Park Road and Ticonderoga Boulevard in Upper Uwchlan Township, Chester County, Pennsylvania, clearly demonstrates that new traffic generated by the proposed child day care center will not have a significant traffic impact on the adjacent roadways, the minimal increase in new traffic added as a result of development of the proposed child day care center will not lower the level of service of the roads to below that which would occur without the proposed development, and future traffic can be accommodated in a safe and efficient manner after development.



Andreas Heinrich, P.E., P.T.O.E.  
Principal



AH:rh

A-5

**Malloy, Michael**

---

A5

**From:** Malloy, Michael  
**Sent:** Monday, May 13, 2024 9:52 AM  
**To:** Mike Esterlis; Kristin Camp; Tony Scheivert  
**Cc:** Vic Kelly  
**Subject:** Re: Opinion re access by Fire Company

Thanks Mike.

---

**From:** Mike Esterlis <mesterlis@upperuwchlan-pa.gov>  
**Sent:** Monday, May 13, 2024 9:50:26 AM  
**To:** Kristin Camp <kcamp@buckleyllp.com>; Tony Scheivert <tscheivert@upperuwchlan-pa.gov>  
**Cc:** Malloy, Michael <michael.malloy@obermayer.com>  
**Subject:** RE: Opinion re access by Fire Company

**WARNING:** This email originated from an external sender. Exercise caution before clicking links or opening attachments. When in doubt, contact the IT department.

Good Morning Kristin,

The Fire Company reviewed the plans for the proposed daycare at 241 Park Rd, the fire company has adequate facilities to reach the heights of 35' with ladders and hoses. In addition to this building being fully sprinklered, the fire company has access to 2 fire hydrants within 500' of the new proposed building.

Let us know if you need additional information from the fire company.

Thank you,  
Michael Esterlis  
610-646-7010

**From:** Kristin Camp <kcamp@buckleyllp.com>  
**Sent:** Friday, May 10, 2024 10:48 AM  
**To:** Tony Scheivert <tscheivert@upperuwchlan-pa.gov>; Mike Esterlis <mesterlis@upperuwchlan-pa.gov>  
**Cc:** Malloy, Michael <michael.malloy@obermayer.com>  
**Subject:** Opinion re access by Fire Company

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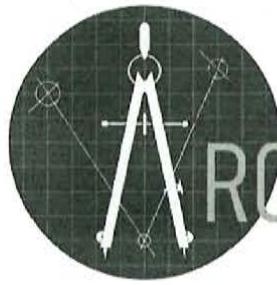
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Mike: the Board will be conducting a second conditional use hearing for a proposed daycare at 241 Park Ave. The applicant must present evidence of the following:

The applicant shall establish by a fair preponderance of credible evidence, which shall include but not necessarily be limited to a certificate from the chief of the fire company providing services to the facility, that the said company has adequate facilities to reach the highest points of the building with ladders and hoses or, in the alternative, that such facilities satisfactory to the fire company will be provided by the owner or operators of the facility.

And

A-4



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**ARCHITECTURE, LLC**

A-4

May 10, 2024  
File No. 2023.67



Upper Uwchlan Township  
Mr. Mike Esterlis, Director of Public Works | Fire Marshal  
132 Oscar Way  
Chester Springs, Pennsylvania 19425  
Phone: (610) 646-7010

RE: Ducklings Early Learning Center  
241 Park Road  
Eagle, PA 19355

Dear Mr. Esterlis:

Thank you for your time in reviewing this letter.

I am the architect for the proposed Ducklings daycare at 241 Park Road. Enclosed is a copy of the plan, dated April 5, 2024 and a letter from Aqua America confirming that water is available at the property for a fire water service. The proposed building is to be 100% sprinklered and will be in accordance with the International Building Code (IBC 2018) Chapter 9: Fire Protection Systems. This will be referenced on our permit set when submitted to the township.

In addition, a water supply and fire plan shall be prepared by a certified licensed sprinkler designer or engineer. This trade is to supply final drawing submittals to the township for your review and approval following all proper related codes including, NFPA 13. These drawings shall include but not be limited to; a flow test/chart, sprinkler layout, adequate water supply documentation and all associated details that represent a fully functional working system without impairing the uses of the water supply for ordinary purposes on the premises.

As the Township Solicitor mentioned to you, we are required to meet certain requirements related to fire safety to obtain a conditional use approval for the day care.

Please confirm that: (1) the fire company's ladders and hoses will be able to reach the highest points of the proposed 35' tall day care building.

If you should have any questions, please feel free to contact me.

Regards,

Charles M. Scull, R.A., NCARB  
cc: Mr. Vic Kelly and Mr. Scott Risbon, Owners



November 20, 2023

Stacy Turner  
Commonwealth Engineers Inc  
Downington, PA

Re: Water Availability  
235 -241 Park Rd  
Upper Uwchlan Township, Chester County

In response to your request, this letter will serve as confirmation that the above referenced property is situated within Aqua Pennsylvania Inc. service territory.

Domestic and fire water service is available to this property and will be provided in accordance with Aqua Pennsylvania, Inc. Rules and Regulations. For further details, visit [www.aquaamerica.com](http://www.aquaamerica.com).

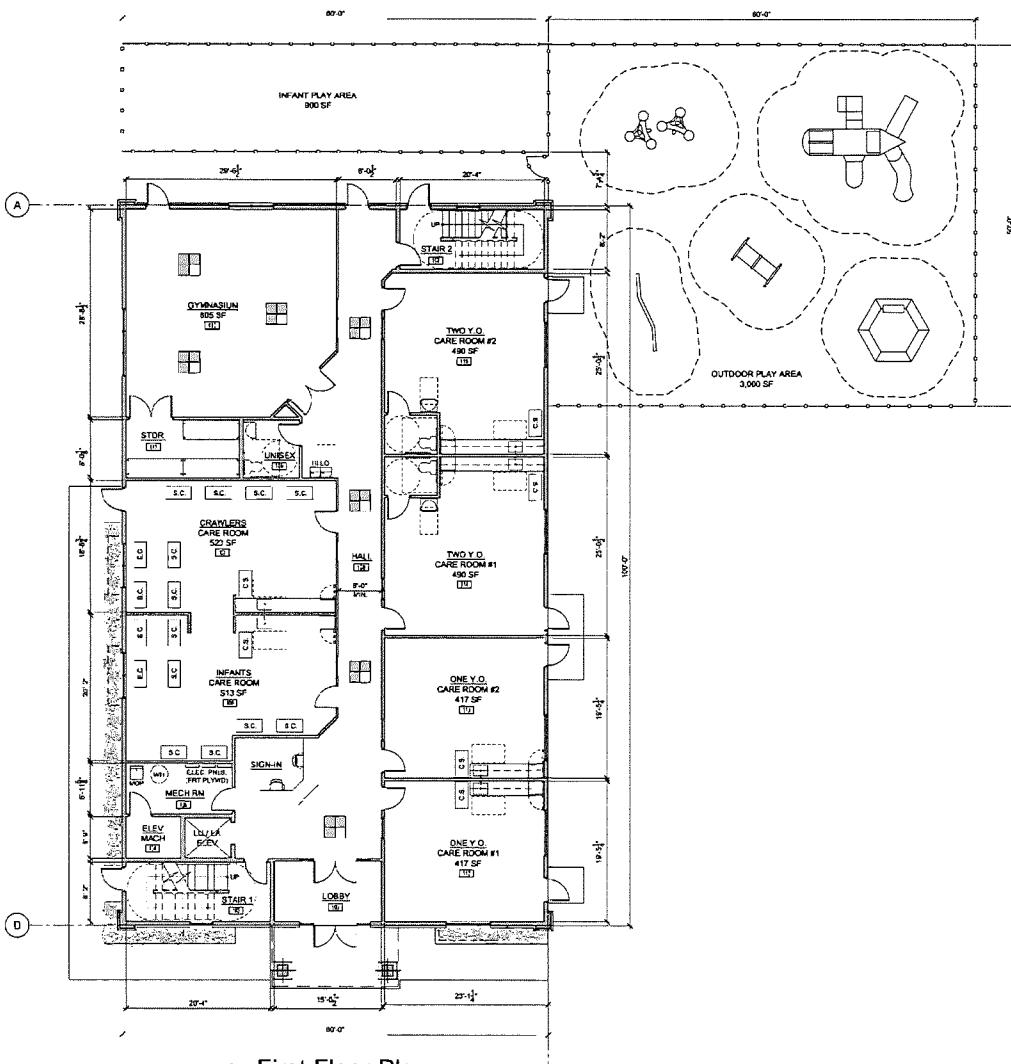
*Regarding capacity for domestic and fire service for this area, flow data information can be obtained upon written request to our Control Center at [SEPAflowrequest@aquaamerica.com](mailto:SEPAflowrequest@aquaamerica.com). Include the address with town or township and the nearest intersecting street.*

This letter expires one year from the date of issue.

Should you have any further questions or need to request an application for service, contact me at (610) 541-4160 or [dlciotti@aquaamerica.com](mailto:dlciotti@aquaamerica.com).

Regards,

Deanna L. Ciotti  
New Business Administrator - Services  
Aqua Pennsylvania, Inc  
762 W. Lancaster Ave  
Bryn Mawr, PA 19010  
O: 610.541.4160



## 1 First Floor Plan

# Ducklings

EARLY LEARNING CENTER

## SCHEMATIC

241 PARK ROAD  
EAGLE, PENNSYLVANIA 19355



**COMMONWEALTH ENGINEERS, INC.**  
114 EAST LANCASTER AVENUE ~ SECOND FLOOR  
DOWNTOWN, PA 19335  
TELEPHONE: (610) 518-9003 ~ FAX: (610) 518-9004  
COMENGC@COM1-1.COM



SK-5.1  
April 5, 2024

SA Project No. 2023.67

A-7



**1 Elevation**

SCALE:  $\frac{1}{8}$ " = 1'-0"



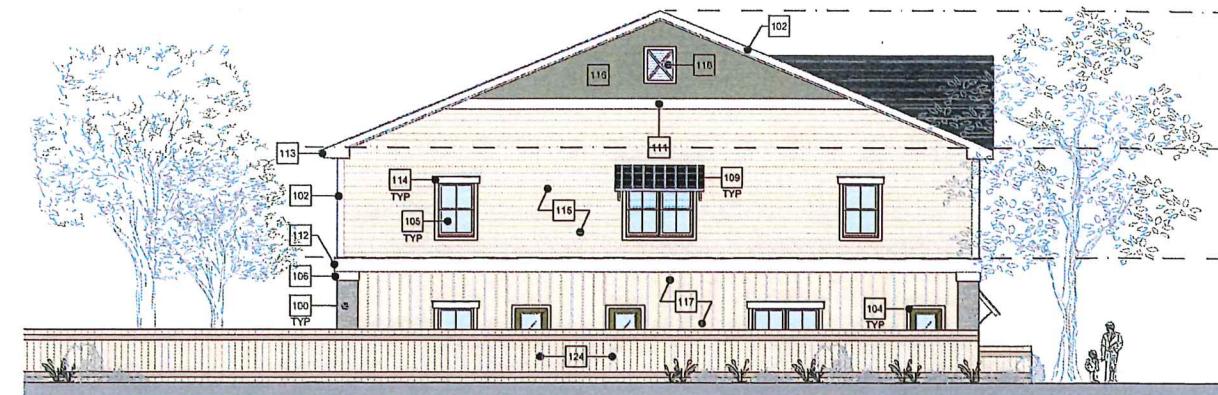
**2 Elevation**

SCALE:  $\frac{1}{8}$ " = 1'-0"



**3 Elevation**

SCALE:  $\frac{1}{8}$ " = 1'-0"



**4 Elevation**

SCALE:  $\frac{1}{8}$ " = 1'-0"

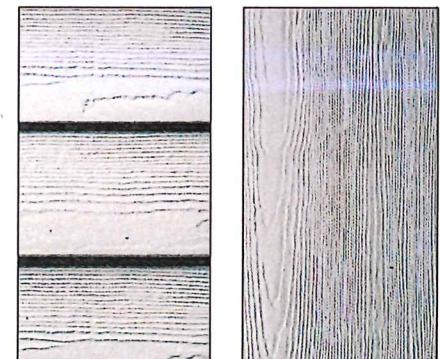
EXTERIOR FINISH MATERIALS SCHEDULE

TAG	MATERIAL	MANUFACTR	COLOR / NO.	NOTES
100	THIN STONE	STONE CRAFT	LAUREL CAVERN LEDGE 'ASHER'	DRYSTACK
101	PRE-ENG ROOF TRUSS W/ ASPHALT SHINGLES	GAF TIMBERLINE HDZ	CHARCOAL	
102	8' AZEK RAKE BOARD & CORNER TRIM	AZEK	WHITE	SMOOTH
103	PRECAST SILL	T.B.D.	BROWN	
104	EXTERIOR DOOR	AS SCHEDULED	TO MATCH ADJACENT	AS SCHEDULED
105	VINYL DOUBLE HUNG WINDOW SYSTEM	ANDERSEN	WHITE 400 SERIES	REFER TO DETAILS IN THIS DRAWING SET
106	PRECAST / PRE-MFR. BASE OR CAP		NATURAL	MORTAR COLOR TO MATCH BASE OR CAP
107	ALUM. DOWNSPOUT	SELECTED BY OWNER	MATCH CORNICE	PVC BOOT TO STORM WATER SYSTEM
108	ALUM. CONT. GUTTER	SELECTED BY OWNER	MATCH CORNICE	
109	PRE-MANUFACTURED ALUM. METAL AWNING		BLACK	AS APPROVED BY OWNER PROVIDE SUPPORT BRACKETS
110	PRE-MANUFACTURED ZEE BOX	ATAS INTERNL, INC.	BLACK	INSTALL PER MFR'S DETAILS AND INSTRUCTIONS MANUAL
111	12' AZEK BAND TRIM	AZEK	WHITE	SMOOTH
112	16' AZEK BAND TRIM	AZEK	WHITE	SMOOTH
113	10' AZEK FASCIA TRIM	AZEK	WHITE	SMOOTH
114	4' AZEK JAMB / SILL TRIM 8' AZEK HEAD TRIM	AZEK	WHITE	SMOOTH
115	8' HORIZONTAL SIDING	HARDI-BOARD PLANK SIDING	WEATHERED CLIFFS	FINISH TYPE TO BE DETERMINED BY OWNER
116	STRAIGHT-CUT SIDING	HARDI-BOARD	WARM CLAY	FINISH TYPE TO BE DETERMINED BY OWNER
117	BOARD & BATTEN SIDING	HARDI-BOARD	WEATHERED CLIFFS	FINISH TYPE TO BE DETERMINED BY OWNER
118	DECORATIVE VINYL VENT	CERTAINTEED	WHITE	
119	FRT PLYWOOD AT SIGNAGE			PROVIDE BEHIND EXTERIOR SIGNAGE
120	SIGNAGE			BY OWNER / TENANT
121	BEAMS & BEAM END TRIM	AZEK	WHITE	SMOOTH
122	FIBERGLASS COLUMN SURROUND (TAPERED)	BUILDER'S STANDARD	WHITE	PROVIDE MATCHING BASES & CAPITALS (SMOOTH)
123	STANDING SEAM METAL ROOF	ATAS	BLACK	PREFINISHED
124	6' VINYL FENCE PRIVACY PLANK BOARDS	CERTAINTEED	WHITE	HEIGHT AS DETERMINED BY OWNER / TENANT
125	GOOSE NECK LIGHTING	T.B.D.	BLACK	BY OWNER / TENANT
126	SCONCE LIGHTING	T.B.D.	BLACK	BY OWNER / TENANT
127	DECORATIVE VINYL GABLE TRIM	T.B.D.	WHITE	BY OWNER / TENANT

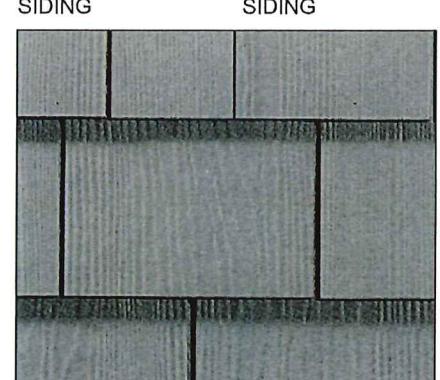
NOTE: ALL NEW CMU ON THIS PROJECT SHALL BE "DRY BLOCK" TYPE CMU & ALL MORTAR TO HAVE WATERPROOFING ADDITIVE AGENTS.



THIN STONE



HORIZONTAL  
SIDING



BOARD & BATTEN  
SIDING



STRAIGHT-CUT SIDING

**Ducklings™**  
EARLY LEARNING CENTER

**SCHEMATIC**  
241 PARK ROAD  
EAGLE, PENNSYLVANIA 19355



COMMONWEALTH ENGINEERS, INC.

114 EAST LANCASTER AVENUE ~ SECOND FLOOR  
DOWNTOWN, PA 19335  
TELEPHONE: (610) 518-9003 ~ FAX: (610) 518-9004  
COMENG@CEI-1.COM

**SCULL**  
INNOVATIVE + VISIONARY + CREATIVE  
**ARCHITECTURE, LLC**  
www.Scull-Architecture.com

**SK-6.2**

May 12, 2024

SA Project No. 2023.67





UPPER UWCHLAN TOWNSHIP  
140 Pottstown Pike  
Chester Springs, PA 19425  
610-458-9400 Fax 610-458-0307

CONDITIONAL USE APPLICATION

3204 0037 0000

Tax Parcel Number: 3204 0038 0800 Date: \_\_\_\_\_  
Name of Applicant: Planebrook Partners, LLC, Attention: Scott Risbon, Managing Partner  
Address: c/o 114 East Lancaster Avenue, 2nd Floor, Downingtown, PA 19335  
Telephone: 610 637 1975 Email: scottrisbon@earthcareinc.org

Owner of Parcel: 241 Park Avenue, LLC

Address / Location of Parcel: 32-4-37: 241 Park Road; 32-4-38.8: 235 Park Road

Zoning District: C1 Existing Use: Parcel # 32-4-37 contains 1 existing single-family dwelling

Article / Section Authorizing Conditional Use: Article VIII, C-1 Village District, Section 200-33.B(3) Day-care center

Description of Proposed Conditional Use: Consolidation of the two parcels. Demolition of existing single-family dwelling & outbuildings. Proposed construction of a 6,000 sf, two story daycare facility (total gross floor area of 12,000 sf) with a play area (approx. 3,000 sf), parking and associated stormwater management. Public sewer and water are proposed.

This Application shall be accompanied by:

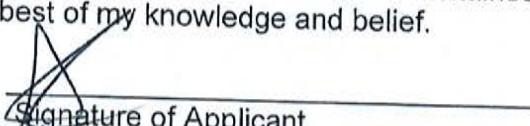
1. A fee of \$500.00 for Non-Commercial or \$1,000.00 for Commercial/Industrial;
2. Four (4) printed copies and an electronic copy of:
  - parcel plot plans (half of which can be of reduced size, i.e. 11 x 17)
3. Three (3) printed copies and an electronic copy of:
  - impact statements (if applicable pursuant to the Township's Zoning Ordinance §200-83),
  - and any other information pursuant to Zoning Ordinance §200-116, §200-117 (Conditional Uses, Conditional Use Standards).

• The Applicant will be responsible for reimbursing the Township for Consultants' Fees and Legal Fees, and if additional Hearings are necessary, a Fee will be charged for each Additional Hearing:  
Non-Commercial \$250.00/Hearing; Commercial/Industrial \$500.00/Hearing

I hereby depose and say that all of the above statements, and the statements contained in any papers submitted herewith, are true to the best of my knowledge and belief.

Scott Risbon, Managing Partner  
Planebrook Partners, LLC

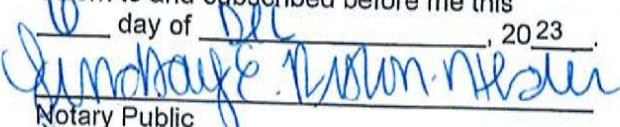
Printed Name of Applicant



Signature of Applicant

COMMONWEALTH OF PENNSYLVANIA  
COUNTY OF CHESTER

Sworn to and subscribed before me this  
10 day of Dec, 2023

  
Notary Public

Commonwealth of Pennsylvania - Notary Seal  
Lindsay E. Risbon-Herbein, Notary Public  
Chester County  
My commission expires October 23, 2025  
Commission number 1322329  
Member, Pennsylvania Association of Notaries

**CONDITIONAL USE IMPACT STATEMENT  
FOR  
241 PARK ROAD  
December 4, 2023**

Client Name:	Planebrook Partners, LLC
Property:	3204 0037 0000 located at 241 Park Road 3204 0038 0800 located at 235 Park Road
Zoning District:	C1 Village District
Nature of Development:	Daycare Facility
Combined Gross Acreage:	0.819 +/- acres
Current Sewer/Water Service:	On lot water and sewer unused by vacant house.
Proposed Sewer/Water Service:	Public Water & Public Sewer

The property consists of two parcels:

- (a) 235 Park Road, which is more fully described as Chester County UPI No. 32-4-38.8 is undeveloped. The rear of the property abuts the Federal Express facility on Ticonderoga Blvd.; and
- (b) 241 Park Road, which is more fully described as Chester County UPI No. 32-4-37, which is developed with single-family dwelling and outbuilding, which have been unused for years.

Planebrook Partners, LLC plans to combine two parcels totaling 3.393 acres (gross) (together, the "Property") and construct a two-story, 6,000 sf (12,000 total gross floor area) daycare facility, access drive from Park Road, play area (approximately 3,000 sf), parking lot and associated stormwater management infrastructure.

The facility will operate Monday through Friday during normal business hours with an anticipated capacity of 120-125 children and 20 employees.

The proposed project is permitted with Conditional Use Approval per Section 200-33.B(3) of the Upper Uwchlan Township Zoning Ordinance. The applicant is also pursuing a modification of parking requirements pursuant to the Township Zoning Ordinance Section 200-73.K. As a daycare facility is a permitted use, it is not contrary to public health safety or welfare.

External access locations and interior traffic circulation will be designed in accordance the Township ordinance to allow adequate and safe use by the users as well as compliance for use of emergency vehicles.

Approval from Aqua Pennsylvania for firefighting purposes and water use by the facility will be obtained, as well as sewer approvals from the Township.

Sidewalk is proposed along Park Road to improve pedestrian traffic and access.

The landscaping and lighting will be designed per the Township Ordinance. The adjoining properties include a Federal Express Depot (abutting the project parcels on two sides), the Windsor Baptist Church/Windsor Christian Academy with recreation area, across from the project area, which contains

both school and church buildings and a dentist office across Ticonderoga Road, therefore noise would not be a factor for the proposed daycare facility.

**EH CREATIVE SERVICES LLC**  
16 MANOR ROAD  
PAOLI, PA 19301  
610.322.7154  
[erik@erikhetzel.com](mailto:erik@erikhetzel.com)

## Memorandum

To: Victor Kelly Jr., PE

From: Erik Hetzel, AICP/PP, LEED AP

Date: November 15, 2023

Re: Fiscal Impact Analysis – Proposed Daycare Facility, 241 Park Road

---

Planebrook Partners, LLC is proposing to construct a 12,000-square-foot daycare facility on the property located at 241 Park Road in Upper Uwchlan Township, Chester County, Pennsylvania. Along with site improvements that will generate additional real estate tax revenue for the Township, the applicant expects to create approximately 18 jobs at the site. It is projected that the proposed development will result in beneficial, net-positive annual fiscal impacts to both Upper Uwchlan Township and the Downingtown Area School District, as described in Table 1.

**Table 1**  
**Summary of Annual Fiscal Impacts**

	Tax Revenues	Expenditures	Net Fiscal Impact
Upper Uwchlan Township	\$2,050	(\$1,784)	\$266
Downingtown Area School District	\$37,961	\$0	\$37,961
<b>TOTAL</b>	<b>\$40,011</b>	<b>(\$1,784)</b>	<b>\$38,227</b>

Fiscal impacts presented in this analysis were estimated using a methodology developed by the Rutgers University Center for Urban Policy Research, as originally described in The New Practitioner's Guide to Fiscal Analysis<sup>1</sup> and further developed in a

---

<sup>1</sup> Burchell, Robert W., David Listokin, et al. *The New Practitioner's Guide to Fiscal Impact Analysis*, New Brunswick, NJ: Rutgers, The State University of New Jersey, 1985.

later publication by the same authors entitled Development Impact Assessment Handbook<sup>2</sup>.

### **Revenue Impacts**

**Real Estate Property Tax** - At project completion, the portion of the building dedicated to the proposed use will have a total market value of approximately \$3.5 million, which translates to an assessed value of approximately \$1,258,993. This assessment calculation is based on the current (2023-2024) Chester County common-level ratio of 2.78, which estimates assessed value at approximately 35.97% of market value. The Township levies the real estate tax at the rate of 1.034 mills, which will generate approximately \$1,302 annually to the Township. The School District millage rate is currently 29.558 mills, which applied the assessment describe above, will generate approximately \$37,213 in real estate taxes to the School District annually.

**Earned Income Tax (EIT) Revenues** – Workers who reside in Upper Uwchlan Township pay the EIT at the rate of 1.0%, with 0.5% going to each the Township and School District. The EIT is also levied at the rate of 1.0% on non-residents who do not pay the EIT in their home jurisdictions with the full amount of the tax going only to the Township. The applicant estimates that the proposed use will create 18 jobs at this location with an estimated mean annual wage of \$29,920 per employee<sup>3</sup>. We cannot project where these employees will reside, nor whether they will be paying the EIT to their home jurisdictions. Hence, we conservatively assume that 25% of the workers (or, 5 of the total 18 workers) will be eligible to pay the EIT as Township residents. Under the foregoing assumptions, the EIT will generate revenues totaling \$748 to the Township and \$748 to the School District.

### **Regional Economic Impacts**

The proposed development will have a beneficial economic “ripple effect” in the local economy, as the new employees use goods and services in and around Upper Uwchlan Township. In addition, the building improvements will provide construction jobs and result in construction-related consumption expenditures in the local and

---

<sup>2</sup> Burchell, Robert W., David Listokin, et al. *Development Impact Assessment Handbook*. Washington, D.C.: ULI-the Urban Land Institute, 1994.

<sup>3</sup> Occupation title “Childcare Workers” from U.S. Bureau of Labor Statistics, *Occupational Employment and Wage Statistics, May 2022 Metropolitan and Nonmetropolitan Area Occupational Employment and Wage Estimates, Philadelphia-Camden-Wilmington, PA-NJ-DE-MD*  
[https://www.bls.gov/oes/current/oes\\_37980.htm#39-0000](https://www.bls.gov/oes/current/oes_37980.htm#39-0000)

regional economies. These impacts are not reflected in the summary table included in this memorandum but will provide economic benefits over and above the annual revenues described therein.

### **Cost Analysis**

Annual Township and School District expenditures attributable to the proposed development were projected using the Per Capita Multiplier Method described in the Development Impact Assessment Handbook. In calculating the per capita expenditure value for the Township, the methodology uses information from the current (2023) Township budget and accounts for the fact that costs are divided differently among serving both residential and non-residential portions of the Township, based on the actual mix of land uses provided by the County Board of Assessment. This analysis estimates annual per capita costs at \$99.11 per employee. Overall, it is estimated that the proposed development will result in Township costs totaling approximately \$1,784 annually, which is essentially offset by revenues totaling \$2,050 annually from the tax sources described previously.

The proposed development of this non-residential use will not generate any school-aged children and hence, will not result in additional costs for the School District.

### **Conclusions and Summary**

In conclusion, the net positive fiscal impact in terms of projected revenues over costs for Upper Uwchlan Township is expected to be over \$260 annually at project completion, essentially paying for itself in terms of Township services. The projected net positive fiscal impact on the Downingtown Area School District is projected to be more significant at over \$37,000 per year. The combined net positive fiscal impact for both taxing authorities is estimated at over \$38,000 annually. Table 2 on the next page summarizes the project details and fiscal impacts to the Township and School District.

**Table 2**  
**Summary of Project Details and Fiscal Impacts**

<b>Project Details - 241 Park Road Daycare Facility</b>	
Non-Residential Square Feet	12,000
Market Value of Proposed Development	\$3,500,000
Assessed Value (approx. 35.97% of market value)	\$1,258,993
New Residential Population	0
New School-Aged Children	0
New Employees	18
Annual Wages per Employee	\$29,920
<b>Upper Uwchlan Township Fiscal Impacts</b>	
Real Estate Tax Revenue (1.034 mills)	\$ 1,302
Earned Income Tax Revenue (0.5%)	\$ 748
Total Township Revenues	\$ 2,050
Total Township Expenditures	\$ (1,784)
<b>Net Township Fiscal Impact</b>	<b>\$ 266</b>
<b>Downingtown Area School District Fiscal Impacts</b>	
Real Estate Tax Revenue (29.558 mills)	\$ 37,213
Earned Income Tax Revenue (0.5%)	\$ 748
Total School District Revenues	\$ 37,961
Total School District Expenditures	\$ -
<b>Net School District Fiscal Impact</b>	<b>\$ 37,961</b>
<b>Total Development-Generated Revenues (Township + School District)</b>	<b>\$ 40,011</b>
<b>Total Development-Generated Expenditures (Township + School District)</b>	<b>\$ (1,784)</b>
<b>Total Net Annual Fiscal Impact (Township + School District)</b>	<b>\$ 38,227</b>

## Erik W. Hetzel, AICP/PP, LEED AP

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### **Education**

1993: B.A. Geography and Planning,  
West Chester University

2000: Master of Regional Planning,  
University of Pennsylvania

### **Professional Certifications**

American Institute of Certified Planners  
Professional Planner, State of New Jersey (License No. 33LI00621700)

### **Professional Affiliations**

American Planning Association  
Pennsylvania Planning Association

Mr. Hetzel provides professional consulting services to public and private sector clients seeking a wide range of land planning expertise. He has a diverse background in geography, land planning, community/fiscal/environmental impact analysis, technical management, project management, and in the application of geospatial technologies to planning and engineering projects. He has been qualified as an expert to testify before numerous municipal zoning, planning, and elected boards and commissions; prepared community fiscal and environmental impact analyses; coordinated the development and adoption of local and multi-municipal comprehensive plans; applied land planning and fiscal analysis expertise to complex tax appeal assessment cases; analyzed and drafted zoning ordinances; and managed the preparation of site designs and site plans. He maintains a high proficiency using Geographic Information Systems (GIS) for mapping projects and land planning analyses.

Mr. Hetzel's professional experience spans more than twenty-five years working at principal and senior-level positions in private-sector and non-profit organizations. In 2014, Mr. Hetzel established EH Creative Services, a professional land planning consulting practice. Previously, he spent eleven years working at Glackin Thomas Panzak Inc., a privately-owned land planning and landscape architecture firm in Paoli, PA. Before that, he held a position at Environmental Systems Research Institute (ESRI), where he used his extensive GIS and planning experience leading enterprise GIS solutions for county and local governments. Prior to his tenure at ESRI, Mr. Hetzel spent twelve years at Weston Solutions, Inc. as a Technical Manager, working on projects that ranged from planning and engineering consulting for municipal governments, to complex environmental analyses and assessments on large projects of regional scope.

Mr. Hetzel resides in Paoli, Pennsylvania, and has served on numerous municipal boards and commissions. He currently serves on the Open Space Review Board in Willistown Township. He is a past member of the East Whiteland Township Planning Commission, where he served as Chairman for three years. In that role, he was the liaison between the Township Environmental Advisory Council and the township's Planning Commission. Mr. Hetzel has also served on the West Whiteland Township Planning Commission and spent two years as West Whiteland's delegate to the West Chester Regional Planning Commission.



**HEINRICH & KLEIN  
ASSOCIATES, INC.**

TRAFFIC ENGINEERING & PLANNING  
1134 Heinrich Lane • Ambler, Pennsylvania 19002  
215-793-4177 • FAX 215-793-4179

**MEMORANDUM**

TO: Victor Kelly, P.E.  
Commonwealth Engineers, Inc.

FROM: Andreas Heinrich, P.E., P.T.O.E.

DATE: November 27, 2023

RE: Trip Generation Analysis  
Proposed Child Day Care Center Canal - Park Road  
Upper Uwchlan Township, Chester County, PA

As requested, please accept the results of this Trip Generation Analysis for a Child Day Care Center proposed along the east side of Park Road in Upper Uwchlan Township, Chester County, Pennsylvania. The site is occupied by a single family detached house. It is my understanding the existing house will be demolished and the site will be developed for a child day care center (12,000 square feet). Access to the site will be provided via a full movement driveway that will intersect Park Road at a point approximately 210 feet south of Ticonderoga Boulevard.

Park Road is a two-way, two-lane local road. Park Road provides one travel lane in each direction. The posted speed limit along Park Road is 35 miles per hour. The frontage of the site is situated within a school zone for the Windsor Christian Preschool & Academy with a 15 MPH flashing beacon.

Based on the size of the proposed building, estimates of new traffic demand can be calculated for the proposed development. The anticipated traffic generation of the proposed child day care center is estimated from trip generation data compiled by the Institute of Transportation Engineers and documented in the publication entitled Trip Generation Manual<sup>(1)</sup>. The Trip Generation Manual is a commonly accepted resource to establish

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(1) Trip Generation Manual, 11<sup>th</sup> Ed., Institute of Transportation Engineers, Washington DC, September, 2021.

Victor Kelly, P.E.  
Commonwealth Engineers, Inc.  
November 27, 2023  
Page 2

traffic generation of various land uses. Table 1 presents the calculated vehicular trip generation rates for the proposed development. Application of these rates to the size of the proposed development produces the daily and peak hourly traffic volumes presented in the bottom of Table 1.

As shown in Table 1, after deducting for pass-by trips, it is anticipated that the proposed child day care center will generate a total of 320 new trips per day (total inbound and outbound). It is anticipated that the proposed child day care center will generate a total of 74 new trips per hour during the weekday morning peak hour and 76 new trips per hour during the weekday afternoon peak hour.

The access driveway will be constructed 24 feet wide to provide one entry lane and one exit lane, with right turn corner radii to accommodate the appropriate design vehicle.

Based on the posted speed limit of 35 miles per hour along Park Road, it is desirable to provide safe sight distance of 440 feet to the left and 350 feet to the right of the access driveway, as measured from a position 10 feet back of the pavement edge along Park Road. Observations reveal that, with proper grading and removal of vegetation along Park Road, there will be adequate sight distance in excess of 450 feet in both directions along Park Road.

If you should have any questions, or wish to discuss these calculations in greater detail, please call me at your convenience.



---

Andreas Heinrich, P.E., P.T.O.E.  
Principal

AH:rh

**TABLE 1**

**TRAFFIC GENERATION CHARACTERISTICS  
CHILD DAY CARE CENTER  
UPPER UWCHLAN, CHESTER COUNTY, PENNSYLVANIA**

**TRIP RATES<sup>(1)</sup>**

<u>Description</u>	<u>Daily</u>	<u>Morning Peak Hour</u>			<u>Afternoon Peak Hour</u>		
		<u>In</u>	<u>Out</u>	<u>Total</u>	<u>In</u>	<u>Out</u>	<u>Total</u>
Child Day Care Center (12,000 SF) <sup>(2)</sup>	47.62	5.83	5.17	11.00	5.23	5.89	11.12

**TRAFFIC VOLUMES**

Child Day Care Center (12,000 SF)	572	70	62	132	63	71	134
Pass-by Trips <sup>(3)</sup>	252	29	29	58	29	29	58
TOTAL EXTERNAL TRIPS	320	41	33	74	34	42	76

(1) *Trip Generation Manual, 11th Edition, Institution of Transportation Engineers, Washington, D.C., 2021 (ITE Land Use Code 565).*

(2) *Trips per 1,000 square feet (SF) of floor space.*

(3) *Trip Generation Handbook, 3rd Edition, and supplement, Institution of Transportation Engineers, Washington, D.C., 2017.*



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EARLY LEARNING CENTER

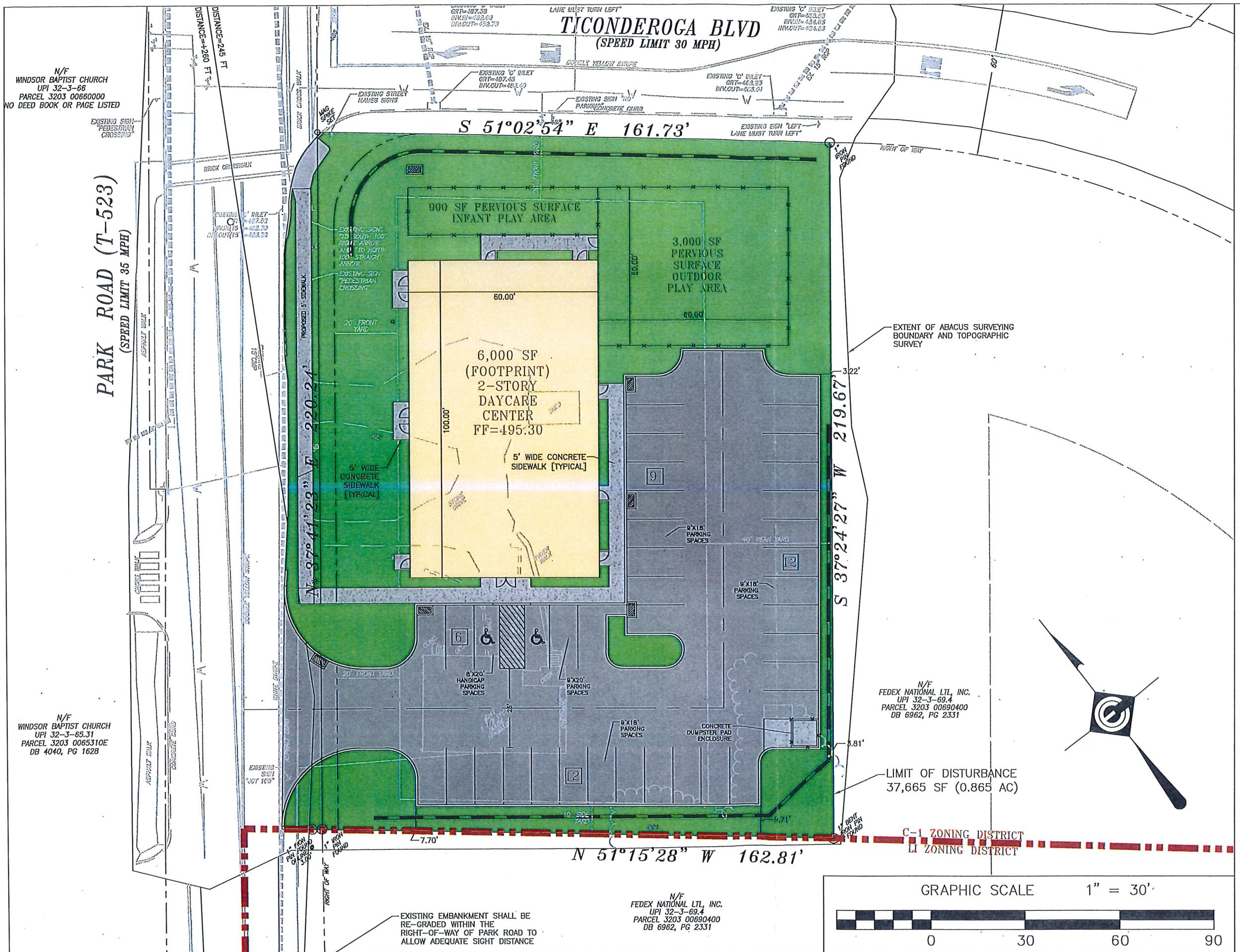
SCHEMATIC  
241 PARK ROAD  
EAGLE, PENNSYLVANIA 19355



COMMONWEALTH ENGINEERS, INC.  
114 EAST LANCASTER AVENUE ~ SECOND FLOOR  
DOWNTOWN, PA 19335  
TELEPHONE: (610) 518-9003 ~ FAX: (610) 518-9004  
COMENG@CEI-1.COM

**SCULL**  
INNOVATIVE + VISIONARY + CREATIVE  
**ARCHITECTURE, LLC**  
www.Scull-Architecture.com

SK-3.2  
December 13, 2023  
SA Project No. 2023.67



*PRESENTATION PLAN  
FOR  
241 PARK ROAD*

# COMMONWEALTH ENGINEERS, INC.

114 EAST LANCASTER AVENUE ~ SECOND FLOOR  
DOWNTON, PA 19335  
TELEPHONE: (610) 518-9003 ~ FAX: (610) 518-9004  
COMENG@CEI-1.COM

## UPPER UWCHLAN TOWNSHIP

DATE:	DECEMBER 14, 2023		
SCALE:	AS SHOWN		
SURVEY:	-----		
DRAWN:	MDC		
CHECKED:	VK		
DRAWING NO.	202317-1(C)		
SHEET:		1	





January 5, 2024

File No. 23-12026

Mr. Tony Scheivert  
Upper Uwchlan Township Manager  
140 Pottstown Pike  
Chester Springs, PA 19425

Reference: 241 Park Road  
Preliminary Land Development Review  
Upper Uwchlan Township, Chester County, PA

Dear Tony:

Gilmore & Associates, Inc. (G&A) is in receipt of the following documents prepared by Commonwealth Engineers, Inc. unless stated otherwise:

- Letter of Transmittal for 241 Park Road Conditional Use Submission to Upper Uwchlan Township dated December 7, 2023;
- Letter of Transmittal for 241 Park Road Subdivision/Land Development Submission to Upper Uwchlan Township (undated);
- "Erosion Control Plan Narrative Prepared for 241 Park Road" dated December 4, 2023;
- GIS Map dated August 16, 2023;
- "Post Construction Stormwater Management Plan Narrative prepared for 241 Park Road" dated December 4, 2023;
- "241 Park Road Sewage Facilities Planning Module Application Mailer for Public Sewer" dated December 4, 2023;
- Preliminary/Final Land Development Plans consisting of twelve (12) sheets titled "241 Park Road" dated December 4, 2023;
- Plan sheet titled "Post Development Drainage Area Plan" dated December 4, 2023;

Reference: 241 Park Road

Preliminary Land Development Review

Upper Uwchlan Township, Chester County, PA

File No. 23-12026

January 5, 2024

- Plan sheet titled “Pre Development Drainage Area Plan” dated December 4, 2023;
- Conditional Use Application for 241 Park Road and 235 Park Road (undated);
- Subdivision / Land Development Application (Preliminary Submittal) dated December 1, 2023;
- Subdivision / Land Development Review Escrow Agreement made December 1, 2023;
- Act 247 County Referral form;
- Conditional Use Impact Statement for 241 Park Road and 235 Park Road dated December 4, 2023;
- Fiscal Impact Analysis – Proposed Daycare Facility, 241 Park Road dated November 15, 2023, and prepared by EH Creative Services LLC;
- Trip Generation Analysis Proposed Child Day Care Center Canal - Park Road dated November 27, 2023, and prepared by Heinrich & Klein Associate, Inc.;
- Plan sheet titled “Presentation Plan for 241 Park Road” dated December 14, 2023;
- Architectural plan sheet titled “Schematic 241 Park Road” dated December 13, 2023.

The subject site is comprised of two (2) parcels (TMP 32-4-37 and TMP 32-4-38.8) located at the intersection of Park Road and Ticonderoga Blvd. The property is located in the C-1 Village Commercial Zoning District.

G&A, as well as other Township Consultants, has completed our first review of the above referenced preliminary land development application for compliance with the applicable sections of the Township’s Zoning Ordinance, Subdivision and Land Development Ordinance, and Stormwater Management Ordinance, and wish to submit the following comments for your consideration.

Please note that comments with a **(V)**, **(RW)** or a **(W)** may require relief from the Township Ordinances. A **(V)** denotes a variance may be required or has previously been granted, a **(CU)** denotes conditional use, an **(RW)** denotes a requested waiver, and a **(W)** denotes a waiver that has not been requested, but we believe is required.

## **I. OVERVIEW**

The Applicant is proposing to consolidate two existing lots and construct a 6,000 SF (footprint) two-story building with outdoor play areas, parking and stormwater management in the C-1 Village District. The parking area has access from Park Road. The total impervious surface coverage onsite is approximately 20,359 square feet, and the total proposed disturbance for the construction is approximately 0.865 acres. Two underground infiltration beds, inlets and piping are proposed to control the runoff from the proposed improvements. Retaining walls approximately 3.5-feet in height at their maximum are proposed along three sides of the property. There are no floodplains on the site.

## **II. ZONING ORDINANCE REVIEW**

1. (CU) §200-33.B.(3) – A daycare center is permitted as a principal use when authorized by conditional use by the Board of Supervisors. The applicant is seeking conditional use.
2. (CU) §200-34.F. – No structure or principal buildings shall exceed 35 feet in height. As a condition of conditional use approval, the Board of Supervisors may permit roof structures above the cornice line which exceed the applicable height limit, where the Board agrees that such structures enhance the appearance of the overall design. The height from attic to roof peak shall be labeled on the architectural plan to clarify either compliance or that approval by conditional use is required to permit exceeding 35 feet in height.
3. (CU) §200-36.B.(1)(a) – Where any individual building facade is visible from any public right-of-way and exceeds 60 feet in length, there shall be a clear dimensional differentiation of roofline and/or an offset in facade of at least 10 feet, effectively breaking the single facade into two or more facades each no more than 60 feet in length. Where approved by the Board of Supervisors as a conditional use, single facades greater than 60 feet in length may be permitted in accordance with this section. The building façade facing Park Road is 100-feet in length and no break is proposed. Therefore, approval by conditional use is required.
4. §200-36.B.(1)(b) – The architectural rendering indicates a pitched roof. Desired materials on pitched roofs include slate (either natural or man-made), shingle (either wood or asphalt composition), and metal formed to resemble "standing seams." Roof color should reflect local traditional use of color, and shall specifically exclude white, tan, or blue shingles, red clay tiles, and corrugated metal or other corrugated material. The use of fascias, dormers, and gables is encouraged to provide visual interest. The applicant shall provide information on the roofing to show compliance with these requirements.
5. §200-36.B.(1)(c) – Exterior wall materials may include stucco, wood clapboard (including vinyl or aluminum imitation clapboard siding), native stone, brick, or other material of a shape, color,

and texture similar to that found on historic structures in the vicinity. The applicant shall provide information on the exterior wall materials to show compliance with these requirements.

6. §200-36.B.(1)(d) – All facilities and equipment for heating/air conditioning, trash collection and compaction, and other structural elements not in keeping with historical architectural themes shall be concealed architecturally or otherwise screened from view from any public right-of-way or public space. The applicant shall clarify where HVAC equipment is located to determine if screening is required. A fence detail shall be provided for the fence surrounding the outdoor play areas. Note that two (2) Grading Plan sheets were included with the submission which show the dumpster location in different spots; the applicant shall clarify which Grading Sheet is intended to be part of the plan set. The Dumpster Enclosure Detail (Sheet 7) includes the note “The applicant may utilize an alternate privacy fence the dumpster with the approval of the township engineer” which should be removed.
7. §200-36.B.(2) – For all principal uses permitted by conditional use approval, applicant shall provide drawings of sufficient detail to illustrate the character of the intended exterior design of structures, including scale, height, roof pitch, relationship between varying facade elements, and principal exterior materials. The Township may require that material samples also be provided. It shall be the burden of the applicant to demonstrate that submitted architectural designs are consistent with, and promote, the purposes and standards set forth for the C-1 Village District.
8. §200-36.B.(3) – Where the Board of Supervisors determines that architectural design, as presented by applicant, is an essential means by which the proposed use will comply with the purposes and standards set forth for the C-1 Village District, as a condition of approval of any conditional use, the Board may require adherence to the intended architectural character as proposed by the applicant.
9. §200-36.D. – Streetscape landscaping and pedestrian amenities shall be provided as necessary to meet overall village planning objectives and shall be coordinated with adjacent properties. Where appropriate, the Township may require any of the amenities outlined herein, including provision for their regular upkeep and maintenance. We defer to the Township Planning Commission and Land Planner in this matter.
10. §200-64.A. – The minimum lot area for each child shall be 1,000 square feet, but no lot containing a day-care center shall be less than 30,000 square feet. The Conditional Use Impact Statement states an anticipated capacity of 120-125 children; therefore, the minimum lot area is 120,000 SF to 125,000 SF. The proposed lot area is 34,000 SF, which appears to be inadequate.
11. §200-64.B. – There shall be an indoor play area of 50 square feet per child and an outdoor play area of 75 square feet per child provided. The Conditional Use Impact Statement states

an anticipated capacity of 120-125 children. Therefore, 6,000 SF to 6,250 SF of indoor play area is required. The outdoor play area is required to be 9,000 SF to 9,375 SF; a 3,000 SF outdoor play area with a 900 SF infant outdoor play area are proposed. The play areas appear to be inadequate.

12. §200-64.C. – The outdoor play area shall be fenced on all sides, and fencing shall be a minimum height of four feet. Provide a fence detail.
13. §200-64.D. – Off-street parking spaces shall be in accordance with §200-73. In addition, during the Conditional Use hearing, it should be discussed how the discharge and pickup of children shall be handled.
14. §200-64.E. – The facility shall be licensed by the applicable departments of the Commonwealth of Pennsylvania and their regulations.
15. §200-73.A.(3). – In any commercial or industrial district, no parking, loading or service area shall be located within 25 feet of the ultimate right-of-way line. Show this offset from Park Road ultimate right-of-way.
16. §200-73.B.(2). and §200-74. – Please indicate where delivery vehicles are intended to park.
17. (CU) §200-73.K.(2) and (4) – Where any use or activity is subject to application for approval of a conditional use, modification(s) to the provisions of this section may be requested as part of such application. In approving any application pursuant to Subsection K(2), the Board of Supervisors, as a condition of approval of such application, may permit specific modification(s) to the provisions of this section subject to the conditions outlined in K(4). The applicant does not provide the required number of parking spaces (50) and is seeking a modification to reduce the number provided (39). We defer to Bowman in this matter.
18. §200-79. – A lighting plan in conformance with the requirements of this section shall be provided. We note that the Sheet Index on Sheet 1 indicates “(Reserved) Lighting Plan” and that this sheet was not provided. A lighting plan shall be provided.
19. §200-88.A. – No fence over six feet in height shall be erected within any required yards. Fencing is shown in the required front and rear yards; provide a fence detail showing compliance with the height requirement.
20. §200-93. – The applicant shall clarify what signage is proposed. We defer to the Zoning Officer regarding proposed signage.
21. §200-117.J. The applicant shall submit a site analysis and impact plan, pursuant to §162-9D of Chapter 162, Subdivision and Land Development.

### **III. SUBDIVISION AND LAND DEVELOPMENT ORDINANCE REVIEW**

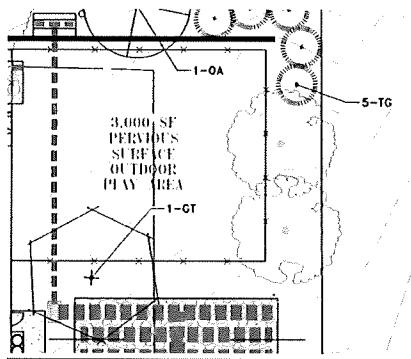
1. §162-9.B.(1)(b) – Provide the closure report and legal description for the consolidated lot.
2. §162-9.B.(1)(h) – The submittal shall include the conservation plan, per Subsection E of this section.
3. §162-9.B.(2)(b)[5] – Any waivers being requested by the applicant, as well as all waivers granted to the applicant by the Board, shall be clearly stated on the first sheet (title plan) of the preliminary plan submission.
4. §162-9.B.(2)(b)[11] – If no wetlands exist on the tract for which the land development is proposed, the plan must include a statement indicating so.
5. §162-9.B.(2)(b)[18] – Location and elevation of the datum to which contour elevations refer shall be stated, and the datum used shall be a known established benchmark. Provide the benchmark used. We note that the plan is based on topography that is 14 years old (Notes 3 and 4 on Sheet 4 of 12); we recommend the topography be verified.
6. §162-9.B.(2)(d), §162-9.D and §162-9.E. – The preliminary plan shall be accompanied by a preliminary site analysis and impact plan prepared in accordance with Subsection D and a preliminary conservation plan prepared in accordance with Subsection E.
7. §162-9.H.(1)(b) and §162-9.H.(5). – We defer to the Township's Historical Commission whether an Historic Impact Statement is required. Their comments are included herein.
8. §162-9.H.(4). – A fiscal impact statement shall be prepared for all conditional use, identifying the likely impact of the development on the Township's tax structure and expenditure patterns. We offer the following comments on the submitted Fiscal Impact Analysis.
  - a. Requires the Fiscal Impact Analysis to identify the expenses associated with delivering service to the proposed development. The report includes the conclusions of this analysis but does not provide the actual analysis itself or calculations or data supporting how those conclusions were reached. The cost analysis shall be revised to include sufficient data to demonstrate how the projected expenditures were calculated.
  - b. Requires the Fiscal Impact Analysis to address the impact of the proposed development on the ability of the Township to deliver fire, police, emergency (ambulance), administrative, public works and utility services (also as outlined in §162.H(4)(a) through (d)). In addition, §200-117.K requires that in preparation of the Fiscal Impact Analysis, the applicant shall

(also) solicit information from Upper Uwchlan Township officials (administration, public works, police, fire and emergency services, parks and recreation) regarding the need to add staff, facilities or equipment in order to properly service the development proposal and the associated costs of providing these services. The Fiscal Impact Analysis shall be revised to address these requirements.

- c. Upper Uwchlan Township levies a Local Services Tax which requires employers to withhold \$10 annually from employee paychecks. The calculation of revenue impacts shall be revised to reflect this required tax.
- d. The Fiscal Impact Analysis shall provide a source or data supporting the indicated total market value for the improved property of \$3.5 million.
- e. Where properties are within 780 feet of a fire hydrant, an additional 0.087 mills are assessed. The report shall indicate whether the additional hydrant millage is applicable, and if so, include that millage in the calculation of revenues.
- f. The Revenue Impacts section indicates that the estimated annual mean wage for employees used to calculate EIT revenues was taken from the Bureau of Labor Statistics May 2022 data for "Childcare Workers," and is \$29,920. However, the BLS website May 2022 data indicates that this amount is \$27,920. The calculations provided shall be revised to accurately indicate the data shown on the Bureau of Labor Statistics website.

9. §162-41.E, G, H and I – Provide a detail for the sidewalk meeting the requirements of these sections.
10. §162-49.D – Wherever a public or community water system is provided, fire hydrants or acceptable alternatives shall be installed for fire protection. We note the plans show a fire hydrant on the opposite side of Park Road. We defer to the Fire Marshal.
11. §162-49.E – A will-serve letter shall be provided for the proposed public water.
12. §162-52 – Upon completion of construction, the entire amount of topsoil stripped shall be replaced on the site. No topsoil shall be disposed of, by sale or otherwise, off the site of the construction. Add a note stating same to the Record Plan and the Sequence of Construction.
13. §162-55.B.(2). – No specimen tree(s) shall be removed from any lot or tract except where the applicant demonstrates to the satisfaction of the Board of Supervisors that such removal is essential to eliminate hazardous condition(s) or otherwise permit lawful use of the lot or tract; where permitted, removal of specimen trees shall be minimized. It appears some specimen trees are proposed to be removed. This should be discussed with the Planning Commission.

14. §162-55.B.(5)(a) – This section requires that where existing trees are to remain, no change in existing grade shall be permitted within the dripline of the trees and an appropriate four feet high tree protection fence shall be placed at the dripline of the trees. There are two (2) trees proposed to remain along the eastern property line that show pervious surface play area proposed within the canopy of the trees. Plans should be revised to include tree protection fencing to demonstrate compliance with this section of the ordinance, or a waiver is required.



15. §162-55.B.(7) Replacement trees are required for each tree greater than six inches dbh removed. Based on the size and number of trees proposed to be removed, either four (4) replacement trees (at 4-6.5" caliper) or twenty-three (23) replacement trees (at 3-3.5" caliper) are required to be planted and are in addition to other required landscaping. Plans should be revised to demonstrate compliance with this requirement, or a waiver would be required.

20.(W) §162-57.C.(7). - the interior of each parking area shall have at least one shade tree for every five parking spaces. Based on 39 proposed spaces eight (8) shade trees are required but only four (4) are proposed. Plans should be revised to demonstrate compliance with the requirement of the ordinance, or a waiver would be requested. A waiver has been requested from this requirement.

21.(W) §162-57.D.(1) - Per 1,000 SF of gross building area two (2) deciduous trees, one (1) evergreen tree and eight (8) shrubs are required to be planted and are in addition to any required replacement plantings due to woodland disturbance. Based on the 6,000 SF proposed building 12 deciduous trees, 6 evergreen trees and 48 shrubs are required. The applicant is requesting a waiver from providing 12 deciduous trees and 6 evergreen trees. (48 shrubs are provided.)

22.(W) §162-57.D.(1) - Per 100 linear feet of existing tract boundary where not coincident with existing road frontage, 1 deciduous tree 2 evergreen trees and 8 shrubs are required. Based on the

eastern and southern property lines linear footage, 4 deciduous trees, 8 evergreen trees and 32 shrubs are required. The applicant is requesting a partial waiver from providing 3 evergreen trees (5 are provided) and 2 shrubs (30 are provided). There is a 4-6-foot-high wall proposed along the southern property line that wraps along a portion of the eastern property line.

#### **IV. STORMWATER MANAGEMENT ORDINANCE REVIEW**

1. §152-110. – The applicant shall post financial security to the municipality for the timely installation and proper construction of all stormwater management facilities as required by the approved SWM site plan and this chapter.
2. §152-306.J(2) – All infiltration practices shall be set back at least 15 feet from all buildings and features with subgrade elements (e.g., basements, foundation walls, etc.). Clarify whether the proposed building has subgrade elements and label the distance from the building to the UG infiltration beds if applicable.
3. §152-306.J(3) – Setbacks from property lines and rights-of-way for all infiltration practices are to be consistent with accessory structures in the Zoning Ordinance, for the applicable zoning district. Note that the Zoning Ordinance states that no accessory structure shall be located within the front yard, nor within 10-feet of any rear or side lot line. SB-2 is located within the front yard setback from Ticonderoga Blvd. We suggest consideration be given to relocating SB-2 to be under the outdoor play area and not within the required front yard.
4. §152-306.O. – Appropriate permanent measures to prevent or collect sediment shall be installed prior to discharge to the infiltration system. We recommend Snout devices (or similar) be installed in inlets 100, 101 and 102 (inlet numbers per Utility Plan). Note that Infiltration Bed Sequence of Construction (Sheet 7) step #5 states that Snout inserts are proposed. Additionally, Construction Sequence note #8 (Sheet 10) should be revised to note the location of the Infiltration Bed Sequence of Construction. Provide details for the Snout devices and add maintenance procedures to the Stormwater O&M plan as well.
5. §152-306.P. – Where roof drains are designed to discharge to infiltration practices, they shall have appropriate measures to prevent clogging by unwanted debris (for example, silt, leaves and vegetation). Such measures shall include but are not limited to leaf traps, gutter guards and cleanouts. Show the downspouts and roof drains on the plan view.
6. §152-307.A and §152-308.A – The peak flow rate of the post-construction two-year, twenty-four-hour design storm shall be reduced to the predevelopment peak flow rate of the one-year, twenty-four-hour duration precipitation, using the SCS Type II distribution. Provide a flow summary table showing that all flow reductions have been met.

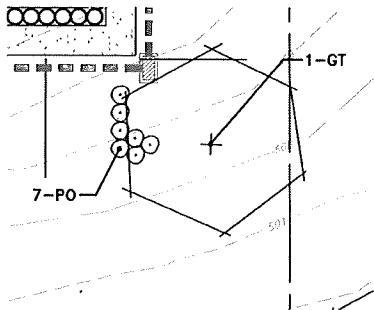
7. §152-402.A.(3) to (5) – Add the statements / signature blocks in these sections to the Stormwater Management Plan (Sheet 6).
8. §152-402.F.(2) and §152-701.D.(1), (2) and F(1) and (2), and §152-703.A. – An Operation and Maintenance agreement shall be prepared and submitted to the municipality for review and approval. The Stormwater Management Plans and the agreement shall be recorded.
9. §152-702.B.(4), §152-702.C., §152-702.D. and §152-702.E. – The statements in these sections shall be added to the Stormwater Management Plan.
10. §152-804 – The statements in this section shall be added to the Stormwater Management Plan.
11. Revise the “Total Post Development Runoff Volume Reduction” on page 15 of the report, as it does not appear correct.
12. Verify the bed width of SB-1 as well as the pipe lengths on the detail on Sheet 7, as it does not match the Summary for Pond in the report or the plan view. Verify the pipe dimensions in the SB-1 detail.
13. Provide stage-storage tables for SB-1 and SB-2.
14. Verify the 12-inch outlet pipe INV on the SB-1 OS detail, as it appears incorrect.
15. Verify that the inlet numbers match in the SB-1 detail and the Utility Plan.
16. Fencing is proposed over SB-2 which shall be revised.
17. Add the Blanket Stormwater Management Easement to the Stormwater Management Plan.

## V. GENERAL COMMENTS

1. The requested landscaping waivers should be indicated on the record plan and a waiver request letter should be provided indicating the hardship necessitating the waiver.
2. The Lot consolidation should be shown on the Record Plan, not the existing conditions plan.
3. A preliminary design shall be provided for the retaining walls to verify that any required tie-backs will not conflict with the adjacent FedEx property.
4. Detail how the level spreader (3-feet deep) will be constructed directly adjacent to the retaining wall.

5. A temporary grading easement will be needed for the proposed offsite grading along Park Road.
6. Remove the limit of disturbance (LOD) from all plans except the Erosion & Sediment control plan.
7. Add the off-site grading to the LOD.
8. Provide a detail for the play area pervious surfaces.
9. Clarify the purpose of the 5-foot sidewalk segments at the doors along Park Road building frontage.
10. Revise General Notes #8 to indicate Upper Uwchlan Township (Honey Brook Township is currently noted) and revise the spelling of "March Creek" in General Notes #12 (should be Marsh Creek). Note this is General Notes #13 on some plan sheets.
11. Show all proposed curbing on the Landscape Plan.
12. Revise the text overwrite regarding OCF and survey limits on Sheet 10.
13. Revise the TP-1 and TP-2 labels to be visible (UG piping hides the text).
14. Clarify what appear to be swales in the front yards, as a very flat slope is provided to the inlet. Yard drains may be more appropriate.
15. The Sequence of Construction indicates orange construction fencing around infiltration areas, one of which is under the parking lot. Clarify how any earthwork or construction of parking lot can occur.
16. Clarify in the Sequence of Construction when pavement, sidewalk and the retaining walls are to be installed.
17. Remove reference to the Conservation District from the Sequence of Construction.
18. Remove / relocate the handicap building access notice from the existing conditions plan.

19. All planting islands, proposed curbing and entrance drives need to be shown on the Landscaping Plan (Sheet LP-1).



20. All stormwater BMP details (i.e., infiltration beds, level spreader) should be located on the Stormwater Management Plan. Add a notation to Sheets 5 and 6 indicating these sheets are to be recorded.
21. Verify that the detail for "sealing inlet grates with plywood per detail" (Infiltration Bed Sequence of Construction note #5, Sheet 7) is provided.
22. On Sheet 7: verify "maintaining the grass in and around the basin areas" in the Stormwater Management Facility Maintenance; revise "March Creek" in the Receiving Watershed Notice; verify the Adequacy of Discharge statement; verify the Level Spreader Outfall Contingency Plan discharge limits ("along the entire flowpath to the floodplain"); revise the BMP Maintenance Requirements title to include Erosion and Sediment for clarity.

**VI. TOWNSHIP TRAFFIC CONSULTANT COMMENTS**  
**BOWMAN**

1. SALDO Section 162-9.H(1)(a) – As outlined in the trip generation analysis, the site will generate 572 total daily trips (320 new daily trips which accounts for a reduction of 252 daily pass-by trips), 132 total trips during the weekday morning peak hour (74 new weekday morning peak hour trips), and 134 total trips during the weekday afternoon peak hour (76 new weekday afternoon peak hour trips). Based on the Township's traffic impact study requirements, a traffic impact study is required when a site generates 200 daily or 20 peak hour trips, and as such, a traffic impact study is required for this site. We recommend the traffic study should include an evaluation of the Park Road intersections with Ticonderoga Boulevard and Little Conestoga Road. In addition, the Pottstown Pike (S.R. 0100)/Park Road/Station Boulevard intersection should also be included in order to account for pass-by traffic. The traffic study should evaluate

existing conditions, as well as future build-out year traffic conditions both without and with the proposed daycare during the weekday morning and weekday afternoon commuter peak hours. Furthermore, due to the proposed driveway spacing with the Windsor Baptist driveways immediately to the north and south of the proposed driveway, the traffic study should include traffic counts at the two closest Windsor Baptist driveways to the north and south of the proposed site driveway.

2. SALDO Section 162-27.1 – This project is located within the C1 zoning district, and is subject to the Township's access management standards. Based on the plan, we offer the following comments with respect to these standards:
  - a. Section 162-27.1.K(1) – The plans should be revised to provide truck turning templates for the largest anticipated vehicle to the site, as well as the Township's largest emergency service vehicle. The truck turning templates will be used to determine the adequacy of the proposed site access/curb radii design and review of the internal site circulation.
  - b. Section 162-27.1.M(1) – This section of the ordinance would require the proposed driveway to align opposite the Windsor Baptist Church driveway across the street; however, if this is not feasible, justification, including the traffic study results, should be provided to support the proposed design.
  - c. It is our understanding that Windsor Baptist Church may be proposing an expansion to their existing facilities that may include a new/relocated access point along Park Road opposite Ticonderoga Boulevard. To the extent possible, the applicant should coordinate with Windsor Baptist regarding any proposed roadway improvements that should be considered for planning purposes as it relates to the proposed 241 Park Road site driveway.
3. SALDO Section 162-28.A – The plans should clearly label and dimension the existing legal right-of-way along the Park Road and Ticonderoga Road site frontages. Since both Park Road and Ticonderoga Road are classified as a minor collector roads, the half-width right-of-way along the site frontage should be 25 feet. Any additional right-of-way required to meet the 25-foot half-width right-of-way requirement should be labeled "Required Right-of-Way (To Be Deeded To Upper Uwchlan Township)".
4. SALDO Section 162-28 – Park Road should provide a half width of 16 feet along the site frontage, which is generally provided; however, in areas where it is less than 16 feet, please provide a minimum of 16 feet from the site driveway north to the intersection with Ticonderoga Boulevard, and modify the site access to locate the driveway curb returns to be set back 16 feet from the road centerline.
5. SALDO Section 162-41 – Sidewalk may be required on the Park Road and Ticonderoga Boulevard site frontages. The plan proposes sidewalk along a portion of the Park Road frontage

to connect the site parking lot and building entrances to the intersection of Park Road and Ticonderoga Boulevard. We believe this is sufficient, and we do not believe additional sidewalk is necessary on either road, as we note the Township's draft Active Transportation Plan does not envision a further extension of sidewalk along the Ticonderoga Boulevard site frontage or further to the south on the east side of Park Road. However, we recommend new curbing along the Park Road site frontage between the driveway and the corner at Ticonderoga Boulevard, as it will provide added protection for pedestrians, and since the existing limited section of curb is in poor condition.

6. ZO Section 200-73.H and 200-73.K – The proposed daycare requires one parking space per 300 square feet of gross floor area, and one parking space per employee, which equates to 50 parking spaces (i.e., 40 parking spaces for the building size, plus 10 parking spaces for the employees) as outlined in the parking tabulation on sheet 1. However, the plans propose a total parking supply of 39 parking spaces, and the applicant requests a modification of the parking requirements per ZO Section 200-73.K to allow a reduction in the required parking supply. Prior to the Township rendering a decision on this requested parking supply reduction, the applicant should provide technical justification to support the proposed parking supply. Furthermore, the Township Solicitor should review the requested parking reduction based on the requirements described in Section 220-73K.
7. ZO Section 200-75.H(3) – The following comments pertain to the sight distances at the proposed site access intersection:
  - a. The plans indicate adequate sight distance can be provided for traffic exiting the site looking the left with embankment regrading within the Park Road right-of-way south of the southern property line. The plans should be revised to show the full limits of the required sight distance and the design detail for the grading work necessary to achieve the required sight distance. Furthermore, in order to verify the proposed grading, the plans should include a profile of the sight distance line for traffic exiting the driveway looking to the left, including a six inch clearance between the sight line and the proposed ground line.
  - b. A speed study should be conducted along Park Road to determine the prevailing (i.e., 85th percentile) speed of traffic for use in calculating the required safe stopping sight distances for the site access intersection.
  - c. The plans should dimension and label the sight distances for left-turn vehicles entering the proposed driveway looking ahead and behind.
  - d. The plans should include a PennDOT-style sight distance note which states the required sight distances, as follows. The required sight distances should be based on the results of the speed study requested above.

"All sight distance obstructions (including but not limited to embankments and vegetation) shall be removed by the permittee to provide a minimum of XXX sight distance to the left and XXX sight distance to the right for a driver exiting the proposed driveways onto the through highway. The driver must be considered to be positioned ten feet from the near edge of the closest highway through travel lane (from the curbline if curbing is present) at an eye height of three feet six inches (3' 6") above the pavement surface located in the center of the closest highway travel lane designated for use by approaching traffic. This sight distance shall be maintained by the permittee."

8. The ADA curb ramp located on the southeast corner of the Park Road/Ticonderoga Boulevard intersection, as well as the receiving ramp on the northeast corner, should be upgraded to meet current ADA requirements. Detailed curb ramp designs should be provided for review. The detailed designs should include separate grading details (including spot elevations at all proposed grade changes), and all dimensions for construction, including widths, lengths, and all slopes to assist during construction. In addition, please label all proposed curb ramp types, and provide the appropriate PennDOT curb ramp details and notes on the detail sheets. In addition, the existing asphalt curb ramps in these locations should be completely removed in favor of a concrete curb ramp.
9. The plans should be revised to provide a Stop (R1-1) sign and 24-inch painted stop bar along the site access approach to Park Road.
10. Chapter 79-8.C – The proposed redevelopment is located in the Township's Act 209 Transportation Service Area, and as such, this development is subject to the Township's Transportation Impact Fee of \$2,334 per weekday afternoon peak hour trip. As such, based on the trip generation calculations provided by the applicant's traffic engineer, the site will generate 76 new weekday afternoon peak hour trips. Furthermore, the existing home on the site would generate one new weekday afternoon peak hour trip, which can be credited against the total Transportation Impact Fee for the site. As such, the number of trips subject to the Township's Transportation Impact Fee is 75 (76 new trips generated by the proposed site minus one trip generated by the existing home), and the resultant Transportation Impact Fee is **\$175,050**.

**VII. TOWNSHIP PLANNING CONSULTANT COMMENTS**  
**BRANDYWINE CONSERVANCY**

1. The proposed development is located within the area identified in the 2014 Upper Uwchlan Comprehensive Plan's Future Land Use Map as Village, areas that would continue to be limited to residential infill that is consistent with current historic structures, considers adaptive reuse of historic buildings for residential purposes, and that consider open space, buffering, and pedestrian needs. More specifically, the proposed development falls within the Eagle Village-

Village of Eagle/Byers Concept Plan of the 2014 Comprehensive Plan, an update to which is currently underway.

The 2014 Village Concept Plan identifies several planning objectives for the village, which include maintaining its visual integrity, preserving Class I and Class II historic resources, providing controlled access to Graphite Mine Road, ensuring traffic access management, enhancing interconnectivity for pedestrians, and providing consistent streetscapes and ample civic spaces throughout.

The proposed development sits on the very edge of the Turnpike sub-area for the 2014 Village Concept Plan, which envisions this area being utilized for larger scale commercial uses, as well as office buildings and light industrial uses.

While the proposed development appears to align with the general goals of the 2014 Village Concept Plan, it does sit at the edge of an area designated for heavier land uses. As such, the Township and applicant should ensure the plant material chosen for the southern property boundary adjacent to parcel 32-3-69.4 is appropriate and would provide adequate screening between the two uses.

2. The Brandywine Conservancy notes the applicant intends to seek modifications to the parking requirements under Section 200-73K of the Zoning Ordinance. Given the nature of the proposed use (pick-up and drop-offs at a day care facility tend to occur over a more prolonged time than at a traditional K-12 institution), the Brandywine Conservancy is in support of this modification request. However, the Township and applicant might consider exploring options for shared parking that might be utilized by staff who work at the day care center.
3. The applicant proposes the use of 2 'Twilight' Crape Myrtle's on the plan. The Township might consider requesting native alternatives, such as eastern redbud (*Cercis canadensis*) or fringe tree (*Chionanthus virginicus*) for the environmental benefits that native species provide. Both are small, compact trees that provide attractive, spring flowers and color. In addition, there are several redbud cultivars that have attractive foliage (Forest Pansy, Rising Sun) that provide for additional seasonal interest.
4. The Township should ensure the applicant has made every effort to conform to the landscaping requirements under Section 162-57 of the Township Code.
5. It is noted that the Landscape Plan is drawn on the existing topography of the site. It is suggested the Landscape Plan include the as-built grade for the property.
6. While not marked specifically on the Plans, it appears that a shallow depression will exist in the northwest corner of the property. If so, and this is part of the proposed stormwater management for the property, consideration should be given to incorporating native vegetation

into this swale for added interest and enhanced environmental benefits, as opposed to turf grass that provides little environmental benefit and can, over time, limit infiltration.

7. The Brandywine Conservancy notes the inclusion of a 5' pedestrian sidewalk along most of the frontage along Park Rd. This will provide for pedestrian access to the facility from nearby residential areas, such as the Townes at Chester Springs, reducing the need for additional vehicular trips and lowering parking needs at the site during drop-off and pick-up times. It also enhances the growing pedestrian network in the Township.
8. Given the proposed development is within the C-1 zoning district, the Township should ensure the applicant is in compliance with the applicable design standards set forth in Section 200-36 of the Township Code, including that the structure be designed with either a traditional village architectural character or be a contemporary expression of traditional styles and forms. Given the proximity of the development to Windsor Baptist Church, a historic resource in Upper Uwchlan Township, the Brandywine Conservancy suggests the Historical Commission review the plans and architectural drawings. In addition, the Township might consider seeking the advice of the Township's Historic Resource Consultant on the proposed schematic of the facility.

**VIII. TOWNSHIP SEWER CONSULTANT COMMENTS**  
**ARRO CONSULTING, INC.**

1. The site is currently a single-family dwelling. Plans proposed the demolition of the existing single-family home and the construction of a two-story office daycare facility, a play area and parking lot. Based on discussions with the applicant's engineer, the anticipated building capacity is 120-125 children with approximately 20 employees. We estimate the anticipated usage to be 675 gallons per day (GPD) or three (3) equivalent dwelling units (EDUs). The required capacity will need to be purchased by the applicant. We recommend the Township reserve the right to review water usage in the future and require the purchase of additional sanitary sewer capacity if warranted.
2. The following notes shall be on the plan:
  - All sanitary sewer improvements must be provided and installed in accordance with the Upper Uwchlan Township Municipal Authority Technical Specifications for the Construction of Sewer Mains and Appurtenances to be connected to the public sewer system.
  - The Authority Engineer shall be notified 48 hours prior to the beginning of sanitary sewer construction.

- The existing on-lot septic system shall be decommissioned in accordance with the Chester County Health Department requirements.
- Wastewater discharge shall be in compliance with the Regulations for the Discharge of Non-Residential Waste into the Upper Uwchlan Township Municipal Authority's Sewerage System, Resolution #10-20-04-15, dated October 20, 2004. The Township personnel and/or agents shall have access to site for implementation of this resolution.
- A record (as-built) plan must be submitted to the Authority Engineer.

3. Sewage facilities planning approval will need to be obtained by the Pennsylvania Department of Environmental Protection (PADEP). The current planning approval for this site should be confirmed prior to submission.
4. The proposed invert elevation into the existing sanitary sewer manhole on Park Road should be identified on the profile. It shall also indicate that the connection needs to be core-drilled and include a water-tie boot.
5. The appropriate Standard Authority Sanitary Sewer Details shall be added to the plans.
6. An appropriately-sized grease interceptor shall be provided for any proposed kitchen facilities.
7. The necessary financial security shall be posted with the Township, which shall be in a form and amount acceptable to the Township.

## **IX. HISTORIC COMMISSION COMMENTS**

1. Approve daycare center as conditional use.
2. If 241 Park Road is within 250 feet of the historic Windsor Baptist Church or its parsonage, an historic resources impact statement is required, unless waiver is requested and waiver approved by BOS.
3. In the alternative, an historic resources impact statement is required even if 241 Park Road is more than 250 feet from Windsor Baptist Church or parsonage because 241 Park Road house is "identified" in the Historic Resources Inventory, although without categorization or supporting files.
4. Although unclear if 241 Park Road house is a protected "historic structure" under Section 200-36, due to its relatively recent 1951 building date and lack of architectural significance, the house (and more modern outbuildings) may be demolished

Mr. Tony Scheivert, Upper Uwchlan Township Manager  
Reference: 241 Park Road  
Preliminary Land Development Review  
Upper Uwchlan Township, Chester County, PA  
File No. 23-12026  
January 5, 2024

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5. Request that Planebrook Partners, LLC demonstrate that its submitted architectural designs for the proposed daycare center are consistent with, and promote, purposes and standards set forth for the C-1 Village Zoning District, including, but not limited to, by providing more details about proposed design and sample materials.
6. Request that Planebrook Partners, LLC provide more information on the proposed signage and exterior building art (duck tracks) to determine if it complies with the C-1 Village Zoning District signage requirements under Ordinance Section 200-98H and other applicable signage sections.

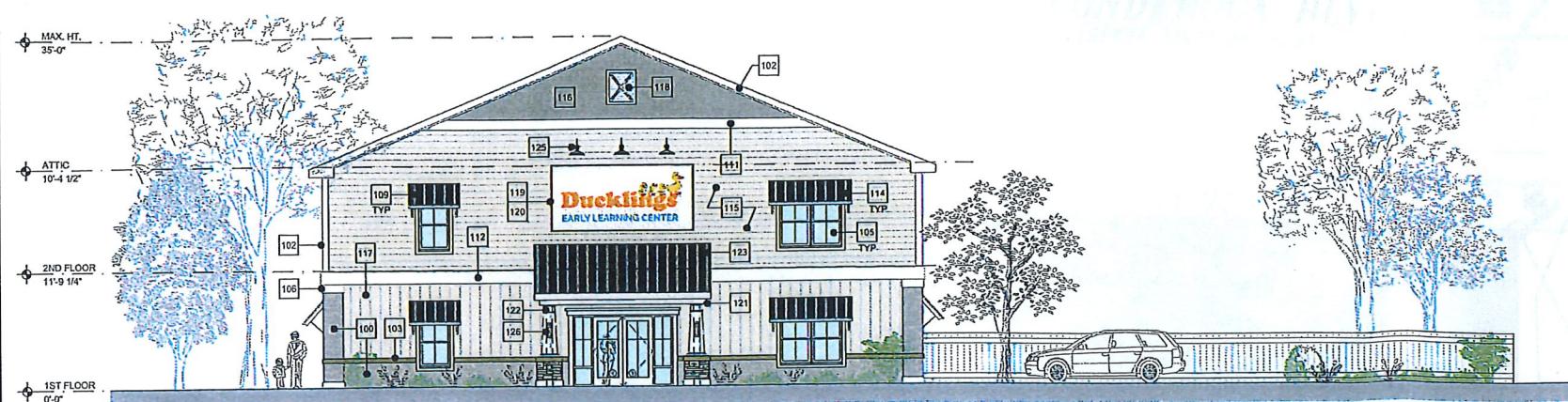
This concludes our first review of the above referenced preliminary land development application. We would recommend the plans be revised to address the above referenced comments. If you have any questions, please do not hesitate to contact me.

Sincerely,

*David N. Leh*

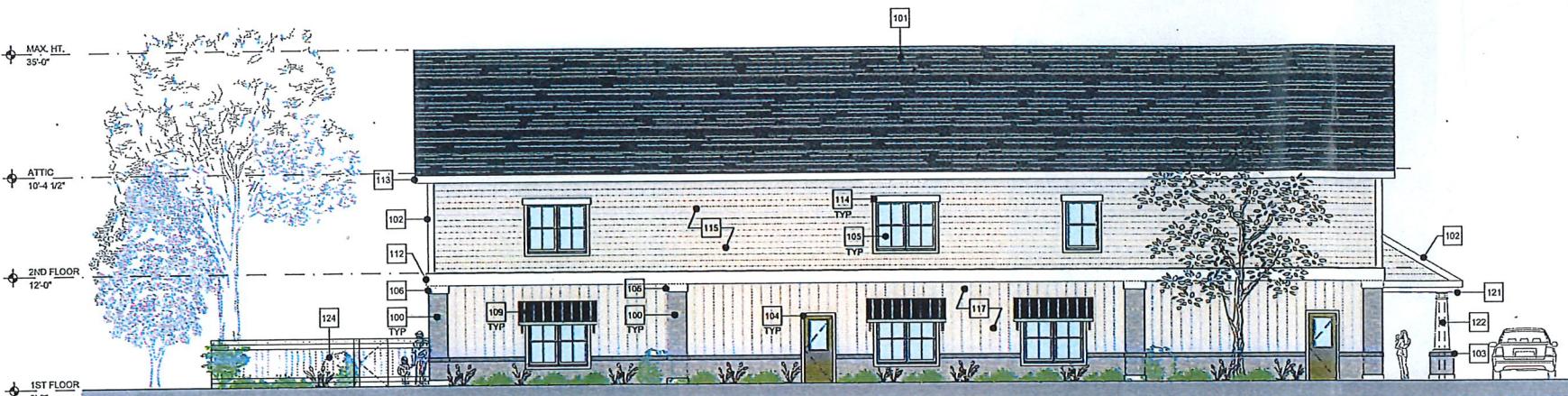
David N. Leh, P.E.  
Vice President  
Gilmore & Associates, Inc.

cc: Upper Uwchlan Township Planning Commission Members  
Upper Uwchlan Township Board of Supervisors  
Upper Uwchlan Historic Commission  
Gwen Jonik, Township Secretary  
Kristin Camp, Esq., BBM&M  
Rob Daniels, ASLA, Brandywine Conservancy  
Christopher J. Williams, P.E., McMahon Associates, Inc.  
David Schlott, P.E., ARRO Consulting, Inc.  
Victor Kelly, Jr., P.E., Commonwealth Engineers, Inc.  
Andrew Pancoast, 241 Park Avenue, LLC  
Scott Risbon, Planebrook Partners, LLC



**1 Elevation**

SCALE:  $\frac{1}{8}$ " = 1'-0"



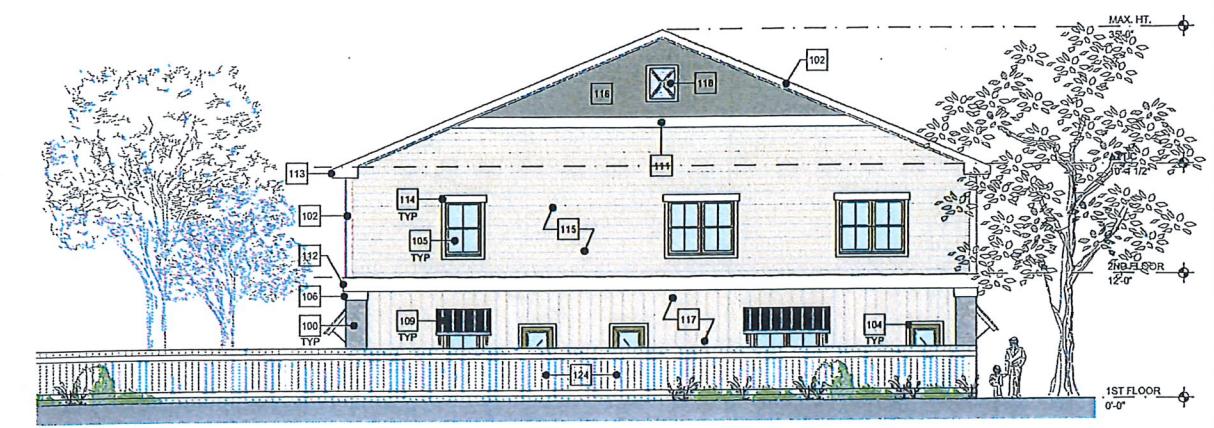
**2 Elevation**

SCALE:  $\frac{1}{8}$ " = 1'-0"



**3 Elevation**

SCALE:  $\frac{1}{8}$ " = 1'-0"



**4 Elevation**

SCALE:  $\frac{1}{8}$ " = 1'-0"

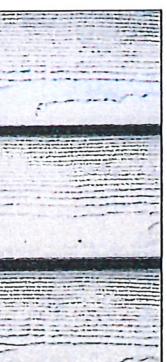
EXTERIOR FINISH MATERIALS SCHEDULE

TAG	MATERIAL	MANUFACTR	COLOR / NO.	NOTES
100	THIN STONE	STONE CRAFT	LAUREL CAVERN ASHER'	DRYSTACK
101	PRE-ENG ROOF TRUSS W/ ASPHALT SHINGLES	GAF	TIMBERLINE HDZ	CHARCOAL
102	8" AZEK RAKE BOARD & CORNER TRIM	AZEK	WHITE	SMOOTH
103	FRECAST SILL	T.B.D.	BROWN	
104	EXTERIOR DOOR	AS SCHEDULED	TO MATCH ADJACENT	AS SCHEDULED
105	VINYL DOUBLE HUNG WINDOW SYSTEM	ANDERSEN	WHITE 400 SERIES	REFER TO DETAILS IN THIS DRAWING SET
106	FRECAST / PRE-MFR. BASE OR CAP		NATURAL	MORTAR COLOR TO MATCH BASE OR CAP
107	ALUM. DOWNSPOUT	SELECTED BY OWNER	MATCH CORNICE	PVC BOOT TO STORM WATER SYSTEM
108	ALUM. CONT. GUTTER	SELECTED BY OWNER	MATCH CORNICE	
109	PRE-MANUFACTURED ALUM. METAL AWNING		BLACK	AS APPROVED BY OWNER PROVIDE SUPPORT BRACKETS
110	PRE-MANUFACTURED ZEE BOX	ATAS INTERNL, INC.	BLACK	INSTALL PER MFR'S DETAILS AND INSTRUCTIONS MANUAL
111	12" AZEK BAND TRIM	AZEK	WHITE	SMOOTH
112	16" AZEK BAND TRIM	AZEK	WHITE	SMOOTH
113	10" AZEK FASCIA TRIM	AZEK	WHITE	SMOOTH
114	4" AZEK JAMB/SILL TRIM 8" AZEK HEAD TRIM	AZEK	WHITE	SMOOTH
115	8" HORIZONTAL SIDING	HARDI-BOARD PLANK SIDING	WEATHERED CLIFFS	FINISH TYPE TO BE DETERMINED BY OWNER
116	STRAIGHT-CUT SIDING	HARDI-BOARD	WARM CLAY	FINISH TYPE TO BE DETERMINED BY OWNER
117	BOARD & BATTEN SIDING	HARDI-BOARD	WEATHERED CLIFFS	FINISH TYPE TO BE DETERMINED BY OWNER
118	DECORATIVE VINYL VENT	CERTAINTEED	WHITE	
119	FRT PLYWOOD AT SIGNAGE			PROVIDE BEHIND EXTERIOR SIGNAGE
120	SIGNAGE			BY OWNER / TENANT
121	BEAMS & BEAM END TRIM	AZEK	WHITE	SMOOTH
122	FIBERGLASS COLUMN SURROUND (TAPERED)	BUILDER'S STANDARD	WHITE	PROVIDE MATCHING BASES & CAPITALS (SMOOTH)
123	STANDING SEAM METAL ROOF	ATAS	BLACK	PREFINISHED
124	6" VINYL FENCE PRIVACY PLANK BOARDS	CERTAINTEED	WHITE	HEIGHT AS DETERMINED BY OWNER / TENANT
125	GOOSE NECK LIGHTING	T.B.D.	BLACK	BY OWNER / TENANT
126	SCONCE LIGHTING	T.B.D.	BLACK	BY OWNER / TENANT

NOTE: ALL NEW CMU ON THIS PROJECT SHALL BE "DRY BLOCK" TYPE CMU & ALL MORTAR TO HAVE WATERPROOFING ADDITIVE AGENTS.



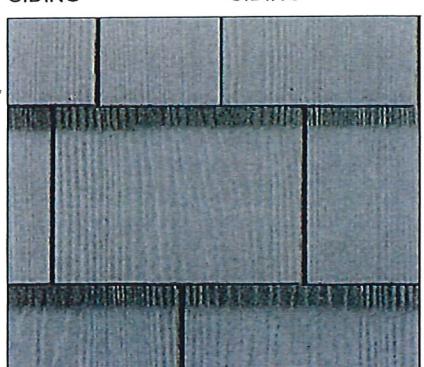
THIN STONE



HORIZONTAL SIDING



BOARD & BATTEN SIDING



STRAIGHT-CUT SIDING

**Ducklings™**  
EARLY LEARNING CENTER

**SCHEMATIC**  
241 PARK ROAD  
EAGLE, PENNSYLVANIA 19355



COMMONWEALTH ENGINEERS, INC.

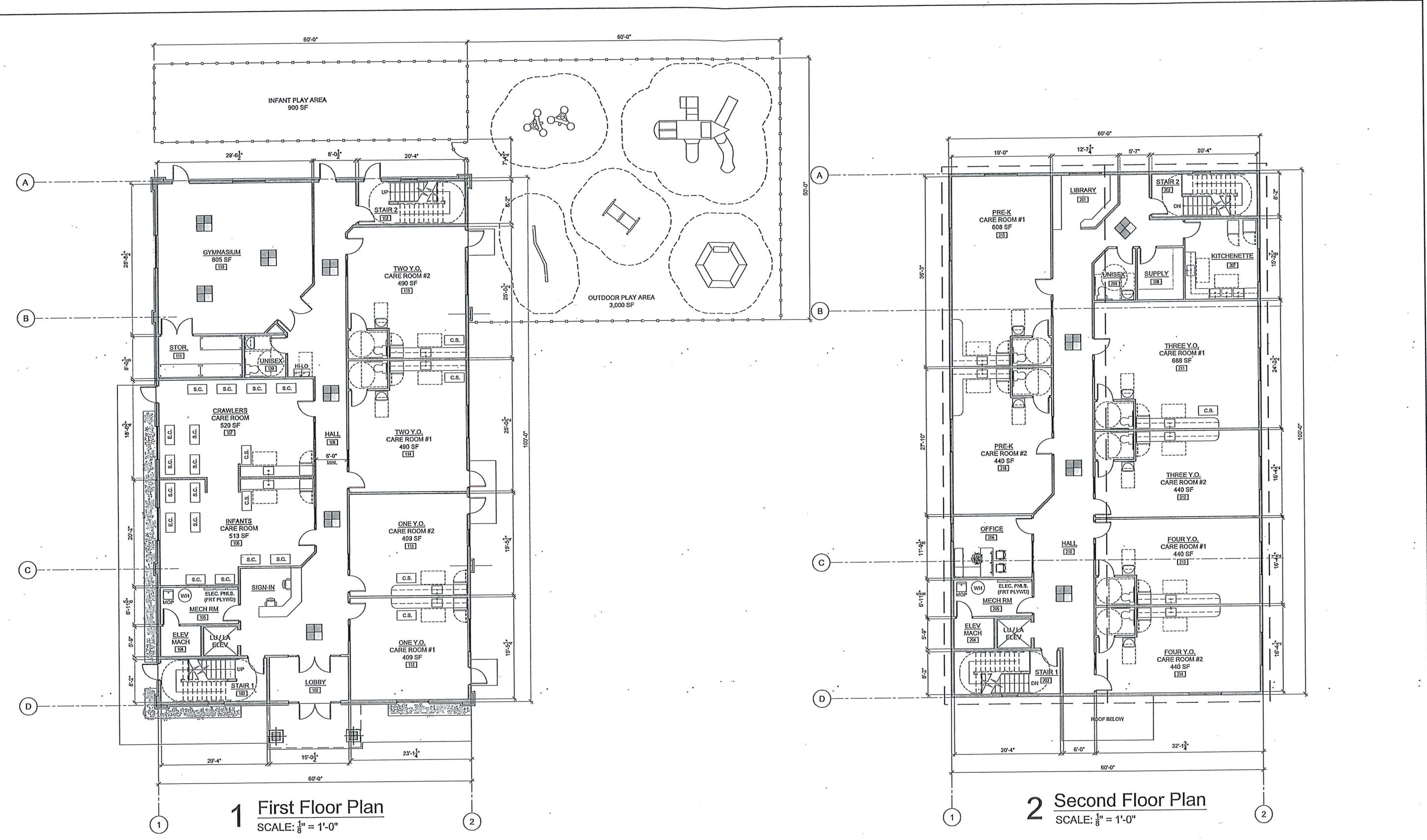
114 EAST LANCASTER AVENUE ~ SECOND FLOOR  
DOWNTOWN, PA 19335  
TELEPHONE: (610) 518-9003 ~ FAX: (610) 518-9004  
COMENG@CEI-1.COM

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**SK-4.2**

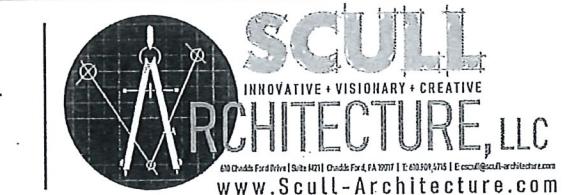
March 7, 2024

SA Project No. 2023.67



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EAGLE, PENNSYLVANIA 19355



**SK-4.1**  
March 7, 2024  
SA Project No. 2023.67



## UPPER UWCHLAN TOWNSHIP

Planning Commission  
March 14, 2024  
7:00 p.m. Meeting  
Minutes  
**Draft**

LOCATION: Township Building, 140 Pottstown Pike, Chester Springs PA 19425

Attendees:

Sally Winterton, Chair; Joe Stoyack, Vice-Chair; Chad Adams, David Colajezzi, Jim Dewees, Jeff Smith, Jessica Wilhide

Mary Lou Lowrie, P.E., Gilmore & Associates  
Gwen Jonik, Planning Commission Secretary

Absent: Stephen Fean, Taylor Young

Sally Winterton called the meeting to order at 7:00 p.m. and welcomed Jessica Wilhide to the Planning Commission. There were 5 citizens in attendance.

241 Park Road – Conditional Use Application

Mike Malloy, Esq. introduced Jody Thompson, Ducklings Daycare owner, Scott Risbon, Planebrook Partners, and Vic Kelly, P.E. A revised conditional use presentation plan and revised building elevation, dated March 7, 2024, had been distributed for the Commission to review and a Conditional Use Hearing is scheduled for April 9, 2024 at 5:30 p.m. The Application is to construct a daycare center, Ducklings Daycare, on 2 parcels at the corner of Park Road and Ticonderoga Boulevard. This is a permitted use via conditional use approval. The initial submission was a conditional use and land development plan and a first round of reviews had been conducted. The Application seeks conditional use approval for a 2-story 6,000 SF daycare, with parking, and play areas. The exterior will have an area of stone at the base, board & batten, horizontal siding, and it will be served by public water and sewer. The Plan distributed tonight has addressed some of the consultants' January 2024 comments. However, at this time, they are seeking the Planning Commission's recommendation of approval for only the Use, not the land development plan. Waivers and other items will be discussed during the land development plan approval process. However, discussion of the consultants' review letter included:

the square footage of the classrooms and the play area is determined by the number of children that could be in that space at a given time, not all at once. The daycare is required to comply with the State's regulations for educational purposes. The State interprets the minimum area required differently than the Township;

They've added a variety of materials to the exterior but can't offset the façade by 10 feet after 60 feet in length as that will negatively impact the interior function of the daycare;

There will be landscaping along the long side of the building;

They'll comply with the pitched roof and exterior materials;

HVAC will be hidden;

The daycare will be for infants to age 5. They do not provide before-school or after-school care.

Employees park to the outside of the lot so parents park close to the building for quicker convenience;

There won't be drop-off lines in the parking lot --parents bring the child(ren) in to their teacher;

There are keypads for security purposes;

They open at 7:00 a.m. and close at 6:00 p.m.; the busiest time is 7:30-8:30 a.m.

Commission members were concerned with the play area being along Ticonderoga Blvd. Mr. Kelly noted there's a fence, curb and retaining wall – the play area is higher than the roadway;

Windsor Baptist Church will be realigning their Park Road access with Ticonderoga Blvd. which will remove conflict with the daycare access; Commission members concerned with the parking lot so close to the play area and suggested bollards be added, which Applicant agreed could be placed. The duck feet have been removed from the exterior, and they are trying to retain historic feel – open to ideas for the architecture on the long side of the building as long as it doesn't affect the interior operations.

Jeff Smith moved, seconded by Jim Dewees, that the Planning Commission approve the Applicant moving forward in the Conditional Use process and consider the Planning Commission's concerns with the following:

adequacy of the structural wall along Ticonderoga Boulevard;  
install a protective barrier in the parking lot at the outdoor play area;  
the architecture needs to be broken up on the long sides of the building;  
flow of traffic in the parking lot should be re-evaluated.

The motion passed unanimously.

#### Eagle Animal Hospital Sketch Plan

Bob Linn, Architect, introduced a Sketch Plan for reconstruction of the Animal Hospital on Byers Road. They are seeking the Commission's acceptance of the Plan for consultant review. The veterinarians were also in attendance. Mr. Linn attended the Historical Commission's (HC) March meeting and had good conversation regarding the architecture. Mr. Linn distributed a 4-page Historical Narrative and Request for Determination of No Adverse Effect, which the HC was reviewing. The Plan keeps the existing curb cut to Byers Road, keeps the existing parking area and expands in the front of building, they're keep the 3-seat privy and the 1920s garden shed. The proposed building is slightly larger than it was – 6,800 SF and 83' long. The elevations have been revised following the HC's meeting -- sloping roof on the dormers, looking for vinyl siding with German style, landscaping (bushes) and fencing, parking is lower than road. No sidewalk is proposed as it was previously waived and it wouldn't connect to other sidewalk – neighboring properties have no room for a sidewalk. Points of discussion included suggesting protection at the front door from the parking area; whether sprinklers are required; this is not a boarding facility, no animals overnight; there are 2 vets, plus 6-8 staff; they see an average of 40 animals / day; this Lot has been a veterinarian business for a long time; the Commission is pleased the business is staying in the Village; they'll clean up the privy and garden shed.

Jeff Smith moved, seconded by Jim Dewees, to accept the Plan for consultant review. The motion carried unanimously.

#### Meeting Updates ~ Reports

Environmental Advisory Council (EAC). Currently there is no liaison. Jessica might be interested. Historical Commission (HC). David Colajezzi reported the last meeting focused on Eagle Animal Hospital's sketch plan and renderings.

Village Concept Plan/Village Design Guidelines (VCP/VDG). Sally Winterton noted they haven't met recently.

Comprehensive Plan (CompPlan). Sally reported the group met Tuesday night and reviewed most of a rough draft.

#### Approval of Minutes

Jeff Smith moved, seconded by Jim Dewees, to approve as presented the minutes of the Planning Commission's February 8, 2024 Meeting. The motion carried unanimously.

### C1, C3, LI Zoning District Uses ~ Ordinance Amendment Draft

A draft ordinance was distributed including the Planning Commission's and the Board of Supervisors' amendments to the C1, C3 and LI zoning district uses. Before Joe Stoyack had to leave the meeting, he asked the group if we need to add the distance between a medical marijuana dispensary and schools, daycares, etc. Chad Adams noted that wouldn't be necessary as the State's regulations supersede ours.

Commission members will review the draft ordinance over the next month and discuss it at the April 11, 2024 Workshop (6:00 p.m.)

### Next Meeting Date

Sally Winterton announced the next meeting date is April 11, 2024, with a Workshop at 6:00 p.m. and the Meeting at 7:00 p.m.

### Open Session

Jim Dewees questioned the result of the zoning hearing for the billboard company. It's been rescheduled for April 24, 2024.

### Adjournment

Jim Dewees moved, seconded by David Colajezzi, to adjourn at 8:53 p.m. All were in favor.

Respectfully submitted,

Gwen A. Jonik  
Planning Commission Secretary

# **Upper Uwchlan Township Historical Commission**

**241 Park Road Conditional Use and Land Development Plan Applications and  
Land Development Plan: Impact on Historic Resources — As Updated Through  
March 28, 2024 w/ April 2, 2024 Approved Recommendations**

**For April 2, 2024 Meeting — Prepared 3/28/2024 by Vivian S. McCardell, Chair Historical Commission**

## **Conditional Use Application and Impact Statement & Preliminary Land Development Application and Plan**

- Planebrook Partners, LLC (Scott Risbon, Managing Partner) submitted Conditional Use Application and Impact Statement, dated December 6 and 4, 2023, respectively, and Preliminary Land Development Application and Plan, dated December 1 and 13/14 respectively, for 241 Park Road
- Submissions propose following actions:
  - Consolidate two parcels
  - Demolish existing house and outbuildings
  - Construct daycare facility with play area
  - Add parking for 39 vehicles and access from Park Road
  - Add sidewalk along Park Road
- Property is located in C-1 Village Zoning District
- New daycare building would be 6,000 square foot, two story facility with total gross floor area of 12,000 square feet and separate play area of 3,000 square feet
- Anticipated capacity of 120 to 125 children and 20 employees operating Monday through Friday
- Daycares are permitted with conditional use approval under Township zoning ordinances

## **Preliminary Land Development Plan — Township's Review and Applicant's Responses**

- Township's consultants (including Brandywine Conservancy) reviewed Preliminary Land Development Plan and provided results in a letter, dated January 5, 2024, to Applicant. The review letter was not available for consideration during the Historical Commission's January 3, 2024 meeting
- Applicant submitted revisions to its Preliminary Land Development Plan, along with a letter, dated March 11, 2024, in response to Township's review and Historical Commission's recommendations
- Relevant portions of this Summary have been updated to reflect consultants' comments and Applicant's responses and revisions. Updates are shown in red.
- Applicant has also requested a waiver from Historic Resources Impact Statement required under SALDO Section 162-9H(5)(a)

# 241 Park Road

- 241 Park Road house first appears as historic resource on Township's Historic Map Update, dated April 9, 2007 and 2008 Historic Resource Inventory list as historic resource #164 without any categorization as Class I or Class II
- 241 Park Road house is one of 56 new, 50+ year old sites reflected on Township's Historic Map Update and 2008 Inventory without categorization or any supporting files
- House is small frame building that first appears on historic aerials in 1951
- 241 Park Road is across street from historic Windsor Baptist Church complex (historic resources #s 84 and 85) and adjacent to historic resource #165, another new site from 2007/2008

# Is Historic Resources Impact Statement Required?

- Section 162-9H(5)(a) — Historic Resources Impact Statement Applicability
  - Unless waived, historic resources impact statement required when any action listed below proposed within 250 feet of historic resource as identified in Township's Historic Resource Inventory
  - Actions requiring historic resources impact statement include (among other things)
    - ▶ Subdivision or land development plans which lead to new construction of buildings, structures, roads, driveways, parking area, etc.
    - ▶ Subdivision or land development plans which propose adaptive reuse or demolition of historic resources as identified in this chapter
    - ▶ Other land development, land disturbances, or exterior structural alteration
    - ▶ Any conditional use application
- Section 162-9H(5)(c) — Impact statement must be prepared by qualified professional in historic preservation, historical architecture, planning or related disciplines and presented for discussion at an Historical Commission meeting
- Section 162-9H(5)(e) — Impact statement must be reviewed by Historical Commission and its evaluation and recommendations provided in written report

## Is Historic Resources Impact Statement Required?

- If 241 Park Road is within 250 feet of historic Windsor Baptist Church or its parsonage (historic resources #s 84 and 85, respectively, on Township's Historic Resource Inventory), historic resources impact statement is required since conditional use application submitted and land development plan proposes construction of new building, driveway, parking area, etc., unless waiver is requested and waiver approved by BoS — ***It has been confirmed that 241 Park Road is not within 250 feet of historic Windsor Baptist Church***
- Historic resources impact statement may also be required even if 241 Park Road is more than 250 feet from Windsor Baptist Church or parsonage because 241 Park Road house is “identified” in Historic Resources Inventory, although without categorization or supporting files — ***Subsequent discussions with Township Secretary show stronger basis for 241 Park Road not formally added to Inventory and questionable if “identified” in accordance with requirement since ordinance cites 2001 Inventory***

## May BoS Waive Historic Resources Impact Statement?

- Applicant requests waiver of historic resources impact statement requirement as property not within 250 feet of Windsor Baptist Church, existing house recently built in 1951 and house's lack of architectural significance, as noted by Historical Commission
- Section 162-9H(5)(a) provides BoS (or Zoning Hearing Board, if applicable) may modify historic resources impact statement requirements, when specific requirements are determined not applicable to preliminary subdivision or land development application
- Given HC's recommendation that existing house may be demolished, purpose of historic resources impact statement in this situation would be to inform all parties of significance and impact to historic resources on tracts immediately adjacent to 241 Park Road as required under Section 162-9H(5)(d) in an effort to lessen impact of proposed new building on those historic resources. In this case, those historic resources would be Windsor Baptist Church and its parsonage
- Since 241 Park Road house not included in 2001 Historic Resources Inventory and uncertainty if later formally added to Inventory, as long as proposed new building complies with Section 200-36 C-1 Village District design standards and landscaping added to facade facing Park Road to shield it from view, appears to be basis for waiver.

## **May 241 Park Road House be Demolished under C-1 Village District Ordinances?**

- Ordinance Section 200-36A — Preservation of Historic Resources
  - Within C-1 Village District, historic structures and other historical resources, including historic ruins or sites... shall be preserved to the greatest degree practicable
  - Within C-1 Village District, no historic structure shall be removed or demolished except where approved by Township, upon recommendation of Planning Commission and Historical Commission
  - Township approval of demolition requests shall not be unreasonably withheld where applicant demonstrates renovation or reuse of subject structure is not practicable
- If 241 Park Road house is considered “historic structure,” it may only be demolished if approved by Township upon recommendation Planning and Historical Commissions
- Section 200-7 defines “historic structure” as structure that is (among other things), individually listed on local inventory of historic places in communities with certain certified historic preservation programs
- Although unclear if 241 Park Road house is “listed” on specified local inventory and falls within “historic structure” definition, due to its relatively recent 1951 building date and lack of architectural significance, Historical Commission may have no objection to its demolition

# Does Proposed Daycare Center Comply with C-1 Village District Design Standard Ordinance Requirements?

- Section 200-36B(1)(a),(b),(c),(2) — Architectural Design
  - (1) To extent practicable, all new construction and/or additions to existing structures within C-1 Village District shall be designed with either traditional village architectural character or may be contemporary expression of traditional styles and forms, respecting scale, proportion, roof pitch, character, and materials of historic examples in Byers, Eagle and surrounding area, in accordance with following standards — Brandywine Conservancy noted proposed building sits on very edge of Turnpike sub-area for 2014 Village Concept Plan, which envisions this area being used for larger scale commercial use, as well as office buildings and light industrial uses. While appears to align with general goals of 2014 Plan, it does sit at edge of an designated for heavier land uses. As such, should ensure plant material chosen for southern property boundary is appropriate and would provide adequate screening between two uses. BC also noted that Township should ensure applicant is in compliance with applicable design standards in Section 200-36, including that the structure be designed with either traditional village architectural character or be a contemporary expression of traditional styes and forms. Given proximity of Windsor Baptist Church, BCV also suggests HC review plans and drawings. In addition, Township might consider getting advice from Township's Historic Resource Consultant —:
    - (a) Where any individual building facade (or adjoining facades which abut flush to same building line) visible from any public right-of-way or public space...and exceeds 60 feet in length, there shall be clear dimensional differentiation of roofline (i.e., obvious difference in height) and/or offset in face of at least 10 ft, effectively breaking single facade into two or more facades each no more than 60 ft in length. Where approved by BoS as conditional use, single faces greater than 60 ft may be permitted, where applicant demonstrates to satisfaction of BoS that design of building and relationship to surrounding buildings and landscaped areas mitigate any negative impacts of long continuous building facades on character of C-1 Village District. Mitigating factors may include design which emulates characteristic historical building forms which typically included relatively long individual facade lengths such as barns, stables, churches, meeting houses, or other public buildings. Building arrangements which rely on repeated use of same long facade element shall not be approved — **Consultant found this requirement not met b/c facade facing Park Road is 100 ft without any break and stated conditional use approach would be needed. Applicant responded architectural plan will be provided to show compliance at time of Conditional Use hearing.**
    - (b) New construction shall generally have pitched roofs with overhanging eaves
      - Where flat roofs are provided, they shall be articulated with parapets and cornices.
      - Desired materials on pitched roofs include slate (natural or manmade), shingle (wood or asphalt composition) and metal formed to resemble "standing seams" — **Pitched roof of asphalt shingles**
      - Roof color should reflect local traditional use of color, and shall specifically exclude white, tan or blue shingles, red clay tiles, and corrugated metal or other corrugated material — **Roof color charcoal**
      - Use of fascias, dormers, and gables is encouraged to provide visual interest

## Does Proposed Daycare Center Comply with C-1 Village District Design Standard Ordinance Requirements?

- ▶ (c) Exterior wall materials may include stucco, wood clapboard (including vinyl or aluminum imitation clapboard siding), native stone, brick or other material of shape, color and texture similar to that found on historic structures in vicinity — ***Building in three levels with different treatments and drywall stone “stacks” on front and back (upper level: straight cut siding in warm clay color; middle level: horizontal siding in weathered cliff color; lower level: board and batten siding in weathered cliff color)***
- (2) For all principal and/or accessory uses... applicant shall provide drawings of sufficient detail to illustrate character of intended exterior design of structures, including scale, height, roof pitch, relationship between varying facade elements, and other principal exterior materials
  - ▶ Township may require material samples also be provided
  - ▶ It shall be burden of applicant to demonstrate that submitted architectural designs are consistent with, and promote, purposes and standards set forth for C-1 Village District

## Does Proposed Daycare Center Comply with C-1 Village District Design Standard Ordinance Requirements?

- Under C-1 Village District Ordinances, proposed daycare center must comply with design standards for new construction
- Before approval of land development plan, as required under Township Ordinance Section 200-36, Planebrook Partners, LLC should demonstrate that its submitted architectural designs for proposed daycare center are consistent with, and promote, purposes and standards set forth for C-1 Village District, including, but not limited to, providing more details about proposed design and sample materials — ***More information has been provided, but questions remain: How does proposed building reflect “traditional village architectural character or contemporary expression of traditional styles and forms...of historic examples in Byers, Eagle and surrounding area”? HC finding it difficult to see how this requirement is met. For instance, proposed building is massive with “long” 100 ft side (at this point without breaks as required under zoning ordinances) facing Park Road and much larger than historic examples, unless barn or church. What are skinny stacked stone portions intended to convey? Why three different types siding?***
- In addition, more information is needed to determine if proposed signage and exterior building art (duck tracks) comply with C-1 Village District signage requirements of Ordinance Section 200-98H and other applicable sections — ***Duck tracks no longer part of design, not sure if information provided on signage***

# Approved Recommendations for April 2, 2024 HC Meeting

## Background:

- Planebrook Partners, LLC submitted a Conditional Use Application and Impact Statement and Preliminary Land Development Application and Plan for 241 Park Road which is located in the C-1 Village Zoning District and Historical Commission approved recommendations on the Conditional Use and Plan during its January 3, 2024 meeting
- Planebrook Partners, LLC proposes to consolidate two parcels, demolish the existing house and outbuildings, construct a 2-story 12,000 sq. ft daycare facility with a 3,000 sq. ft play area for 120 to 125 children and 20 employees, add parking for 39 vehicles, access from Park Road and a sidewalk along Park Road
- Daycares are permitted with conditional use approval by Board of Supervisors under Township zoning ordinances
- The 241 Park Road house is historic resource #164, first seen on Township's 2007 Historic Map Update and 2008 Historic Resource Inventory (but without categorization or supporting files), located adjacent to historic resource #165 (also first seen on 2007 Historic Map Update and 2008 Inventory) and is across the street from the Windsor Baptist Church Complex (historic resources #s 84 and 85)
- Township Ordinance Section 162-9H(5) requires an applicant to provide an historic resources impact statement under certain circumstances to better inform the Planning and Historical Commissions and the Board of Supervisors on the proposed project and Section 200-36 protects "historic structures" from demolition, unless approved by the Township (upon recommendations from Planning and Historical Commissions) and provides design standards for new construction
- Planebrook subsequently submitted a revised land development plan and responses to the Township's review of its initial submissions, which included a request for a waiver of the historic resources impact statement requirement and removal of the exterior art work (the duck tracks)

## Recommendations to Planning Commission and Board of Supervisors, as applicable:

- Approve daycare center as conditional use
- Since the 241 Park Road existing house is not within 250 feet of Windsor Baptist Church or the parsonage, the house is of relatively recent vintage and lacks architectural significance, is not included in the 2001 Historic Resources Inventory and there is uncertainty if it was later formally added to the Inventory, as long as the proposed new building complies with the Section 200-36 C-1 Village District design standards and the side facing Park Road is landscaped to shield it from view, the historic resources impact statement may be waived
- Although it is unclear if 241 Park Road house is a protected "historic structure" under Section 200-36, due to its relatively recent 1951 building date and lack of architectural significance, the house (and more modern outbuildings) may be demolished
- Request that Planebrook Partners, LLC explain how its architectural designs for the proposed daycare center are consistent with, and promote, purposes and standards set forth for the C-1 Village Zoning District, including, but not limited to, by providing more information about how the proposed design reflects the "traditional village architectural character or contemporary expression of traditional styles and forms...of historic examples in Byers, Eagle and the surrounding area" (e.g., what the massive size, stacked stone portions and three different types of siding contribute) and reducing the 100 foot facade facing Park Road to less than 60 feet or inserting "breaks" as required under Section 200-36B
- If not already provided, request that Planebrook Partners, LLC provide more information on the proposed signage to determine if it complies with the C-1 Village Zoning District signage requirements under Ordinance Section 200-98H and other applicable signage sections



**GILMORE & ASSOCIATES, INC.**  
ENGINEERING & CONSULTING SERVICES

April 5, 2024

File No. 23-12026

Mr. Tony Scheivert  
Upper Uwchlan Township Manager  
140 Pottstown Pike  
Chester Springs, PA 19425

Reference: 241 Park Road  
Preliminary Land Development Review  
Upper Uwchlan Township, Chester County, PA

Dear Tony:

Gilmore & Associates, Inc. (G&A) is in receipt of the following documents prepared by Commonwealth Engineers, Inc. unless stated otherwise:

- Letter to the Board of Supervisors dated February 14, 2024 granting a time extension for plan review;
- Letter of Transmittal for 241 Park Road Preliminary/Final Land Development Plans submission to Upper Uwchlan Township dated March 13, 2024;
- Letter to Upper Uwchlan Township dated March 11, 2024 responding to G&A's January 5, 2024 review letter;
- Letter to Upper Uwchlan Township dated March 11, 2024 outlining waiver requests;
- Letter from Aqua to Commonwealth Engineers Inc. dated November 20, 2023 confirming water service;
- "Post Construction Stormwater Management Plan Narrative prepared for 241 Park Road" dated December 4, 2023 and revised March 11, 2024;
- Plan set consisting of fifteen (15) sheets titled "Preliminary/Final Land Development Plans for 241 Park Road" dated December 4, 2023 and revised March 11, 2024;
- Plan sheet titled "Post Development Drainage Area Plan" dated December 4, 2023 and revised March 11, 2024;

- Plan sheet titled "Pre Development Drainage Area Plan" dated December 4, 2023 and revised March 11, 2024;
- Traffic Impact Assessment Child Day Care Center – 214 Park Road, dated March 12, 2024, and prepared by Heinrich & Klein Associate, Inc.;
- Architectural plans consisting of two (2) sheets titled "Schematic 241 Park Road" dated March 7, 2024;

The subject site is comprised of two (2) parcels (TMP 32-4-37 and TMP 32-4-38.8) located at the intersection of Park Road and Ticonderoga Blvd. The property is located in the C-1 Village Commercial Zoning District.

G&A, as well as other Township Consultants, has completed our second review of the above referenced preliminary land development application for compliance with the applicable sections of the Township's Zoning Ordinance, Subdivision and Land Development Ordinance, and Stormwater Management Ordinance, and wish to submit the following comments for your consideration.

Please note that for the Township Engineers portion of the letter, comments with a **(V)**, **(RW)** or a **(W)** may require relief from the Township Ordinances. A **(V)** denotes a variance may be required or has previously been granted, a **(CU)** denotes conditional use, an **(RW)** denotes a requested waiver, and a **(W)** denotes a waiver that has not been requested, but we believe is required. Comments in *italics* are from our previous review letter, and comments in **bold text** require resolution from the applicant. Previous comments that have been satisfactorily addressed are not repeated herein.

## I. OVERVIEW

The Applicant is proposing to consolidate two existing lots and construct a 6,000 SF (footprint) two-story building with outdoor play areas, parking and stormwater management in the C-1 Village District. The parking area has access from Park Road. The total impervious surface coverage onsite is approximately 20,359 square feet, and the total proposed disturbance for the construction is approximately 0.865 acres. Two underground infiltration beds, inlets and piping are proposed to control the runoff from the proposed improvements. Retaining walls approximately 3.5-feet in height at their maximum are proposed along three sides of the property. There are no floodplains on the site.

## II. ZONING OFFICERS COMMENTS

The Applicant should provide sufficient information supporting the proposed reduction in parking.

**III. TOWNSHIP ENGINEER COMMENTS – ZONING ORDINANCE  
GILMORE & ASSOCIATES**

1. (CU) §200-33.B.(3) – A daycare center is permitted as a principal use when authorized by conditional use by the Board of Supervisors. The applicant is seeking conditional use approval.
2. (CU) §200-36.B.(1)(a) – Where any individual building facade is visible from any public right-of-way and exceeds 60 feet in length, there shall be a clear dimensional differentiation of roofline and/or an offset in facade of at least 10 feet, effectively breaking the single facade into two or more facades each no more than 60 feet in length. Where approved by the Board of Supervisors as a conditional use, single facades greater than 60 feet in length may be permitted in accordance with this section. The building façade facing Park Road is 100-feet in length and no break is proposed. Therefore, approval by conditional use is required.

The response letter states that architectural plans will be provided to show compliance at the Conditional Use hearing.

3. §200-36.B.(1)(b) – The architectural rendering indicates a pitched roof. Desired materials on pitched roofs include slate (either natural or man-made), shingle (either wood or asphalt composition), and metal formed to resemble "standing seams." Roof color should reflect local traditional use of color, and shall specifically exclude white, tan, or blue shingles, red clay tiles, and corrugated metal or other corrugated material. The use of fascias, dormers, and gables is encouraged to provide visual interest. The applicant shall provide information on the roofing to show compliance with these requirements.

The response letter states that information regarding the roof color and material will be provided at the Conditional Use hearing.

4. §200-36.B.(1)(c) – Exterior wall materials may include stucco, wood clapboard (including vinyl or aluminum imitation clapboard siding), native stone, brick, or other material of a shape, color, and texture similar to that found on historic structures in the vicinity. The applicant shall provide information on the exterior wall materials to show compliance with these requirements.

Architectural plans have been provided that show the proposed exterior wall material. We defer to the Board of Supervisors regarding this.

5. §200-36.B.(1)(d) – All facilities and equipment for heating/air conditioning, trash collection and compaction, and other structural elements not in keeping with historical architectural themes shall be concealed architecturally or otherwise screened from view from any public right-of-way or public space. The applicant shall clarify where HVAC equipment is located to determine if screening is required.

A fence detail has been provided for the fence surrounding the outdoor play areas. Note #2 in the Vinyl Privacy Fence Detail on Sheet 8 states that the fence height is "designated on the plan"; Sheet 2 notes "Proposed 6' Privacy Fence (Typ.)". **The detail shall be revised to specify a 6-foot fence.**

6. §200-36.B.(2) – *For all principal uses permitted by conditional use approval, applicant shall provide drawings of sufficient detail to illustrate the character of the intended exterior design of structures, including scale, height, roof pitch, relationship between varying facade elements, and principal exterior materials. The Township may require that material samples also be provided. It shall be the burden of the applicant to demonstrate that submitted architectural designs are consistent with, and promote, the purposes and standards set forth for the C-1 Village District.*
7. §200-36.B.(3) – *Where the Board of Supervisors determines that architectural design, as presented by applicant, is an essential means by which the proposed use will comply with the purposes and standards set forth for the C-1 Village District, as a condition of approval of any conditional use, the Board may require adherence to the intended architectural character as proposed by the applicant.*
8. §200-36.D. – *Streetscape landscaping and pedestrian amenities shall be provided as necessary to meet overall village planning objectives and shall be coordinated with adjacent properties. Where appropriate, the Township may require any of the amenities outlined herein, including provision for their regular upkeep and maintenance. We defer to the Township Planning Commission and Land Planner in this matter.*
9. §200-64.A. – *The minimum lot area for each child shall be 1,000 square feet, but no lot containing a day-care center shall be less than 30,000 square feet. The Conditional Use Impact Statement states an anticipated capacity of 120-125 children; therefore, the minimum lot area is 120,000 SF to 125,000 SF. The proposed lot area is 34,000 SF, which appears to be inadequate.*
10. §200-64.B. – *There shall be an indoor play area of 50 square feet per child and an outdoor play area of 75 square feet per child provided. The Conditional Use Impact Statement states an anticipated capacity of 120-125 children. Therefore, 6,000 SF to 6,250 SF of indoor play area is required. The outdoor play area is required to be 9,000 SF to 9,375 SF; a 3,000 SF outdoor play area with a 900 SF infant outdoor play area are proposed. The play areas appear to be inadequate.*

The response letter states that this shall be addressed at the Conditional Use Hearing, and that the applicant will comply with state guidelines.

The response letter states that this shall be addressed at the Conditional Use Hearing, and that the applicant will comply with state guidelines.

11. §200-64.C. – The outdoor play area shall be fenced on all sides, and fencing shall be a minimum height of four feet.

A fence detail has been provided. Note #2 in the Vinyl Privacy Fence Detail on Sheet 8 states “fence height shall be either 4 and 6 feet where designated on the plan”; Sheet 2 notes “Proposed 6' Privacy Fence (Typ.)”. **Note #2 should be revised to state 6 feet.**

12. §200-64.D. – *Off-street parking spaces shall be in accordance with §200-73. In addition, during the Conditional Use hearing, it should be discussed how the discharge and pickup of children shall be handled.*

The response letter states that this shall be addressed at the Conditional Use Hearing.

13. §200-64.E. – *The facility shall be licensed by the applicable departments of the Commonwealth of Pennsylvania and their regulations.*

14. §200-73.B.(2). and §200-74. – *Please indicate where delivery vehicles are intended to park.*

The response letter states that delivery trucks are limited to local carriers who will utilize the proposed parking spaces. **We would recommend one parking space be designated as a “Delivery Space.”**

15. (CU) §200-73.K.(2) and (4) – *Where any use or activity is subject to application for approval of a conditional use, modification(s) to the provisions of this section may be requested as part of such application. In approving any application pursuant to Subsection K(2), the Board of Supervisors, as a condition of approval of such application, may permit specific modification(s) to the provisions of this section subject to the conditions outlined in K(4). The applicant does not provide the required number of parking spaces (50) and is seeking a modification to reduce the number provided (39).*

The response letter states that a traffic study has been prepared and that this shall be addressed at the Conditional Use Hearing. We defer to The Township Traffic Engineer on this matter.

16. §200-93. – *The applicant shall clarify what signage is proposed.*

Proposed signage is shown on the plans, and building mounted signage is indicated on the architectural plans. We defer to the Zoning Officer regarding proposed signage.

**IV. TOWNSHIP ENGINEER COMMENTS – SUBDIVISION AND LAND DEVELOPMENT ORDINANCE - GILMORE & ASSOCIATES**

1. **(RW)** §162-7.B.(2) – A waiver is being requested to allow preliminary and final plan submission. Due to the scope of the project, we have no objection to this request.
2. **§162-9.B.(1)(b) – Provide a legal description for the consolidated lot.**
3. **§162-9.B.(2)(b)[18] – Location and elevation of the datum to which contour elevations refer shall be stated, and the datum used shall be a known established benchmark. Provide the benchmark used.**

Benchmark is indicated as an existing 1-inch iron pin. **Provide a known established benchmark.**
4. **(RW)** §162-9.H.(1)(b) and §162-9.H.(5) – We defer to the Township's Historical Commission whether an Historic Impact Statement is required.

A waiver from the Historic Impact Statement is being requested.
5. **§162-9.H.(4) – All of our previous comments regarding the fiscal impact statement have been adequately addressed in the engineers response letter. However, the impact statement itself should be updated with this information and submitted.**
6. **§162-49.D – Wherever a public or community water system is provided, fire hydrants or acceptable alternatives shall be installed for fire protection. We note the plans show a fire hydrant on the opposite side of Park Road. We defer to the Fire Marshal.**
7. **§162-55.B.(2) – No specimen tree(s) shall be removed from any lot or tract except where the applicant demonstrates to the satisfaction of the Board of Supervisors that such removal is essential to eliminate hazardous condition(s) or otherwise permit lawful use of the lot or tract; where permitted, removal of specimen trees shall be minimized. It appears some specimen trees are proposed to be removed. This should be discussed with the Planning Commission.**
8. **(RW)** §162-55.B.(7) – Replacement trees are required for each tree greater than six inches dbh removed. Based on the size and number of trees proposed to be removed, either four (4) replacement trees (at 4-6.5" caliper) or twenty-three (23) replacement trees (at 3-3.5" caliper) are required to be planted and are in addition to other required landscaping.

The applicant is requesting a waiver from this requirement.

9.(RW) §162-57.C.(7) – *The interior of each parking area shall have at least one shade tree for every five parking spaces. Based on 39 proposed spaces eight (8) shade trees are required but only four (4) are proposed. A waiver has been requested from this requirement.*

10.(RW) §162-57.D.(1) – *Per 1,000 SF of gross building area two (2) deciduous trees, one (1) evergreen tree and eight (8) shrubs are required to be planted and are in addition to any required replacement plantings due to woodland disturbance. Based on the 6,000 SF proposed building 12 deciduous trees, 6 evergreen trees and 48 shrubs are required. The applicant is requesting a waiver from providing 12 deciduous trees and 6 evergreen trees. (48 shrubs are provided.)*

11.(RW) §162-57.D.(1) – *Per 100 linear feet of existing tract boundary where not coincident with existing road frontage, 1 deciduous tree 2 evergreen trees and 8 shrubs are required. Based on the eastern and southern property lines linear footage, 4 deciduous trees, 8 evergreen trees and 32 shrubs are required. The applicant is requesting a partial waiver from providing 3 evergreen trees (5 are provided) and 2 shrubs (30 are provided). The applicant is requesting a waiver from this requirement.*

12. §162-58.C(1) – Illumination levels: Building Entrance light levels are not provided. Levels shall be in accordance with IES RP-43-22.

13. §162-58.C(1) – Illumination levels: Sidewalk light levels are not provided. Levels shall be in accordance with IES RP-43-22.

14. §162-58.C(2)(d) – Light fixtures shall be equipped with shielding devices to reduce glare and light spill. It appears that significant light spill is proposed where SL-3 light fixtures are directly adjacent to the neighboring properties. Backlight shields shall be utilized to reduce the spill to the extent possible. Note #6 also indicates that lights shall be “effectively shielded from neighboring properties”, however it does not appear that backlight shielding is proposed.

15. §162-58.C(2)(h) – 3000K color temperature shall be utilized in commercial areas. Catalog numbers provided in the lighting schedule on sheet 11 of 15 appear to indicate that 4000K color temperature fixtures are proposed.

16. §162-58.C(3)(d) – Requires lights to be extinguished after 11 PM. Note #7 on sheet 11 of 15 indicates that lights would be reduced by 75%, although note #4 indicates that “lights shall be controlled as per local codes”. Clarification shall be provided.

17. §162-58.C(4)(b) – Light poles shall be a minimum of five feet (5') outside paved area or on pedestals thirty inches (30") high above the pavement. It is noted that the Base Detail provided on Sheet 11 of 15 does not address the location of the pole bases as they relate to the adjacent paved parking area. Plan and detail shall be revised accordingly to provide the required

setback or modified pole base. Also see General Comment regarding coordination between light pole base locations and proposed retaining wall structures.

18. §162-58.D(1)(a) – Site plan shall show all lighting including building and architectural lighting. The plan does not indicate any additional lighting beyond the proposed area lights. The applicant shall verify that no additional architectural lighting is proposed.
19. §162-58.D(1)(a) – The lighting plan should be revised to show proposed plantings or the landscaping plan should be revised to show proposed lighting to verify that there are no conflicts.
20. §162-58.D(1)(c) – Plan shall include fixtures and pole cut sheets.
22. §162-58.D(3)(o) – Wall mount fixtures shall not be used to provide area lighting unless it can be demonstrated that pole mounted lights are not possible. A majority of the site lighting appears to be accomplished by utilizing seven (7) wall mounted fixtures mounted at an unknown mounting height. Pole mounted fixtures shall be utilized.

**V. STORMWATER MANAGEMENT ORDINANCE REVIEW**

1. §152-110. – The applicant shall post financial security to the municipality for the timely installation and proper construction of all stormwater management facilities as required by the approved SWM site plan and this chapter.
2. **(RW)** §152-306.J(3) – *Setbacks from property lines and rights-of-way for all infiltration practices are to be consistent with accessory structures in the Zoning Ordinance, for the applicable zoning district. Note that the Zoning Ordinance states that no accessory structure shall be located within the front yard, nor within 10-feet of any rear or side lot line. SB-2 is located within the front yard setback from Ticonderoga Blvd.*

The applicant is requesting a partial waiver from this requirement.

3. §152-306.O. – Provide maintenance procedures for the Snout devices in the Stormwater O&M plan.
4. §152-402.F.(2) and §152-701.D.(1), (2) and F(1) and (2), and §152-703.A. – *An Operation and Maintenance agreement shall be prepared and submitted to the municipality for review and approval. The Stormwater Management Plans and the agreement shall be recorded.*
5. §152-702.D. and §152-702.E. – *The statements in these sections shall be added to the Stormwater Management Plan.*

6. Verify the 51 LF fully perforated pipe dimension in the SB-1 detail, as the pipe outside the bed (i.e., pipe segments from Inlets 101 and 102 to SB-1) should not be perforated.
7. Fencing is proposed along the edge of SB-2. The detail indicates the fence line posts are 36-inches below grade minimum, with concrete 10-inches minimum diameter. The fence should be adjusted to avoid conflict.
8. Add the "Blanket Stormwater Management Easement" to the Stormwater Management Plan (Sheet 7).

## **VI. GENERAL COMMENTS**

1. *A preliminary design shall be provided for the retaining walls to verify that any required tie-backs will not conflict with the adjacent FedEx property.*  
The retaining walls are now indicated to be rock landscape walls. **Provide details for the proposed rock retaining walls. In addition, it appears at least a temporary construction easement will be needed from FedEx for their installation.**
2. *Detail how the level spreader (3-feet deep) will be constructed directly adjacent to the retaining wall.*

### **Provide details for the proposed rock retaining walls.**

3. *Remove reference to the Conservation District from the Sequence of Construction.*  
**Remove references to the "Local Conservation District" and "the Department" from the Standard E&S Control Plan Notes #2, #4 (replace with Township), #9 (replace with Township), #11 (replace with Township), #16 (replace "regulatory agency officials" with Township), #29 (replace with Township), #30 (replace with Township), #32 (replace with Township) on Sheet 13. Replace "Chester County Conservation District" with "the Township" in the Erosion Control Plan Revision Note (Sheet 13).**
4. Existing features to be removed (TBR) should not be shown on any proposed conditions plans. Currently existing features TBR are shown on most proposed conditions plan sheets.
5. Provide a detail for the roof drain connection into the perforated piping in SB-2.
6. It appears there is a significant drop off between the edge of sidewalk and the top of curb at the bend in the sidewalk along Park Road. At a minimum, fencing should be provided and possibly a small retaining wall.

7. Two (2) SL3 light fixture locations appear to conflict with the proposed retaining wall. Locations shall be coordinated.
8. Lighting Plan scale is noted as 1"=50'; however, the plan appears to be scaled at 1"=20'.

**VII. TOWNSHIP TRAFFIC CONSULTANT COMMENTS**  
**BOWMAN**

1. SALDO Section 162-9.H(1)(a) – Based on the results of the traffic study, the traffic generated by the proposed development can be accommodated at the study intersections without the need for any off-site traffic improvements. Furthermore, auxiliary turn lanes are not warranted at the site access intersection based on PennDOT guidelines.
2. SALDO Section 162-27.1 – This project is located within the C1 zoning district and is subject to the Township's access management standards. Based on the plan, we offer the following comments with respect to these standards:
  - a. Section 162-27.1.K(1) – The plans include truck turning templates at the access and within the site for a delivery truck and trash truck. The plans do not include turning templates for a fire truck. The applicant's engineer indicates that fire trucks are not able to turn around within the site, and instead, it is the applicant's position that based on the location of the building, fire response will occur from Park Road and Ticonderoga Boulevard. This approach should be reviewed with the Township's emergency service personnel.
  - b. We understand that Windsor Baptist Church may be proposing an expansion to their existing facilities, and we previously requested the applicant coordinate with Windsor Baptist regarding any proposed roadway improvements that should be considered for planning purposes between the two developments. Regardless, the proposed day care access is acceptable in our opinion; however, the applicant should inform the Township whether there has been any coordination with Windsor Baptist Church.
3. SALDO Section 162-36 – Provide a typical road widening section of the proposed widening along Park Road that includes the following information:
  - a. The existing Park Road pavement edge.
  - b. A two-foot sawcut line into the existing pavement.
  - c. The proposed pavement section for the widening, which meets the Township's pavement specification.

- d. Mill and overlay of Park Road to the double yellow center line.
- e. The proposed five-foot wide sidewalk.

4. The plans show replacement of all curb along Park Road as part of the proposed widening, except for a short 15-foot section of curb near the corner with Ticonderoga Boulevard. This additional section of curb should also be replaced as part of the proposed widening and curb ramp work.

5. Modify the grading at the southern driveway radius in order to end the curb at the PC and remove the short section of curb which ties into the existing edge of road.

6. There appear to be several signs along the Park Road site frontage that must be relocated to accommodate the proposed driveway, the Park Road widening, and sidewalk. In addition, it appears that at least one utility pole relocation is required. The plans should show the relocation of these signs and utility poles, as needed.

7. ZO Section 200-73.H and 200-73.K – The proposed daycare requires one parking space per 300 square feet of gross floor area, and one parking space per employee, which equates to 50 parking spaces (i.e., 40 parking spaces for the building size, plus 10 parking spaces for the employees) as outlined in the parking tabulation on sheet 1. However, the plans propose a total parking supply of 39 parking spaces, and the applicant requests a modification of the parking requirements per ZO Section 200-73.K to allow a reduction in the required parking supply. Prior to the Township rendering a decision on this requested parking supply reduction, the applicant should provide technical justification to support the proposed parking supply. Furthermore, the Township Solicitor should review the requested parking reduction based on the requirements described in Section 220-73K.

8. ZO Section 200-75.H(3) – The following comments pertain to the sight distance plans for the proposed site access intersection shown on sheet 14:

- a. The sight line for left-turn entering vehicles looking ahead should be revised to start at a location 35 feet east of the centerline of the proposed driveway. In addition, this sight line should extend to a point 324 feet west of the centerline of the proposed driveway in the center of the eastbound Park Road travel lane.
- b. The plan view should be revised to show the grading contours for the proposed regarding in order to determine whether the regrading can be achieved within the existing legal right-of-way, or whether a grading easement will be necessary along the adjacent property (Parcel No. 32-3-69.4).

9. The ADA curb ramp on the southeast corner of the Park Road/Ticonderoga Boulevard should be revised to a Type 1 curb ramp, as opposed to a Type 1A curb ramps as currently shown. In addition, we continue to recommend the receiving ramp on the northeast corner should also be upgraded to meet current ADA requirements. Detailed curb ramp designs should be provided for review. As previously requested, the detailed designs for these ramps should include separate grading details (including spot elevations at all proposed grade changes), and all dimensions, including widths, lengths, and all slopes to assist during construction. In addition, please label all proposed curb ramp types, and provide the appropriate PennDOT curb ramp details and notes on the detail sheets.
10. Chapter 79-8.C – The proposed redevelopment is located in the Township's Act 209 Transportation Service Area, and as such, this development is subject to the Townships Transportation Impact Fee of \$2,334 per weekday afternoon peak hour trip. As such, based on the trip generation calculations provided by the applicant's traffic engineer, the site will generate 34 new weekday afternoon peak hour trips. Furthermore, the existing home on the site would generate one new weekday afternoon peak hour trip, which can be credited against the total Transportation Impact Fee for the site. As such, the number of trips subject to the Township's Transportation Impact Fee is 33 and the resultant Transportation Impact Fee is **\$77,022.**

**VIII. TOWNSHIP PLANNING CONSULTANT COMMENTS  
BRANDYWINE CONSERVANCY**

1. As noted in our prior review letter, the applicant shows the landscape plan on the current topography of the site. We suggest the landscape plan incorporates the as-built topography for improved accuracy.
2. We note the changes in plant material choices from the last plan set. However, we suggest that consideration be given to replacing the boxwoods with the ink berries shown on other areas of the plan, or another alternative small native shrub.
3. For ease of referencing the plants shown on the landscape plan, the plant schedule should be placed on the same sheet, rather than on the next sheet.
4. It is unclear from the plans what is proposed for ground cover within the planting areas and around the building. While not clearly marked on the landscape plan, but seen on other plan sheets, it appears that a shallow depression will exist in the northwest corner of the property. If so, and this is part of the proposed stormwater management for the property, consideration should be given to incorporating native vegetation into this swale for added interest, improved infiltration properties, and enhanced environmental benefits. Turf grass provides little

environmental benefit and can, over time, limit infiltration. Could a mix of native grasses and perennial plugs be incorporated into what appears to be a stormwater swale?

5. The Conservancy recognizes that Inkberry is widely used in the landscaping plan already, and that choices for native evergreen shrubs are limited, but we encourage the applicant to seek an alternative native plant material for along the property boundary where the skip laurels are proposed.

In addition to the comments above, below I have listed again the general comments included in our first review.

6. The proposed development is located within the area identified in the 2014 Upper Uwchlan Comprehensive Plan's Future Land Use Map as Village, areas that would continue to be limited to residential infill that is consistent with current historic structures, considers adaptive reuse of historic buildings for residential purposes, and that consider open space, buffering, and pedestrian needs. More specifically, the proposed development falls within the Eagle Village-Village of Eagle/Byers Concept Plan of the 2014 Comprehensive Plan, an update to which is currently underway.

The 2014 Village Concept Plan identifies several planning objectives for the village, which include maintaining its visual integrity, preserving Class I and Class II historic resources, providing controlled access to Graphite Mine Road, ensuring traffic access management, enhancing interconnectivity for pedestrians, and providing consistent streetscapes and ample civic spaces throughout.

The proposed development sits on the very edge of the Turnpike sub-area for the 2014 Village Concept Plan, which envisions this area being utilized for larger scale commercial uses, as well as office buildings and light industrial uses.

While the proposed development appears to align with the general goals of the 2014 Village Concept Plan, it does sit at the edge of an area designated for heavier land uses. As such, the Township and applicant should ensure the plant material chosen for the southern property boundary adjacent to parcel 32-3-69.4 is appropriate and would provide adequate screening between the two uses.

7. The Brandywine Conservancy notes the applicant intends to seek modifications to the parking requirements under Section 200-73K of the Zoning Ordinance. Given the nature of the proposed use (pick-up and drop-offs at a day care facility tend to occur over a more prolonged time than at a traditional K-12 institution), the Brandywine Conservancy is in support of this modification request. However, the Township and applicant might consider exploring options for shared parking that might be utilized by staff who work at the day care center.

8. The Township should ensure the applicant has made every effort to conform to the landscaping requirements under Section 162-57 of the Township Code.
9. The Brandywine Conservancy notes the inclusion of a 5' pedestrian sidewalk along most of the frontage along Park Rd. This will provide for pedestrian access to the facility from nearby residential areas, such as the Townes at Chester Springs, reducing the need for additional vehicular trips and lowering parking needs at the site during drop-off and pick-up times. It also enhances the growing pedestrian network in the Township.
10. Given the proposed development is within the C-1 zoning district, the Township should ensure the applicant is in compliance with the applicable design standards set forth in Section 200-36 of the Township Code, including that the structure be designed with either a traditional village architectural character or be a contemporary expression of traditional styles and forms. Given the proximity of the development to Windsor Baptist Church, a historic resource in Upper Uwchlan Township, the Brandywine Conservancy suggests the Historical Commission review the plans and architectural drawings. In addition, the Township might consider seeking the advice of the Township's Historic Resource Consultant on the proposed schematic of the facility.

**IX. TOWNSHIP SEWER CONSULTANT COMMENTS  
ARRO CONSULTING, INC.**

1. The site is currently a single-family dwelling. Plans proposed the demolition of the existing single-family home and the construction of a two-story office daycare facility, a play area and parking lot. Based on discussions with the applicant's engineer, the anticipated building capacity is 120-125 children with approximately 20 employees. We estimate the anticipated usage to be 675 gallons per day (GPD) or three (3) equivalent dwelling units (EDUs). The required capacity will need to be purchased by the applicant. We recommend the Township reserve the right to review water usage in the future and require the purchase of additional sanitary sewer capacity if warranted.
2. Sewage facilities planning module (SFPM) approval will need to be obtained by the Pennsylvania Department of Environmental Protection (PADEP). The SFPM mailer package has been submitted the PADEP to review and approval.
3. The proposed lateral should connect into the sanitary sewer main not the terminal manhole.
4. An appropriately-sized grease interceptor shall be provided for any proposed kitchen facilities.
5. The necessary financial security shall be posted with the Township, which shall be in a form and amount acceptable to the Township.

**X. TOWNSHIP FIRE MARSHAL COMMENTS**

1. What is the width of the entrance from Park Road into the parking lot and the aisle in the parking lot?
2. The property is served by fire hydrants on Park Road. Please provide the location of each and the distance from the proposed building to each of the fire hydrants.
3. The needed hydrant flow is 2,000 GPM @ 20 PSI residual pressure.

**XI. TOWNSHIP HISTORICAL COMMISSION COMMENTS**

1. Approve daycare center as conditional use.
2. Since the 241 Park Road existing house is not within 250 feet of Windsor Baptist Church or the parsonage, the house is of relatively recent vintage and lacks architectural significance, is not included in the 2001 Historic Resources Inventory and there is uncertainty if it was later formally added to the Inventory, as long as the proposed new building complies with the Section 200-36 C-1 Village District design standards and the side facing Park Road is landscaped to shield it from view, the historic resources impact statement may be waived
3. Although it is unclear if 241 Park Road house is a protected "historic structure" under Section 200-36, due to its relatively recent 1951 building date and lack of architectural significance, the house (and more modern outbuildings) may be demolished.
4. Request that Planebrook Partners, LLC explain how its architectural designs for the proposed daycare center are consistent with, and promote, purposes and standards set forth for the C-1 Village Zoning District, including, but not limited to, by providing more information about how the proposed design reflects the "traditional village architectural character or contemporary expression of traditional styles and forms...of historic examples in Byers, Eagle and the surrounding area" (e.g., what the massive size, stacked stone portions and three different types of siding contribute) and reducing the 100 foot facade facing Park Road to less than 60 feet or inserting "breaks" as required under Section 200-36B.
5. If not already provided, request that Planebrook Partners, LLC provide more information on the proposed signage to determine if it complies with the C-1 Village Zoning District signage requirements under Ordinance Section 200-98H and other applicable signage sections.

Mr. Tony Scheivert, Upper Uwchlan Township Manager  
Reference: 241 Park Road  
Preliminary Land Development Review  
Upper Uwchlan Township, Chester County, PA  
File No. 23-12026  
April 5, 2024

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This concludes our second review of the above referenced preliminary land development application. We would recommend the plans be revised to address the above referenced comments. If you have any questions, please do not hesitate to contact me.

Sincerely,

*David N. Leh*

David N. Leh, P.E.  
Vice President  
Gilmore & Associates, Inc.

cc: Upper Uwchlan Township Planning Commission Members  
Upper Uwchlan Township Board of Supervisors  
Upper Uwchlan Historic Commission  
Gwen Jonik, Township Secretary  
Kristin Camp, Esq., BBM&M  
G. Matthew Brown, P.E. – Upper Uwchlan Township Municipal Authority  
Rob Daniels, ASLA, Brandywine Conservancy  
Christopher J. Williams, P.E., McMahon Associates, Inc.  
David Schlott, P.E., ARRO Consulting, Inc.  
Victor Kelly, Jr., P.E., Commonwealth Engineers, Inc.  
Andrew Pancoast, 241 Park Avenue, LLC  
Scott Risbon, Planebrook Partners, LLC  
Mike Malloy, Esq. - Obermayer Rebmann Maxwell & Hippel LLP



## MEMORANDUM

**To: Tony Scheivert, Township Manager**

**From: Michael Esterlis, Public Works Director**

**Date: May 15, 2024**

**Re: Award – 2024 Milling and Paving Contract**

On May 15, 2024 the bids were opened for the 2024 Milling and Paving Contract. There were five bidders for this contract. Four of these contractors sent representatives to the bid opening. The bids were opened and read aloud to those attendees. Attached are the results for your review.

The lowest bidder was Glasgow, Inc. at \$5.80 /square yard for milling and \$95.60 ton in place for the asphalt overlay. Also in the bid was pricing for full width milling of West Township Line Road and a Leveling Course on West Township Line Road, at \$4.25/square yard for milling and \$81.40 per ton for leveling course.

It is my recommendation that **Glasgow, Inc.** be awarded the 2024 Milling and Paving Contract at \$5.80/square yard for milling and \$95.60/ton in place for the asphalt overlay. Total project cost of +/- **\$471,440.30** depending upon actual asphalt tonnage used. This is well under budget.



**2024 Road Milling and Paving Bid Results**  
Opening Wednesday, May 15, 2024 at 11:00 a.m.

	<b>Vendor # 1: H&amp;K Group, Inc.</b> Bond Yes	<b>Vendor # 2: Glasgow, Inc.</b> Bond Yes	<b>Vendor # 3: Highway Materials, Inc.</b> Bond Yes			
Milling, per square yard	\$7.00	\$52,759.00	\$5.80	\$43,714.60	\$4.75-\$6.25	\$40,013.85
Milling, sq yd W. Township Line	\$6.00	\$15,660.00	\$4.25	\$11,092.50	\$5.15	\$13,441.50
Paving, per ton	\$103-\$121	\$453,537.00	\$95.60	\$411,749.20	\$106-\$108.30	\$459,632.15
Leveling Course W. Township Line	<u>\$110.00</u>	<u>\$6,000.00</u>	<u>\$81.40</u>	<u>\$4,884.00</u>	<u>\$150.00</u>	<u>\$9,000.00</u>
<b>GRAND TOTAL</b>		<b>\$527,956.00</b>		<b>\$471,440.30</b>		<b>\$522,087.50</b>
	<b>Vendor # 4: Allan Myers</b> Bond Yes	<b>Vendor # 5: Road-Con, Inc.</b> Bond Yes	<b>Vendor # 6:</b> Bond Yes or No			
Milling, per square yard	\$2.40	\$18,088.80	\$10.10	\$76,123.70		
Milling, sq yd W. Township Line	\$3.40	\$8,874.00	\$6.25	\$16,312.50		
Paving, per ton	\$108.00	\$465,156.00	\$140.00	\$602,980.00		
Leveling Course W. Township Line	<u>\$99.20</u>	<u>\$5,952.00</u>	<u>\$140.00</u>	<u>\$8,400.00</u>		
<b>GRAND TOTAL</b>		<b>\$498,070.80</b>		<b>\$703,816.20</b>		



# UPPER UWCHLAN TOWNSHIP

## MEMORANDUM

### ADMINISTRATION

**TO:** **Board of Supervisors**

**FROM:** **Jill Bukata**  
**Township Treasurer**

**RE:** **Proposal to Increase Solid Waste Fees in 2025**

**DATE:** **May 20, 2024**

---

The Solid Waste and Recycling Contract that was recently signed for the period beginning August 1, 2024 and ending July 31, 2027 totals \$3,142,254 over the next three years. If we extend the contract through July 31, 2029 the cost for two additional years is \$2,399,595.

The amended Solid Waste Fund Budget for 2024 includes the new fees for the last five months of the year and reflects a loss of \$89,059 and losses in 2025 to 2028 that total \$1,191,693. It does not include any changes to the fees the Township charges residents. The Township has not increased the solid waste fee in many years but it is necessary to do so beginning next year.

I propose that since the fees will be increasing substantially, we provide two installment payments so that seniors and any residents who may have difficulty paying the entire balance can pay their bill in smaller installments. Payments are currently due by March 31 to pay with the discounted fee; between April 1 and September 30 at the face amount; and October 1 or later at a 10% flat penalty. I am proposing that we continue to use those same two dates to avoid confusion. **Only payment in full by March 31 would be eligible to receive a discount.**

The following are two scenarios for your consideration:

<b>New fee</b>	<b>\$425.00</b>	<b>\$435.00</b>
Fee at discount	\$415.00	\$420.00
Fee with penalty	\$468.00	\$470.00
Net income thru 7/31/28	\$116,257.00	\$216,007
Projected loss in 2028	(\$66,679)	(\$41,741)

I recommend that the first installment payment would be \$225.00 and the balance would be due as the second installment, by September 30. We will send reminder invoices in August.

A point we should remember is that our residents are receiving these services all year but are not required to pay for them until September 30 – a full nine months of service without any payment required.



## Annual Commercial Maintenance Agreement

SPRING 2024 Renewal

**Total Contract Price-\$13,915.00**

**18 PIECES OF EQUIPMENT - \$386.50/piece/service**

Customer Name	Location of Equipment
Upper Uwchland Township Municipality Office/ Old School house	140 Pottstown Pike Chester Springs, PA 19425

Equipment Covered	Model Number	Serial Number
(1) Daikin Rooftop MAU system (1) Daikin VRV system (13) Daikin Indoor evaporators (1) Daikin Server Room Mini Split (1) Dakin Split system Old School House (1) Weil McLain Gas Boiler	PENDING COLLECTION	PENDING COLLECTION

### Advantages of Annual Maintenance Agreement

- ✓ \$90 Service call during normal business hours. (Waived when Repairs are made)
- ✓ \$150 Emergency Service call during Off Hours.
- ✓ Priority service during normal and emergency service hours
- ✓ 10% discount on parts and labor for repairs
- ✓ Change filters Spring/Fall season
- ✓ Service includes Spring AC and Fall Heat
- ✓ Chemically clean coils as needed for proper air quality/operation
- ✓ Verify all proper electrical and mechanical operations.
- ✓ Automatic scheduling for appointments at your convenience
- ✓ Experienced, Factory Trained Technicians to protect and maintain your investment
- ✓ Inspection Guidelines to ensure consistent and quality service
- ✓ Annual Maintenance will be scheduled during Normal Business Hours

### Terms and Conditions

- Payment for Annual Maintenance Agreement is to be PREPAID.
- ✓ This Maintenance Contract DOES NOT include or cover any parts, refrigerants, motors, Compressors or Major system components. This work is priced additional and above this Agreement
- ✓ Capitol Heating and Air, LLC, will provide service and maintenance on the listed equipment, providing Labor, filters, and belt changes on annual basis.
- ✓ We will advise you of any problems. Any required repairs will be quoted prior to making the repair, Unless other arrangements are requested by the customer.
- ✓ All service and maintenance work will be recorded on a maintenance ticket and attached to the system with a copy e-mailed to the maintenance department for your records and a copy kept by Capitol Heating and Air, LLC.
- ✓ All work to be completed in a professional manner by Capitol Heating and Air, LLC or an approved Contractor. Any repairs made by a third party contractor without prior approval will void this contract.
- ✓ Capitol Heating and Air, LLC will not be held liable for damage caused to the roof from technicians accessing rooftop mounted equipment while performing scheduled maintenance or service.
- ✓ Follow Maintenance and Service Procedures outlined in our Annual Contract, as quoted, with the list of equipment provided by UUT. Any additional equipment not listed will be billed as additional.
- ✓ Follow UUT Rules, Safety Procedures and Emergency Procedures.
- ✓ Follow chain of communication as laid out by UUT including filing for proper P.O. #.

- ✓ Provide Priority Service when requested (2-4 hour average response time when conditions allow)
- ✓ Resolution of Service Call in 24 hours from time call is placed.
- ✓ Definition of a "Priority Service/Service Call" would be: No A/C or Heat, Water Leak that is impossible to contain, and an Equipment malfunction/failure that would be detrimental to the safety and welfare of the Customer/Property.
- ✓ Weather conditions or scheduling conflicts may inhibit or delay response time to a Priority Service/Service Call. We will inform you of the delay if this is the case.
- ✓ Follow any "Not To Exceed" pricing schedules applied by UUT.
- ✓ NET 30 Day billing cycle on Standard Repairs and Service Call charges accepted.
- ✓ On larger repairs, equipment replacement and special bid projects exceeding \$7,500.00, a deposit of 50% would be needed up front, balance upon completion with the NET 30 day billing cycle.
- ✓ Capitol Heating and Air, LLC Pricing:
  - ✓ Flat Rate Base Repairs
  - ✓ Standard \$90.00 Diagnostic Charge, per PO#, per event to include first hour of site work and diagnostic work.
  - ✓ \$105.00 per hour Labor Rate per Mechanic and \$65.00 per hour Labor Rate per Apprentice.
  - ✓ This will be billed in 15 minute increments.
  - ✓ Any Weekend, Evening and Required Overtime Rate will be billed at 1-1/2 Time, Customer will be advised of this in advance.

*Robert Fischer*  
Authorized Company Signature  
Capitol Heating and Air, LLC

  
Customer Signature (DATE)



Annual Commercial Maintenance Agreement  
SPRING 2024 Renewal  
Total Contract Price-\$9,275.00  
12 PIECES OF EQUIPMENT - \$386.50/piece/service

Customer Name	Location of Equipment
Upper Uwchland Township Police Station system.	140 Pottstown Pike Chester Springs, PA 19425

Equipment Covered	Model Number	Serial Number
(1) Daikin Rooftop MAU system		
(1) Daikin VRV system	PENDING	PENDING
(7) Daikin Indoor evaporators	COLLECTION	COLLECTION
(3) Central Exhaust fans		

Advantages of Annual Maintenance Agreement

- ✓ \$90 Service call during normal business hours. (Waived when Repairs are made)
- ✓ \$150 Emergency Service call during Off Hours.
- ✓ Priority service during normal and emergency service hours
- ✓ 10% discount on parts and labor for repairs
- ✓ Change filters Spring/Fall season
- ✓ Service Includes Spring AC and Fall Heat
- ✓ Chemically clean coils as needed for proper air quality/operation
- ✓ Verify all proper electrical and mechanical operations.
- ✓ Automatic scheduling for appointments at your convenience
- ✓ Experienced, Factory Trained Technicians to protect and maintain your investment
- ✓ Inspection Guidelines to ensure consistent and quality service
- ✓ Annual Maintenance will be scheduled during Normal Business Hours

Terms and Conditions

- Payment for Annual Maintenance Agreement is to be PREPAID.
- ✓ This Maintenance Contract DOES NOT include or cover any parts, refrigerants, motors, Compressors or Major system components. This work is priced additional and above this Agreement
- ✓ Capitol Heating and Air, LLC, will provide service and maintenance on the listed equipment, providing Labor, filters, and belt changes on annual basis.
- ✓ We will advise you of any problems. Any required repairs will be quoted prior to making the repair, Unless other arrangements are requested by the customer.
- ✓ All service and maintenance work will be recorded on a maintenance ticket and attached to the system with a copy e-mailed to the maintenance department for your records and a copy kept by Capitol Heating and Air, LLC.
- ✓ All work to be completed in a professional manner by Capitol Heating and Air, LLC or an approved Contractor. Any repairs made by a third party contractor without prior approval will void this contract.
- ✓ Capitol Heating and Air, LLC will not be held liable for damage caused to the roof from technicians accessing rooftop mounted equipment while performing scheduled maintenance or service.
- ✓ Follow Maintenance and Service Procedures outlined in our Annual Contract, as quoted, with the list of equipment provided by UUT. Any additional equipment not listed will be billed as additional.
- ✓ Follow UUT Rules, Safety Procedures and Emergency Procedures.
- ✓ Follow chain of communication as laid out by UUT including filing for proper P.O. #.
- ✓ Provide Priority Service when requested (2-4 hour average response time when conditions allow)
- ✓ Resolution of Service Call in 24 hours from time call is placed.

- ✓ Definition of a "Priority Service/Service Call" would be: No A/C or Heat, Water Leak that is impossible to contain, and an Equipment malfunction/failure that would be detrimental to the safety and welfare of the Customer/Property.
- ✓ Weather conditions or scheduling conflicts may inhibit or delay response time to a Priority Service/Service Call. We will inform you of the delay if this is the case.
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- ✓ On larger repairs, equipment replacement and special bid projects exceeding \$7,500.00, a deposit of 50% would be needed up front, balance upon completion with the NET 30 day billing cycle.
- ✓ Capitol Heating and Air, LLC Pricing:
  - ✓ Flat Rate Base Repairs
  - ✓ Standard \$90.00 Diagnostic Charge, per PO#, per event to include first hour of site work and diagnostic work.
  - ✓ \$105.00 per hour Labor Rate per Mechanic and \$65.00 per hour Labor Rate per Apprentice.
  - ✓ This will be billed in 15 minute increments.
  - ✓ Any Weekend, Evening and Required Overtime Rate will be billed at 1-1/2 Time, Customer will be advised of this in advance.

*Robert Fischer*  
Authorized Company Signature  
Capitol Heating and Air, LLC

  
Customer Signature (DATE)



Annual Commercial Maintenance Agreement  
Spring 2024 Renewal  
Total Contract Price-\$1,095.00

Customer Name	Location of Equipment
Upper Uwchlan Township Road Dept	132 Oscar Way Chester Spring, PA 19425

Equipment Covered	Model Number	Serial Number
Coleman Gas Furnace	TG8S100C20MP11A	005008131394
Coleman AC unit	TCJD60S41S4A	W1C3602271
Reznor unit Heater shop	UDAP-100	RPF306203951
Reznor unit Heater shop	FE100	AUH65M7L57741
Reznor unit Heater shop	UDAP-100	BPF3062039531
Reznor unit Heater shop	RZUDAP10050000	BSL3062095470
(2) ReVerbAray tube heaters	HL3-30-100/65MBH	

Advantages of Annual Maintenance Agreement

- ✓ \$90 Service call during normal business hours. (Waived when Repairs are made)
- ✓ \$150 Emergency Service call during Off Hours.
- ✓ Priority service during normal and emergency service hours
- ✓ 10% discount on parts and labor for repairs
- ✓ Change filters quarterly
- ✓ Chemically clean coils as needed for proper air quality/operation
- ✓ Verify all proper electrical and mechanical operations.
- ✓ Automatic scheduling for appointments at your convenience
- ✓ Experienced, Factory Trained Technicians to protect and maintain your investment
- ✓ Inspection Guidelines to ensure consistent and quality service
- ✓ Annual Maintenance will be scheduled during Normal Business Hours

Terms and Conditions

- Payment for Annual Maintenance Agreement will be BILLED after Completion of Service.
- Repair charges necessary to correct defects or address safety issues will be sole responsibility of contract purchaser. Payment will be due at time of service.
- Repair Workmanship (Labor) is warranted for 30 days from repair. All parts are warranted for one year, unless otherwise specified by the manufacturer.
- Repairs for covered equipment are to be performed by Capitol Heating and Air, LLC or an approved contractor. Any third party repairs will void this contract and any unused portion will be refunded in an approved manner.
- Capitol Heating and Air, LLC will not be held liable for losses or defects arising from circumstances beyond our control such as vandalism, fire, flood, or other natural disasters.
- Capitol Heating and Air, LLC reserves the right, at our sole discretion, to cancel contract if at anytime we anticipate the obligations/expectations of this contract cannot be satisfied. No refund will be issued if routine service(s) has been performed.

Robert Fischer

Authorized Company Signature  
Capitol Heating and Air, LLC

Customer Signature (DATE)

3054 Main St., PO Box 738, Morgantown, PA 19543  
Capitolheatingandair@gmail.com

Phone: 610-273-3714  
License # PA 106330





## Annual Commercial Maintenance Agreement

SPRING 2024 Renewal

**Total Contract Price-\$1,550.00**

Customer Name	Location of Equipment
Upland Farms Park	301 Pottstown Pike Chester Springs, PA 19425

Equipment Covered	Model Number	Serial Number
(3) Daikin Heat Pump with Gas Furnace Back-up (1) Daikin – Greenheck Make-up air process system	PENDING COLLECTION	PENDING COLLECTION

### Advantages of Annual Maintenance Agreement

- ✓ \$90 Service call during normal business hours. (Waived when Repairs are made)
- ✓ \$150 Emergency Service call during Off Hours.
- ✓ Priority service during normal and emergency service hours
- ✓ 10% discount on parts and labor for repairs
- ✓ **Change filters at time of service**
- ✓ Chemically clean coils as needed for proper air quality/operation
- ✓ Verify all proper electrical and mechanical operations.
- ✓ Automatic scheduling for appointments at your convenience
- ✓ Experienced, Factory Trained Technicians to protect and maintain your investment
- ✓ Inspection Guidelines to ensure consistent and quality service
- ✓ Annual Maintenance will be scheduled during Normal Business Hours

### Terms and Conditions

- **Payment for Annual Maintenance Agreement is to be PREPAID.**
- ✓ This Maintenance Contract **DOES NOT** include or cover any parts, refrigerants, motors, Compressors or Major system components. This work is priced additional and above this Agreement
- ✓ Capitol Heating and Air, LLC, will provide service and maintenance on the listed equipment, providing Labor, filters, and belt changes on annual basis.
- ✓ We will advise you of any problems. Any required repairs will be quoted prior to making the repair, Unless other arrangements are requested by the customer.
- ✓ All service and maintenance work will be recorded on a maintenance ticket and attached to the system with a copy e-mailed to the maintenance department for your records and a copy kept by Capitol Heating and Air, LLC.
- ✓ All work to be completed in a professional manner by Capitol Heating and Air, LLC or an approved Contractor. Any repairs made by a third party contractor without prior approval will void this contract.
- ✓ Capitol Heating and Air, LLC will not be held liable for damage caused to the roof from technicians accessing rooftop mounted equipment while performing scheduled maintenance or service.
- ✓ Follow Maintenance and Service Procedures outlined in our Annual Contract, as quoted, with the list of equipment provided by UUT. Any additional equipment not listed will be billed as additional.
- ✓ Follow UUT Rules, Safety Procedures and Emergency Procedures.
- ✓ Follow chain of communication as laid out by UUT including filing for proper P.O. #.
- ✓ Provide Priority Service when requested (2-4 hour average response time when conditions allow)
- ✓ Resolution of Service Call in 24 hours from time call is placed.
- ✓ Definition of a "Priority Service/Service Call" would be: No A/C or Heat, Water Leak that is impossible to contain, and an Equipment malfunction/failure that would be detrimental to the safety and welfare of the Customer/Property.
- ✓ Weather conditions or scheduling conflicts may inhibit or delay response time to a Priority Service/Service Call. We will inform you of the delay if this is the case.
- ✓ Follow any "Not To Exceed" pricing schedules applied by UUT

- ✓ NET 30 Day billing cycle on Standard Repairs and Service Call charges accepted.
- ✓ On larger repairs, equipment replacement and special bid projects exceeding \$7,500.00, a deposit of 50% would be needed up front, balance upon completion with the NET 30 day billing cycle.
- ✓ Capitol Heating and Air, LLC Pricing:
- ✓ Flat Rate Base Repairs
- ✓ Standard \$90.00 Diagnostic Charge, per PO#, per event to include first hour of site work and diagnostic work.
- ✓ \$105.00 per hour Labor Rate per Mechanic and \$65.00 per hour Labor Rate per Apprentice.
- ✓ This will be billed in 15 minute increments.
- ✓ Any Weekend, Evening and Required Overtime Rate will be billed at 1-1/2 Time, Customer will be advised of this in advance.

Robert Fischer  
Authorized Company Signature  
Capitol Heating and Air, LLC

  
Customer Signature (DATE)



# UPPER UWCHLAN TOWNSHIP

## MEMORANDUM

### ADMINISTRATION

TO: BOARD OF SUPERVISORS  
FROM: Gwen Jonik, Township Secretary  
RE: Disposition of Township Property  
DATE: May 17, 2024

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The sale of the following (6) Public Works Department items via Municipibid, an electronic auction, was published in the *Daily Local News* May 3, 2024. The auctions will close Monday, May 20, 2024 between 10:30 - 11:45 a.m.

An updated memo will be provided to you Monday, May 20, 2024, for use at your meeting to accept the high bids and approve the sales.

#### Exmark 48" 15 HP Walk Behind Mower

Views: 808  
Bids: 27  
Current High Bid: \$360

#### 2013 F-250 Crew Cab Pickup Truck, 78,488 miles (VIN 1FT7X2B63DEA75968)

Views: 2338  
Bids: 90  
Current High Bid: \$15,100

#### Husqvarna FS250 Road Saw – 20" blade

Views: 640  
Bids: 19  
Current High Bid: \$360

#### Meyer Salt Spreader

Views: 311  
Bids: 0  
Current High Bid:

Frontier 3-Pt Seeder

Views: 769

Bids: 34

Current High Bid: \$3,800

2014 Scag Cheetah 61" zero-turn mower

Views: 995

Bids: 29

Current High Bid: \$1,480

UPPER UWCHLAN TOWNSHIP  
CHESTER COUNTY, PENNSYLVANIA

ORDINANCE \_\_\_\_\_ - \_\_\_\_\_

AN ORDINANCE OF THE TOWNSHIP OF UPPER UWCHLAN, CHESTER COUNTY, PENNSYLVANIA, AMENDING CHAPTER 200 OF THE UPPER UWCHLAN TOWNSHIP CODE TITLED "ZONING" TO ADD DEFINITIONS OF ATHLETIC CLUB, AUTOMOBILE SERVICE ESTABLISHMENT, CONTRACTOR'S ESTABLISHMENT, HOOKAH BAR/LOUNGE, MICROBREWERY, MINI WAREHOUSE/SELF STORAGE, MUNICIPAL USE, OFFICE BUILDING, PERSONAL SERVICE ESTABLISHMENT, AND PUBLIC PLACE OF AMUSEMENT OR RECREATION IN SECTION 200-7; TO AMEND THE DEFINITION OF EDUCATIONAL USE IN SECTION 200-7; TO AMEND THE DEFINITION OF RETAIL TRADE TO BE RETAIL STORE IN SECTION 200-7; ; TO AMEND THE USE REGULATIONS FOR THE C-1 VILLAGE DISTRICT IN SECTION 200-33; TO AMEND THE USE REGULATIONS FOR THE C-3 HIGHWAY COMMERCIAL DISTRICT IN SECTION 200-39; AND TO AMEND THE USE REGULATIONS FOR THE LI-LIMITED INDUSTRIAL DISTRICT IN SECTION 200-44.

**NOW THEREFORE, BE IT ENACTED AND ORDAINED** by the Board of Supervisors of Upper Uwchlan Township that Chapter 200 of the Upper Uwchlan Township Code, titled "Zoning", shall be amended as follows:

**SECTION 1.** The following definitions shall be added to Section 200-7, titled, "Definitions and word usage":

**ATHLETIC CLUB-** An enterprise operating as a business or club which charges an admission, entry or membership fee or combination thereof, whether owned by a public or private entity, which is open to the public and provides various athletic or health facilities for its members, including but not limited to the following: gymnasium, swimming pool, nautilus, weights and similar conditioning equipment, tennis, handball, racquetball and similar ball courts and similar athletic facilities which are used to promote fitness and good health.

**AUTOMOBILE SERVICE ESTABLISHMENT-** A facility for the repair, reconditioning and lubrication of motor vehicles and the replacement or installation of motor vehicle parts and accessories when conducted in a repair shop offering a full range of services including body and fender repair, collision repair service and spray painting.

**CONTRACTOR'S ESTABLISHMENT-** A commercial use which involves offices and/or the storage of supplies, equipment, machinery and materials for contractors and tradesmen

such as builders, masons, carpenters and landscapers. Such use does not include retail sales of products or materials.

**HOOKAH BAR/LOUNGE-** Any establishment that is dedicated, in whole or in part, to the smoking of a water pipe with a smoke chamber, a bowl, a pipe and a hose, commonly referred to as a "hookah."

**MICROBREWERY**-A facility where more than 250 barrels and less than 15,000 barrels of malt or brewed beverages are produced on-premises on an annual basis and then sold or distributed for off-premises consumption, which is not a restaurant use. A microbrewery must be licensed by the Pennsylvania Liquor Control Board or any successor agency of the Commonwealth.

**MINI WAREHOUSE-SELF STORAGE**- A building or group of buildings that are divided into individual units, each of which unit is available for rent or lease to the public for the self-storage of tangible personal property. Outdoor storage is only permitted in designated locations on the property if approved in the land development plan for such use.

**MUNICIPAL USE**- Any use conducted by Upper Uwchlan Township, an agency of Upper Uwchlan Township or any authority created by Upper Uwchlan Township for administrative buildings, equipment or material storage, public park or recreational areas, public sewage treatment and/or water supply collection, treatment, storage and/or distribution facilities, stormwater management facilities, public parking garages and lots, public libraries or any similar use owned and operated by Upper Uwchlan Township, an agency of the Township or any authority created by the Upper Township. The definition of "municipal use" expressly excludes any use by any governmental agency or authority other than those of Upper Uwchlan Township.

**OFFICE BUILDING**- A building used primarily for business services, medical services, professional and personal services, financial services, government functions or for administrative, managerial or clerical functions.

**PERSONAL SERVICE ESTABLISHMENT**-An establishment that offers a type of service oriented to personal needs of members of the general public, but not one involving either a professional service or the retail or wholesale sales of products. Personal services include but are not limited to a barber, hairdresser, beautician, photographer, tailor, cleaning and pressing establishment, laundromat, shoe repair, household appliance repair, locksmith, massage therapy, pet groomer and similar services.

**PUBLIC PLACE OF AMUSEMENT OR RECREATION**-Any facility providing recreation and/or amusement to the general public and which may or may not charge an admission or use fee. A public place of amusement or recreation includes, but is not limited to, movie theaters, live theaters, dinner theaters, concert halls, arcades, bowling alleys, amusement parks, fairgrounds, hockey rinks, roller- or ice-skating rinks, moon bounce facilities, batting cages, public golf courses, driving ranges, miniature golf courses, chip-and-putt golf courses, tennis courts, paddle tennis courts, squash courts, handball courts, facilities providing table games, such as billiards, pool and table tennis or any facility of the same general character.

**SECTION 2.** The definition of “Educational use” in Section 200-7 titled, “Definitions and word usage”, shall be revised as follows:

**“EDUCATIONAL USE-** Land or buildings used for the establishment and maintenance of a public or private secondary or elementary school or other educational institution which is used for the primary purpose of instruction and learning. The term shall exclude driver training schools, heavy equipment training, riding schools and day-care centers.”

**SECTION 3.** The definition of “Retail Trade” in Section 200-7 titled, “Definitions and word usage”, shall be revised to be “Retail Store.”

**SECTION 4.** The definitions of “Recreation, Active” and “Recreation, Passive” in Section 200-7 titled, “Definitions and word usage”, shall be revised as follows:

**RECREATION, ACTIVE-** Leisure activities which are usually performed with others, often require equipment and which take place at prescribed places that require physical alteration to the land area in which they are performed. The term “active recreation” includes but is not limited to swimming pools, tennis courts, baseball and other field sports, golf and playgrounds.

**RECREATION, PASSIVE-** Recreational pursuits that generally do not require a developed site and which can be carried out with little alteration or disruption to the area in which they are performed. Such uses include, but are not limited to, hiking, biking and picnicking. The use of a paved path or trail for walking or biking shall be considered passive recreation.

**SECTION 5.** The definition of “Dwelling unit” shall be revised as follows:

**“DWELLING UNIT-** One or more rooms in a building, designed for occupancy by one family for living purposes and having its own permanently installed cooking and sanitary facilities, with no enclosed space (other than vestibules, entrances or other hallways or porches) in common with any other dwelling unit.”

**SECTION 6.** Section 200-32, titled, “Purpose” for the C-1 Village District shall be amended as follows:

**“§ 200-32. Purpose .**

The regulations for the C-1 Village District are intended to preserve the historical development patterns of the villages of Eagle and Byers Station Historic District, and establish standards for development and coordinated street, parking, landscape improvements and pedestrian amenities, so as to complement the village setting and provide for safe and convenient access. They are also intended to provide for a variety of uses in a manner which facilitates and promotes pedestrian travel within the village setting.

**SECTION 7.** Section 200-33, titled “Use Regulations” for the C-1 Village District shall be amended as follows:

**“§ 200-33. Use regulations.**

- A. Uses by right. In the C-1 Village District, a building may be erected, altered or used, and a lot may be used or occupied by right, for the following principal purposes, and no other:
  - (1) Office building.
  - (2) Bank or other financial institution.
  - (3) Retail store, provided that no adult-oriented use and no dispensing of gasoline shall be permitted.
  - (4) Personal service establishment
  - (5) Medical marijuana dispensary.
  - (6) Restaurant, drive-through restaurant, but excluding hookah bar/lounge.
  - (7) Bed and breakfast inn.
  - (8) Cultural studio.
  - (9) Municipal uses.
  - (10) Public place of amusement or recreation and athletic club in a building or buildings with 10,000 square feet or less.
  - (11) Passive recreation.
- B. Conditional uses. In the C-1 Village District, a building may be erected, altered or used, and a lot may be used or occupied, for any of the following principal purposes when authorized as a conditional use by the Board of Supervisors, subject to § 200-116 of this chapter. Conditional use approval in the C-1 Village District shall require full compliance with all applicable design standards set forth in § 200-36, except where as a specific condition of approval, the Board provides for modification to such standards upon satisfactory demonstration by the applicant that full compliance is not practicable, based upon a preponderance of evidence.
  - (1) Educational or religious use.
  - (2) Cultural facility.
  - (3) Day-care center.
  - (4) Mixed-use dwelling.

- (5) Adaptive reuse for historic preservation where permitted as a use subject to approval by the Board of Supervisors as a conditional use in accordance with § 200-72.1.
- (6) Active recreation.

C. Special exceptions. In the C-1 Village District, a building may be erected, altered or used, and a lot may be used or occupied for any of the following principal uses when authorized as a special exception by the Zoning Hearing Board, subject to Article XX of this chapter.

- (1) Governmental or public utility building or uses.

D. Accessory uses. In the C-1 Village District, a building may be erected, altered or used, and a lot may be used or occupied for any customary commercial accessory use, subject to all applicable provisions of § 200-62.

**SECTION 8.** Section 200-39, titled, “Use regulations” for the C-3 Highway Commercial District shall be amended as follows:

**“§ 200-39. Use regulations.**

On any lot or tract in the C-3 Highway Commercial District with direct frontage on Route 100 (Pottstown Pike) and located north of Ticonderoga Boulevard and south of Byers Road, the use regulations set forth in § 200-33 for the C-1 Village District shall apply. On all other lots or tracts in the C-3 Highway Commercial District, the following regulations shall apply:

A. Uses by right. In the C-3 Highway Commercial District, a building may be erected, altered or used, and a lot may be used or occupied by right, for anyone, but only one, of the following principal purposes, and no other:

- (1) Office building.
- (2) Bank or other financial institution.
- (3) Passenger station for public transportation.
- (4) Retail store, provided that no sale or dispensing of gasoline or other fuels and no adult-oriented use shall be permitted.
- (5) Restaurant, drive-through restaurant.
- (6) Personal service establishment.
- (7) Educational or religious use.

- (8) Cultural studio or cultural facility.
- (9) Medical marijuana dispensary.
- (10) Passive recreation.
- (11) Active recreation.

B. Conditional uses. In the C-3 Highway Commercial District, a building may be erected, altered or used, and a lot may be used or occupied, for any one of the following principal purposes when authorized as a conditional use by the Board of Supervisors, subject to § 200-116 of this chapter. At the reasonable discretion of the Board of Supervisors, conditional uses in the C-3 Highway Commercial District may be approved subject to compliance with any applicable design standard(s) set forth in § 200-36.

- (1) Any two or more principal uses otherwise permitted by right, conditional use, or special exception as provided herein. As a condition of conditional use approval, the Board of Supervisors may require that any application for a combination of two or more principal uses comply with the provisions of § 200-70 of this chapter, as deemed applicable by the Board.
- (2) Day-care center.
- (3) Hotel or motel.
- (4) Bed-and-breakfast inn.
- (5) Public place of amusement or recreation provided such use is exclusively indoors.
- (6) Sale or dispensing of gasoline as a principal or accessory use.
- (7) Vehicular sales establishment and sale of farming equipment.
- (8) Automobile service establishment.
- (9) Car wash.
- (10) Adaptive reuse for historic preservation where permitted as a use subject to approval by the Board of Supervisors as a conditional use in accordance with Section 200-72.1.
- (11) Laboratory for scientific research and development.
- (12) Hookah bar/lounge.

C. Special exceptions. In the C-3 Highway Commercial District, a building may be erected, altered or used, and a lot may be used or occupied for any one of the

following principal uses when authorized as a special exception by the Zoning Hearing Board, subject to Article XX of this chapter:

- (1) Municipal or public uses; governmental or public utility building or uses.
- D. Accessory uses. In the C-3 Highway Commercial District, a building may be erected, altered or used, and a lot may be used or occupied for any customary commercial accessory use(s) provided that they are incidental to any permitted principal use.

**SECTION 9.** Section 200-43, titled, "Purpose" for the LI-Limited Industrial District shall be amended as follows:

**"§ 200-43. Purpose.** It is the intent of the LI District, as outlined by the Upper Uwchlan Township Comprehensive Plan, to provide for limited industrial and other related intensive activities in the Township, to encourage the establishment of industrial uses which will offer additional employment opportunities to establish reasonable standards governing industrial development to ensure its compatibility with the character of the area and adjacent land uses, and to locate industrial uses within close proximity to major roads in order to provide safe and efficient access by industrial-related traffic."

**SECTION 10.** Section 200-44, titled, "Use regulations" for the LI-Limited Industrial District shall be amended as follows:

**§ 200-44. Use regulations.** A building may be erected, altered or used, and a lot may be used or occupied, for any of the following purposes, and no other:

A. Uses by right.

- (1) Assembly and manufacture of light industrial products.
- (2) Medical marijuana grower/processor.
- (3) Research, engineering, or testing laboratories.
- (4) Public utility operating facilities.
- (5) Printing or publishing establishment.
- (6) Office building.
- (7) Wholesale sales, storage and distribution in a building or buildings of 20,000 square feet or less.
- (8) Religious uses.
- (9) Public place of amusement or recreation and athletic club in a building of 10,000 square feet or less.

- (10) Mini-warehouse/self storage facility.
- (11) Contractor's establishment.
- (12) Passive recreation.
- (13) Active recreation.

B. Conditional uses. Any one of the following uses when authorized as a conditional use by the Board of Supervisors, subject to § 200-116 of this chapter:

- (1) Surface mining operations.
- (2) Sanitary landfills.
- (3) Junkyard.
- (4) Recycling collection center, excluding processing or transfer station.
- (5) Automobile service establishment.
- (6) Public place of amusement or recreation and athletic club in a building or buildings larger than 10,000 square feet.
- (7) Tower-based wireless communication facilities.
- (8) Adult-oriented use, where located not less than 500 feet from any similar use and from any residence, church, or public or private school or day-care facility.
- (9) Municipal or public uses; governmental or public utility building or uses.
- (10) Wholesale sales, storage and distribution in a building or buildings larger than 20,000 square feet or less.
- (11) Microbrewery.
- (12) The following additional uses shall be permitted when established on a property designated by the Township as a Historic Resource on the Historic Resource Inventory, where historical building(s) shall be adaptively re-used:
  - (a) Restaurants.
  - (b) Retail sales.

C. Special exception. Any one of the following uses when authorized as a special exception by the Zoning Hearing Board, subject to Article XX of this chapter:

- (1) Any use similar to the above permitted uses not specifically provided for herein, provided that the use meets the performance requirements of § 200-82 of this chapter.
- D. Accessory uses. The following accessory uses shall be permitted provided that they are incidental to any of the foregoing permitted uses:
  - (1) Customary industrial accessory uses.
  - (2) A helicopter landing pad as an accessory use to any of the uses permitted by right, by conditional use or by special exception, when such accessory use is authorized by conditional use procedure and providing that any such accessory use shall comply with the following:
    - (a) No helicopter shall take off or land over areas zoned other than Limited Industrial.
    - (b) No helicopter landing pad shall be located within 1,000 feet of any area zoned other than Limited Industrial.
    - (c) There shall be a minimum front yard setback of 300 feet for any helicopter landing pad.
    - (d) There shall be a minimum side and rear yard setback of 200 feet for any helicopter landing pad.
    - (e) The owner and operator of the facility shall enter into an agreement with the Township with respect to the following: fixing the flight for helicopter taking off and/or landing patterns.
    - (f) All helicopter flights shall comply with FAR 91.119, pertaining to minimum safe altitude.

**SECTION 10.** Section 200-63, titled, “Conversion of dwellings” shall be deleted and the section number reserved.

**SECTION 11.** Section 200-88.C shall be amended as follows:

“All swimming pools, excluding portable or aboveground pools less than three feet in depth, shall be completely enclosed by a contiguous fence no less than four feet in height that completely surrounds the pool, which serves as a restricted barrier against trespass. All swimming pool fences shall adhere to applicable Building Code regulations and shall be maintained in good condition. A dwelling, accessory building, or other structure allowed by this chapter may be used as part of such enclosure. All gates and doors opening through any swimming pool enclosure shall be equipped with a self-closing and self-latching device for keeping such gate or door securely closed and latched at all times when not in use.”

**SECTION 12. Severability.** If any sentence, clause, section, or part of this Ordinance is for any reason found to be unconstitutional, illegal, or invalid, such unconstitutionality, illegality or invalidity shall not affect or impair any of the remaining provisions, sentences, clauses,

sections, or parts hereof. It is hereby declared as the intent of the Board of Supervisors that this Ordinance would have been adopted had such unconstitutional, illegal, or invalid sentence, clause, section, or part thereof not been included herein.

**SECTION 13. Repealer.** All ordinances or parts of ordinances conflicting with any provision of this Ordinance are hereby repealed insofar as the same affects this Ordinance.

**SECTION 14. Effective Date.** This Ordinance shall become effective five (5) days following the enactment as by law provided.

**ENACTED AND ORDAINED** this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

**ATTEST:**

**UPPER UWCHLAN TOWNSHIP  
BOARD OF SUPERVISORS**

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Gwen A. Jonik, Secretary

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Jennifer F. Baxter, Chair

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Andrew P. Durkin, Vice-Chair

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Sandra M. D'Amico, Member