



UPPER UWCHLAN TOWNSHIP
BOARD OF SUPERVISORS MEETING
AGENDA
APRIL 22, 2024

7:00 p.m.

LOCATION: Township Building, 140 Pottstown Pike, Chester Springs PA 19425

Packet Page #

I. CALL TO ORDER	
A. Salute to the Flag	
B. Moment of Silence	
C. Inquire If Any Attendee Plans to Audio or Video Record the Meeting	
II. APPROVAL OF MINUTES:	
March 12, 2024 Board of Supervisors Workshop	3
March 18, 2024 Board of Supervisors Meeting	5
III. APPROVAL OF PAYMENTS	9
IV. TREASURER'S REPORT	44
V. SUPERVISORS' REPORT	
A. Chester County Library Updates ~ Pam Shauger	
B. Police Liaison Report	
C. Calendar:	
April 24, 2024 7:00 p.m. Zoning Hearing re: Keystone Outdoor Advertising Application	
May 12, 2024 4:30-7:30 p.m. Live Music Summer Concert #1 at Upland Farm Park	
May 14, 2024 4:00 p.m. Board of Supervisors Workshop	
May 14, 2024 5:30 p.m. Conditional Use Hearing re: Rockhill Real Estate Enterprises ~	
500 Pottstown Pike	
May 20, 2024 7:00 p.m. Board of Supervisors Meeting	
May 22, 2024 6:00 p.m. Barns of Northern Chester County ~ Lecture at the Barn at Upland Farm	
May 27, 2024 Office closed ~ Memorial Day	
Yard Waste Collection Dates: April 24, May 1, 8, 15, 22	
Do not use plastic bags as these materials are composted. Place materials curbside the night before to guarantee collection.	
VI. ADMINISTRATION REPORTS	
A. Township Engineer's Report	77
B. Building and Codes Department Report	81
C. Police Chief's Report	--
D. Public Works Department Report	83

VII. LAND DEVELOPMENT	Packet Page #
A. Turnpike Commission ~ Wertz Farm Subdivision Plan – consider approval	85
B. Eagle Animal Hospital Preliminary Land Development Plan - consider approval	103
C. Preserve at Marsh Creek Phase 3 Escrow Release 1 - \$60,877.25 – consider approval	127

VIII. ADMINISTRATION	
A. Transportation and Community Development Initiative (TCDI) Grant ~ Resolution	134
B. Proposal to Increase Solid Waste Fee ~ Discussion	---

IX. OPEN SESSION

X. ADJOURNMENT



Upper Uwchlan Township
Board of Supervisors Workshop
March 12, 2024
4:00 p.m.
Minutes
DRAFT

Attendees:

Jenn Baxter, Chair
Andy Durkin, Vice-Chair
Sandy D'Amico, Member

Kristin Camp, Esq., Township Solicitor

Neil Phillips, Chair, Environmental
Advisory Council (EAC)

Tony Scheivert, Township Manager
Lindsay Yeager, Assistant Township Manager
Gwen Jonik, Township Secretary
Rhys Lloyd, Codes Enforcement Officer
Anthony Campbell, Zoning Officer
Tom Jones, Police Chief
Joe Carr, Police Lieutenant
Mike Esterlis, Public Works Director
Kristin Roth, Public Works Administrative Assistant

The Workshop was held at the Township Building, 140 Pottstown Pike, Chester Springs PA 19425.

Jenn Baxter called the Workshop to order at 4:00 p.m., led the Pledge of Allegiance, and offered a moment of silence. No one planned to record the Workshop. There were 6 citizens in attendance.

Environmental Advisory Council (EAC) ~ Update

Neil Phillips, Chair, advised that the EAC has a busy spring lined up: litter cleanup scheduled for March 23 on Route 100 from the Lexus dealership to the Turnpike. This is the 3rd attempt for this project. April 6 is the next e-waste and shredding event at the Public Works facility. April 20 is Earth Day celebration, with 18 vendors, food, music, at the Barn at Upland Farm. The EAC gave away daffodil bulbs at October's Trunk or Treat.

Today's visit relates to the draft plastic bag ban ordinance, and other single-use plastics such as take-out containers, utensils. They have plenty of information but request the Board look at the draft ordinance and provide input. Tony Scheivert suggested perhaps establishments should charge for paper bags to encourage folks to bring their reusable bags instead. This will be mentioned at the Business Breakfast March 21; it could be publicized for effective date January 1, 2025. They'd like to know how to keep people from putting their recycling into clear plastic bags in their recycling totes and those who keep plastic bottle caps on the bottles. We should put proper recycling information in emails to the Homeowners Associations (HOAs) and on our utility bills and everywhere else that is prominent. Request the Board provide input to the EAC by the beginning of April for discussion at their April meeting. The EAC has distributed 1,000 of their green reusable bags. And they're impressed with the 2 junior members who have lots of great energy.

Solid Waste and Recycling Contract ~ Bid Results

The current solid waste and recycling collection contracts end July 31, 2024. We have exercised the (2) 1-year extensions. The new collection contract period is August 1, 2024 – July 31, 2027. There were 4 bidders: A.J. Blosenski, Inc., Waste Management, Inc., J.P. Mascaro & Sons, Whitetail Disposal, Inc. The apparent low bidder is A.J. Blosenski, Inc. at \$3,142,254.38 for the 3-year

contract for trash and recycling. Waste Management's bid was \$3,900,150.00; J.P. Mascaro's was \$4,942,296.00; Whitetail's was \$4,616,369.72.

The Township plans to approve the contract at the March 18, 2024 meeting. Kristin Camp is reviewing the bid documents to make sure all is in order.

Don Isabella, of Waste Management, noted the cost per home per month for trash is very close, not quite as close for recycling, but he thinks they should be awarded the whole contract or at least the trash collection because their level of service was better.

Jim Clark, of A.J. Blozenski, noted they had some service issues and have taken steps to resolve them, they far exceed the competition with safety measures (less crashes and damages, etc.), service is improving, and they'll have no problem servicing Upper Uwchlan.

Jenn Baxter advised that we knew the new contract would have increased costs and we budgeted very conservatively, however, we may have to increase our fee - it's under investigation. Kristin Roth commended Jim Clark for his assistance during the collection issues.

There were no further questions or comments from the Board or Staff. Resident Gerry Stein asked about safety.

Transportation Alternatives Set-Aside (TASA) Program Grant Award

Tony Scheivert advised that Bowman (formerly McMahon Associates) has reduced their proposal for engineering the "Route 100 Pedestrian Path", the trail connection from Reserve Drive to Upland Farm Park. Task 1, the topographic survey, was approved at the February Board of Supervisors meeting. Task 2, preliminary engineering, was reduced by \$8,000. Task 3 environmental studies and clearance; Task 4 environmental permitting; Task 5 subsurface utility engineering; Task 6 PennDOT project delivery. This project will be done in phases. Using ARPA fund, half the costs are in this year's budget and the other half in 2025. The proposal totals \$440,396.00. The Board was requested to approve moving forward with Tasks 2-6. Andy Durkin moved, seconded by Sandy D'Amico, to approve the Bowman proposal Tasks 2-6 for engineering services. The motion carried unanimously.

Open Session

Tony Scheivert announced the March 18, 2024 Supervisors meeting will be held at the Barn at Upland Farm, 7:00 p.m. Sandy D'Amico will be unable to attend.

Don Isabella, of Waste Management, made comment about our trash/recycling collection contract situation being similar to E. Fallowfield Township's.

Adjournment

There being no further business to be brought before the Board, Jenn Baxter adjourned the Workshop at 4:35 p.m.

Respectfully submitted,

Gwen A. Jonik
Township Secretary



TOWNSHIP OF UPPER UWCHLAN
BOARD OF SUPERVISORS MEETING

March 18, 2024

7:00 p.m.

DRAFT

Attending:

Board of Supervisors

Jennifer F. Baxter, Chair

Andrew P. Durkin, Vice-Chair

Township Administration

Tony Scheivert, Township Manager

Lindsay Yeager, Assistant Township Manager

Gwen Jonik, Township Secretary

Jill Bukata, Township Treasurer

Rhys Lloyd, Director of Code Enforcement

Anthony Campbell, Zoning Officer

Mike Esterlis, Director of Public Works

Kristin Roth, Public Works Administrative Assistant

Kristin Camp, Esq., Township Solicitor

Tom Jones, Police Chief

Joe Carr, Police Lieutenant

Jami Martin, Police Administrative Assistant

Dave Leh, Township Engineer

LOCATION: The Barn at Upland Farm, 301 Pottstown Pike, Chester Springs, PA 19425

Mrs. Baxter called the evening to order at 7:00 p.m., led the Pledge of Allegiance, and offered a moment of silence. No one planned to record the meeting.

Police Department ~ Years of Service Recognitions, Life Saving Awards

Mrs. Baxter was honored and pleased to recognize our Police Officers as follows. Chief Jones appreciated all who came out this evening to support the Officers.

Life Saving Award. Corporal Adam Pozza and Officer Alec Fleming were dispatched to an unconscious person on Pennsylvania Drive, a cardiac arrest. The Officers initiated CPR and administered AED until emergency medical personnel arrived, and the man's heart was beating before leaving in the ambulance.

Mrs. Baxter and Mr. Durkin presented Corporal Pozza and Officer Fleming with Life Saving Award plaques. Mr. and Mrs. Kansu presented them with their Life Saving Commendation Uniform Bars, and both read statements of thanks to the Officers.

Also responding to the call were Fire Chief Mike Esterlis, Deputy Chief Mike Lamb, paramedics, EMTs, Detective-Corporal Gathercole, Detective Stiteler and Lieutenant Carr. Chief Jones was honored that they were attending tonight and thanked the team of responders.

Years of Service Awards. Chief Jones announced the following Officers' years of service and a brief history of their accomplishments with the Department. Mrs. Baxter and Mr. Durkin presented them with plaques.

Corporal Rob Paradis, 15 years of service; Officer Bob Davis, 25 years of service;
Corporal Paul Kemme, 25 years of service; Corporal Kyle Sherman, 25 years of service;
Lieutenant Joe Carr, 25 years of service.

Mrs. Baxter called a 5-minute recess before beginning the business meeting.

Mrs. Baxter reconvened the meeting at 7:25 p.m.

Approval of Minutes

Mr. Durkin moved, seconded by Mrs. Baxter, to approve as presented the minutes of the February 20, 2024 Board of Supervisors Meeting. The motion carried unanimously.

Approval of Payments

Mr. Durkin moved, seconded by Mrs. Baxter, to approve the payments to all vendors listed March 14, 2024. The motion carried unanimously.

Treasurer's Report

Jill Bukata reported a strong balance sheet; we're 16.7% through the year; year-to-date revenues are at 16% of the budget; year-to-date expenses are at 12.8% of the budget

Mrs. Bukata advised that a \$450,000 transfer from the General Fund to the Capital Fund was included in the budget and she requests authorization to do so to cover planned expenditures over the next few months. Mr. Durkin moved, seconded by Mrs. Baxter, to authorize the transfer of \$450,000 from the General Fund to the Capital Fund. The motion carried unanimously.

Supervisor's Report

There was no police liaison report.

Mrs. Baxter read the following calendar: March 23, 2024 8:00-10:00 Litter clean up ~ meet at Upland Farm Park; March 23, 2024 11:00 a.m. Annual Easter egg hunt at Hickory Park; March 29, 2024 Office closed ~ Good Friday; April 6, 2024 9:00 a.m.-Noon E-waste drop off / shredding event at Public Works, 132 Oscar Way; April 9, 2024 4:00 p.m. Joint Boards & Commissions Workshop; April 9, 2024 5:30 p.m. Conditional Use Hearing re: 241 Park Road ~ Ducklings Daycare; April 14-17, 2024 Pennsylvania State Association of Township Supervisors (PSATS) Annual Educational Conference in Hershey; April 20, 2024 11:00-2:00 Earth Day Celebration at Upland Farm Park; April 22, 2024 7:00 p.m. Board of Supervisors Meeting; yard waste collection dates: March 20 April 3, 10, 17.

ADMINISTRATION REPORTS

Township Engineer's Report

Dave Leh reported revised land development plans for 241 Park Road are being reviewed by the consultants; a conditional use application has been received for 500 Pottstown Pike for a Porsche service center; met with DEP for a NPDES permit for stormwater related to the Hickory Park improvement project.

Mrs. Baxter asked if the stormwater issues at Hickory Park will impact the design of the improvements. Mr. Leh noted they'll be underground so probably not.

Building and Codes Department Report

Rhys Lloyd reported 53 building permits were issued, totaling \$29,120 in permit fees; he and Anthony Campbell conducted 171 scheduled inspections; there were 4 resales; 15 zoning complaints, and 10 new homes settled.

Vince McVeigh, Marsh Harbour resident, thanked Rhys for his work with the new railing installations in Marsh Harbour.

Police Chief's Report

Chief Jones reported the Department received 1,065 calls; Junior Police Academy registration will open April 8. It runs June 24-28, 2024; the monthly safety tip is to watch out for kids in the neighborhoods, balls entering the road, etc., now that the weather is nice.

Records Management System Agreement. Kristin Camp, Esq., reported that several municipalities in the County are switching from MetroAlert as the system is no longer supported. MetroAlert was sold to a company known as CentralSquare Technologies. CentralSquare is discontinuing the use of the MetroAlert software and replacing it with a new record management software known as CentralSquare Software Solutions. After investigating other systems, a consortium of six police departments -- West Goshen Township, Birmingham Township, North Coventry Township, Easttown Township, Downingtown Borough and Upper Uwchlan -- would like to enter an intergovernmental agreement, reducing the costs to each department. Data can be transferred from MetroAlert. West Goshen will be the location for the host server. To join an intergovernmental agreement, a Resolution must be adopted by each municipality entering the master agreement.

Mr. Durkin moved, seconded by Mrs. Baxter, to adopt **Resolution #03-18-24-04**, which authorizes the Township to enter into an Intergovernmental Cooperation Agreement with the aforementioned Police Departments for the purchase and use of CentralSquare Technologies, LLC's software products. The motion carried unanimously.

Public Works Department Report

Mike Esterlis reported the Department received and completed 116 workorders, responded to 2 snow/ice events in February, finished painting all the rooms at the Barn, the new full-time employee Dan Mellinger started; installed new bathroom fixtures in the Upland Farm farmhouse, and painting is complete as well; moved Historical Commission's items from the storage unit to the farmhouse; started street sweeping today, which could take 4-6 weeks, weather permitting; looking for seasonal mowing help.

Keystone Outdoor Advertising Zoning Hearing Application ~ Presentation

Kristin Camp, Esq., stated the application is before the Zoning Hearing Board. The Board of Supervisors is listening to the presentation to decide if they want to take a position of neutrality, opposition, or support. The Zoning Hearing is scheduled for April 24, 2024, 7:00 p.m.

Vincent Mancini, Esq., Keystone Outdoor Advertising President, Dominick Cipollini, Vice-President, Joseph Felici and Michael Tantala, P.E. attended.

Mr. Mancini provided a brief explanation of the project: entered into a lease with Eaglepointe Associates, proposing 2 locations for billboards along the Turnpike frontage of the 26-acre property. Each billboard will be double faced, with 1 side static and the other digital. Requesting 3 variances: from the maximum height of the billboard -- 59' instead of 30'; uplighting the static side with directed LED instead of casting down from the top; and illumination cut off at night -- seeking low level illumination on the static sign from 10 PM -- 6 AM. The digital side will automatically dim at night. Michael Tantala provided greater details about why those locations were chosen, visibility of the billboards, and why the variances are requested.

Mr. Durkin questioned the visibility of the billboards, daytime or nighttime, from several vantage points in the Township. Mr. Tantala said they would not be visible due to the way the billboards are 'spread'.

Following brief discussion, Mr. Durkin moved to engage special Counsel to represent the Board of Supervisors in opposition of the application. Mrs. Baxter seconded, and the motion carried unanimously.

Ms. Camp advise that the Board will request Party Status. The public and residents can also become a Party, which provides them the opportunity to cross examine the Applicant's witnesses and present their own witnesses if desired. The Zoning Hearing Board decides if they are granted Party Status.

Administration

Solid Waste and Recycling Collection Contract Award(s).

Four bids were received for the solid waste and recycling collection bid. The new collection contract period is August 1, 2024 – July 31, 2027 for once per week collection of trash (1 toter), recycling, once per month bulk trash, 24 yard waste collections each year, provision of and once per week collection from dumpsters at Township facilities. The low bidder is A.J. Blosenski, Inc. at \$3,142,254.38 for the 3-year contract; Waste Management's bid was \$3,900,150.00; J.P. Mascaro's bid was \$4,942,296.00; Whitetail's bid was \$4,616,369.72.

The results were reviewed, and our Solicitor consulted. It is recommended that A.J. Blosenski be awarded the single contract for both solid waste and recycling collection.

Mr. Durkin moved, seconded by Mrs. Baxter, to adopt **Resolution #03-18-24-05** awarding the solid waste and recycling collection contract for the 3-year period August 1, 2024 to July 31, 2027, to A.J. Blosenski, Inc. at \$3,142,254.38. Discussion included that a rate change would be necessary as it's been 5 years since the current contract was awarded, and that the Public Works Department took their time with due diligence crafting the bid specifications. The motion to adopt **Resolution #03-18-24-05** carried unanimously.

Open Session

Gerry Stein thanked Mike Esterlis and the Public Works staff for moving the Historical Commission's fireproof cabinets from the Upland Farm Barn to the farmhouse. It was quite a feat – the cabinets are extremely heavy.

John Eblacker thanked Mike Esterlis and the Public Works staff for set-up for the Milford Mills Lecture.

David Lipow commented on the Porsche Service Center application. Kristin Camp explained the conditional use approval procedure and encouraged attendance at the April 11 Planning Commission meeting when the consultants' reviews will be discussed.

Steve Egnaczyk asked how outside counsel will know how the Board of Supervisors feels about the billboard. Tony Scheivert will advise the Solicitor of the Board's thoughts.

Gerry Stein made comment that the Porsche representatives said they'd put the service center further back from the road, toward the back of the property, and asked about a traffic signal at Font Road and Route 100.

Scott Johnson of JTech thanked the Board, Tony Scheivert, Rhys Lloyd and Anthony Campbell for the help they gave Eagle Animal Hospital getting resituated after the fire. The Board thanked Scott for helping the veterinarians have a temporary place of operation.

Adjournment

There being no further business to be brought before the Board, Mrs. Baxter adjourned the Meeting at 8:44 p.m.

Respectfully submitted,

Gwen A. Jonik
Township Secretary

April 18, 2024
12:21 PM

Upper Uwchlan Township
Check Register By Check Id

Page No: 1

Range of Checking Accts: GENERAL to GENERAL Range of Check Ids:
Report Type: All Checks Report Format: Super Condensed Check Type: Computer: Y Manual: Y Dir Deposit: Y

Check #	Check Date	Vendor	Amount Paid	Reconciled/Void	Ref Num
03/18/24		JBPETTYC JILL BUKATA	226.58	03/31/24	3119
03/18/24		ECKERTSE ECKERT SEAMANS	265.50	03/31/24	3120
03/19/24		UPPER010 UPPER UWCHLAN CAPITAL ACQUISIT	350,000.00	03/31/24	3121
03/19/24		DUVALLBU DUVALL BUS SERVICE LLC	400.00		3122
04/06/24		PROSHRED PROSHRED SECURITY	600.00		3125
04/01/24		STANDINS STANDARD INSURANCE COMPANY	3,784.40	04/01/24 VOID	3126 (Reason: wrong bank account)
04/10/24		BETTEBOU BETTE'S BOUNCES, LLC	3,317.45		3134
04/22/24		108EMERG 10-8 EMERGENCY VEHICLE SERVICE	797.57		3141
04/22/24		21ST 21st CENTURY MEDIA PHILLY	716.52		3141
04/22/24		A1SECURI A1 ADVANCED LOCK AND SECURITY	34.50		3141
04/22/24		AQUAP010 AQUA PA	1,191.48		3141
04/22/24		ATTMOBIL AT&T MOBILITY	687.15		3141
04/22/24		BARBA010 BARBACANE THORNTON & COMPANY	6,900.00		3141
04/22/24		BENJROB BENJAMIN ROBERTS, LTD	839.36		3141
04/22/24		BESTL140 BEST LINE EQUIPMENT	401.03		3141
04/22/24		BRANDSPC BRANDYWINE VALLEY SPCA	200.00		3141
04/22/24		BUCKL010 BUCKLEY, BRION, MCGUIRE, MORRI	1,320.50		3141
04/22/24		BUCKL010 BUCKLEY, BRION, MCGUIRE, MORRI	43.00		3141
04/22/24		BURKHOLD BURKHOLDER MFG, INC.	493.55		3141
04/22/24		CAMPBANT ANTHONY CAMPBELL	221.11		3141
04/22/24		CAPJUNK CAPTAIN JUNK	1,590.00		3141
04/22/24		CHARLHIG CHARLES A HIGGINS & SONS	245.00		3141
04/22/24		COMCA010 COMCAST	1,410.44		3141
04/22/24		CRESTLIN CRESTLINE SPECIALTIES, INC	2,519.92		3141
04/22/24		CRYST010 CRYSTAL SPRINGS	65.02		3141
04/22/24		DELA030 DELAWARE VALLEY HEALTH TRUST	59,389.61		3141
04/22/24		DELTRUST DELAWARE VALLEY PROP&LIA TRST	38,441.55		3141
04/22/24		DVWCT DELAWARE VALLEY WORKERS COMP	18,818.75		3141
04/22/24		EAGLE080 EAGLE POINT/GUN/T J MORRIS & S	2,675.65		3141
04/22/24		EAGLE130 EAGLE TERMITE & PEST CONTROL	95.00		3141
04/22/24		EAGLEPOW EAGLE POWER TURF AND TRACTOR	465.27		3141
04/22/24		EAGLHARD EAGLE HARDWARE	287.57		3141
04/22/24		EDRINKER EMILY DRINKER	500.00		3141
04/22/24		FISHE010 FISHER & SON COMPANY, INC.	1,061.60		3141
04/22/24		FLEXIBEN FLEXIBLE BENEFIT ADMINISTRATOR	112.00		3141
04/22/24		GILMO020 GILMORE & ASSOCIATES, INC	1,943.70		3141
04/22/24		GLSAYRE G. L. SAYRE	959.28		3141
04/22/24		GUNSHOP THE GUN SHOP	757.76		3141
04/22/24		HAWEI010 H.A. WEIGAND, INC.	661.30		3141
04/22/24		HELPNOW HELP-NOW, LLC	4,139.63		3141
04/22/24		INDEPGRA INDEPENDENT GRAPHICS	2,399.00		3141
04/22/24		INFLDRON INFLUENTIAL DRONES	7,563.00		3141
04/22/24		IRONM010 IRON MOUNTAIN	862.63		3141
04/22/24		J-TEC010 J-TECH INC.	230.00		3141
04/22/24		KEENC010 KEEN COMPRESSED GAS COMPANY	53.74		3141
04/22/24		KMRFLORA KMR FLORAL DESIGNS	375.00		3141
04/22/24		LEVEN010 LEVENGOOD SEPTIC SERVICE	301.50		3141
04/22/24		LUDWI010 LUDWIG'S EQUIPMENT, LLC	153.90		3141
04/22/24		LUDWI060 LUDWIG'S CORNER SUPPLY CO.	373.14		3141
04/22/24		MCPMAH010 BOWMAN CONSULTING GROUP, LTD	7,658.75		3141
04/22/24		MODERGRP MODERN GROUP LTD	5,516.39		3141

April 18, 2024
12:21 PM

Upper Uwchlan Township
Check Register By Check Id

Page No: 2

Check #	Check Date	Vendor	Amount Paid	Reconciled/Void	Ref Num
04/22/24	MONTE010	MONTESANO BROS.	1,322.39		3141
04/22/24	MUNICIP	MUNICIPAL EMERGENCY SERVICES	307.34		3141
04/22/24	NAPA0010	NAPA AUTO PARTS	2,464.59		3141
04/22/24	NEWHO010	NEW HOLLAND AUTO GROUP	3,609.60		3141
04/22/24	NOVUS	NOVUS MAINTENANCE, LLC	2,939.04		3141
04/22/24	PECO0010	PECO	6,410.17		3141
04/22/24	PENNS030	PA CHIEFS OF POLICE ASSOC	150.00		3141
04/22/24	PIPEL020	PIPE LINE PLASTICS, INC	112.18		3141
04/22/24	PORTABOW	PORT A BOWL RESTROOM CO	1,534.15		3141
04/22/24	RGILLMER	ROBERT K GILLMER LLC	674.58		3141
04/22/24	ROBLITTL	ROBERT E. LITTLE, INC.	628.70		3141
04/22/24	SEMPERON	SEMPERON	1,152.70		3141
04/22/24	SHIRTMR	SHIRTS N MORE	872.00		3141
04/22/24	SHRWILWC	THE SHERWIN WILLIAMS CO.	1,426.38		3141
04/22/24	SNAPON01	SNAP-ON TOOLS	328.00		3141
04/22/24	STYER010	STYER PROPANE	1,504.88		3141
04/22/24	SWEETWAT	SWEETWATER NATURAL PRODUCTS LL	458.33		3141
04/22/24	TONYSCH	TONY SCHEIVERT	100.00		3141
04/22/24	TRAFF010	TRAFFIC SAFETY STORE	879.35		3141
04/22/24	TRAISR	TRAISR, LLC	8,097.75		3141
04/22/24	TREASCC1	TREASURER COUNTY OF CHESTER	660.00		3141
04/22/24	TRIAD010	TRIAD TRUCK EQUIPMENT, INC.	327.00		3141
04/22/24	ULINE	ULINE	574.32		3141
04/22/24	VERIZ010	VERIZON	456.06		3141
04/22/24	VERIZFIO	VERIZON	249.98		3141
04/22/24	VERIZOSP	VERIZON - SPECIAL PROJECTS	434.28		3141
04/22/24	WCPDASSO	WESTCHESTER POLICE ASSOCIATION	750.00		3141
04/22/24	WEAVERMU	WEAVER MULCH	5,808.98		3141
04/22/24	WINTEREQ	WINTER EQUIPMENT COMPANY, INC	2,945.63		3141
04/22/24	YSM	YSM	6,551.18		3141
04/22/24	ZEPSA020	ACUITY SPECIALTY PRODUCTS, INC	811.48		3141
<hr/>					
Report Totals					
		<u>Paid</u>	<u>Void</u>	<u>Amount Paid</u>	<u>Amount Void</u>
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	Direct Deposit:	0	0	0.00	0.00
	Total:	81	1	584,822.44	3,784.40

April 18, 2024
12:21 PM

Upper Uwchlan Township
Check Register By Check Id

Page No: 1

Range of Checking Accts: GENERAL to GENERAL Range of Check Ids:
Report Type: All Checks Report Format: Detail Check Type: Computer: Y Manual: Y Dir Deposit: Y

Check #	Check Date	Vendor	Amount Paid	Charge Account	Account Type	Reconciled/Void	Ref Num
PO #	Item	Description				Contract	Ref Seq Acct
	03/18/24	JBPETTYC JILL BUKATA				03/31/24	3119
24-00410	1	supplies	24.62	01-401-000-200 Supplies	Expenditure		1 1
24-00410	2	mileage	37.52	01-401-000-317 Parking/Travel	Expenditure		2 1
24-00410	3	pennboc webinar	10.00	01-413-000-316 Training/Seminar	Expenditure		3 1
24-00410	4	mileage for training	41.92	01-413-000-317 Parking/Travel	Expenditure		4 1
24-00410	5	recognition/fire #33	37.26	01-410-000-340 Public Relations	Expenditure		5 1
24-00410	6	planning commission	75.26	01-414-001-200 Supplies	Expenditure		6 1
			<u>226.58</u>				
	03/18/24	ECKERTSE ECKERT SEAMANS				03/31/24	3120
24-00411	1	twp - february services	265.50	01-404-000-311 Non Reimbursable Legal	Expenditure		1 1
	03/19/24	UPPER010 UPPER UWCHLAN CAPITAL ACQUISIT				03/31/24	3121
24-00412	1	general fund to capital	350,000.00	01-492-000-030 Transfer to Capital Res	Expenditure		1 1
	03/19/24	DUVALLBU DUVALL BUS SERVICE LLC					3122
24-00413	1	penndot cd1 test-brad richmond	400.00	01-438-000-342 Accreditation	Expenditure		1 1
	04/06/24	PROSHRED PROSHRED SECURITY					3125
24-00435	1	spring e-waste shred event	600.00	01-455-000-450 EAC - Contracted Services	Expenditure		1 1
	04/01/24	STANDINS STANDARD INSURANCE COMPANY		(Replaced By: GENERAL EFTS 1152) (Void Reason: wrong bank account)		04/01/24 VOID	3126
24-00436	1	admin	526.15	01-401-000-156 Employee Benefit Expens	Expenditure		1 1
24-00436	2	pd	2,074.81	01-410-000-156 Employee Benefit Expense	Expenditure		2 1
24-00436	3	codes	279.68	01-413-000-156 Employee Benefit Expens	Expenditure		3 1
24-00436	4	pw	753.47	01-438-000-156 Employee Benefit Expense	Expenditure		4 1
24-00436	5	facilities	150.29	01-438-001-156 Employee Benefit Expense	Expenditure		5 1
			<u>3,784.40</u>				
	04/10/24	BETTEBOU BETTE'S BOUNCES, LLC					3134
24-00510	1	50% deposit - bounce houses	3,317.45	01-454-001-202 Community Day	Expenditure		1 1

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24-00444	04/22/24 1	108EMERG 10-8 EMERGENCY VEHICLE SERVICE pwr supply/shroud/windsh brack	797.57	01-438-000-200 Supplies	Expenditure		3141 4	1
24-00520	04/22/24 1	21ST 21st CENTURY MEDIA PHILLY cu application meeting	169.50	01-414-001-368 Advertising	Expenditure		3141 176	1
24-00520	2	cu application meeting	392.24	01-414-001-368 Advertising	Expenditure		177	1
24-00520	3	twp financial statements	154.78	01-400-000-341 Advertising	Expenditure		178	1
			716.52					
24-00445	04/22/24 1	A1SECURI A1 ADVANCED LOCK AND SECURITY hp - rx3 c key	34.50	01-454-002-200 Supplies-Hickory	Expenditure		3141 5	1
24-00447	04/22/24 1	AQUAP010 AQUA PA twp	112.98	01-409-003-360 Utilities	Expenditure		3141 8	1
24-00447	2	twp	221.10	01-409-003-360 Utilities	Expenditure		9	1
24-00447	3	public works	263.00	01-409-001-360 Utilities	Expenditure		10	1
24-00447	4	upland	248.11	01-454-005-360 Utilities	Expenditure		11	1
24-00447	5	upland	175.75	01-454-005-360 Utilities	Expenditure		12	1
24-00447	6	public works	109.50	01-409-001-360 Utilities	Expenditure		13	1
24-00447	7	milford	25.81	01-409-004-360 Utilities	Expenditure		14	1
24-00447	8	ff	35.23	01-454-003-360 Utilities	Expenditure		15	1
			1,191.48					
5'' 24-00523	04/22/24 1	ATTMOBIL AT&T MOBILITY pd-march services	470.48	01-410-000-320 Telephone	Expenditure		3141 193	1
24-00523	2	admin-march services	52.25	01-400-000-320 Telephone	Expenditure		194	1
24-00523	3	codes-march services	52.25	01-413-000-320 Telephone	Expenditure		195	1
24-00523	4	pw-march services	95.71	01-438-000-320 Telephone	Expenditure		196	1
24-00523	5	pw-march services	16.46	01-438-000-322 Ipad Expense	Expenditure		197	1
			687.15					
24-00516	04/22/24 1	BARBA010 BARBACANE THORNTON & COMPANY 2023 uut year end audit	6,900.00	01-402-000-450 Contracted Services	Expenditure		3141 170	1

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PO #	Item	Description							
24-00530	04/22/24 1	BENJROB BENJAMIN ROBERTS, LTD corporal work station	839.36	01-410-000-740 Computer/Furniture	Expenditure		3141 203	1	1
24-00559	04/22/24 1	BESTL140 BEST LINE EQUIPMENT panel install & program-skid	401.03	01-438-000-235 Vehicle Maintenance	Expenditure		3141 205	1	1
24-00448	04/22/24 1	BRANDSPC BRANDYWINE VALLEY SPCA stray report (2)	200.00	01-422-000-530 Contributions/SPCA	Expenditure		3141 16	1	1
24-00507	04/22/24 1	BUCKL010 BUCKLEY, BRION, MCGUIRE, MORRI twp - march services	1,320.50	01-404-000-311 Non Reimbursable Legal	Expenditure		3141 158	1	1
24-00512	04/22/24 1	BUCKL010 BUCKLEY, BRION, MCGUIRE, MORRI wertz subdivision	43.00	01-404-000-310 Reimbursable Legal Fees	Expenditure		3141 162	1	1
24-00449	04/22/24 1	BURKHOLD BURKHOLDER MFG, INC. parks trailer hitch supplies	398.20	01-438-001-235 Vehicle Maintenance - Facilities	Expenditure		3141 17	1	1
24-00449	2	parks trailer hitch supplies	95.35	01-438-001-235 Vehicle Maintenance - Facilities	Expenditure		18	1	1
			493.55						
24-00446	04/22/24 1	CAMPBANT ANTHONY CAMPBELL 2024 ucc cert renewal reimburs	121.12	01-413-000-420 Dues/Subscriptions/Memb	Expenditure		3141 6	1	1
24-00446	2	boots - reimbursement	99.99	01-413-000-200 Supplies	Expenditure		7	1	1
			221.11						
24-00497	04/22/24 1	CAPJUNK CAPTAIN JUNK ewaste/shredding event 4/6/24	1,590.00	01-455-000-450 EAC - Contracted Services	Expenditure		3141 147	1	1
24-00451	04/22/24 1	CHARLHIG CHARLES A HIGGINS & SONS twnshp/rt100 -short green lght	140.00	01-434-000-450 Contracted Services	Expenditure		3141 19	1	1
24-00451	2	statio/rt100 -logs for 3/20/24	105.00	01-434-000-450 Contracted Services	Expenditure		20	1	1
			245.00						
24-00452	04/22/24 1	COMCA010 COMCAST hp	60.00	01-454-002-450 Contracted Services	Expenditure		3141 21	1	1
24-00452	2	public works	268.06	01-409-001-450 Contracted Services	Expenditure		22	1	1
24-00452	3	twp	674.98	01-409-003-450 Contracted Services	Expenditure		23	1	1

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OMCAST Continued									
24-00452	4	upland	407.40	01-454-005-450	Expenditure		24		1
				Contracted Services					
			1,410.44						
04/22/24		CRESTLIN CRESTLINE SPECIALTIES, INC					3141		
24-00453	1	jpa/block party supplies	2,519.92	01-410-000-340	Expenditure		25		1
				Public Relations					
04/22/24		CRYST010 CRYSTAL SPRINGS					3141		
24-00509	1	pw kitchen supplies	65.02	01-409-001-200	Expenditure		160		1
				Township properties - supplies					
04/22/24		DELA030 DELAWARE VALLEY HEALTH TRUST					3141		
24-00454	1	admin	4,923.05	01-401-000-156	Expenditure		26		1
				Employee Benefit Expens					
24-00454	2	pd	33,360.18	01-410-000-156	Expenditure		27		1
				Employee Benefit Expense					
24-00454	3	codes	3,793.79	01-413-000-156	Expenditure		28		1
				Employee Benefit Expens					
24-00454	4	pw	15,006.03	01-438-000-156	Expenditure		29		1
				Employee Benefit Expense					
24-00454	5	facilities	2,306.56	01-438-001-156	Expenditure		30		1
				Employee Benefit Expense					
			59,389.61						
04/22/24		DELTRUST DELAWARE VALLEY PROP&LIA TRST					3141		
24-00455	1	q2 - twp bldg	9,559.06	01-409-003-351	Expenditure		31		1
				Insurance Property					
24-00455	2	q2 - 520 milford	1,365.58	01-409-004-351	Expenditure		32		1
				Insurance - property					
24-00455	3	q2 - hp	2,731.16	01-454-002-351	Expenditure		33		1
				Insurance-Property					
24-00455	4	q2 - upland	2,731.16	01-454-005-351	Expenditure		34		1
				Insurance - Building					
24-00455	5	q2 - pw bldg	8,193.48	01-409-001-351	Expenditure		35		1
				Insurance-Property					
24-00455	6	q2 - ff	2,731.16	01-454-003-351	Expenditure		36		1
				Insurance Property					
24-00455	7	q2 - general gov't	5,349.20	01-400-000-352	Expenditure		37		1
				Insurance-Liability					
24-00455	8	q2 - exec	63.62	01-401-000-352	Expenditure		38		1
				Insurance - Liability					
24-00455	9	q2 - pd	3,385.50	01-410-000-352	Expenditure		39		1
				Insurance - Liability					
24-00455	10	q2 - codes	63.63	01-413-000-352	Expenditure		40		1
				Insurance - Liability					
24-00455	11	q2 - pw	364.00	01-438-000-352	Expenditure		41		1
				Insurance - Liability					
24-00455	12	q2 - facilities	364.00	01-438-001-352	Expenditure		42		1
				Insurance - Liability					
24-00455	13	q2 - exec	113.80	01-401-000-353	Expenditure		43		1
				Insurance - Vehicle					

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PO #	Item	Description							
DELAWARE VALLEY PROP&LIA TRST Continued									
24-00455	14	q2 - pd	402.00	01-410-000-353	Expenditure		44	1	
				Insurance - Vehicles					
24-00455	15	q2 - codes	113.80	01-413-000-353	Expenditure		45	1	
				Insurance - Vehicle					
24-00455	16	q2 - pw	455.20	01-438-000-353	Expenditure		46	1	
				vehicle Insurance					
24-00455	17	q2 - facilities	455.20	01-438-001-353	Expenditure		47	1	
				vehicle Insurance					
			<u>38,441.55</u>						
04/22/24 DVWCT DELAWARE VALLEY WORKERS COMP									
24-00456	1	q2 - admin	188.18	01-401-000-354	Expenditure		48	1	3141
				Insurance-Workers Comp					
24-00456	2	q2 - pd	11,855.81	01-410-000-354	Expenditure		49	1	
				Insurance - Workers Com					
24-00456	3	q2 - codes	188.19	01-413-000-354	Expenditure		50	1	
				Insurance - Workers Comp					
24-00456	4	q2 - pw	3,387.38	01-438-000-354	Expenditure		51	1	
				Insurance Workers Com					
24-00456	5	q2 - facilities	2,258.25	01-438-001-354	Expenditure		52	1	
				Insurance - Workers Comp - Facilities					
24-00456	6	q2 - parks	940.94	01-454-001-354	Expenditure		53	1	
				Insurance - Workers Com					
			<u>18,818.75</u>						
04/22/24 EAGLE080 EAGLE POINT/GUN/T J MORRIS & S									
24-00528	1	pd - ammo	2,675.65	01-410-000-200	Expenditure		200	1	3141
				Supplies					
04/22/24 EAGLE130 EAGLE TERMITE & PEST CONTROL									
24-00458	1	upland quarterly pest control	95.00	01-454-005-450	Expenditure		56	1	3141
				Contracted Services					
04/22/24 EAGLEPOW EAGLE POWER TURF AND TRACTOR									
24-00457	1	parks - mower blades	165.39	01-438-001-235	Expenditure		54	1	3141
				Vehicle Maintenance - Facilities					
24-00457	2	parks - 13 x 6.5 flat f	299.88	01-438-001-235	Expenditure		55	1	
				Vehicle Maintenance - Facilities					
			<u>465.27</u>						
04/22/24 EAGLHARD EAGLE HARDWARE									
24-00522	1	hp-8" ties	8.49	01-454-002-250	Expenditure		180	1	3141
				Maintenance & Repairs					
24-00522	2	upland-6.5" covers	6.49	01-454-005-250	Expenditure		181	1	
				Repairs & Maint					
24-00522	3	pw-spade drill bits	23.97	01-438-000-200	Expenditure		182	1	
				Supplies					
24-00522	4	ff-cone epoxy	63.98	01-454-003-250	Expenditure		183	1	
				Maintenance & Repairs					
24-00522	5	ff-hex mason	26.97	01-454-003-250	Expenditure		184	1	
				Maintenance & Repairs					

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PO #	Item	Description							
EAGLE HARDWARE Continued									
24-00522	6	ff-asphalt sealant	17.48	01-454-003-250	Expenditure		185		1
				Maintenance & Repairs					
24-00522	7	upland-padlock	18.99	01-454-005-250	Expenditure		186		1
				Repairs & Maint					
24-00522	8	twp-pest bait	7.99	01-409-003-200	Expenditure		187		1
				Supplies					
24-00522	9	hp-poly ropes	47.97	01-454-001-200	Expenditure		188		1
				Supplies					
24-00522	10	upland-padlock	39.98	01-454-005-250	Expenditure		189		1
				Repairs & Maint					
24-00522	11	pw-u bolts (2)	6.98	01-438-000-200	Expenditure		190		1
				Supplies					
24-00522	12	batteries	6.99	01-438-000-235	Expenditure		191		1
				Vehicle Maintenance					
24-00522	13	pd-tape	11.29	01-410-000-260	Expenditure		192		1
				Small Tools & Equipment					
			287.57						
04/22/24 EDRINKER EMILY DRINKER									
24-00504	1	summer concert series #1	500.00	01-454-001-201	Expenditure		3141 154		1
				Park & Rec Special Events					
04/22/24 FISHE010 FISHER & SON COMPANY, INC.									
24-00517	1	hp-advantage seed mix	460.00	01-454-002-200	Expenditure		3141 171		1
				Supplies-Hickory					
24-00517	2	parks-advantage seed mix	601.60	01-454-002-200	Expenditure		172		1
				Supplies-Hickory					
			1,061.60						
04/22/24 FLEXIBEN FLEXIBLE BENEFIT ADMINISTRATOR									
24-00459	1	pd - january services	56.00	01-410-000-450	Expenditure		3141 57		1
				Contracted Services					
24-00459	2	pd - february services	56.00	01-410-000-450	Expenditure		58		1
				Contracted Services					
			112.00						
04/22/24 GILMO020 GILMORE & ASSOCIATES, INC									
24-00515	1	monthly services ending 3/31	1,943.70	01-408-000-367	Expenditure		3141 169		1
				General Planning					
04/22/24 GLSAYRE G. L. SAYRE									
24-00460	1	leaf spring/ubolt/washer/nut	959.28	01-438-000-235	Expenditure		3141 59		1
				Vehicle Maintenance					
04/22/24 GUNSHOP THE GUN SHOP									
24-00491	1	marking blue/red 1000 rounds	757.76	01-410-000-316	Expenditure		3141 139		1
				Training/Seminar					
4/22/24 HAWEI010 H.A. WEIGAND, INC.									
24-00461	1	10x7 warning electrical hazard	20.00	01-433-000-200	Expenditure		3141 60		1
				Supplies					

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		H.A. WEIGAND, INC. Continued						
24-00461	2	r4-7/om3-1/surface mount base	253.00	01-433-000-200 Supplies	Expenditure		61	1
24-00461	3	30" r5-1, jumbo caps, 99x	300.30	01-433-000-200 Supplies	Expenditure		62	1
24-00461	4	9" ext ss	88.00	01-433-000-200 Supplies	Expenditure		63	1
			<u>661.30</u>					
	04/22/24	HELPNOW HELP-NOW, LLC					3141	
24-00462	1	twp - service tickets	285.00	01-407-000-450 Contracted Services	Expenditure		64	1
24-00462	2	twp - monthly guardian service	3,354.63	01-407-000-450 Contracted Services	Expenditure		65	1
24-00462	3	twp - authlite base license-1y	500.00	01-407-000-450 Contracted Services	Expenditure		66	1
			<u>4,139.63</u>					
	04/22/24	INDEPGRA INDEPENDENT GRAPHICS					3141	
24-00463	1	2024 spring newsletter (4723)	2,399.00	01-400-000-342 Printing	Expenditure		67	1
	04/22/24	INFLDRON INFLUENTIAL DRONES					3141	
24-00527	1	pd-dji mavic 3 thermal drone	7,563.00	01-495-000-000 Expense Reclass	Expenditure		199	1
	04/22/24	IRONM010 IRON MOUNTAIN					3141	
24-00465	1	storage fees 4/01-6/30	862.63	01-401-000-450 Contracted Services	Expenditure		68	1
	04/22/24	J-TEC010 J-TECH INC.					3141	
24-00561	1	tow unit 3-2015 dodge 5500	230.00	01-454-001-450 Contracted Services	Expenditure		206	1
	04/22/24	KEENC010 KEEN COMPRESSED GAS COMPANY					3141	
24-00508	1	pw-cylinder rental	53.74	01-438-000-200 Supplies	Expenditure		159	1
	04/22/24	KMRFLORA KMR FLORAL DESIGNS					3141	
24-00467	1	roses for mothers day/concert1	375.00	01-454-001-201 Park & Rec Special Events	Expenditure		69	1
	04/22/24	LEVEN010 LEVENGOOD SEPTIC SERVICE					3141	
24-00521	1	hp-pumped holding tank	301.50	01-454-002-450 Contracted Services	Expenditure		179	1
	04/22/24	LUDWI010 LUDWIG'S EQUIPMENT, LLC					3141	
24-00470	1	156 tiger tooth/coil roll pin	153.90	01-438-001-235 Vehicle Maintenance - Facilities	Expenditure		74	1
	04/22/24	LUDWI060 LUDWIG'S CORNER SUPPLY CO.					3141	
24-00468	1	4x6 mats (3)	195.00	01-438-000-200 Supplies	Expenditure		70	1

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UDWIG'S CORNER SUPPLY CO. Continued								
24-00468		2 fuel line/paint sprayer access	123.85	01-438-000-235	Expenditure		71	1
				Vehicle Maintenance				
24-00468		4 misc supplies	54.29	01-438-000-200	Expenditure		72	1
				Supplies				
			373.14					
04/22/24 MCMAH010 BOWMAN CONSULTING GROUP, LTD								
24-00514		1 rt100/green lt go 31018-01-001	1,100.00	01-408-000-311	Expenditure		163	1
				Traffic Engineering				
24-00514		2 garrison dr 311430-01-001	220.00	01-408-000-313	Expenditure		164	1
				Non Reimbursable				
24-00514		3 rt100 redesign 313876-01-001	811.25	01-408-000-313	Expenditure		165	1
				Non Reimbursable				
24-00514		4 eagle village 314108-01-001	4,482.50	01-408-000-313	Expenditure		166	1
				Non Reimbursable				
24-00514		5 lt cones crash 313749-01-001	165.00	01-408-000-311	Expenditure		167	1
				Traffic Engineering				
24-00514		6 tasa design 313607-01-002	880.00	01-408-000-313	Expenditure		168	1
				Non Reimbursable				
			7,658.75					
04/22/24 MODERGRP MODERN GROUP LTD								
24-00471		1 misc parts	3,915.46	01-438-000-260	Expenditure		75	1
				Small Tools & Equipment				
24-00471		2 link control	1,600.93	01-438-000-260	Expenditure		76	1
				Small Tools & Equipment				
			5,516.39					
04/22/24 MONTE010 MONTESANO BROS.								
24-00472		1 empc roundtable-fire succs	572.39	01-400-000-460	Expenditure		77	1
				Meeting & Conferences				
24-00472		2 chamber of commerce	750.00	01-400-000-340	Expenditure		78	1
				Public Relations				
			1,322.39					
04/22/24 MUNICIP MUNICIPAL EMERGENCY SERVICES								
24-00562		1 survivor x 120 v/100v ac/12v	307.34	01-438-000-200	Expenditure		207	1
				Supplies				
04/22/24 NAPA0010 NAPA AUTO PARTS								
24-00473		1 paint sprayer filter/cleaners	77.27	01-438-000-200	Expenditure		79	1
				Supplies				
24-00473		2 2014 ram batteries/core dep(2)	873.20	01-438-000-235	Expenditure		80	1
				Vehicle Maintenance				
24-00473		3 batteries/core dep (3)	383.13	01-438-001-235	Expenditure		81	1
				Vehicle Maintenance - Facilities				
24-00473		4 led lamp	8.36	01-438-000-235	Expenditure		82	1
				Vehicle Maintenance				
24-00473		5 core/battery returns	437.59	01-438-000-235	Expenditure		83	1
				Vehicle Maintenance				
24-00473		6 spark plug/tire shine	19.52	01-438-000-235	Expenditure		84	1
				Vehicle Maintenance				

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Continued								
24-00473	NAPA AUTO PARTS	7 hose reels	95.00	01-438-000-200	Expenditure		85	1
				Supplies				
24-00473	8	fuel/air/oil filters	498.25	01-438-000-235	Expenditure		86	1
				Vehicle Maintenance				
24-00473	9	chargers	83.97	01-438-000-200	Expenditure		87	1
				Supplies				
24-00473	10	lpcrpr	101.87	01-438-000-235	Expenditure		88	1
				Vehicle Maintenance				
24-00473	11	fuel filters/battery	146.01	01-438-000-235	Expenditure		89	1
				Vehicle Maintenance				
24-00473	12	butne 6oz/wipers	175.69	01-438-000-200	Expenditure		90	1
				Supplies				
24-00473	13	topside creeper	359.00	01-438-000-260	Expenditure		91	1
				Small Tools & Equipment				
24-00473	14	wire/battery/cir breaker	33.18	01-438-000-200	Expenditure		92	1
				Supplies				
24-00473	15	oil/air filter 2021 gmc	47.73	01-438-000-235	Expenditure		93	1
				Vehicle Maintenance				
			2,464.59					
								3141
24-00374	04/22/24	NEWHO010 NEW HOLLAND AUTO GROUP	81.00	01-438-000-235	Expenditure		1	1
		10 pw-ab tube fuel filt trk 8		Vehicle Maintenance				
24-00374	11	parks-aa cap rail	121.50	01-454-001-235	Expenditure		2	1
				Vehicle Maintenance				
24-00374	12	parks-aa glass mirror	37.05	01-454-001-235	Expenditure		3	1
				Vehicle Maintenance				
24-00475	1	ac mat kit/deflectors (2 ea)	459.00	01-438-000-200	Expenditure		94	1
				Supplies				
24-00475	2	ae board kits	1,246.30	01-454-001-200	Expenditure		95	1
				Supplies				
24-00475	3	refund for item not ordered	308.00	01-438-001-200	Expenditure		96	1
				Supplies - Facilities				
24-00475	4	t2-diagnostics/fuel injector	1,458.57	01-438-000-260	Expenditure		97	1
				Small Tools & Equipment				
24-00475	5	f4-ab board	360.80	01-438-001-235	Expenditure		98	1
				Vehicle Maintenance - Facilities				
24-00475	6	t3-nut/stud	43.50	01-438-000-235	Expenditure		99	1
				Vehicle Maintenance				
24-00475	7	aa wheel nut (2)	28.50	01-438-000-235	Expenditure		100	1
				Vehicle Maintenance				
24-00475	8	aa wheel nut (2)	28.50	01-438-000-235	Expenditure		101	1
				Vehicle Maintenance				
24-00475	9	check asy do #3202	52.88	01-410-000-235	Expenditure		102	1
				Vehicle Maintenance				
			3,609.60					
								3141
24-00476	04/22/24	NOVUS NOVUS MAINTENANCE, LLC	1,400.00	01-409-003-450	Expenditure		103	1
		1 twp - march services		Contracted Services				
24-00476	2	upland - march services	1,080.00	01-454-005-450	Expenditure		104	1
				Contracted Services				

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Check #	Check Date	Vendor	Amount Paid	Charge Account	Account Type	Reconciled/Void Contract	Ref Seq	Num Acct
PO #	Item	Description						
NOVUS MAINTENANCE, LLC Continued								
24-00476	3	pw - march services	320.00	01-409-001-450	Expenditure		105	1
				Contracted Services				
24-00476	4	twp - cleaning supplies	139.04	01-409-003-200	Expenditure		106	1
				Supplies				
			2,939.04					
04/22/24 PECO0010 PECO								
24-00478	1	520 milford rd-pump hse	51.80	01-409-004-360	Expenditure		108	1
				Utilities				
24-00478	2	341 fellowship rd-sports ltg	503.79	01-454-003-360	Expenditure		109	1
				Utilities				
24-00478	3	140 pottstown-street lights	455.34	01-409-003-360	Expenditure		110	1
				Utilities				
24-00478	4	140 pottstown-traffic lights	86.80	01-409-003-360	Expenditure		111	1
				Utilities				
24-00478	5	132 oscar way-pw bldg	340.17	01-409-001-360	Expenditure		112	1
				Utilities				
24-00478	6	351 park rd-hickory park	57.85	01-454-002-360	Expenditure		113	1
				Utilities				
24-00478	7	140 pottstown-twp bldg	859.97	01-409-003-360	Expenditure		114	1
				Utilities				
24-00478	8	341 fellowship rd-park	186.20	01-454-003-360	Expenditure		115	1
				Utilities				
24-00478	9	301 pottstown-upland barn	3,868.25	01-454-005-360	Expenditure		116	1
				Utilities				
			6,410.17					
04/22/24 PENNS030 PA CHIEFS OF POLICE ASSOC								
24-00477	1	training conference-z raymond	150.00	01-410-000-342	Expenditure		107	1
				Police Accreditation				
04/22/24 PIPEL020 PIPE LINE PLASTICS, INC								
24-00479	1	upland	112.18	01-454-005-250	Expenditure		117	1
				Repairs & Maint				
04/22/24 PORTABOW PORT A BOWL RESTROOM CO								
24-00511	1	2024 block party	1,534.15	01-454-001-201	Expenditure		161	1
				Park & Rec Special Events				
04/22/24 RGILLMER ROBERT K GILLMER LLC								
24-00481	1	eltdt-cdl training - brad	674.58	01-438-000-316	Expenditure		118	1
				Training/Seminar				
04/22/24 ROBLITTL ROBERT E. LITTLE, INC.								
24-00482	1	air filter/sparkplug/maint kit	133.36	01-438-001-235	Expenditure		119	1
				Vehicle Maintenance - Facilities				
24-00482	2	oil/air/element filters	172.11	01-438-001-235	Expenditure		120	1
				Vehicle Maintenance - Facilities				
24-00482	3	oil/air/element filters	231.52	01-438-001-235	Expenditure		121	1
				Vehicle Maintenance - Facilities				

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Check #	Check Date	Vendor	Amount Paid	Charge Account	Account Type	Reconciled/Void Contract	Ref Num
PO #	Item	Description					Ref Seq Acct
ROBERT E. LITTLE, INC. Continued							
24-00482	4	seal/filter/lamp/strainer	91.71	01-438-001-235	Expenditure		122 1
				Vehicle Maintenance - Facilities			
			628.70				
04/22/24 SEMPERON SEMPERON							
24-00483	1	twp	1,048.15	01-409-003-320	Expenditure		3141 123 1
				Telephone			
24-00483	2	pw	104.55	01-409-001-320	Expenditure		124 1
				Telephone			
			1,152.70				
04/22/24 SHIRTMOOR SHIRTS N MORE							
24-00531	1	pd-plaques	872.00	01-410-000-200	Expenditure		3141 204 1
				Supplies			
04/22/24 SHRWILWC THE SHERWIN WILLIAMS CO.							
24-00486	1	rac striping 621/417 (2 ea)	199.96	01-438-000-245	Expenditure		3141 126 1
				Highway Supplies			
24-00486	2	strainer/bucket	34.92	01-438-000-245	Expenditure		127 1
				Highway Supplies			
24-00486	3	invoice billed in error	234.27	01-438-000-200	Expenditure		128 1
				Supplies			
24-00486	4	reversal of invoice 0796-5	234.27	01-438-000-200	Expenditure		129 1
				Supplies			
24-00486	5	invoice billed in error	252.02	01-438-000-200	Expenditure		130 1
				Supplies			
24-00486	6	reversal of invoice 1845-6	252.02	01-438-000-200	Expenditure		131 1
				Supplies			
24-00563	1	pro park white - 5 gal	471.70	01-438-000-245	Expenditure		208 1
				Highway Supplies			
24-00563	2	hl 2152 fdtp wb - 5 gal	719.80	01-438-000-245	Expenditure		209 1
				Highway Supplies			
			1,426.38				
04/22/24 SNAPON01 SNAP-ON TOOLS							
24-00485	2	uni-vac dent puller	328.00	01-438-000-260	Expenditure		3141 125 1
				Small Tools & Equipment			
04/22/24 STYER010 STYER PROPANE							
24-00487	1	pw maint building - 586.7 gal	903.52	01-409-001-231	Expenditure		3141 132 1
				Propane & heating - PW bldg			
24-00487	2	pw pole building - 167.8 gal	258.41	01-409-001-231	Expenditure		133 1
				Propane & heating - PW bldg			
24-00487	3	hp - 197.1 gal	342.95	01-409-001-231	Expenditure		134 1
				Propane & heating - PW bldg			
			1,504.88				
04/22/24 SWEETWAT SWEETWATER NATURAL PRODUCTS LL							
24-00488	1	upland-80/20 fescue/rye (2)	229.53	01-454-005-250	Expenditure		3141 135 1
				Repairs & Maint			
24-00488	2	hp-brown mulch (4yds)	112.00	01-454-002-250	Expenditure		136 1
				Maintenance & Repairs			

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Check #	Check Date	Vendor	Amount Paid	Charge Account	Account Type	Reconciled/Void Contract	Ref	Seq	Num
PO #	Item	Description							Acct
SWEETWATER NATURAL PRODUCTS LL Continued									
24-00488	3	hp-brown mulch (2yds)	56.00	01-454-002-250	Expenditure		137		1
				Maintenance & Repairs					
24-00566	1	upland farmhouse-fertilizer	60.80	01-454-005-200	Expenditure		210		1
				Supplies					
			458.33						
04/22/24 TONYSCH TONY SCHEIVERT									
24-00469	1	cell phone reimbursement	100.00	01-400-000-320	Expenditure		3141 73		1
				Telephone					
04/22/24 TRAFF010 TRAFFIC SAFETY STORE									
24-00529	1	36" road closed sign (2)	196.50	01-410-000-200	Expenditure		3141 201		1
				Supplies					
24-00529	2	36" signs (3)/stands (2)	682.85	01-410-000-200	Expenditure		202		1
				Supplies					
			879.35						
04/22/24 TRAISR TRAISR, LLC									
24-00492	1	february monthly services	2,699.25	01-407-000-220	Expenditure		3141 140		1
				Software					
24-00492	2	january monthly services	2,699.25	01-407-000-220	Expenditure		141		1
				Software					
24-00492	3	march monthly services	2,699.25	01-407-000-220	Expenditure		142		1
				Software					
			8,097.75						
04/22/24 TREASCC1 TREASURER COUNTY OF CHESTER									
24-00489	1	intro-point shooting-jasmine	100.00	01-410-000-316	Expenditure		3141 138		1
				Training/Seminar					
24-00524	1	range time-3/17 & 3/22	560.00	01-410-000-316	Expenditure		198		1
				Training/Seminar					
			660.00						
04/22/24 TRIAD010 TRIAD TRUCK EQUIPMENT, INC.									
24-00493	1	bullet/rt upper arm trk 9	297.00	01-438-000-235	Expenditure		3141 143		1
				Vehicle Maintenance					
24-00567	1	on-off switch for pto	30.00	01-438-000-235	Expenditure		211		1
				Vehicle Maintenance					
			327.00						
04/22/24 ULINE ULINE									
24-00494	1	park supplies-dog waste bags	574.32	01-454-001-200	Expenditure		3141 144		1
				Supplies					
04/22/24 VERIZ010 VERIZON									
24-00496	1	milford	299.02	01-409-004-320	Expenditure		3141 145		1
				Telephone					
24-00496	2	pw	157.04	01-409-001-320	Expenditure		146		1
				Telephone					
			456.06						

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Check #	Check Date	Vendor	Amount Paid	Charge Account	Account Type	Reconciled/Void Contract	Ref Num	Ref Seq	Acct
PO #	Item	Description							
24-00498	04/22/24 1	VERIZFIO VERIZON ff	249.98	01-454-003-320 Telephone	Expenditure		3141 148		1
24-00499	04/22/24 1	VERIZOSP VERIZON - SPECIAL PROJECTS february services	217.14	01-434-000-450 Contracted Services	Expenditure		3141 149		1
24-00499	2	march services	217.14	01-434-000-450 Contracted Services	Expenditure		150		1
			<u>434.28</u>						
24-00500	04/22/24 1	WCPDASSO WESTCHESTER POLICE ASSOCIATION collision reconstr/cdr-s jones	750.00	01-410-000-316 Training/Seminar	Expenditure		3141 151		1
24-00501	04/22/24 1	WEAVERMU WEAVER MULCH hp - 60 yards mulch/blowing	4,245.00	01-454-002-450 Contracted Services	Expenditure		3141 152		1
24-00518	1	pw - screened topsoil-8yds	244.00	01-409-001-250 Maint & Repair	Expenditure		173		1
24-00518	2	upland-screened topsoil-20yds	709.98	01-454-005-250 Repairs & Maint	Expenditure		174		1
24-00518	3	pw - screened topsoil-20yds	610.00	01-438-000-200 Supplies	Expenditure		175		1
			<u>5,808.98</u>						
24-00503	04/22/24 1	WINTEREQ WINTER EQUIPMENT COMPANY, INC xtendor guard/9ft razor system	2,945.63	01-438-000-235 Vehicle Maintenance	Expenditure		3141 153		1
24-00505	04/22/24 1	YSM YSM hp project - 21uut-02	6,109.00	01-454-002-450 Contracted Services	Expenditure		3141 155		1
24-00505	2	hp project - 21uut-02	442.18	01-454-002-450 Contracted Services	Expenditure		156		1
			<u>6,551.18</u>						
24-00506	04/22/24 1	ZEPSA020 ACUITY SPECIALTY PRODUCTS, INC tireless shine/orange cleaner	811.48	01-438-001-200 Supplies - Facilities	Expenditure		3141 157		1

Report Totals	Paid	Void	Amount Paid	Amount Void
Checks:	81	1	584,822.44	3,784.40
Direct Deposit:	0	0	0.00	0.00
Total:	<u>81</u>	<u>1</u>	<u>584,822.44</u>	<u>3,784.40</u>

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Range of Checking Accts: GENERAL EFTS to GENERAL EFTS Range of Check Ids: 3125 to 3132
Report Type: All Checks Report Format: Super Condensed Check Type: Computer: Y Manual: Y Dir Deposit: Y

Check #	Check Date	Vendor	Amount Paid	Reconciled/Void	Ref Num
04/04/24		WEXBANK WEX BANK	8,689.27		3127
04/01/24		STANDINS STANDARD INSURANCE COMPANY	3,784.40		3126
04/23/24		AQUAP010 AQUA PA	7,063.39		3128
04/09/24		BANKAMER BANK OF AMERICA	14,342.53		3131
04/15/24		LOWES020 LOWES BUSINESS ACCOUNT	2,183.37		3132

Report Totals	<u>Paid</u>	<u>Void</u>	<u>Amount Paid</u>	<u>Amount Void</u>
Checks:	5	0	36,062.96	0.00
Direct Deposit:	0	0	0.00	0.00
Total:	5	0	36,062.96	0.00

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Range of Checking Accts: GENERAL EFTS to GENERAL EFTS Range of Check Ids:
Report Type: All Checks Report Format: Detail Check Type: Computer: Y Manual: Y Dir Deposit: Y

Check #	Check Date	Vendor	Amount Paid	Charge Account	Account Type	Reconciled/Void Contract	Ref Num
PO #	Item	Description					Ref Seq Acct
	04/04/24	WEXBANK WEX BANK					3127
24-00437	1	admin	165.78	01-401-000-230	Expenditure		1 1
				Gasoline & Oil			
24-00437	2	pd	5,079.81	01-410-000-230	Expenditure		2 1
				Gasoline & Oil			
24-00437	3	codes	279.77	01-413-000-230	Expenditure		3 1
				Gasoline & Oil			
24-00437	4	pw	2,783.00	01-438-000-230	Expenditure		4 1
				Gasoline & Oil			
24-00437	5	facilities	262.61	01-438-001-230	Expenditure		5 1
				Gasoline & Oil - Facilities			
24-00437	6	municipal authority	118.30	01-495-000-000	Expenditure		6 1
				Expense Reclass			
			8,689.27				
	04/01/24	STANDINS STANDARD INSURANCE COMPANY		(Replacement of: GENERAL	55000)		3126
24-00436	1	admin	526.15	01-401-000-156	Expenditure		1 1
				Employee Benefit Expens			
24-00436	2	pd	2,074.81	01-410-000-156	Expenditure		2 1
				Employee Benefit Expense			
24-00436	3	codes	279.68	01-413-000-156	Expenditure		3 1
				Employee Benefit Expens			
24-00436	4	pw	753.47	01-438-000-156	Expenditure		4 1
				Employee Benefit Expense			
24-00436	5	facilities	150.29	01-438-001-156	Expenditure		5 1
				Employee Benefit Expense			
			3,784.40				
	04/23/24	AQUAP010 AQUA PA					3128
24-00438	1	217 hydrants	6,180.47	01-411-000-451	Expenditure		1 1
				Hydrant expenses-Aqua			
24-00438	2	31 hydrants	882.92	01-411-000-451	Expenditure		2 1
				Hydrant expenses-Aqua			
			7,063.39				
	04/09/24	BANKAMER BANK OF AMERICA					3131
24-00441	1	amazon-litium batteries	143.92	01-410-000-200	Expenditure		1 1
				Supplies			
24-00441	2	tactical cop box #3201	2,167.07	01-410-000-235	Expenditure		2 1
				Vehicle Maintenance			
24-00441	3	equipment	56.98	01-410-000-260	Expenditure		3 1
				Small Tools & Equipment			
24-00441	4	floor squeegee	29.99	01-410-000-260	Expenditure		4 1
				Small Tools & Equipment			
24-00441	5	telephone shoulder rest	19.98	01-410-000-260	Expenditure		5 1
				Small Tools & Equipment			
24-00441	6	hotel booking fee	15.99	01-410-000-316	Expenditure		6 1
				Training/Seminar			
24-00441	7	sheraton	457.75	01-410-000-316	Expenditure		7 1
				Training/Seminar			

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Check #	Check Date	Vendor	Amount Paid	Charge Account	Account Type	Reconciled/Void Contract	Ref Num	
PO #	Item	Description					Ref Seq	Acct
		BANK OF AMERICA						
		Continued						
24-00441	8	weapon cleaning supplies	287.37	01-410-000-200 Supplies	Expenditure		8	1
24-00441	9	training at upland	111.71	01-410-000-316 Training/Seminar	Expenditure		9	1
24-00441	10	amazon prime	14.99	01-410-000-420 Dues/Subscription/Memb	Expenditure		10	1
24-00441	11	midway usa supplies	124.90	01-410-000-260 Small Tools & Equipment	Expenditure		11	1
24-00441	12	aed cabinets for ff/upland/hp	2,091.00	01-454-001-200 Supplies	Expenditure		12	1
24-00441	13	targets for training	180.83	01-410-000-316 Training/Seminar	Expenditure		13	1
24-00441	14	bloom	117.40	01-410-000-340 Public Relations	Expenditure		14	1
24-00441	15	cell phone accessory	24.99	01-410-000-260 Small Tools & Equipment	Expenditure		15	1
24-00441	16	msft	831.71	01-407-000-450 Contracted Services	Expenditure		16	1
24-00441	17	msft	261.90	01-407-000-450 Contracted Services	Expenditure		17	1
24-00441	18	adobe	19.99	01-407-000-220 Software	Expenditure		18	1
24-00441	19	adobe	19.99	01-407-000-220 Software	Expenditure		19	1
24-00441	20	office supplies-pens	33.96	01-401-000-200 Supplies	Expenditure		20	1
24-00441	21	easter egg hunt bracelets	40.14	01-454-001-201 Park & Rec Special Events	Expenditure		21	1
24-00441	22	office supplies	23.96	01-401-000-200 Supplies	Expenditure		22	1
24-00441	23	visco	262.19	01-401-000-200 Supplies	Expenditure		23	1
24-00441	24	visco	30.00	01-401-000-200 Supplies	Expenditure		24	1
24-00441	25	primo-empc meeting	90.97	01-415-000-200 Supplies	Expenditure		25	1
24-00441	26	eagle drycleaners	140.00	01-401-000-200 Supplies	Expenditure		26	1
24-00441	27	acme-office supplies	57.65	01-401-000-200 Supplies	Expenditure		27	1
24-00441	28	independent graphics newslette	1,548.55	01-401-000-215 Postage	Expenditure		28	1
24-00441	29	block party supplies	135.09	01-454-001-202 Community Day	Expenditure		29	1
24-00441	30	clothing allowance-josh	194.95	01-438-000-238 Uniforms	Expenditure		30	1
24-00441	31	parks - paper towels	50.30	01-454-001-200 Supplies	Expenditure		31	1
24-00441	32	staples office supplies	51.76	01-409-001-200 Township properties - supplies	Expenditure		32	1
24-00441	33	clothing allowance-josh	149.97	01-438-000-238 Uniforms	Expenditure		33	1

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Check #	Check Date	Vendor	Amount Paid	Charge Account	Account Type	Reconciled/Void Contract	Ref Num	
PO #	Item	Description					Ref Seq	Acct
		BANK OF AMERICA						
		Continued						
24-00441	34	backup camera	179.99	01-438-000-235	Expenditure		34	1
				Vehicle Maintenance				
24-00441	35	backrack.com shop supplies	498.18	01-438-000-200	Expenditure		35	1
				Supplies				
24-00441	36	american flags (2)	150.46	01-454-001-200	Expenditure		36	1
				Supplies				
24-00441	37	hose puller pliers set	169.82	01-438-000-260	Expenditure		37	1
				Small Tools & Equipment				
24-00441	38	american flag	187.10	01-454-001-200	Expenditure		38	1
				Supplies				
24-00441	39	framing nail gun & supplies	755.78	01-438-001-260	Expenditure		39	1
				Small Tools & Equip - Facilities				
24-00441	40	lawn roller	199.00	01-454-001-260	Expenditure		40	1
				Small Tools & Equip				
24-00441	41	backup cameras	539.97	01-438-000-260	Expenditure		41	1
				Small Tools & Equipment				
24-00441	42	front/rear mudflaps	163.96	01-454-001-200	Expenditure		42	1
				Supplies				
24-00441	43	return pedestal sink base	401.74	01-454-005-250	Expenditure		43	1
				Repairs & Maint				
24-00441	44	supplies	83.40	01-438-000-200	Expenditure		44	1
				Supplies				
24-00441	45	pedestal sink base	401.74	01-454-005-250	Expenditure		45	1
				Repairs & Maint				
24-00441	46	ff-field flags	215.95	01-454-003-250	Expenditure		46	1
				Maintenance & Repairs				
24-00441	47	pest mgrs school-jeff	125.00	01-438-000-316	Expenditure		47	1
				Training/Seminar				
24-00441	48	fire code academy-eric	195.00	01-438-000-316	Expenditure		48	1
				Training/Seminar				
24-00441	49	supplies	96.94	01-438-000-200	Expenditure		49	1
				Supplies				
24-00441	50	clothing allowance-dan	125.10	01-438-000-238	Expenditure		50	1
				Uniforms				
24-00441	51	meals & allowances	93.07	01-438-000-205	Expenditure		51	1
				Meals & Meal Allowances				
24-00441	52	primo-dvit meeting	96.38	01-401-000-200	Expenditure		52	1
				Supplies				
24-00441	53	supplies	6.99	01-401-000-200	Expenditure		53	1
				Supplies				
24-00441	54	bldg dept professional members	160.00	01-413-000-420	Expenditure		54	1
				Dues/Subscriptions/Memb				
24-00441	55	certification renewals-rhys	110.00	01-413-000-420	Expenditure		55	1
				Dues/Subscriptions/Memb				
24-00441	56	intl code council membership	318.00	01-401-000-420	Expenditure		56	1
				Dues/Subscriptions/Mem				
24-00441	57	supplies	84.49	01-401-000-200	Expenditure		57	1
				Supplies				
			14,342.53					

April 4, 2024
09:55 AM

Upper Uwchlan Township
Check Register By Check Id

Page No: 4

Check #	Check Date	Vendor	Amount Paid	Charge Account	Account Type	Reconciled/Void Contract	Ref Seq	Num Acct
PO #	Item	Description						
	04/15/24	LOWES020 LOWES BUSINESS ACCOUNT						3132
24-00442	1	returned pedestal lavator	360.05-	01-454-005-250 Repairs & Maint	Expenditure		1	1
24-00442	2	1-1/4"x6" plug w/o & ext tube	23.97	01-454-002-250 Maintenance & Repairs	Expenditure		2	1
24-00442	3	1-1/4"x12"ext tube,trap,washer	13.02	01-454-002-250 Maintenance & Repairs	Expenditure		3	1
24-00442	4	1x2x8 pine fur, 1-1/2" nails	37.33	01-454-003-250 Maintenance & Repairs	Expenditure		4	1
24-00442	5	shovel, dig bar, mortar hoe	213.61	01-438-000-260 Small Tools & Equipment	Expenditure		5	1
24-00442	6	supplies for dugout roof	1,145.12	01-454-002-250 Maintenance & Repairs	Expenditure		6	1
24-00442	7	4x post cap, cement	72.54	01-454-003-250 Maintenance & Repairs	Expenditure		7	1
24-00442	8	supplies for dugout roof	543.54	01-454-002-250 Maintenance & Repairs	Expenditure		8	1
24-00442	9	5/8"x10' br alum	33.11	01-454-003-250 Maintenance & Repairs	Expenditure		9	1
24-00442	10	lumber, joist hangers, tools	279.27	01-454-005-250 Repairs & Maint	Expenditure		10	1
24-00442	11	signs	28.48	01-433-000-200 Supplies	Expenditure		11	1
24-00442	12	quikrete	19.68	01-409-001-250 Maint & Repair	Expenditure		12	1
24-00442	13	cleaning supplies	86.29	01-454-005-250 Repairs & Maint	Expenditure		13	1
24-00442	14	inx18-tpi 44-7/8" prta	47.46	01-438-000-200 Supplies	Expenditure		14	1
			<u>2,183.37</u>					

Report Totals	Paid	Void	Amount Paid	Amount Void
Checks:	5	0	36,062.96	0.00
Direct Deposit:	0	0	0.00	0.00
Total:	<u>5</u>	<u>0</u>	<u>36,062.96</u>	<u>0.00</u>

April 4, 2024
10:11 AM

Upper Uwchlan Township
Check Register By Check Id

Range of Checking Accts: PAYROLL EFTS to PAYROLL EFTS Range of Check Ids:
Report Type: All Checks Report Format: Super Condensed Check Type: Computer: Y Manual: Y Dir Deposit: Y

Check #	Check Date	Vendor	Amount Paid	Reconciled/Void	Ref Num
	04/15/24	AFLAC010 AFLAC	714.38		3133
Report Totals					
		<u>Paid</u>	<u>Void</u>	<u>Amount Paid</u>	<u>Amount Void</u>
	Checks:	1	0	714.38	0.00
	Direct Deposit:	0	0	0.00	0.00
	Total:	1	0	714.38	0.00

April 4, 2024
10:10 AM

Upper Uwchlan Township
Check Register By Check Id

Page No: 1

Range of Checking Accts: PAYROLL EFTS to PAYROLL EFTS Range of Check Ids:
Report Type: All Checks Report Format: Detail Check Type: Computer: Y Manual: Y Dir Deposit: Y

Check #	Check Date	Vendor	Amount Paid	Charge Account	Account Type	Reconciled/Void	Ref Num
PO #	Item	Description				Contract	Ref Seq Acct
04/15/24	AFLAC010	AFLAC					3133
24-00443	1	payroll benefit deduction	714.38	01-221-000-000	Expenditure		1 1
				Benefit Deduction- Aflac (AFL)			

Report Totals	<u>Paid</u>	<u>Void</u>	<u>Amount Paid</u>	<u>Amount Void</u>
Checks:	1	0	714.38	0.00
Direct Deposit:	0	0	0.00	0.00
Total:	<u>1</u>	<u>0</u>	<u>714.38</u>	<u>0.00</u>

April 18, 2024
10:59 AM

Upper Uwchlan Township
Check Register By Check Id

Page No: 1

Range of Checking Accts: SOLID WASTE to SOLID WASTE Range of Check Ids:
Report Type: All Checks Report Format: Super Condensed Check Type: Computer: Y Manual: Y Dir Deposit: Y

Check #	Check Date	Vendor	Amount Paid	Reconciled/Void	Ref Num
	04/22/24	AJBLO010 A.J. BLOSENSKI	18,502.29		3137
	04/22/24	BUCKL010 BUCKLEY, BRION, MCGUIRE, MORRI	17.50		3137
	04/22/24	CCSWA010 CCSWA	29,617.45		3137
	04/22/24	HASHEMI MIKE & ANN HASHEMI	308.70		3137
	04/22/24	TOTALREC TOTAL RECYCLE	2,660.49		3137
	04/22/24	WMCORP WM CORPORATE SERVICES, INC	43,425.00		3137

Report Totals	<u>Paid</u>	<u>Void</u>	<u>Amount Paid</u>	<u>Amount Void</u>
Checks:	6	0	94,531.43	0.00
Direct Deposit:	0	0	0.00	0.00
Total:	6	0	94,531.43	0.00

April 18, 2024
10:58 AM

Upper Uwchlan Township
Check Payment Batch Verification Listing

Page No: 1

Batch Id: BABMAAS Batch Type: C Batch Date: 04/22/24 Checking Account: SOLID WASTE G/L Credit: Expenditure G/L Credit
Generate Direct Deposit: N

Check No. PO #	Check Date Enc Date	Vendor # Name Item Description	Payment Amt	Street 1 of Address to be printed on Check Charge Account Description	Account Type	Status	Seq	Acct
24-00525	04/22/24	AJBL0010 A.J. BLOSENSKI 1 sw - april services	18,502.29	A WASTE CONNECTIONS COMPANY 05-427-000-460 Contracted Services - Recycling	Expenditure	Aprv	10	1
			18,502.29					
24-00513	04/22/24	BUCKL010 BUCKLEY, BRION, MCGUIRE, MORRI 1 delinquent trash accounts	17.50	118 W. MARKET STREET 05-427-000-314 Legal Fees	Expenditure	Aprv	8	1
			17.50					
24-00450	04/22/24	CCSWA010 CCSWA 1 sw 3/11 - 3/15	4,470.20	P. O. BOX 476 05-427-000-700 Tipping Fees	Expenditure	Aprv	1	1
24-00450	04/22/24	2 sw 3/18 - 3/20	6,890.10	05-427-000-700 Tipping Fees	Expenditure	Aprv	2	1
24-00450	04/22/24	3 sw 3/25 - 3/28	4,406.40	05-427-000-700 Tipping Fees	Expenditure	Aprv	3	1
24-00450	04/22/24	5 sw 4/01 - 4/03	5,489.60	05-427-000-700 Tipping Fees	Expenditure	Aprv	4	1
24-00450	04/22/24	6 sw 4/08 - 4/15	8,361.15	05-427-000-700 Tipping Fees	Expenditure	Aprv	5	1
			29,617.45					
24-00474	04/22/24	HASHEMI MIKE & ANN HASHEMI 1 solid waste resident refund	308.70	2929 COTTONWOOD LANE 05-495-000-000 Expense Reclass	Expenditure	Aprv	6	1
			308.70					
24-00490	04/22/24	TOTALREC TOTAL RECYCLE 1 march services 3/4-3/26	2,660.49	PO BOX 7250 05-427-000-725 Tipping Fees - Recycling	Expenditure	Aprv	7	1
			2,660.49					
24-00519	04/22/24	WMCORP WM CORPORATE SERVICES, INC 1 march services	43,425.00	AS PAYMENT AGENT 05-427-000-450 Contracted Services	Expenditure	Aprv	9	1
			43,425.00					

Checks:	<u>Count</u>	<u>Line Items</u>	<u>Amount</u>
	6	10	94,531.43

There are NO errors or warnings in this listing.

April 18, 2024
10:58 AM

Upper Uwchlan Township
Check Payment Batch Verification Listing

Page No: 2

Totals by Year-Fund					
Fund Description	Fund	Expend Total	Revenue Total	G/L Total	Total
Solid Waste Fund	4-05	94,531.43	0.00	0.00	94,531.43
Total Of All Funds:		<u>94,531.43</u>	<u>0.00</u>	<u>0.00</u>	<u>94,531.43</u>

April 18, 2024
11:01 AM

Upper Uwchlan Township
Check Register By Check Id

Page No: 1

Range of Checking Accts: STORM WATER MGT to STORM WATER MGT Range of Check Ids:
Report Type: All Checks Report Format: Super Condensed Check Type: Computer: Y Manual: Y Dir Deposit: Y

Check #	Check Date	Vendor	Amount Paid	Reconciled/Void	Ref Num
04/22/24		COMMO015 COMMONWEALTH OF PENNSYLVANIA	2,500.00		3138
04/22/24		NAPA0010 NAPA AUTO PARTS	51.48		3138
04/22/24		PIPEL020 PIPE LINE PLASTICS, INC	8,045.88		3138
04/22/24		SERV010 SERVICE TIRE TRUCK CENTERS	3,500.00		3138
04/22/24		USMUN020 U.S. MUNICIPAL	2,160.73		3138

Report Totals	<u>Paid</u>	<u>Void</u>	<u>Amount Paid</u>	<u>Amount Void</u>
Checks:	5	0	16,258.09	0.00
Direct Deposit:	0	0	0.00	0.00
Total:	5	0	16,258.09	0.00

April 18, 2024
11:00 AM

Upper Uwchlan Township
Check Payment Batch Verification Listing

Page No: 1

Batch Id: BABMAAS Batch Type: C Batch Date: 04/22/24 Checking Account: STORM WATER MGT G/L Credit: Expenditure G/L Credit
Generate Direct Deposit: N

Check No.	Check Date	Vendor # Name	Payment Amt	Street 1 of Address to be printed on Check	Charge Account	Account Type	Status	Seq	Acct
PO #	Enc	Date Item Description		Description					
24-00564	04/22/24	1 ms4 indiv permit- PAI130527	2,500.00	08-420-000-035	Expenditure	Aprv	6	1	
			2,500.00	Permits					
24-00565	04/22/24	1 wr - fuel filter	51.48	08-446-000-235	Expenditure	Aprv	7	1	
			51.48	Vehicle Maintenance					
24-00480	04/22/24	1 24"x20' n-12 solid pipes (260)	8,045.88	08-446-000-200	Expenditure	Aprv	1	1	
			8,045.88	Supplies					
24-00484	04/22/24	1 excavator industrial tracks-2	3,500.00	08-446-000-235	Expenditure	Aprv	2	1	
			3,500.00	Vehicle Maintenance					
24-00495	04/22/24	1 hydrant fill hose w/coupler	492.71	08-446-000-235	Expenditure	Aprv	3	1	
24-00495	04/22/24	2 street sweeper broom/main jna	988.35	08-446-000-235	Expenditure	Aprv	4	1	
24-00560	04/22/24	1 center console keypad	679.67	08-446-000-235	Expenditure	Aprv	5	1	
			2,160.73	Vehicle Maintenance					

Checks:	<u>Count</u>	<u>Line Items</u>	<u>Amount</u>
	5	7	16,258.09

There are NO errors or warnings in this listing. .

April 18, 2024
11:03 AM

Upper Uwchlan Township
Check Register By Check Id

Page No: 1

Range of Checking Accts: CAPITAL to CAPITAL Range of Check Ids:
Report Type: All Checks Report Format: Super Condensed Check Type: Computer: Y Manual: Y Dir Deposit: Y

Check #	Check Date	Vendor	Amount Paid	Reconciled/Void Ref Num
04/22/24		KEYSTONE KEYSTONE SPORTS CONSTRUCTION	11,000.00	3139
04/22/24		KRUPA010 KRUPANSKY FENCE CO., LLC	10,508.00	3139
04/22/24		WGPD WEST GOSHEN TWP POLICE DEPT	12,779.72	3139

Report Totals	<u>Paid</u>	<u>Void</u>	<u>Amount Paid</u>	<u>Amount Void</u>
Checks:	3	0	34,287.72	0.00
Direct Deposit:	0	0	0.00	0.00
Total:	3	0	34,287.72	0.00

April 18, 2024
11:02 AM

Upper Uwchlan Township
Check Payment Batch Verification Listing

Page No: 1

Batch Id: BABMAAS Batch Type: C Batch Date: 04/22/24 Checking Account: CAPITAL G/L Credit: Expenditure G/L Credit
Generate Direct Deposit: N

Check No.	Check Date	Vendor # Name	Payment Amt	Street 1 of Address to be printed on Check	Charge Account	Account Type	Status	Seq	Acct
PO #	Enc Date	Item Description		Description					
24-00466	04/22/24	1 KEYSTONE KEYSTONE SPORTS CONSTRUCTION	11,000.00	1100 SCHELL LANE					
		1 turf maintenance		30-454-002-700	Expenditure	Aprv	1	1	
			11,000.00	Capital Purchases - Fellowship					
24-00526	04/22/24	1 KRUPA010 KRUPANSKY FENCE CO., LLC	10,508.00	12 RUSSELL CT.					
		1 remaining balance-7' fence		30-410-000-700	Expenditure	Aprv	3	1	
			10,508.00	Capital Purchases - Police					
24-00502	04/22/24	1 WGPD WEST GOSHEN TWP POLICE DEPT	12,779.72	1025 PAOLI PIKE					
		1 record mgmt software-pmt #1		30-410-000-700	Expenditure	Aprv	2	1	
			12,779.72	Capital Purchases - Police					

	Count	Line Items	Amount
checks:	3	3	34,287.72

There are NO errors or warnings in this listing.

April 18, 2024
11:13 AM

Upper Uwchlan Township
Check Register By Check Id

Page No: 1

Range of Checking Accts: DEV ESCROW to DEV ESCROW Range of Check Ids:
Report Type: All Checks Report Format: Super Condensed Check Type: Computer: Y Manual: Y Dir Deposit: Y

Check #	Check Date	Vendor	Amount Paid	Reconciled/Void	Ref Num
04/22/24	ARROC010	ARRO CONSULTING, INC.	3,408.30		3140
04/22/24	BUCKL010	BUCKLEY, BRION, MCGUIRE, MORRI	638.50		3140
04/22/24	GILMO020	GILMORE & ASSOCIATES, INC	13,620.53		3140
04/22/24	MCMAH010	BOWMAN CONSULTING GROUP, LTD	4,020.00		3140

Report Totals	<u>Paid</u>	<u>Void</u>	<u>Amount Paid</u>	<u>Amount Void</u>
Checks:	4	0	21,687.33	0.00
Direct Deposit:	0	0	0.00	0.00
Total:	4	0	21,687.33	0.00

April 18, 2024
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Upper Uwchlan Township
Check Register By Check Id

Page No: 2

Project Description	Project No.	Project Total
Vantage Point at Chester Spr	248-017	3,517.65
Eagleview Lot 1C	248-025	251.75
THE PRESERVE @ MARSH CREEK SEW	248-035	2,932.05
EAGLE ANIMAL HOSPITAL	248-050	2,280.49
ROCKHILL REAL ESTATE ENTERPRIS	248-051	3,514.00
100 GREENRIDGE ROAD	248-052	86.00-
241 PARK ROAD	248-054	2,556.49
THE PRESERVE @ MARSH CREEK CON	248-1-035	4,422.00
PMC SEWER PHASE III	248-2-035	476.25
PMC CONSTRUCTION PHASE III	248-3-035	1,822.65
Total of All Projects:		<u>21,687.33</u>

April 18, 2024
11:04 AM

Upper Uwchlan Township
Check Payment Batch Verification Listing

Page No: 1

Batch Id: BABMAAS Batch Type: C Batch Date: 04/22/24 Checking Account: DEV ESCROW G/L Credit: Expenditure G/L Credit
Generate Direct Deposit: N

Check No. PO #	Check Date Enc Date	Vendor # Name Item Description	Payment Amt	Street 1 of Address to be printed on Check Charge Account Description	Account Type	Status	Seq	Acct
24-00533	04/22/24	ARROC010 ARRO CONSULTING, INC. 1 toll bros-marsh creek	476.25	108 WEST AIRPORT ROAD 248-2-035 PMC SEWER PHASE III	Project	Aprv	1	1
24-00533	04/22/24	2 mckee-marsh creek	2,932.05	248-035 THE PRESERVE @ MARSH CREEK SEW	Project	Aprv	2	1
			3,408.30					
24-00536	04/22/24	BUCKL010 BUCKLEY, BRION, MCGUIRE, MORRI 1 241 park road	441.00	118 W. MARKET STREET 248-054 241 PARK ROAD	Project	Aprv	15	1
24-00536	04/22/24	2 100 greenridge	86.00	248-052 100 GREENRIDGE ROAD	Project	Aprv	16	1
24-00536	04/22/24	3 rockhill	283.50	248-051 ROCKHILL REAL ESTATE ENTERPRIS	Project	Aprv	17	1
			638.50					
24-00534	04/22/24	GILMO020 GILMORE & ASSOCIATES, INC 1 241 park rd-2312026	932.99	65 E. BULTER AVENUE, SUITE 100 248-054 241 PARK ROAD	Project	Aprv	3	1
24-00534	04/22/24	2 eagle animal hospital-2301086	1,427.99	248-050 EAGLE ANIMAL HOSPITAL	Project	Aprv	4	1
24-00534	04/22/24	3 preserve-1412031t	1,215.80	248-1-035 THE PRESERVE @ MARSH CREEK CON	Project	Aprv	5	1
24-00534	04/22/24	4 preserve phase III-141203103	1,822.65	248-3-035 PMC CONSTRUCTION PHASE III	Project	Aprv	6	1
24-00534	04/22/24	5 preserve phase II-141203102	3,091.20	248-1-035 THE PRESERVE @ MARSH CREEK CON	Project	Aprv	7	1
24-00534	04/22/24	6 eagleview lot 1c-030987t13	251.75	248-025 Eagleview Lot 1c	Project	Aprv	8	1
24-00534	04/22/24	7 vantage point-030434t3	3,517.65	248-017 Vantage Point at Chester Spr	Project	Aprv	9	1
24-00534	04/22/24	8 rockhill-2301103	1,360.50	248-051 ROCKHILL REAL ESTATE ENTERPRIS	Project	Aprv	10	1
			13,620.53					
24-00535	04/22/24	MCMAH010 BOWMAN CONSULTING GROUP, LTD 1 341 park road -313533-01-001	1,182.50	P.O. BOX 748548 248-054 241 PARK ROAD	Project	Aprv	11	1
24-00535	04/22/24	2 eagle animal -311344-01-001	852.50	248-050 EAGLE ANIMAL HOSPITAL	Project	Aprv	12	1
24-00535	04/22/24	3 preserve -310073-01-001	115.00	248-1-035 THE PRESERVE @ MARSH CREEK CON	Project	Aprv	13	1
24-00535	04/22/24	4 rockhill -313972-01-001	1,870.00	248-051 ROCKHILL REAL ESTATE ENTERPRIS	Project	Aprv	14	1
			4,020.00					

Checks: Count Line Items Amount
 4 17 21,687.33

April 19, 2024
09:50 AM

Upper Uwchlan Township
Check Register By Check Id

Page No: 1

Range of Checking Accts: GENERAL to GENERAL Range of Check Ids:
Report Type: All Checks Report Format: Super Condensed Check Type: Computer: Y Manual: Y Dir Deposit: Y

Check #	Check Date	Vendor	Amount Paid	Reconciled/Void	Ref Num
04/23/24		CIVIC010 CIVIC PLUS	300.00		3142
04/24/24		BRANDWIN BRANDYWINE CONSERVANCY	4,562.31		3144
04/24/24		HAWEI010 H.A. WEIGAND, INC.	90.50		3144
04/24/24		HELPNOW HELP-NOW, LLC	571.25		3144
04/24/24		POSITCON POSITIVE CONCEPTS	210.00		3144
04/24/24		ZEPSA020 ACUITY SPECIALTY PRODUCTS, INC	170.30		3144

Report Totals	<u>Paid</u>	<u>Void</u>	<u>Amount Paid</u>	<u>Amount Void</u>
Checks:	6	0	5,904.36	0.00
Direct Deposit:	0	0	0.00	0.00
Total:	6	0	5,904.36	0.00

April 19, 2024
09:50 AM

Upper Uwchlan Township
Check Register By Check Id

Page No: 1

Range of Checking Accts: GENERAL to GENERAL Range of Check Ids:
Report Type: All Checks Report Format: Detail Check Type: Computer: Y Manual: Y Dir Deposit: Y

Check #	Check Date	Vendor		Amount Paid	Charge Account	Account Type	Reconciled/Void	Ref Num
PO #	Item	Description					Contract	Ref Seq Acct
	04/23/24	CIVIC010 CIVIC PLUS						3142
24-00568	1	civic engage-k krausz	300.00	01-401-000-316	Expenditure			1 1
				Training & Seminars				
	04/24/24	BRANDWIN BRANDYWINE CONSERVANCY						3144
24-00574	1	comp plan update 663.00.88	1,488.75	01-414-001-365	Expenditure			5 1
				Comp Plan Update				
24-00574	2	comp plan update 663.00.88	971.06	01-414-001-365	Expenditure			6 1
				Comp Plan Update				
24-00574	3	village design guide 663.00.84	263.50	01-414-002-367	Expenditure			7 1
				General Planning				
24-00574	4	village design guide 663.00.84	1,759.00	01-414-002-367	Expenditure			8 1
				General Planning				
24-00574	5	development review 663.00.00	80.00	01-414-002-367	Expenditure			9 1
				General Planning				
			4,562.31					
	04/24/24	HAWEI010 H.A. WEIGAND, INC.						3144
24-00571	1	multi vinyl numbers/seals	90.50	01-433-000-200	Expenditure			2 1
				Supplies				
	04/24/24	HELPNOW HELP-NOW,LLC						3144
24-00572	1	twp-serivce tickets	571.25	01-407-000-450	Expenditure			3 1
				Contracted Services				
	04/24/24	POSITCON POSITIVE CONCEPTS						3144
24-00573	1	pd - citation thermal rolls	210.00	01-410-000-200	Expenditure			4 1
				Supplies				
	04/24/24	ZEPSA020 ACUITY SPECIALTY PRODUCTS, INC						3144
24-00570	1	pd - tireless shine	170.30	01-410-000-200	Expenditure			1 1
				Supplies				

Report Totals	<u>Paid</u>	<u>Void</u>	<u>Amount Paid</u>	<u>Amount Void</u>
Checks:	6	0	5,904.36	0.00
Direct Deposit:	0	0	0.00	0.00
Total:	6	0	5,904.36	0.00

Totals by Year-Fund					
Fund Description	Fund	Expend Total	Revenue Total	G/L Total	Total
General Fund	4-01	5,904.36	0.00	0.00	5,904.36
Total of All Funds:		5,904.36	0.00	0.00	5,904.36



UPPER UWCHLAN TOWNSHIP

MEMORANDUM

TO: BOARD OF SUPERVISORS
FROM: Jill Bukata, Township Treasurer
RE: Status Update
DATE: April 22, 2024

Finance has worked on the following items during the month

- Received and processed 928 trash and 438 sewer payments (3/14/2024 – 4/8/2024)
- Completed the 2023 financial statement audit and filed the DCED report

Highlights of the March 31, 2024 financial statements

- The balance sheet remains strong with cash of nearly **\$12.0 million** - of that amount **approximately \$6.5 million** is not available for the routine operations of the Township as it is reserved for specific purposes, ie. Liquid Fuels and Act 209 for highways, Turf Field for replacement of the Turf Field, Capital Projects for capital improvements etc.
- Combined revenue and expense status (General Fund & Solid Waste Fund):
 - Percentage through the year 25.0%
 - YTD revenues \$ 2,693,898 28.0%
 - YTD expenses \$ 1,970,211 20.6%
 - YTD net income \$ 723,687 (before transfers)
 - YTD transfers out \$ 672,329
 - **YTD net income (after transfers) \$ (397,063)**
 - Budgeted 2024 net income/(loss) \$ (112,767) (before transfers)
 - Budgeted 2024 net income (after) \$ (562,767) (after transfers)
- YTD EIT revenues as of March 31 are \$52,000 lower than at the end of March in 2023

Upper Uwchlan Township

Treasurer's Report

Cash Balances As of March 31, 2024

General Fund

Meridian Bank	\$ 4,465,541
Meridian Bank - Payroll	186,762
Meridian Bank - ARPA Funds	449,363
Meridian Bank MMA - restricted	39,640
Meridian Bank-restricted-Meadow Creek	8,071
Fulton Bank	141,841
Fulton Bank - Turf Field	267,438
Petty cash	300
Total General Fund	5,558,956

Certificate of Deposit - 10/2/24 (First Resource)	279,582
Certificate of Deposit - Fulton	260,736
Certificate of Deposit - ARPA	258,089
Certificate of Deposit - Meadow Creek	1,042,945
	1,841,352

Total General Fund \$ 7,400,308

Solid Waste Fund

Meridian Bank - Solid Waste	422,213
Fulton Bank - Solid Waste	714,891
Total Solid Waste Funds	1,137,104

Total Solid Waste Fund 1,137,104

Liquid Fuels Fund

Fulton Bank	628,367
Certificate of Deposit -	522,298
	1,150,665

Total Liquid Fuels Fund 1,150,665

Capital Projects Fund

Fulton Bank	380,623
PSDLAF	5,110
Fulton Bank - 2019 Bond Proceeds	-
Fulton Bank - 2019 Bond Proceeds, ICS Sweep	1
	385,733

Total Capital Projects Fund 385,733

Act 209 Impact Fund

Fulton Bank	55,550
Certificate of Deposit - First Resource	1,042,945
	1,098,495

Total Act 209 Impact Fund 1,098,495

Water Resource Protection Fund

Fulton Bank	671,827
	671,827

Total Water Resource Protection Fund 671,827

Sewer Fund

PSDLAF	84
Fulton Bank	109,466
	109,550

Total Sewer Fund 109,550

Total - Upper Uwchlan Township	\$ 11,953,682
Municipal Authority	\$ 8,589,308
Developer's Escrow Fund	\$ 339,780

Upper Uwchlan Township
Schedule of Investments

As of March 31, 2024

	Institution	Amount Invested	Type of Investment	Maturity Date	Interest Rate	Market Value
<u>General Fund</u>						
General Fund	First Resource Bank	250,000.00	Certificate of Deposit	10/2/2024	4.500%	250,000.00
		29,350.07	Interest accrued			29,350.07
	Accrued interest - YTD	231.66				231.66
		<u>279,581.73</u>				<u>279,581.73</u>
General Fund	Fulton Bank	250,000.00	Certificate of Deposit	5/19/2024	4.750%	250,000.00
		7,808.24				7,808.24
	Accrued interest - YTD	2,928.09	Interest accrued			2,928.09
		<u>260,736.33</u>				<u>260,736.33</u>
General Fund - ARPA	Presence Bank	250,000.00	Certificate of Deposit	6/15/2024	4.510%	250,000.00
		5,309.22				5,309.22
	Accrued interest - YTD	2,780.13	Interest accrued			2,780.13
		<u>258,089.35</u>				<u>258,089.35</u>
General Fund - Meadow Creek	First Resource Bank	1,000,000.00	Certificate of Deposit	4/28/2024	4.750%	1,000,000.00
		31,232.88				31,232.88
	Accrued interest - YTD	11,712.33	Interest accrued			11,712.33
		<u>1,042,945.21</u>				<u>1,042,945.21</u>
<u>Liquid Fuels Fund</u>						
Liquid Fuels	Presence Bank	500,000.00	Certificate of Deposit	4/28/2024	4.750%	500,000.00
		11,177.64				11,177.64
	Accrued interest - YTD	11,120.55	Interest accrued			11,120.55
		<u>522,298.19</u>				<u>522,298.19</u>
<u>Act 209 Fund</u>						
Act 209	First Resource Bank	1,000,000.00	Certificate of Deposit	4/28/2024	4.750%	1,000,000.00
		31,232.88				31,232.88
	Accrued interest - YTD	7,808.22	Interest accrued			7,808.22
		<u>1,039,041.10</u>				<u>1,039,041.10</u>
<u>Sewer Fund - General Obligation Bonds (2014 Bonds)</u>						
Sewer Fund	PSDLAF	83.59	MAX account (MMF)			83.59
	PSDLAF	-	MAX account (MMF)	-	0.02%	-
		<u>83.59</u>				<u>83.59</u>
<u>Capital Fund</u>						
Capital Fund	PSDLAF	5,109.71	Collateralized CD Pool		0.100%	5,109.71
		<u>5,109.71</u>				<u>5,109.71</u>
	Fulton Bank - 2019	0.55				0.55
		<u>0.55</u>				<u>0.55</u>
Total Capital Fund		<u>5,110.26</u>				<u>5,110.26</u>

Upper Uwchlan Township
Accounts Receivable
As of March 31, 2024

Engineering and Legal Receivables - 01-145-000-200 and 300
Reimbursable CU Fees - 01-145-000-021

	Total Amount Due 3/31/2024	Total Amount Due 2/29/2024	Less than 30 days	31 - 60	61 - 90	Over 90 days	Over 180 days	Total
Alpha Phylte Fitness	827.55	827.55	-	-	-	827.55	-	827.55
Chester Co./Struble	11,072.72	3,405.22	7,667.50	-	-	3,405.22	-	11,072.72
Hankin	3,102.50	3,102.50	-	-	-	3,102.50	-	3,102.50
Montesano	1,774.96	1,774.96	-	-	-	1,774.96	-	1,774.96
Toll Brothers	9,892.57	9,892.57	-	-	3,007.00	6,885.57	-	9,892.57
Natural Lands Trust	26,913.20	15,783.83	11,129.37	-	13,022.58	2,761.25	-	26,913.20
McKee	874.00	874.00	-	-	-	874.00	-	874.00
Moser	642.50	642.50	-	-	-	642.50	-	642.50
								-
Balance at March 31, 2024	\$ 55,100.00	\$ 36,303.13	\$ 18,796.87	\$ -	\$ 16,029.58	\$ 20,273.55	\$ -	\$ 55,100.00

Upper Uwchlan Township
Accounts Receivable
As of March 31, 2024

Turf and Field Fees Receivable - Account 01-145-000-080 and 085

	Total Amount 3/31/2024	Total Amount 2/29/2024	Less than 30 days	31 - 60	61 - 90	Over 90 days	Over 180 days	Total
Marsh Creek Eagles	-	-	-	-	-	-	-	-
GEYA Soccer	-	-	-	-	-	-	-	-
Brandywine Rugby	-	-	-	-	-	-	-	-
Downingtown Rugby	-	-	-	-	-	-	-	-
Next Level Sports	40.00	40.00	-	-	-	40.00	-	40.00
Downingtown Dawgs Lacrose	220.00	220.00	-	-	-	220.00	-	220.00
LYA LAX	-	-	-	-	-	-	-	-
Freedom LAX	-	-	-	-	-	-	-	-
Balance at March 31, 2024	<u>\$ 260.00</u>	<u>\$ 260.00</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ 260.00</u>	<u>\$ -</u>	<u>\$ 260.00</u>

Upper Uwchlan Township
Accounts Receivable
As of March 31, 2024

Misc Accounts Receivable - Account 01-145-000-095

	Amount 3/31/2024	Amount 2/29/2024	Aging					Total
			Less than 30 days	30 days	60 days	90 days	180 days & over	
Franchise fees - 4Q	-	-	-	-	-			-
PSATS overpayment - 3Q 2022	-	1,056.43	-	-		-	-	-
Diffendal AFLAC	368.70		368.70					368.70
T&M	-	92,988.00	-					-
Balance at March 31, 2024	<u>\$ 368.70</u>	<u>\$ 94,044.43</u>	<u>368.70</u>	<u>-</u>	<u>-</u>	<u>-</u>	<u>-</u>	<u>368.70</u>

Upper Uwchlan Township
General Fund
Balance Sheet
As of February 29, 2024

ASSETS

Cash		
01-100-000-100	General Checking - Fulton Bank	\$ 141,840.89
01-100-000-200	Meridian Bank	4,465,541.43
01-100-000-210	Meridian Bank - Payroll	186,761.72
01-100-000-220	Meridian Bank MMA - restricted	39,640.24
01-100-000-230	Meridian Bank - ARPA	449,362.54
01-100-000-250	Fulton Bank - Turf Field	267,438.33
01-100-000-260	Meridian Bank - Meadow Creek Lane	8,070.90
01-100-000-300	Petty Cash	300.00
	Total Cash	5,558,956.05
Investments		
01-120-000-100	Certificate of Deposit - First Resource	279,581.73
01-120-000-110	Certificate of Deposit - Fulton	260,736.33
01-120-000-120	Certificate of Deposit - Meadow Creek	1,042,945.21
01-120-000-130	Certificate of Deposit - ARPA	258,089.33
		1,841,352.60
Accounts Receivable		
01-145-000-020	Engineering Fees Receivable	9,634.72
01-145-000-021	Engineering Fees Receivable-CU	617.55
01-145-000-030	Legal Fees Receivable	44,847.73
01-145-000-040	R/E Taxes Receivable	-
01-145-000-050	Hydrant Tax Receivable	-
01-145-000-060	Domestic Relations Receivable	(5.54)
01-145-000-080	Field Fees Receivables	260.00
01-145-000-085	Turf Field Receivables	-
01-145-000-086	EIT Receivable	11,515.33
01-145-000-090	RE Transfer Tax Receivable	59,657.26
01-145-000-095	Misc accounts receivable	368.70
01-145-000-096	Traffic Signals Receivable	-
01-145-000-097	Advertising Fees Reimbursable	-
	Total Accounts Receivable	126,895.75
Other Current Assets		
01-130-000-001	Due From Municipal Authority	103,535.97
01-130-000-003	Due From Liquid Fuels	-
01-130-000-004	Due from ACT 209 Fund	-
01-130-000-005	Due From Capital Fund	-
01-130-000-006	Due from Solid Waste Fund	605.00
01-130-000-007	Due from Water Resource Protection Fund	-
01-130-000-008	Due from the Sewer Fund	-
01-130-000-009	Due from Developer's Escrow Fund	9,866.72
01-131-000-000	Suspense Account	-
	Total Other Current Assets	114,007.69
Prepaid Expense		
01-155-000-000	Prepaid expenses	-
	Total Prepaid Expense	-

Total Assets	\$	7,641,212.09
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Upper Uwchlan Township
General Fund
Balance Sheet
As of February 29, 2024

LIABILITIES AND FUND BALANCE

Accounts Payable

01-200-000-000	Accounts Payable	-
01-252-000-001	Deferred Revenues	883,813.62
	Total Accounts Payable	883,813.62

Other Current Liabilities

01-199-000-000	Suspense Account	-
01-210-000-000	Payroll Liabilities	-
01-210-000-001	Federal Tax Withheld	-
01-211-000-000	FICA Tax Withheld	-
01-212-000-000	Earned Income Tax W/H	9,632.87
01-214-000-000	Non-Uniform Pension	-
01-214-000-100	NU Pension Plan #2	-
01-215-000-000	Police Pension Withheld	-
01-216-000-000	Domestic Relation W/H	-
01-217-000-000	State Tax Withheld	-
01-218-000-000	Police Association Dues	3,600.00
01-219-000-000	LST Tax Withheld	480.00
01-220-000-000	State Unemployment W/H	(61.06)
01-221-000-000	Benefit Deduction-Aflac	(460.44)
01-221-000-100	Benefit Deduction-Aflac After Tax	181.20
01-222-000-000	457 Contribution Deduction	-
01-223-000-000	Direct Deposit	-
01-224-000-000	Payroll Deduction Adjustments	-
01-239-000-001	Due to Municipal Authority	875.00
01-239-000-002	Due to MA Capital Fund	5,850.00
01-239-000-003	Due To Liquid Fuels	-
01-239-000-004	Due to Act 209 Fund	-
01-239-000-005	Due to Capital Fund	-
01-239-000-006	Due to Solid Waste Fund	4,974.30
01-239-000-007	Due to Water Resource Protection Fund	-
01-239-000-008	Due to Developer's Escrow Fund	6,241.79
01-258-000-000	Accrued Expenses	240.00
	Total Other Current Liabilities	31,553.66

Total Liabilities	\$	915,367.28
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EQUITY

01-272-000-000	Opening Balance Equity	812,921.60
01-272-000-001	Retained Earnings	6,309,986.16
	Current Period Net Income (Loss)	(397,062.95)
	Total Equity	6,725,844.81

Total Fund Balance	\$	6,725,844.81
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Total Liabilities & Fund Balance	\$	7,641,212.09
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Upper Uwchlan Township
General Fund
Statement of Revenues and Expenditures
For the Period Ended March 31, 2024

GL Account #	Account Description	2024 YTD Actual	2024 Budget	Over (Under) Budget	Actual as % of Budget
REVENUES					
01-301-000-010	Current Real Estate Taxes	\$ 380,669.04	\$ 1,127,000.00	\$ (746,330.96)	33.8%
01-301-000-013	Real Estate Tax Refunds	-	(3,000.00)	3,000.00	0.0%
01-301-000-030	Delinquent Real Estate Taxes	21,935.02	30,000.00	(8,064.98)	73.1%
01-301-000-071	Hydrant Tax	27,260.59	65,000.00	(37,739.41)	41.9%
01-301-000-072	Delinquent Hydrant Taxes	-	500.00	(500.00)	0.0%
01-310-000-010	Real Estate Transfer Taxes	135,992.46	675,000.00	(539,007.54)	20.1%
01-310-000-020	Earned Income Taxes	1,141,555.32	4,600,000.00	(3,458,444.68)	24.8%
01-310-000-021	EIT commissions paid	(14,065.75)	(62,560.00)	48,494.25	22.5%
01-320-000-010	Building Permits	106,226.66	535,000.00	(428,773.34)	19.9%
01-320-000-011	Building Permits - credit card fees	-	-	-	#DIV/0!
01-320-000-020	Use & Occupancy Permit	2,500.00	12,000.00	(9,500.00)	20.8%
01-320-000-030	Sign Permits	-	100.00	(100.00)	0.0%
01-320-000-040	Contractors Permit	1,125.00	2,000.00	(875.00)	56.3%
01-320-000-050	Refinance Certification Fees	450.00	3,000.00	(2,550.00)	15.0%
01-321-000-080	Cable TV Franchise Fees	-	192,000.00	(192,000.00)	0.0%
01-331-000-010	Vehicle Codes Violation	19,427.36	75,000.00	(55,572.64)	25.9%
01-331-000-011	Reports/Fingerprints	355.00	2,000.00	(1,645.00)	17.8%
01-331-000-012	Solicitation Permits	-	500.00	(500.00)	0.0%
01-331-000-050	Reimbursable Police Wages	-	5,000.00	(5,000.00)	0.0%
01-341-000-001	Interest Earnings	28,642.11	90,000.00	(61,357.89)	31.8%
01-342-000-001	Rental Property Income	6,000.00	24,000.00	(18,000.00)	25.0%
01-354-000-010	County Grants	-	-	-	#DIV/0!
01-354-000-020	State Grants	-	-	-	#DIV/0!
01-354-000-030	Police Grants	-	-	-	#DIV/0!
01-355-000-001	PURTA	-	6,500.00	(6,500.00)	0.0%
01-355-000-004	Alcoholic Beverage Tax	600.00	800.00	(200.00)	75.0%
01-355-000-005	State Aid, Police Pension	-	122,000.00	(122,000.00)	0.0%
01-355-000-006	State Aid, Non-Uniform Pension	-	60,000.00	(60,000.00)	0.0%
01-355-000-007	Foreign Fire Insurance Tax	-	110,000.00	(110,000.00)	0.0%
01-360-000-010	Vehicle Storage Fees	-	1,000.00	(1,000.00)	0.0%
01-361-000-030	Zoning/SubDivision Land Development	1,500.00	6,000.00	(4,500.00)	25.0%
01-361-000-032	Fees from Engineering	(1,040.57)	40,000.00	(41,040.57)	-2.6%
01-361-000-033	Admin Fees from Engineering	-	4,000.00	(4,000.00)	0.0%
01-361-000-035	Admin Fees from Legal	110.61	1,000.00	(889.39)	11.1%
01-361-000-036	Legal Services Fees	19,726.83	30,000.00	(10,273.17)	65.8%
01-361-000-038	Sale of Maps & Books	35.00	250.00	(215.00)	14.0%
01-361-000-039	Fire Inspection Fees	-	2,000.00	(2,000.00)	0.0%
01-361-000-040	Fees from Engineering - CU	-	5,000.00	(5,000.00)	0.0%
01-361-000-041	Property Inspection Fees	-	8,000.00	(8,000.00)	0.0%
01-361-000-042	Copies	2.25	100.00	(97.75)	2.3%
01-361-000-043	Fees from Traffic Signals Reimbursables	-	500.00	(500.00)	0.0%
01-361-000-044	Fees from Advertising Reimbursables	-	-	-	#DIV/0!
01-367-000-010	Recreation Donations	-	-	-	#DIV/0!
01-367-000-014	Pavillion Rental	-	500.00	(500.00)	0.0%
01-367-000-020	Tennis Fees	-	-	-	#DIV/0!
01-367-000-021	Field Programs	9,600.00	35,000.00	(25,400.00)	27.4%
01-367-000-025	Turf Field Fees	510.00	50,000.00	(49,490.00)	1.0%
01-367-000-030	Community Events Donations	2,875.00	20,000.00	(17,125.00)	14.4%
01-367-000-040	History Book Revenue	120.00	200.00	(80.00)	60.0%
01-367-000-045	Upland Farms Barn Rental Fees	9,135.00	35,000.00	(25,865.00)	26.1%
01-367-000-089	Donations for Park Equipment	-	-	-	#DIV/0!
01-380-000-001	Miscellaneous Revenue	782.10	20,000.00	(19,217.90)	3.9%
01-380-000-010	Insurance Reimbursement	-	10,000.00	(10,000.00)	0.0%
01-392-000-008	Municipal Authority Reimbursement	82,015.72	275,655.00	(193,639.28)	29.8%

Upper Uwchlan Township
General Fund
Statement of Revenues and Expenditures
For the Period Ended March 31, 2024

GL Account #	Account Description	2024 YTD Actual	2024 Budget	Over (Under) Budget	Actual as % of Budget
01-392-000-020	Transfer from Capital Fund	-	-	-	#DIV/0!
01-392-000-030	Transfer from Solid Waste Fund	-	-	-	#DIV/0!
01-395-000-000	Refund of Prior Year Expenses	314.65		314.65	#DIV/0!
	Total Revenue	\$ 1,984,359.40	\$ 8,216,045.00	\$ (6,231,685.60)	24.2%
GENERAL GOVERNMENT					
01-400-000-113	Supervisors Wages	\$ 2,437.50	\$ 9,750.00	(7,312.50)	25.0%
01-400-000-150	Payroll Tax Expense	186.48	746.00	(559.52)	25.0%
01-400-000-320	Telephone	480.63	2,000.00	(1,519.37)	24.0%
01-400-000-340	Public Relations	500.00	2,000.00	(1,500.00)	25.0%
01-400-000-341	Advertising	216.12	7,500.00	(7,283.88)	2.9%
01-400-000-342	Printing	1,360.00	5,000.00	(3,640.00)	27.2%
01-400-000-344	Community Notice	-	2,000.00	(2,000.00)	0.0%
01-400-000-350	Insurance-Bonding	2,707.00	2,945.00	(238.00)	91.9%
01-400-000-352	Insurance-Liability	5,349.20	21,397.00	(16,047.80)	25.0%
01-400-000-420	Dues/Subscriptions/Memberships	2,893.00	4,375.00	(1,482.00)	66.1%
01-400-000-460	Meeting & Conferences	260.00	6,000.00	(5,740.00)	4.3%
01-400-000-461	Bank Fees	3,409.32	15,000.00	(11,590.68)	22.7%
01-400-000-463	Misc expenses	3,254.14	2,000.00	1,254.14	162.7%
01-400-000-464	Wallace Twp. Tax Agreement	-	6,280.00	(6,280.00)	0.0%
		23,053.39	86,993.00	(63,939.61)	26.5%
EXECUTIVE					
01-401-000-100	Administration Wages	128,902.63	609,137.00	(480,234.37)	21.2%
01-401-000-150	Payroll Tax Expense	10,825.05	46,599.00	(35,773.95)	23.2%
01-401-000-151	PSATS Unemployment Compensation	2,454.41	2,695.00	(240.59)	91.1%
01-401-000-156	Employee Benefit Expense	16,287.34	80,612.00	(64,324.66)	20.2%
01-401-000-157	ACA Fees	-	240.00	(240.00)	0.0%
01-401-000-159	Employer HSA Contribution	11,200.00	11,200.00	-	100.0%
01-401-000-160	Non-Uniform Pension	14,521.43	58,088.00	(43,566.57)	25.0%
01-401-000-165	Employer 457 Match	-	12,000.00	(12,000.00)	0.0%
01-401-000-174	Tuition Reimbursements	693.35	5,000.00	(4,306.65)	13.9%
01-401-000-181	Longevity Pay	1,050.00	7,950.00	(6,900.00)	13.2%
01-401-000-183	Overtime Wages	1,974.58	5,000.00	(3,025.42)	39.5%
01-401-000-200	Supplies	3,750.79	15,000.00	(11,249.21)	25.0%
01-401-000-205	Meals & Meal Allowances	-	200.00	(200.00)	0.0%
01-401-000-215	Postage	1,204.00	4,500.00	(3,296.00)	26.8%
01-401-000-230	Gasoline & Oil	501.63	2,200.00	(1,698.37)	22.8%
01-401-000-235	Vehicle Maintenance	-	1,000.00	(1,000.00)	0.0%
01-401-000-252	Repair & Maintenance	-	2,000.00	(2,000.00)	0.0%
01-401-000-316	Training & Seminars	2,326.00	300.00	2,026.00	775.3%
01-401-000-317	Parking/Travel	52.52	1,200.00	(1,147.48)	4.4%
01-401-000-322	Ipad Expenses	-	600.00	(600.00)	0.0%
01-401-000-352	Insurance - Liability	63.62	255.00	(191.38)	24.9%
01-401-000-353	Insurance-Vehicle	113.80	455.00	(341.20)	25.0%
01-401-000-354	Insurance-Workers Compensation	188.18	753.00	(564.82)	25.0%
01-401-000-420	Dues/Subscriptions/Memberships	3,163.54	6,100.00	(2,936.46)	51.9%
01-401-000-450	Contracted Services	7,047.31	16,000.00	(8,952.69)	44.0%
		206,320.18	889,084.00	(682,763.82)	23.2%
AUDIT					
01-402-000-450	Contracted Services	840.00	27,100.00	(26,260.00)	3.1%
		840.00	27,100.00	(26,260.00)	3.1%

Upper Uwchlan Township
General Fund
Statement of Revenues and Expenditures
For the Period Ended March 31, 2024

GL Account #	Account Description	2024 YTD Actual	2024 Budget	Over (Under) Budget	Actual as % of Budget
TAX COLLECTION					
01-403-000-110	Deputy Treasurer Expense	-	11,000.00	(11,000.00)	0.0%
01-403-000-200	Supplies	-	-	-	#DIV/0!
01-403-000-215	Postage	-	-	-	#DIV/0!
01-403-000-350	Insurance-Bonding	-	-	-	#DIV/0!
01-403-000-450	Contracted Services	-	-	-	#DIV/0!
		-	11,000.00	(11,000.00)	0.0%
LEGAL					
01-404-000-305	Reimbursable Legal Fees - CU	340.50	500.00	(159.50)	68.1%
01-404-000-310	Reimbursable Legal Fees	3,707.00	9,500.00	(5,793.00)	39.0%
01-404-000-311	Non Reimbursable Legal	6,735.50	40,000.00	(33,264.50)	16.8%
01-404-000-450	Contracted Services	-	5,000.00	(5,000.00)	0.0%
		10,783.00	55,000.00	(44,217.00)	19.6%
MUNICIPAL AUTHORITY ADMINISTRATOR					
01-406-000-100	Administrator Wages	21,280.00	86,400.00	(65,120.00)	24.6%
01-406-000-101	Employee Cost Transferred to MA	(22,586.94)	(93,395.00)	70,808.06	24.2%
01-406-000-150	Payroll Tax Expense	921.94	6,610.00	(5,688.06)	13.9%
01-406-000-151	PSATS Unemployment Compensation	385.00	385.00	-	100.0%
		0.00	-	(0.00)	#DIV/0!
TECHNOLOGY					
01-407-000-200	Supplies	-	2,000.00	(2,000.00)	0.0%
01-407-000-220	Software	27,408.06	88,748.00	(61,339.94)	30.9%
01-407-000-222	Hardware	1,177.00	12,000.00	(10,823.00)	9.8%
01-407-000-240	Web Page	8,283.12	7,000.00	1,283.12	118.3%
01-407-000-450	Contracted Services	18,746.86	65,000.00	(46,253.14)	28.8%
		55,615.04	174,748.00	(119,132.96)	31.8%
ENGINEERING					
01-408-000-305	Reimbursable Conditional Use	716.40	25,000.00	(24,283.60)	2.9%
01-408-000-310	Reimbursable Engineering	3,646.53	75,000.00	(71,353.47)	4.9%
01-408-000-311	Traffic Engineering	12,674.20	25,000.00	(12,325.80)	50.7%
01-408-000-313	Non Reimbursable Engineering	19,773.74	30,000.00	(10,226.26)	65.9%
01-408-000-365	Act 209	-	-	-	
01-408-000-366	Ordinance Update	-	4,500.00	(4,500.00)	0.0%
01-408-000-367	General Planning	2,171.35	10,000.00	(7,828.65)	21.7%
01-408-000-368	MS4 Expenses	930.00	-	930.00	#DIV/0!
01-408-000-369	Reimbursable Traffic Signals	-	-	-	#DIV/0!
01-408-000-370	Reimbursable Advertising	-	-	-	#DIV/0!
		39,912.22	169,500.00	(129,587.78)	23.5%
TOWNSHIP PROPERTIES					
<u>Public Works Building</u>					
01-409-001-200	Supplies	1,059.93	2,000.00	(940.07)	53.0%
01-409-001-231	Propane & heating - PW bldg	3,669.84	15,000.00	(11,330.16)	24.5%
01-409-001-250	Maint & Repair	2,075.26	20,500.00	(18,424.74)	10.1%
01-409-001-320	Telephone	783.77	4,000.00	(3,216.23)	19.6%
01-409-001-351	Insurance - property	8,193.48	32,774.00	(24,580.52)	25.0%
01-409-001-360	Utilities	1,659.16	10,000.00	(8,340.84)	16.6%
01-409-001-450	Contracted Services	2,526.27	12,000.00	(9,473.73)	21.1%

Upper Uwchlan Township
General Fund
Statement of Revenues and Expenditures
For the Period Ended March 31, 2024

GL Account #	Account Description	2024 YTD Actual	2024 Budget	Over (Under) Budget	Actual as % of Budget
<u>Township Building</u>					
01-409-003-101	Employee Cost Allocated	-	-	-	#DIV/0!
01-409-003-200	Supplies	171.49	4,000.00	(3,828.51)	4.3%
01-409-003-231	Propane & Heating Oil	-	5,000.00	(5,000.00)	0.0%
01-409-003-250	Maintenance & Repairs	2,439.76	3,000.00	(560.24)	81.3%
01-409-003-320	Telephone	3,149.58	7,000.00	(3,850.42)	45.0%
01-409-003-351	Insurance Property	9,559.06	38,236.00	(28,676.94)	25.0%
01-409-003-360	Utilities	5,438.05	25,000.00	(19,561.95)	21.8%
01-409-003-450	Contracted Services	7,354.53	40,000.00	(32,645.47)	18.4%
<u>Milford Road</u>					
01-409-004-200	Supplies	-	500.00	(500.00)	0.0%
01-409-004-231	Propane	877.82	2,000.00	(1,122.18)	43.9%
01-409-004-250	Maintenance & Repairs	349.09	5,000.00	(4,650.91)	7.0%
01-409-004-320	Telephone	895.20	3,000.00	(2,104.80)	29.8%
01-409-004-351	Insurance - property	1,365.58	5,462.00	(4,096.42)	25.0%
01-409-004-360	Utilities	211.97	2,000.00	(1,788.03)	10.6%
01-409-004-450	Contracted Services	-	5,000.00	(5,000.00)	0.0%
		51,779.84	241,472.00	(189,692.16)	21.4%
POLICE EXPENSES					
01-410-000-100	Police Wages	404,065.21	1,925,485.00	(1,521,419.79)	21.0%
01-410-000-110	Police Wages - WC reimbursement	-	-	-	#DIV/0!
01-410-000-150	Payroll Tax Expense	36,564.45	147,300.00	(110,735.55)	24.8%
01-410-000-151	PSATS Unemployment Compensation	6,609.97	7,315.00	(705.03)	90.4%
01-410-000-156	Employee Benefit Expense	105,926.14	390,278.00	(284,351.86)	27.1%
01-410-000-158	Medical Expense Reimbursements	1,610.74	10,000.00	(8,389.26)	16.1%
01-410-000-159	Employer HSA Contribution	52,800.00	49,600.00	3,200.00	106.5%
01-410-000-160	Pension Expense	98,289.50	393,158.00	(294,868.50)	25.0%
01-410-000-161	Pension Expense - Non Uniform	651.20	2,605.00	(1,953.80)	25.0%
01-410-000-165	Employer 457 Match	-	36,000.00	(36,000.00)	0.0%
01-410-000-174	Tuition Reimbursment	1,650.00	12,000.00	(10,350.00)	13.8%
01-410-000-181	Longevity Pay	7,500.00	33,300.00	(25,800.00)	22.5%
01-410-000-182	Education incentive	5,750.00	4,250.00	1,500.00	135.3%
01-410-000-183	Overtime - Patrol Functions	3,172.32	45,000.00	(41,827.68)	7.0%
01-410-000-184	Overtime - Shift Coverage	8,898.11	38,000.00	(29,101.89)	23.4%
01-410-000-185	Overtime - Holiday Worked	6,720.19	35,236.00	(28,515.81)	19.1%
01-410-000-187	Courttime Wages	2,550.87	14,000.00	(11,449.13)	18.2%
01-410-000-190	ARPA - COVID Pay	12,975.00	-	12,975.00	#DIV/0!
01-410-000-191	Uniform/Boot Allowances	10,275.00	16,350.00	(6,075.00)	62.8%
01-410-000-200	Supplies	704.90	12,000.00	(11,295.10)	5.9%
01-410-000-215	Postage	-	750.00	(750.00)	0.0%
01-410-000-230	Gasoline & Oil	9,924.85	50,000.00	(40,075.15)	19.8%
01-410-000-235	Vehicle Maintenance	3,881.33	20,000.00	(16,118.67)	19.4%
01-410-000-238	Clothing/Uniforms	2,739.01	22,000.00	(19,260.99)	12.5%
01-410-000-250	Maintenance & Repairs	-	-	-	#DIV/0!
01-410-000-260	Small Tools & Equipment	14,076.39	20,000.00	(5,923.61)	70.4%
01-410-000-311	Non-Reimburseable-Legal	-	-	-	#DIV/0!
01-410-000-316	Training/Seminar	5,785.87	15,000.00	(9,214.13)	38.6%
01-410-000-317	Parking & travel	151.00	1,000.00	(849.00)	15.1%
01-410-000-320	Telephone	1,400.34	7,000.00	(5,599.66)	20.0%
01-410-000-322	Ipad Expense	-	-	-	#DIV/0!
01-410-000-327	Radio Equipment M & R	-	1,000.00	(1,000.00)	0.0%

Upper Uwchlan Township
General Fund
Statement of Revenues and Expenditures
For the Period Ended March 31, 2024

GL Account #	Account Description	2024 YTD Actual	2024 Budget	Over (Under) Budget	Actual as % of Budget
01-410-000-340	Public Relations	451.98	10,000.00	(9,548.02)	4.5%
01-410-000-342	Police Accreditation	1,150.00	4,000.00	(2,850.00)	28.8%
01-410-000-352	Insurance - Liability	3,385.50	13,542.00	(10,156.50)	25.0%
01-410-000-353	Insurance - Vehicles	402.00	1,608.00	(1,206.00)	25.0%
01-410-000-354	Insurance - Workers Compensation	11,855.81	47,423.00	(35,567.19)	25.0%
01-410-000-420	Dues/Subscriptions/Memberships	494.97	1,000.00	(505.03)	49.5%
01-410-000-450	Contracted Services	8,214.63	59,224.00	(51,009.37)	13.9%
01-410-000-740	Computer/Furniture	108.00	8,000.00	(7,892.00)	1.4%
		830,735.28	3,453,424.00	(2,622,688.72)	24.1%
FIRE/AMBULANCE					
01-411-000-354	Insurance - Workers Compensation	-	11,100.00	(11,100.00)	0.0%
01-411-000-420	Dues/Subscriptions/Memberships	-	-	-	#DIV/0!
01-411-000-450	Contracted Services	-	-	-	#DIV/0!
01-411-000-451	Hydrant expenses-Aqua	14,126.78	70,000.00	(55,873.22)	20.2%
01-411-001-001	Ludwigs	-	99,196.00	(99,196.00)	0.0%
01-411-001-002	Lionville	-	99,360.00	(99,360.00)	0.0%
01-411-001-003	Lionville Capital	-	-	-	100.0%
01-411-001-004	Glenmoore	-	11,435.00	(11,435.00)	0.0%
01-411-001-005	E. Brandywine	10,639.50	46,279.00	(35,639.50)	23.0%
01-411-001-006	Reimbursement - Uwchlan Township	-	2,300.00	(2,300.00)	0.0%
01-411-001-007	Reimbursement - East Brandywine Twp.	-	200.00	(200.00)	0.0%
01-411-002-530	Contributions-Fire Relief	-	110,000.00	(110,000.00)	0.0%
		24,766.28	449,870.00	(425,103.72)	5.5%
AMBULANCE					
01-412-000-540	Uwchlan Ambulance	-	58,000.00	(58,000.00)	0.0%
01-412-000-544	Uwchlan Ambulance - Capital	-	-	-	#DIV/0!
		-	58,000.00	(58,000.00)	0.0%
CODES ADMINISTRATION					
01-413-000-100	Code Administrator Wages	58,626.76	278,777.00	(220,150.24)	21.0%
01-413-000-150	Payroll Tax Expenses	4,889.99	21,326.00	(16,436.01)	22.9%
01-413-000-151	PSATS Unemployment Compensation	1,173.56	1,540.00	(366.44)	76.2%
01-413-000-156	Employee Benefit Expense	12,173.97	49,641.00	(37,467.03)	24.5%
01-413-000-159	Employer HSA Contribution	8,000.00	8,000.00	-	100.0%
01-413-000-160	Pension	7,951.20	31,805.00	(23,853.80)	25.0%
01-413-000-165	Employer 457 Match	-	6,000.00	(6,000.00)	0.0%
01-413-000-181	Longevity Pay	-	5,700.00	(5,700.00)	0.0%
01-413-000-183	Overtime	-	2,000.00	(2,000.00)	0.0%
01-413-000-200	Supplies	166.52	2,000.00	(1,833.48)	8.3%
01-413-000-230	Gasoline & Oil	711.30	3,400.00	(2,688.70)	20.9%
01-413-000-235	Vehicle Maintenance	203.23	1,500.00	(1,296.77)	13.5%
01-413-000-316	Training/Seminar	503.00	3,000.00	(2,497.00)	16.8%
01-413-000-317	Parking/Travel	91.92	250.00	(158.08)	36.8%
01-413-000-320	Telephone	180.63	3,000.00	(2,819.37)	6.0%
01-413-000-322	Ipad Expense	-	-	-	#DIV/0!
01-413-000-352	Insurance - Liability	63.63	255.00	(191.37)	25.0%
01-413-000-353	Insurance - Vehicle	113.80	455.00	(341.20)	25.0%
01-413-000-354	Insurance - Workers Compensation	188.19	753.00	(564.81)	25.0%
01-413-000-420	Dues/Subscriptions/Memberships	410.12	1,500.00	(1,089.88)	27.3%
01-413-000-450	Contracted Services	-	5,600.00	(5,600.00)	0.0%
01-413-000-460	Meetings & Conferences	-	1,000.00	(1,000.00)	0.0%
		95,447.82	427,502.00	(332,054.18)	22.3%

PLANNING & ZONING

Upper Uwchlan Township
General Fund
Statement of Revenues and Expenditures
For the Period Ended March 31, 2024

GL Account #	Account Description	2024 YTD Actual	2024 Budget	Over (Under) Budget	Actual as % of Budget #DIV/0!
01-414-001-116	Compensation	-	-	-	
01-414-001-200	Supplies	427.70	500.00	(72.30)	85.5%
01-414-001-301	Court Reporter	150.00	1,500.00	(1,350.00)	10.0%
01-414-001-315	Legal Fees	-	3,000.00	(3,000.00)	0.0%
01-414-001-365	Comp Plan Update	6,602.50	25,000.00	(18,397.50)	26.4%
01-414-001-366	Ordinance Update	-	20,000.00	(20,000.00)	0.0%
01-414-001-367	General Planning	-	3,000.00	(3,000.00)	0.0%
01-414-001-368	Advertising	882.90	500.00	382.90	176.6%
01-414-001-451	ACT 209	-	-	-	#DIV/0!
		8,063.10	53,500.00	(45,436.90)	15.1%
VILLAGE CONCEPT					
01-414-002-367	General Planning	6,120.00	1,000.00	5,120.00	612.0%
		6,120.00	1,000.00	5,120.00	612.0%
ZONING					
01-414-003-100	Compensation	-	800.00	(800.00)	0.0%
01-414-003-301	Court Reporter	152.00	2,000.00	(1,848.00)	7.6%
01-414-003-315	Legal Fees	-	6,000.00	(6,000.00)	0.0%
01-414-003-450	Contracted Services	-	1,000.00	(1,000.00)	0.0%
		152.00	9,800.00	(9,648.00)	1.6%
EMERGENCY OPERATIONS					
01-415-000-200	Supplies	207.61	3,100.00	(2,892.39)	6.7%
01-415-000-260	Small Tools & Equipment	286.34	12,500.00	(12,213.66)	2.3%
01-415-000-316	Training/Seminar	44.54	1,250.00	(1,205.46)	3.6%
01-415-000-317	Parking/Travel	-	500.00	(500.00)	0.0%
01-415-000-320	Telephone	-	250.00	(250.00)	0.0%
01-415-000-330	Other Services/Charges	-	350.00	(350.00)	0.0%
01-415-000-420	Dues/subscriptions/memberships	-	250.00	(250.00)	0.0%
01-415-000-450	Contracted Services	-	500.00	(500.00)	0.0%
01-415-000-740	Computer/Office Equipment	-	250.00	(250.00)	0.0%
		538.49	18,950.00	(18,411.51)	2.8%
ANIMAL CONTROL/OTHER					
01-422-000-530	Contributions - SPCA	5,800.00	9,200.00	(3,400.00)	63.0%
01-422-000-601	Contributions - DARC	-	25,398.00	(25,398.00)	0.0%
01-422-000-603	Downingtown Senior Center	-	2,000.00	(2,000.00)	0.0%
01-422-000-605	Natural Lands Trust	-	-	-	
		5,800.00	36,598.00	(30,798.00)	15.8%
SIGNS					
01-433-000-200	Supplies	29.90	8,000.00	(7,970.10)	0.4%
01-433-000-450	Contracted Services	-	1,000.00	(1,000.00)	0.0%
		29.90	9,000.00	(8,970.10)	0.3%
SIGNALS					
01-434-000-450	Contracted Services	1,260.90	35,200.00	(33,939.10)	3.6%
		1,260.90	35,200.00	(33,939.10)	3.6%
PUBLIC WORKS					
01-438-000-100	Public Works Wages	108,953.26	528,236.00	(419,282.74)	20.6%
01-438-000-101	Employee Cost Allocated	-	(23,228.00)	23,228.00	0.0%
01-438-000-150	Payroll Tax Expense	10,569.52	40,410.00	(29,840.48)	26.2%
01-438-000-151	PSATS Unemployment Compensation	3,349.75	3,080.00	269.75	108.8%
01-438-000-156	Employee Benefit Expense	42,889.34	157,196.00	(114,306.66)	27.3%

Upper Uwchlan Township
General Fund
Statement of Revenues and Expenditures
For the Period Ended March 31, 2024

GL Account #	Account Description	2024 YTD Actual	2024 Budget	Over (Under) Budget	Actual as % of Budget
01-438-000-159	Employer HSA Contribution	20,800.00	17,600.00	3,200.00	118.2%
01-438-000-160	Pension	9,867.65	39,471.00	(29,603.35)	25.0%
01-438-000-165	Employer 457 Match	-	14,000.00	(14,000.00)	0.0%
01-438-000-181	Longevity	4,650.00	6,750.00	(2,100.00)	68.9%
01-438-000-183	Overtime Wages	10,940.89	26,000.00	(15,059.11)	42.1%
01-438-000-200	Supplies	531.81	40,000.00	(39,468.19)	1.3%
01-438-000-205	Meals & Meal Allowances	-	600.00	(600.00)	0.0%
01-438-000-230	Gasoline & Oil	9,403.03	45,000.00	(35,596.97)	20.9%
01-438-000-235	Vehicle Maintenance	14,277.04	22,000.00	(7,722.96)	64.9%
01-438-000-238	Uniforms	2,340.45	6,000.00	(3,659.55)	39.0%
01-438-000-245	Highway Supplies	4,741.02	35,000.00	(30,258.98)	13.5%
01-438-000-260	Small Tools & Equipment	706.50	16,000.00	(15,293.50)	4.4%
01-438-000-316	Training/Seminar	1,622.29	7,500.00	(5,877.71)	21.6%
01-438-000-317	Parking & travel	175.00	800.00	(625.00)	21.9%
01-438-000-320	Telephone	335.08	4,300.00	(3,964.92)	7.8%
01-438-000-322	Ipad Expense	541.30	1,200.00	(658.70)	45.1%
01-438-000-341	Advertising	-	-	-	#DIV/0!
01-438-000-342	Accreditation	400.00	5,000.00	(4,600.00)	8.0%
01-438-000-352	Insurance - Liability	364.00	1,456.00	(1,092.00)	25.0%
01-438-000-353	Vehicle Insurance	455.20	1,821.00	(1,365.80)	25.0%
01-438-000-354	Insurance - Workers Compensation	3,387.38	13,550.00	(10,162.62)	25.0%
01-438-000-420	Dues and Subscriptions	590.88	400.00	190.88	147.7%
01-438-000-450	Contracted Services	421.00	98,600.00	(98,179.00)	0.4%
01-438-000-463	Miscellaneous	-	-	-	#DIV/0!
01-438-000-720	Road Resurfacing	-	-	-	#DIV/0!
		252,312.39	1,108,742.00	(856,429.61)	22.8%
	<u>Public Works - Facilities Division</u>				
01-438-001-100	Wages	43,612.72	256,815.00	(213,202.28)	17.0%
01-438-001-101	Employee Costs Allocated	(51,258.90)	(233,204.00)	181,945.10	22.0%
01-438-001-150	Payroll Tax Expense	4,174.78	19,646.00	(15,471.22)	21.3%
01-438-001-151	PSATS Unemployment Compensation	1,459.76	2,830.00	(1,370.24)	51.6%
01-438-001-156	Employee Benefit Expense	7,342.32	44,429.00	(37,086.68)	16.5%
01-438-001-159	Employer HSA Contribution	8,000.00	8,000.00	-	100.0%
01-438-001-160	Pension Expense	3,915.77	15,663.00	(11,747.23)	25.0%
01-438-001-165	Employer 457 Match	-	6,000.00	(6,000.00)	0.0%
01-438-001-174	Tuition Reimbursement	-	-	-	#DIV/0!
01-438-001-181	Longevity	-	3,450.00	(3,450.00)	0.0%
01-438-001-183	Overtime Wages	4,896.30	8,000.00	(3,103.70)	61.2%
01-438-001-200	Supplies	186.89	2,500.00	(2,313.11)	7.5%
01-438-001-230	Gasoline & Oil	1,538.08	18,000.00	(16,461.92)	8.5%
01-438-001-235	Vehicle Maintenance	5,476.00	8,500.00	(3,024.00)	64.4%
01-438-001-238	Uniforms	-	1,500.00	(1,500.00)	0.0%
01-438-001-260	Small Tools & Equipment	642.66	500.00	142.66	128.5%
01-438-001-316	Training & Seminars	-	1,600.00	(1,600.00)	0.0%
01-438-001-352	Insurance - Liability	364.00	1,456.00	(1,092.00)	25.0%
01-438-001-353	Insurance - Vehicles	455.20	1,821.00	(1,365.80)	25.0%
01-438-001-354	Insurance - Workers Compensation	2,258.25	9,033.00	(6,774.75)	25.0%
01-438-001-450	Contracted Services	240.00	-	240.00	#DIV/0!
		33,303.83	176,539.00	(143,235.17)	18.9%
	ROAD CONSTRUCTION				
01-439-000-752	East West Link	-	-	-	#DIV/0!
		-	-	-	#DIV/0!

Upper Uwchlan Township
General Fund
Statement of Revenues and Expenditures
For the Period Ended March 31, 2024

GL Account #	Account Description	2024 YTD Actual	2024 Budget	Over (Under) Budget	Actual as % of Budget
PARK & RECREATION					
<i>Parks - General</i>					
01-454-000-150	Scholarships for Youth Groups	-	-	-	#DIV/0!
01-454-001-101	Park wages allocation	51,258.90	233,204.00	(181,945.10)	22.0%
01-454-001-200	Supplies	1,736.46	18,000.00	(16,263.54)	9.6%
01-454-001-201	Park & Rec Special Events	1,456.34	21,000.00	(19,543.66)	6.9%
01-454-001-202	Community Day	5,287.50	30,000.00	(24,712.50)	17.6%
01-454-001-230	Gasoline & Oil	-	-	-	#DIV/0!
01-454-001-235	Vehicle Maintenance	-	4,000.00	(4,000.00)	0.0%
01-454-001-250	Maintenance & Repairs	-	1,000.00	(1,000.00)	0.0%
01-454-001-260	Small Tools & Equipment	4,916.94	6,500.00	(1,583.06)	75.6%
01-454-001-316	Training/Seminars	-	1,000.00	(1,000.00)	0.0%
01-454-001-340	Public Relations	-	-	-	#DIV/0!
01-454-001-354	Insurance - Workers Compensation	940.94	3,764.00	(2,823.06)	25.0%
01-454-001-420	Dues/Subscriptions/Memberships	-	300.00	(300.00)	0.0%
01-454-001-427	Waste Disposal	-	1,500.00	(1,500.00)	0.0%
01-454-001-450	Contracted Services	-	-	-	#DIV/0!
		65,597.08	320,268.00	(254,670.92)	20.5%
HICKORY PARK					
01-454-002-200	Supplies-Hickory	517.35	6,000.00	(5,482.65)	8.6%
01-454-002-231	Propane	-	3,000.00	(3,000.00)	0.0%
01-454-002-250	Maintenance & Repairs	676.42	8,000.00	(7,323.58)	8.5%
01-454-002-351	Insurance-Property	2,731.16	10,925.00	(8,193.84)	25.0%
01-454-002-360	Utilities	895.74	5,000.00	(4,104.26)	17.9%
01-454-002-450	Contracted Services	2,448.96	38,000.00	(35,551.04)	6.4%
		7,269.63	70,925.00	(63,655.37)	10.2%
FELLOWSHIP FIELDS					
01-454-003-200	Supplies	-	3,000.00	(3,000.00)	0.0%
01-454-003-250	Maintenance & Repairs	6,658.46	10,000.00	(3,341.54)	66.6%
01-454-003-312	Engineering Fees	-	-	-	#DIV/0!
01-454-003-320	Telephone	249.98	2,500.00	(2,250.02)	10.0%
01-454-003-351	Insurance Property	2,731.16	10,925.00	(8,193.84)	25.0%
01-454-003-360	Utilities	(81.42)	12,000.00	(12,081.42)	-0.7%
01-454-003-450	Contracted Services	585.75	20,000.00	(19,414.25)	2.9%
		10,143.93	58,425.00	(48,281.07)	17.4%
LARKINS FIELD					
01-454-004-200	Supplies-Larkins	-	500.00	(500.00)	0.0%
01-454-004-250	Maintenance & Repair	-	500.00	(500.00)	0.0%
01-454-004-312	Engineering Fee-Larkins	-	-	-	#DIV/0!
01-454-004-450	Contracted Services	-	3,000.00	(3,000.00)	0.0%
		-	4,000.00	(4,000.00)	0.0%

Upper Uwchlan Township
General Fund
Statement of Revenues and Expenditures
For the Period Ended March 31, 2024

GL Account #	Account Description	2024 YTD Actual	2024 Budget	Over (Under) Budget	Actual as % of Budget
UPLAND FARMS					
01-454-005-200	Supplies	3,554.65	7,500.00	(3,945.35)	47.4%
01-454-005-231	Propane & Heating Oil	2,206.29	5,000.00	(2,793.71)	44.1%
01-454-005-250	Repairs & Maintenance	5,269.88	30,000.00	(24,730.12)	17.6%
01-454-005-351	Insurance - Building	2,731.16	10,925.00	(8,193.84)	25.0%
01-454-005-360	Utilities	7,262.10	15,000.00	(7,737.90)	48.4%
01-454-005-450	Contracted Services	7,036.56	20,000.00	(12,963.44)	35.2%
01-454-005-513	Engineering Fees	-	-	-	#DIV/0!
		28,060.64	88,425.00	(60,364.36)	31.7%
	Total Parks and Recreation	111,071.28	542,043.00	(430,971.72)	20.5%
LIBRARY and EAC					
01-455-000-450	EAC Contracted Services	110.00	10,000.00	(9,890.00)	1.1%
01-456-000-530	Library Contributions	-	5,000.00	(5,000.00)	0.0%
		110.00	15,000.00	(14,890.00)	0.7%
HISTORICAL COMMISSIONS					
01-459-000-200	Supplies	1,078.04	2,500.00	(1,421.96)	43.1%
01-459-000-320	Telephone	-	1,000.00	(1,000.00)	0.0%
01-459-000-450	Contracted Services	-	1,500.00	(1,500.00)	0.0%
		1,078.04	5,000.00	(3,921.96)	21.6%
	Total Expenditures Before Operating Transfers	1,759,092.98	8,055,065.00	(6,295,972.02)	21.8%
	Excess of Revenues over Expenses Before Operating Transfers	225,266.42	160,980.00	64,286.42	139.9%
OPERATING TRANSFERS					
	Transfer from Turf Field Cash account	-	-	-	#DIV/0!
01-492-000-030	Transfer to Capital Projects Fund	450,000.00	450,000.00	-	100.0%
01-492-000-031	Transfer to Solid Waste Fund	-	-	-	#DIV/0!
01-492-000-033	Transfer to Developer's Escrow Fund	-	-	-	#DIV/0!
01-492-000-034	Transfer to Act 209 Fund	-	-	-	#DIV/0!
01-492-000-035	Transfer to Municipal Authority	-	-	-	#DIV/0!
01-492-000-036	Transfer to Water Resource Protection Fund	172,329.37	-	172,329.37	#DIV/0!
		622,329.37	450,000.00	172,329.37	138.3%
	Total Expenditures after Operating Transfers	2,381,422.35	8,505,065.00	(6,123,642.65)	28.0%
EXCESS OF REVENUES OVER EXPENSES		\$ (397,062.95)	\$ (289,020.00)	\$ (108,042.95)	137.4%

Upper Uwchlan Township
Liquid Fuels Fund
Balance Sheet
As of March 31, 2024

ASSETS

Cash		
04-100-000-000	Cash - Fulton Bank	\$ 628,366.70
	Total Cash	628,366.70
Investments		
04-120-000-100	Certificate of Deposit - Presence Bank	522,298.19
	Total Certificates of Deposit	522,298.19
Other Current Assets		
04-130-000-001	Due from General Fund	-
04-130-000-002	Due from Capital Fund	-
	Other Assets	-
	Total Other Current Assets	-
Total Assets		\$ 1,150,664.89

LIABILITIES AND FUND BALANCE

Accounts Payable		
04-200-000-000	Accounts Payable	-
04-258-000-000	Accrued Expenses	-
	Total Accounts Payable	-
Other Current Liabilities		
	Other Liabilities	
04-230-000-010	Due To General Fund	-
04-252-000-000	Deferred Revenues	-
	Total Other Current Liabilities	-
Total Liabilities		-
Equity		
04-272-000-001	Opening Balance Equity	192,790.66
04-272-000-002	Retained Earnings	1,017,302.35
04-272-000-003	Transfer from Other Funds	-
	Unrestricted Net Assets	-
	Current Period Net Income (Loss)	(59,428.12)
	Total Equity	1,150,664.89
Total Fund Balance		\$ 1,150,664.89
Total Liabilities & Fund Balance		\$ 1,150,664.89

Upper Uwchlan Township
Liquid Fuels Fund
Statement of Revenues and Expenditures
For the Period Ending March 31, 2024

GL Account #	Account Description	2024 YTD Actual	2024 Budget	Over (Under) Budget	Actual as % of Budget
REVENUES					
04-341-000-000	Interest Earnings	\$ 16,679.36	\$ 7,000.00	9,679.36	238%
04-355-000-002	Motor Fuel Vehicle Taxes	-	394,802.00	(394,802.00)	0%
04-389-000-001	Winter Snow Agreement	795.00	600.00	195.00	133%
04-389-000-002	Turnback Maintenance	14,520.00	14,520.00	-	100%
	Total Revenues	\$ 31,994.36	\$ 416,922.00	\$ (384,927.64)	471%
EXPENDITURES					
Equipment					
04-400-000-074	Equipment Purchases	-	-	-	#DIV/0!
	Total Equipment	-	-	-	#DIV/0!
Snow					
04-432-000-239	Snow & Ice Supplies	88,848.09	75,000.00	13,848.09	118%
04-432-000-250	Vehicle Maintenance & Repair	2,394.39	4,000.00	(1,605.61)	60%
04-432-000-450	Snow & Ice Contracted Services	180.00	24,000.00	(23,820.00)	1%
	Total Snow	91,422.48	103,000.00	(11,577.52)	179%
Road Projects					
04-438-000-239	Road Project Supplies	-	31,000.00	(31,000.00)	0%
04-438-000-450	Road Project Contracted Services	-	-	-	#DIV/0!
	Total Road Projects	-	31,000.00	(31,000.00)	#DIV/0!
Highway Construction					
04-439-001-250	Resurfacing	-	549,333.00	(549,333.00)	0%
04-439-002-250	Base Repairs - Pa. Drive	-	6,000.00	(6,000.00)	0%
	Total Highway Construction	-	555,333.00	(555,333.00)	-
	Total Expenditures	\$ 91,422.48	\$ 689,333.00	\$ (597,910.52)	13%
	Excess of Revenues over Expenditures	\$ (59,428.12)	\$ (272,411.00)	\$ 212,982.88	22%

Upper Uwchlan Township
Solid Waste Fund
Balance Sheet
As of March 31, 2024

ASSETS

Cash		
05-100-000-010	Meridian Bank	\$ 422,213.11
05-100-000-030	Cash - Fulton Bank	714,890.98
	Total Cash	<u>1,137,104.09</u>

Accounts Receivable

05-130-000-045	WIPP Receivable from MA	69,401.32
05-145-000-010	Solid Waste Receivable	97,528.03
05-145-000-095	Misc. Receivable	-
		<u>166,929.35</u>

Other Current Assets

05-130-000-010	Due from General Fund	4,974.30
05-130-000-020	Due from Capital Fund	-
05-130-000-050	Due from Municipal Authority	5,115.50
05-155-000-010	Prepaid Attorney Fees	-
	Other Assets	-
	Total Other Current Assets	<u>10,089.80</u>

Total Assets	\$ 1,314,123.24
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LIABILITIES AND FUND BALANCE

Accounts Payable

05-200-000-020	Accounts Payable	-
05-258-000-000	Accrued Expenses	-
	Total Accounts Payable	<u>-</u>

Other Current Liabilities

05-239-000-010	Due To General Fund	605.00
05-239-000-020	Due To Capital Fund	-
05-239-000-030	Due to Liquid Fuels Fund	-
05-239-000-040	Due to Act 209 Fund	-
05-239-000-050	Due to Municipal Authority	1,795.73
05-239-000-055	Due to Water Resource Protection Fund	-
05-252-000-010	Deferred Revenues	90,318.41
	Total Other Current Liabilities	<u>92,719.14</u>

Total Liabilities	92,719.14
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Equity

05-272-000-001	Opening Balance Equity	984,603.98
05-272-000-004	Unrestricted Net Assets	(261,620.18)
	Current Period Net Income (Loss)	498,420.30
	Total Equity	<u>1,221,404.10</u>

Total Fund Balance	\$ 1,221,404.10
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Total Liabilities & Fund Balance	\$ 1,314,123.24
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Upper Uwchlan Township
Solid Waste Fund
Statement of Revenues and Expenditures
For the Period Ending March 31, 2024

GL Account #	Account Description	2024 YTD Actual	2024 Budget	Over (Under) Budget	Actual as % of Budget
REVENUES					
05-341-000-000	Interest Earnings	\$ 5,667.77	\$ 25,000.00	(19,332.23)	23%
05-364-000-010	Solid Waste Income	704,478.45	1,171,800.00	(467,321.55)	60%
05-364-000-015	Resident Refunds	(630.00)	(2,000.00)	1,370.00	32%
05-364-000-020	Recycling Income	-	5,000.00	(5,000.00)	0%
05-364-000-025	Hazardous Waste Event	-	2,000.00	(2,000.00)	0%
05-364-000-030	Leaf Bags Sold	22.50	500.00	(477.50)	5%
05-364-000-035	Scrap Metal Sold	-	500.00	(500.00)	0%
	Equipment Purchase Grant (Pa.)	-	-	-	#DIV/0!
05-364-000-040	Performance Grant	-	25,000.00	(25,000.00)	0%
05-380-000-000	Misc Income	-	-	-	#DIV/0!
	Total Revenues	\$ 709,538.72	\$ 1,227,800.00	\$ (518,261.28)	#DIV/0!
EXPENDITURES					
Operations					
05-427-000-101	Employee Cost Allocation	-	23,228.00	(23,228.00)	0%
05-427-000-150	Bank Fees	55.00	200.00	(145.00)	28%
05-427-000-200	Supplies	74.55	2,000.00	(1,925.45)	4%
05-427-000-210	Utility Billing Expenses	2,546.68	5,000.00	(2,453.32)	51%
05-427-000-220	Postage	1,825.80	2,300.00	(474.20)	79%
05-427-000-230	Toters	-	36,069.00	(36,069.00)	0%
05-427-000-314	Legal Fees	2,012.50	10,000.00	(7,987.50)	20%
05-427-000-316	Training & Seminars	-	500.00	(500.00)	0%
05-427-000-420	Dues/Subscriptions/Memberships	-	200.00	(200.00)	0%
05-427-000-450	Contracted Services - Solid Waste	87,153.26	714,000.00	(626,846.74)	12%
05-427-000-460	Contracted Services - Recycling	55,358.97	306,000.00	(250,641.03)	18%
05-427-000-700	Tipping Fees	53,415.43	317,550.00	(264,134.57)	17%
05-427-000-725	Tipping Fees - Recycling	8,676.23	67,500.00	(58,823.77)	13%
05-427-000-800	Recycling Disposal	-	9,000.00	(9,000.00)	0%
05-427-000-805	Electronic Waste Event	-	6,000.00	(6,000.00)	0%
05-427-000-810	Hazardous Waste Event	-	2,000.00	(2,000.00)	0%
	Total Operations	211,118.42	1,501,547.00	(1,290,428.58)	14%
Operating Transfers					
05-492-000-030	Transfer to Capital Fund	-	-	-	#DIV/0!
	Transfer to General Fund	-	-	-	#DIV/0!
	Total Operating Transfers	-	-	-	#DIV/0!
	Total Expenditures	\$ 211,118.42	\$ 1,501,547.00	\$ (1,290,428.58)	14%
	Excess of Revenues over Expenditures	\$ 498,420.30	\$ (273,747.00)	\$ 772,167.30	-182%

Upper Uwchlan Township
Water Resource Protection Fund
Balance Sheet
As of March 31, 2024

ASSETS

Cash		
08-100-000-100	Cash - Fulton Bank	671,826.60
	Total Cash	<u>671,826.60</u>

Other Current Assets

08-130-000-010	Due from General Fund	-
08-130-000-020	Due from Municipal Authority	-
08-130-000-030	Due from Solid Waste Fund	-
08-145-000-095	Misc. Receivable	-
	Total Other Current Assets	<u>-</u>

Total Assets	\$	671,826.60
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LIABILITIES AND FUND BALANCE

Accounts Payable

08-200-000-000	Accounts Payable	-
08-258-000-000	Accrued Expenses	-
	Total Accounts Payable	<u>-</u>

Other Current Liabilities

08-230-000-010	Due To General Fund	-
08-230-000-020	Due to Municipal Authority	-
08-230-000-030	Due to Capital Fund	-
	Deferred Revenues	-
	Total Other Current Liabilities	<u>-</u>

Total Liabilities		-
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Equity

08-272-000-100	Unrestricted Net Assets	677,739.14
08-272-000-200	Restricted Net Assets	-
	Current Period Net Income (Loss)	(5,912.54)
	Total Equity	<u>671,826.60</u>

Total Fund Balance	\$	671,826.60
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Total Liabilities & Fund Balance	\$	671,826.60
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Upper Uwchlan Township
Water Resource Protection Fund
Statement of Revenues and Expenditures
For the Period Ending March 31, 2024

GL Account #	Account Description	2024 YTD Actual	2024 Budget	Over (Under) Budget	Actual as % of Budget
REVENUES					
08-341-000-010	Interest Earnings	\$ 5,573.07	\$ 12,500.00	(6,926.93)	45%
08-351-000-010	Federal Grants	-	-	-	#DIV/0!
08-354-000-010	County Grants	-	-	-	#DIV/0!
08-354-000-020	State Grants	-	275,000.00	(275,000.00)	0%
08-361-000-100	Water Resource Protection Fees	-	186,000.00	(186,000.00)	0%
08-392-000-010	Transfer from the General Fund	172,329.37	-	172,329.37	#DIV/0!
08-392-000-020	Transfer from Municipal Authority	-	-	-	#DIV/0!
08-395-000-000	Refund of Prior Year Expenditures	-	-	-	#DIV/0!
	Miscellaneous Revenue	-	-	-	#DIV/0!
Total Revenues		\$ 177,902.44	\$ 473,500.00	\$ (295,597.56)	38%
EXPENDITURES					
Operations					
08-404-000-310	Wage Allocation	-	-	-	#DIV/0!
08-404-000-311	Legal Fees	-	-	-	#DIV/0!
08-406-000-010	Grant Application Fees	-	-	-	#DIV/0!
08-406-000-340	Public Relations	-	-	-	#DIV/0!
08-408-000-010	Engineering	-	5,000.00	(5,000.00)	0%
08-408-000-020	Feasibility Studies	-	-	-	#DIV/0!
08-420-000-035	Permits	-	-	-	#DIV/0!
08-420-000-260	Small Tools & Equipment	-	1,500.00	(1,500.00)	0%
08-446-000-101	Allocated Wages	-	-	-	#DIV/0!
08-446-000-200	Supplies	10,086.00	27,112.00	(17,026.00)	37%
08-446-000-230	Gasoline & Oil	-	2,400.00	(2,400.00)	0%
08-446-000-235	Vehicle maintenance	449.61	4,250.00	(3,800.39)	11%
08-446-000-250	Maintenance & Repair	-	25,600.00	(25,600.00)	0%
08-446-000-316	Training & Seminars	-	2,000.00	(2,000.00)	0%
08-446-000-450	Contracted Services	950.00	20,000.00	(19,050.00)	5%
08-446-000-600	Construction	-	-	-	#DIV/0!
08-446-004-600	Construction - Upland Farms	-	-	-	#DIV/0!
08-446-005-600	Construction - Marsh Creek	172,329.37	461,000.00	(288,670.63)	37%
08-446-001-250	Maintenance & Repair - MA	-	-	-	#DIV/0!
08-446-001-600	Construction - MA	-	-	-	#DIV/0!
Total Operations		183,814.98	548,862.00	(365,047.02)	33%
Operating Transfers					
Transfer to General Fund		-	-	-	#DIV/0!
Total Operating Transfers		-	-	-	#DIV/0!
Total Expenditures		\$ 183,814.98	\$ 548,862.00	\$ (365,047.02)	33%
Excess of Revenues over Expenditures		\$ (5,912.54)	\$ (75,362.00)	\$ 69,449.46	8%

Upper Uwchlan Township
Act 209 Fund
Balance Sheet
As of March 31, 2024

ASSETS

Cash		
09-100-000-010	Cash - Fulton Bank	\$ 55,550.23
	Total Cash	<u>55,550.23</u>
Investments		
09-120-000-100	Certificate of Deposit	1,042,945.21
	Total Certificates of Deposit	<u>1,042,945.21</u>
Other Current Assets		
09-130-000-000	Due from General Fund	-
09-130-000-001	Due from Capital Fund	-
09-191-000-000	Other Assets	-
	Reserve - Accounts Receivable	-
	Total Other Current Assets	<u>-</u>
	Total Assets	\$ 1,098,495.44

LIABILITIES AND FUND BALANCE

Accounts Payable		
09-200-000-000	Accounts Payable	-
09-258-000-000	Accrued Expenses	-
	Total Accounts Payable	<u>-</u>
Other Current Liabilities		
09-297-000-000	Other Liabilities	-
09-297-000-001	Due To General Fund	-
09-297-000-002	Due To Capital Fund	-
	Total Other Current Liabilities	<u>-</u>
	Total Liabilities	\$ -
Equity		
09-272-000-001	Opening Balance Equity	299,600.19
09-272-000-002	Permanently Restricted Net Assets	-
09-272-000-003	Retained Earnings	538,479.32
09-272-000-004	Temporarily Restricted Net Assets	-
09-272-000-005	Unrestricted Net Assets	251,305.53
	Current Period Net Income (Loss)	9,110.40
	Total Equity	<u>1,098,495.44</u>
	Total Fund Balance	\$ 1,098,495.44
	Total Liabilities & Fund Balance	\$ 1,098,495.44

Upper Uwchlan Township
Act 209 Fund
Statement of Revenues and Expenditures
For the Period Ended March 31, 2024

GL Account #	Account Description	2024 YTD Actual	2024 Budget	Over (Under) Budget	Actual as % of Budget
09-341-000-000	Interest Income	\$ 12,185.96	\$ 30,000.00	\$ (17,814.04)	40.6%
09-354-000-030	Grant Revenue - Federal	-	-	-	#DIV/0!
09-354-000-140	Grant Revenue - State (ARLE)	-	-	-	#DIV/0!
09-379-000-010	Transportation Impact Fees	-	-	-	#DIV/0!
09-379-000-020	Transportation Impact Fees - Reserve	-	-	-	#DIV/0!
09-380-000-000	Misc Revenue	-	-	-	#DIV/0!
09-395-000-100	Transfer from General Fund	-	-	-	#DIV/0!
09-395-000-200	Transfer from Capital Fund	-	-	-	#DIV/0!
Total Revenue		12,185.96	30,000.00	(17,814.04)	#DIV/0!
09-427-000-150	Bank Fees	75.00	150.00		0.50
09-489-000-000	Arle Grant - Act 209	-	-	-	#DIV/0!
09-489-000-010	Engineering Fees	3,000.56	-	3,000.56	#DIV/0!
09-489-000-020	Construction	-	-	-	#DIV/0!
09-489-000-045	Contracted Services	-	-	-	#DIV/0!
09-489-000-600	Capital Construction	-	-	-	#DIV/0!
Total Expenditures		3,075.56	150.00	3,000.56	#DIV/0!
Excess of Revenues over Expenditures		\$ 9,110.40	\$ 29,850.00	\$ (20,814.60)	#DIV/0!

Upper Uwchlan Township
Sewer Fund
Balance Sheet
As of March 31, 2024

ASSETS

Cash		
15-100-000-100	Cash - Fulton Bank	\$ 109,466.02
15-100-000-200	Cash - Construction Fund (PSDLAF)	83.59
	Total Cash	<u>109,549.61</u>
Other Current Assets		
15-130-000-001	Due from General Fund	-
15-130-000-002	Due from Municipal Authority	-
15-136-000-100	Interest Receivable	-
	Other Assets	-
	Total Other Current Assets	<u>-</u>
Long-Term Assets		
15-130-000-005	Due from Municipal Authority - 2019 Bonds	5,205,556.07
15-161-000-100	Sewer Easements	-
15-163-000-100	Capital Assets - Plant	26,377,547.00
15-163-000-110	Construction in Progress	74,706.00
15-163-000-200	Capital Assets - Expansion	116,592.00
15-163-000-500	Accumulated Depreciation	(5,953,761.08)
15-157-000-100	Discount on Bonds - Series of 2019	16,587.35
15-157-000-110	OID Amortization - Series of 2019	(3,021.87)
		<u>25,834,205.47</u>
Total Assets		\$ 25,943,755.08

LIABILITIES AND FUND BALANCE

Current Liabilities

15-200-000-000	Accounts Payable	-
15-230-000-001	Due To General Fund	-
15-230-000-002	Due to Municipal Authority	-
15-258-000-000	Accrued Expenses	-
15-258-000-045	Retainage Payable	-
15-258-000-100	Interest Payable on Bonds - 2014	-
15-258-000-105	Interest Payable on Bonds - 2019	68,114.60
15-258-000-110	Interest Payable on Bonds - Series A of 2019	38,158.32
	Total Accounts Payable	<u>106,272.92</u>

Long Term Liabilities

15-261-000-100	General Obligation Bonds- Series of 2014	-
15-261-000-105	General Obligation Bonds- Series of 2019	5,155,000.00
15-261-000-110	General Obligation Bonds- Series A of 2019	4,235,000.00
15-261-000-200	Premium on Bonds - Series of 2014	86,933.00
15-261-000-210	Premium on Bonds - Series A of 2019	132,902.90
15-261-000-250	Accrued Amortization on Bond Premium - 2014	-
15-261-000-260	Accrued Amortiz on Bond Premium - Series of 2019	(31,564.43)
		<u>9,578,271.47</u>

Total Liabilities **9,684,544.39**

Equity

15-272-000-100	Unrestricted Net Assets	16,338,520.82
	Current Period Net Income (Loss)	(79,310.13)
	Total Equity	<u>16,259,210.69</u>

Total Fund Balance **\$ 16,259,210.69**

Total Liabilities & Fund Balance **\$ 25,943,755.08**

Upper Uwchlan Township
Sewer Fund
Statement of Revenues and Expenditures
For the Period Ending March 31, 2024

GL Account #	Account Description	2024 YTD Actual	2024 Budget	Over (Under) Budget	Actual as % of Budget
REVENUES					
15-341-000-000	Interest Earnings	\$ 894.56	\$ 4,000.00	(3,105.44)	22%
15-342-000-100	Operations Mgmt Agreement Fees - 2014 bonds	-	-	-	#DIV/0!
15-342-000-200	Operations Mgmt Agreement Fees - 2019 bonds	-	239,344.00	(239,344.00)	0%
15-342-000-300	Operations Mgmt Agreement Fees - Series A of 2019 (MA)	-	334,475.00	(334,475.00)	0%
Total Revenues		\$ 894.56	\$ 577,819.00	\$ (576,924.44)	#DIV/0!
EXPENDITURES					
General					
15-400-000-461	Bank Fees	500.00	1,000.00	(500.00)	50%
15-400-000-463	Misc Expenses	-	1,000.00	(1,000.00)	0%
15-404-000-100	Legal Fees	-	-	-	#DIV/0!
		500.00	2,000.00	(1,500.00)	0.50
Bond expenses					
15-472-000-100	Bond Interest Expense - Series of 2014	-	-	-	#DIV/0!
15-472-000-105	Bond Interest Expense - Series of 2019	51,085.95	204,344.00	(153,258.05)	25%
15-472-000-110	Bond Interest Expense - Series A of 2019	28,618.74	114,475.00	(85,856.26)	25%
15-472-000-200	Bond Issuance Costs	-	-	-	#DIV/0!
15-472-000-300	Bond Amortization Expense - 2014 Bonds	-	-	-	#DIV/0!
15-472-000-305	Bond Amortization Expense - 2019 Bonds	-	829.00	(829.00)	0%
15-472-000-310	Bond Amortization Expense - 2019A Bonds	-	(6,645.00)	6,645.00	0%
Total Debt Expenses		79,704.69	313,003.00	(239,114.31)	#DIV/0!
Other					
15-493-000-083	Depreciation	-	-	-	#DIV/0!
		-	-	-	#DIV/0!
Total Expenditures before Transfers		\$ 80,204.69	\$ 315,003.00	\$ (240,614.31)	25%
Transfers					
15-492-000-010	Transfer to Municipal Authority	-	-	-	#DIV/0!
Total Transfers		-	-	-	#DIV/0!
Total Expenditures and Transfers		80,204.69	315,003.00	(240,614.31)	#DIV/0!
Excess of Revenues over Expenditures		\$ (79,310.13)	\$ 262,816.00	\$ (336,310.13)	-30%

Upper Uwchlan Township
Capital Projects Fund
Balance Sheet
As of March 31, 2024

ASSETS

Cash			
30-100-000-010	Cash - Fulton Bank	\$	380,622.99
30-100-000-020	PSDLAF		5,109.71
30-110-000-100	Fulton Bank - 2019 Bond Proceeds		
30-110-000-200	Fulton Bank - 2019 Bond Proceeds - ICS		0.55
	Total Cash		<u>385,733.25</u>
Accounts Receivable			
30-130-000-001	Due from General Fund		-
30-130-000-002	Due From Municipal Authority		-
30-130-000-003	Due from Escrow Fund		-
30-130-000-004	Due from Solid Waste Fund		-
30-130-000-005	Due From Liquid Fuels Fund		-
30-130-000-006	Due from Act 209 Fund		-
30-130-000-007	Due from Water Resource Protection Fund		-
30-130-000-008	Due from MA Capital Fund		15,100.00
	Total Accounts Receivable		<u>15,100.00</u>
Other Current Asset			
30-155-000-000	Prepaid Expenses		17,500.00
30-191-000-000	Other Assets		-
	Total Other Current Asset		<u>17,500.00</u>
Total Assets		\$	418,333.25

LIABILITIES AND FUND BALANCE

Accounts Payable			
30-200-000-000	Accounts Payable		-
30-258-000-000	Accrued Expenses		-
30-258-000-100	Interest Payable - 2019 Bonds		59,416.68
30-261-000-100	General Obligation Bonds - Series of 2019		4,730,000.00
30-261-000-150	Premium on GO Bonds - Series of 2019		247,103.30
30-261-000-160	Accrued Amortization - Series of 2019		(55,598.23)
	Total Accounts Payable		<u>4,980,921.75</u>
Long Term Liabilities			
30-297-000-000	Other Liabilities		-
	Total Long Term Liabilities		<u>-</u>
Other Current Liabilities			
30-230-000-000	Due to General Fund		-
30-230-000-001	Due To Liquid Fuels		-
30-230-000-002	Due to Act 209		-
30-230-000-003	Due to Solid Waste Fund		-
30-230-000-004	Due to Municipal Authority		-
30-230-000-005	Due To Escrow Fund		-
	Total Other Current Liabilities		<u>-</u>
Total Liabilities		\$	4,980,921.75
Equity			
30-272-000-001	Opening Balance Equity		948,398.39
30-272-000-004	Unrestricted Net Assets		(5,684,769.61)
	Current Period Net Income (Loss)		173,782.72
	Total Equity		<u>(4,562,588.50)</u>
Total Fund Balance		\$	(4,562,588.50)
Total Liabilities & Fund Balance		\$	418,333.25

Upper Uwchlan Township
Capital Projects Fund
Statement of Revenues and Expenditures
For the Period Ending March 31, 2024

GL Account #	Account Description	2024 YTD Actual	2024 Budget	Over (Under) Budget	Actual as % of Budget
REVENUES					
30-341-000-000	Interest Earnings	\$ 1,597.71	10,000.00	(8,402.29)	16%
30-354-000-010	Grant Revenue - County	-	-	-	#DIV/0!
30-354-000-020	Grant Revenue - State	-	100,000.00	(100,000.00)	0%
30-354-000-030	Grant Revenue - Federal	-	-	-	#DIV/0!
30-354-000-040	Grant Revenue - Other	-	5,800.00	(5,800.00)	0%
30-391-000-100	Sale of Fixed Assets	-	5,000.00	(5,000.00)	0%
30-392-000-001	Transfer from General Fund	450,000.00	450,000.00	-	100%
30-392-000-005	Transfer from Solid Waste Fund	-	-	-	#DIV/0!
30-392-000-020	Transfer from Act 209 Fund	-	-	-	#DIV/0!
30-392-000-030	Transfer from the Municipal Authority	-	-	-	#DIV/0!
30-393-000-000	Capital Income	-	-	-	#DIV/0!
30-393-000-020	Proceeds from Long Term Debt	-	-	-	#DIV/0!
30-393-000-400	Other financing sources	-	-	-	#DIV/0!
		451,597.71	570,800.00	(119,202.29)	79%
Total Revenues		\$ 451,597.71	\$ 570,800.00	\$ (119,202.29)	79%
CAPITAL EXPENSES					
Township Properties					
30-409-000-700	Capital Purchases-General	-	-	-	#DIV/0!
30-409-001-700	Capital Purchases-Executive	-	-	-	#DIV/0!
30-409-002-600	Capital Construction - Township Bldg	10,508.00	103,000.00	(92,492.00)	10%
30-409-002-610	Township Bldg Expansion 2018-2020	-	-	-	#DIV/0!
30-409-002-700	Capital Purchases - Twp Bldg	-	-	-	#DIV/0!
30-409-003-600	Capital Construction - PW Bldg	-	-	-	#DIV/0!
30-409-003-700	Capital Purchases - PW Bldg	-	-	-	#DIV/0!
30-409-004-600	Capital Construction - Milford Rd.	-	-	-	#DIV/0!
30-409-004-700	Capital Purchases - Milford Rd.	-	-	-	#DIV/0!
	Total Township	10,508.00	103,000.00	(92,492.00)	10%
Police					
30-410-000-700	Capital Purchases- Police	30,740.28	120,525.00	(89,784.72)	26%
	Future Purchase	-	-	-	#DIV/0!
		30,740.28	120,525.00	(89,784.72)	26%
Codes					
30-413-000-700	Capital Purchases	-	-	-	#DIV/0!
		-	-	-	#DIV/0!
Emergency Management					
30-415-000-700	Capital Purchases	-	-	-	#DIV/0!
		-	-	-	#DIV/0!
Public Works					
30-438-000-700	Capital Purchases-Vehicles	-	-	-	#DIV/0!
30-438-000-701	Capital Purchases - Equipment	146,030.00	223,382.00	(77,352.00)	65%
	Total Public Works	146,030.00	223,382.00	(77,352.00)	#DIV/0!
Roads					
30-502-434-700	Traffic Signals	-	-	-	#DIV/0!
	Little Conestoga Road Crosswalk	-	-	-	#DIV/0!
	Lyndell Road Bridge	-	-	-	#DIV/0!
		-	-	-	#DIV/0!

Upper Uwchlan Township
Capital Projects Fund
Statement of Revenues and Expenditures
For the Period Ending March 31, 2024

Parks				
All Parks				
30-454-000-700	Capital Purchases - All Parks	13,849.20	14,069.00	(219.80) 98%
Hickory Park				
30-454-001-600	Capital Construction - Hickory	-	-	- #DIV/0!
30-454-001-700	Capital Purchases - Hickory	-	-	- #DIV/0!
Fellowship Fields				
30-454-002-600	Capital Construction - Fellowship	-	-	- #DIV/0!
30-454-002-700	Capital Purchases - Fellowship	-	-	- #DIV/0!
Larkins Field				
30-454-003-600	Capital Construction - Larkins	-	-	- #DIV/0!
30-454-003-700	Capital Purchases - Larkins	-	-	- #DIV/0!
Upland Farms				
30-454-004-600	Capital Construction - Upland	32,125.00	-	32,125.00 #DIV/0!
30-454-004-610	Fund Raising - Upland	-	-	- #DIV/0!
30-454-004-700	Capital Purchases - Upland	-	-	- #DIV/0!
Village of Eagle Pocket Park				
30-506-000-100	Design	-	-	- #DIV/0!
30-506-000-600	Capital Construction	-	-	- #DIV/0!
30-506-000-700	Capital Purchases	-	-	- #DIV/0!
	Total Parks Capital	45,974.20	14,069.00	31,905.20 327%
Trails				
30-455-000-650	Grant-Trails/Bridge - Struble Trail	-	-	- #DIV/0!
30-455-000-651	Phase IV-Pk Rd Trail	-	125,000.00	(125,000.00) 0%
30-455-000-652	Side Path Project	-	-	- #DIV/0!
	Total Trails	-	125,000.00	(125,000.00) 0%
Debt Service				
30-472-000-100	Interest Expense - Series of 2019	44,562.51	185,000.00	(140,437.49) 24%
30-472-000-200	Cost of Issuance - Series of 2019	-	-	- #DIV/0!
30-472-000-300	Bond Amortization Expense - Series of 2019	-	(12,355.00)	12,355.00 0%
30-500-471-003	Capital Lease - Principal	-	-	- #DIV/0!
30-500-472-003	Capital Lease - Interest	-	-	- #DIV/0!
	Total Debt Service	44,562.51	172,645.00	(128,082.49) 26%
Village Concept				
30-506-000-100	Design - Village of Eagle	-	-	- #DIV/0!
30-506-000-600	Construction - Village of Eagle	-	-	- #DIV/0!
30-507-000-010	Misc Expenses	-	-	- #DIV/0!
	Total Expenditures before Operating Transfers	\$ 277,814.99	\$ 758,621.00	\$ (480,806.01) 37%
Operating Transfers				
30-505-000-010	Transfers to the General Fund	-	-	- #DIV/0!
30-505-000-020	Transfers to the Solid Waste Fund	-	-	- #DIV/0!
30-505-000-030	Transfers to the Act 209 Fund	-	-	- #DIV/0!
	Total Operating Transfers	-	-	- #DIV/0!
	Excess of Revenues over Expenditures and Operating Transfers	\$ 173,782.72	\$ (187,821.00)	\$ 361,603.72 -92.53%

**Upper Uwchlan Township
Developers Escrow Fund
Balance Sheet
As of March 31, 2024**

ASSETS

Cash		
40-100-000-100	Cash - Fulton Bank	\$ 339,780.42
	Total Cash	339,780.42
Other Current Assets		
40-130-000-010	Due from General Fund	(3,201.93)
40-130-000-020	Due from Solid Waste Fund	-
40-130-000-030	Due from Municipal Authority	-
	Total Other Current Assets	(3,201.93)
	Total Assets	\$ 336,578.49

LIABILITIES AND FUND BALANCE

Accounts Payable		
40-200-000-000	Accounts Payable	-
	Total Accounts Payable	-
Other Current Liabilities		
40-230-000-010	Due To General Fund	460.00
40-230-000-020	Due to Solid Waste Fund	-
40-230-000-030	Due to Municipal Authority	13,658.07
	<u>Due to Developers:</u>	
40-248-000-001	Toll Brothers	-
40-248-000-004	Columbia Gas Transmission LLC	8,150.24
40-248-000-005	Chester County - Radio Tower	-
40-248-000-006	Executive Land Holdings	-
40-248-000-007	Park Road Townhomes	-
40-248-000-009	Open Community Corp.	(20,197.91)
40-248-000-010	Sunoco Reed Road	4,147.14
40-248-000-011	McHugh	-
40-248-000-012	Marsh Lea	-
40-248-000-013	Eagle Pointe	-
40-248-000-014	Grashof	-
40-248-000-015	McKee Fetters	-
40-248-000-016	Fellowship Rd LP	6.25
40-248-000-017	Vantage Point Retirement	(3,697.85)
40-248-000-018	CarSense	-
40-248-000-019	Village at Byers	-
40-248-000-020	Milford Rd. Associates	-
40-248-000-021	Townes at Chester Springs	-
40-248-000-022	Eagle Village Parking	-
40-248-000-023	Fish Eye	18,934.81
40-248-000-024	Jankowski	-
40-248-000-025	Eagleview Lot 1C	460.18
40-248-000-026	Lot 1B Maintenance Area	3,902.18
40-248-000-027	122 Oscar Way	-
40-248-000-028	Commercial 5C	-
40-248-000-030	Profound Technologies	-
40-248-000-031	Windsor Baptist Church	4,433.86
40-248-000-032	Eagle Village Parking Expansion	-
40-248-000-033	Chester Springs Crossing	8.81
40-248-000-034	Starbucks @ Eaglepoint Village	-
40-248-000-035	The Preserve at Marsh Creek SD	(19,014.32)
40-248-000-036	McKee Toll Traffic Impact Fee	63.75
40-248-000-500	Gunner Properties Performance	-
40-248-000-038	Enclave at Chester Springs	5,253.74

**Upper Uwchlan Township
Developers Escrow Fund
Balance Sheet
As of March 31, 2024**

40-248-000-039	164 Byers Rd QBD	834.45
40-248-000-040	Aurora Greenridge	-
40-248-000-041	Aurora Greenridge	-
40-248-000-042	DeWees 363 Byers Road	-
40-248-000-043	Black Horse Farm	(95.23)
40-248-000-044	Aecom Technology	-
40-248-000-045	11 Senn Drive Parking	375.45
40-248-000-046	Byers Station Parcel 5C Lot 2B	1,912.49
40-248-000-047	461 Font Road	-
40-248-000-048	301 Park Road	4,210.85
40-248-000-049	Eagleview Lot 1A	1,535.87
40-248-000-050	Eagle Animal Hospital	4,958.90
40-248-000-051	Rockhill Real Estate Enterprises	2,251.36
40-248-000-052	100 Greenridge Road	2,390.58
40-248-000-053	J Downend Landscaping	2,111.88
40-248-000-054	241 Park Road	2,770.63
40-248-000-055	Rotelle Development Co.	2,060.63
40-248-001-019	Villages Dedication	22,629.83
40-248-001-032	Gunner Parking Exp Construction	-
40-248-001-033	Crossings Dedication	17.80
40-248-001-035	The Preserve at Marsh Creek Sewer	42,483.67
40-248-001-038	Enclave at Chester Springs site	54,702.41
40-248-002-035	PMC Sewer Phase III	(5,568.06)
40-248-002-038	Enclave Station Blvd Improvements	157,473.15
40-248-003-035	PMC Construction Phase III	22,952.88

Total Other Current Liabilities		336,578.49
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40-258-000-000	Accrued Expenses	-
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Total Liabilities	\$	336,578.49
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Equity

40-279-000-000	Opening Balance Equity	-
	Current Period Net Income (Loss)	-
	Total Equity	-

Total Fund Balance	\$	-
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Total Liabilities & Fund Balance	\$	336,578.49
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Upper Uwchlan Township
 Developers Escrow Fund
 Statement of Revenues and Expenditures
 For the Period Ended March 31, 2024

GL Account #	Account Description	2024 YTD Actual	2024 Budget	Over (Under) Budget	Actual as % of Budget
40-341-000-000	Interest Income	\$ 2,920.48	\$ -	\$ 2,920.48	-
40-341-000-010	Interest Income - allocated to Developers	(2,920.48)	-	(2,920.48)	-
40-392-000-100	Transfer from General Fund	-	-	-	-
		-	-	-	-
	Total Revenue	-	-	-	-
40-400-000-461	Bank Fees	-	-	-	-
		-	-	-	-
		-	-	-	-
		-	-	-	-
	Total Expenditures	-	-	-	-
	Excess of Revenues over Expenditures	\$ -	\$ -	\$ -	-



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

ENGINEER'S REPORT – UPPER UWCHLAN TOWNSHIP

Date: April 18, 2024

To: Tony Scheivert - Township Manager
Board of Supervisors

From: David Leh, P.E.

The following is an overview of engineering activities for the previous month:

Preserve at Marsh Creek – Bond Reduction Request No. 1 for Phase 3 of the project has been submitted by Toll Brothers. We have submitted our recommendation for release under separate cover.

301 Park Road (PJ Reilly) - Updated land development plans have been submitted and are under review by the township consultants. The application will be reviewed by the Planning Commission at their May 9th Meeting.

640 Little Conestoga Road (Wertz Property) – The Pennsylvania Turnpike Commission has submitted a three (3) lot subdivision for this property. The plans have been reviewed by the consultants and the Planning Commission recommended Minor Subdivision approval at their January 11th meeting. The application will be before the Board at their April 22nd meeting seeking same.

Construction continues at the following developments with no significant issues:

- Byers Station (Parcel 6C) (Vantage Point)
- Eagleview (Lot 1C)
- Preserve at Marsh Creek



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

DEVELOPMENT UPDATE – UPPER UWCHLAN TOWNSHIP

Date: April 18, 2024

To: Board of Supervisors

From: David Leh, P.E.

Bold items have been additions since our last report.

100 Greenridge Road (Toll) – The Board granted approval for the Conditional Use for a 64-home subdivision at their October 11th, 2022, meeting. Toll Brothers has now submitted Preliminary Land Development Plans for the project. Consistent with the conditional use approval, 64 homes are proposed. The Planning Commission accepted the plans at their April 13, 2023 meeting. The plans have been reviewed by the Township Consultants and a review letter has been issued. The Zoning Hearing Board's decision regarding the disturbance of Prohibitive Steep Slopes has been appealed.

241 Park Road – The applicant has submitted a conditional use / land development application for the construction of a 6,000 SF daycare facility. The plans were reviewed by the Planning Commission at their January 11th meeting where no action was taken. A conditional Use Hearing has been scheduled for April 9th. In addition, the Applicant has submitted revised land development plans for consideration at the Planning Commission's April 11th meeting. **The conditional use hearing was held as scheduled, however, the applicant has elected to revise the plans further prior to appearing again before the Planning Commission.**

301 Park Road (PJ Reilly) - A preliminary land development plan has been submitted by PJ Reilly Contractors for a new 8,400 SF office and equipment storage facility. The plan was reviewed by the consultants and the Planning Commission at their December 8th meeting. No action was taken. Revised plans were reviewed by The Planning Commission at their April 13, 2023 meeting, no action was taken. The applicant will be making an application to the Zoning Hearing Board for zoning relief prior to returning to the Planning Commission. A hearing was held on August 30, 2023, regarding the requested zoning relief. It is our understanding the Applicant is in the process of revising the plans for

Reference: Development Update

File No. 9991080

April 18, 2024

resubmission. **Updated land development plans have been submitted and will be reviewed by the Planning Commission at their May 9th Meeting.**

500 Pottstown Pike (Rockhill Real Estate Enterprises) – The Applicant has submitted a conditional use application for a 415-space service and storage facility. **The application was reviewed by the Planning Commission at their April 11th meeting and a recommendation of conditional use approval made. The hearing has been scheduled for May 14th.**

Byers Station (Parcel 5C – Lot 2A)- [Enclave at Chester Springs] – This is the 55 Unit Townhouse development being constructed by Toll on Lot 2A of Byers Station. Final paving has been completed. The performance bond was released at the Board of Supervisor's October 16th meeting. The project will not enter the maintenance period until the Station Boulevard crosswalk is completed. The pedestrian path from Station Boulevard to the trail on the Pickering Valley Elementary School Property has been completed. **The foundations for the RRFB signals have been poured with the installation of the equipment to soon follow.**

Byers Station (Parcel 5C – Lot 2B)- [Commercial] – An Amended PRD Application has been submitted for the undeveloped commercial portion of the site. The plan proposes a 10,500 SF daycare facility, an 1,820 SF freestanding eating and drinking establishment, and 13,200 SF of additional retail space. The Board granted Amended Final Plan Approval at their September 19, 2022 meeting. Revised plans have been submitted to the consultants to verify all outstanding comments have been satisfactorily addressed. We met with the applicant to discuss the potential of phasing the construction of this property. The Applicant has submitted a phasing plan which has been reviewed by the Consultants and will be before the Board in the near future for consideration of approval.

Byers Station (Lot 6C)- Vantage Point – The Applicant has received Final PRD Approval at the Board of Supervisors April 20th, 2020, meeting for a 36,171 SF, 3 story retirement facility. Construction continues.

Eagleview Lot 1A – Hankin has submitted a Preliminary / Final Land Development Application for a one-story, 60,600 SF Flex Use office / warehouse building to be located along Sierra Drive. The plan was reviewed by the Planning Commission at their March 9th meeting. No action was taken with regard to plan approval; however, the Planning Commission did recommend the granting of several waivers. The Board granted the requested waivers at their March 20, 2023 meeting. Revised land development plans have been submitted and reviewed by

Reference: Development Update

File No. 9991080

April 18, 2024

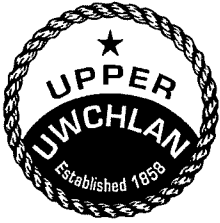
the consultants. The Board granted Preliminary / Final Approval to the application at their June 19, 2023 meeting. Revised plans have been submitted for review prior to recording.

Eagleview Lot 1C— This project proposes a 113,000 SF Flex Office building. The Board granted Final Land Development Approval at their November 19th, 2018, meeting. Site and building construction had been paused due to loss of tenant but has now once again commenced. The front portion of the building is now occupied.

Preserve at Marsh Creek (Fetters Property) - The Board granted Final Land Development Approval at their October 16th, 2017, meeting. Site construction continues in all 3 phases. (i.e.- The entire development) We have received grading permit applications for **288** of the 376 building units to date.

Struble Trail Extension – Chester County has submitted an application to reopen the Conditional Use Hearing as well as land development plans to allow for the continuance of the trail from where it currently terminates to a point on the west side of Dorlan Mill Road. The Planning Commission reviewed the application at their June 13th, 2019, and July 11th, 2019, meetings and recommended Conditional Use Approval as well as Preliminary Land Development approval. The County has submitted revised land development plans which have been reviewed by the consultants. The Planning Commission reviewed the application at their June 8th meeting and recommended conditional use as well as Preliminary / Final Land Development Approval. The Board granted conditional Use and land development approval at their July 17th Meeting. The County has now made application to Pa-DOT for a Highway Occupancy Permit for the trail crossing of Dorlans Mill Road.

640 Little Conestoga Road (Wertz Property) – The Pennsylvania Turnpike Commission has submitted a three (3) lot subdivision for this property. The plans have been reviewed by the consultants and the Planning Commission recommended Minor Subdivision approval at their January 11th meeting. **The application will be before the Board at your April 22nd meeting seeking same.**



UPPER UWCHLAN TOWNSHIP

MEMORANDUM

ADMINISTRATION

TO: The Board of Supervisors

FROM: Kathi McGrath *Kathi McGrath*
Administrative Assistant

RE: Building/Codes Department Activity Report

DATE: April 5, 2024

=====

Attached, please find the Building Department Activity Report for the month of March, 2024.

Attachments:
Activity Report

/km

UPPER UWCHLAN TOWNSHIP
Permit Analysis
2021-2024

	2021				2022				2023				2024			
	# of Permits	Fees	YTD Permits	YTD Fees	# of Permits	Fees	YTD Permits	YTD Fees	# of Permits	Fees	YTD Permits	YTD Fees	# of Permits	Fees	YTD Permits	YTD Fees
Jan	94	\$ 87,742.42	94	\$ 87,742.42	83	\$ 88,198.96	83	\$ 88,198.96	39	\$16,560.04	39	\$16,560.04	65	\$46,474.10	65	\$46,474.10
Feb	67	\$ 38,565.98	161	\$ 126,308.40	39	\$ 25,249.00	122	\$113,447.96	58	\$115,689.00	97	\$132,249.04	53	\$29,120.38	118	\$75,594.48
Mar	86	\$ 44,724.50	247	\$ 171,032.90	77	\$ 52,822.55	199	\$166,270.51	72	\$ 32,216.00	169	\$ 164,465.04	56	\$46,201.34	174	\$121,795.82
Apr	88	\$ 79,069.01	335	\$ 250,101.91	84	\$ 63,858.84	283	\$230,129.35	51	\$ 37,396.20	220	\$ 201,864.24				
May	75	\$ 44,389.44	410	\$ 294,491.35	65	\$ 44,000.00	348	\$274,129.35	82	\$ 38,301.00	302	\$ 240,165.24				
Jun	89	\$ 77,793.00	499	\$ 372,284.35	96	\$ 28,606.00	444	\$302,735.35	66	\$ 26,909.50	368	\$ 267,074.74				
Jul	99	\$131,055.84	598	\$ 503,340.19	68	\$ 37,917.72	512	\$340,653.07	77	\$127,398.14	445	\$ 394,472.88				
Aug	78	\$ 32,545.19	676	\$ 535,885.38	68	\$112,113.82	580	\$452,766.89	65	\$ 68,299.92	510	\$462,772.80				
Sept	78	\$ 36,528.88	754	\$ 572,414.26	73	\$ 46,052.92	653	\$498,819.91	52	\$ 20,696.00	562	\$ 483,468.80				
Oct	72	\$ 40,825.00	826	\$ 613,239.26	54	\$ 42,196.00	707	\$541,015.91	59	\$ 35,511.00	621	\$ 518,979.80				
Nov	58	\$ 41,691.42	884	\$ 654,930.68	45	\$ 21,304.00	752	\$562,319.91	57	\$ 32,429.00	678	\$ 551,408.80				
Dec	62	\$ 68,824.63	946	\$ 723,755.31	47	\$22,295.00	799	\$584,614.91	27	\$ 11,076.28	705	\$ 562,485.08				



MARCH 2024 REPORT UPPER UWCHLAN TOWNSHIP PUBLIC WORKS DEPARTMENT

The following projects were underway since we last met:

Ongoing:

- **Aside from regular routine maintenance, the following work orders were submitted last month.**

Tracking of work orders through Traisr: 185

- **Municipal Authority & PA 1-calls**
 - **97 Work orders completed**
- **Parks**
 - **11 Work orders completed**
- **Public Works**
 - **29 Work orders completed**
- **Solid Waste**
 - **34 Work orders completed**
- **Vehicles and Equipment (All Depts.)**
 - **14 Work orders completed**
- **Prepared and Submitted PADEP 902 Recycling Grant.**
- **Solid Waste Bids opened on March 11th, awarded to A.J. Blosenski at the BOS meeting on March 18th.**
- **Worked with Pre-doc on a sewer repair in front of 95 Milford Road.**
- **Built a new roof enclosure on the Hickory Park dugout.**
- **Assisted the Historical Society with moving back into Upland farmhouse.**

- Assisted with traffic Control at the Historic Commission's lecture held at Upland Barn.
- Began street sweeping throughout the township.
- Repaired broken fence post and rails at Eagle Farms Pump Station.
- Mulched the islands at Hickory Park.
- Assisted with the Easter egg hunt held at Hickory Park on March 30th.
- Assisted with Litter clean up day on Station Blvd, March 30th.
- Minor maintenance issues were handled at the Township Building.
- Tree trimming for sight distance at intersections and along roadways where trees are hanging into the road.
- Sign replacements at various locations.
- Cleared inlets on multiple roadways throughout the Township.
- Toter swaps and deliveries were done as requested.
- Preventive maintenance, repairs, and Pa State Inspections.
- Serviced Police vehicles.
- PA 1-Calls were responded to as they came in.

Workforce

- Jeff Giannini attended continuing education for his Pesticide license.
- Summer help applications are being reviewed.

Respectfully submitted,

**Michael Esterlis
Public Works Director
Upper Uwchlan Township**



UPPER UWCHLAN TOWNSHIP

MEMORANDUM

ADMINISTRATION

TO: Board of Supervisors

FROM: Tony Scheivert
Township Manager

RE: Wertz Farm- Minor Subdivision Plan

DATE: April 17, 2024

The Board is requested to review the final minor subdivision application for the above referenced project and if possible, grant **Final Minor Subdivision Plan Approval.**

The application proposes the subdivision of an existing parcel into three (3) Lots: identified as Lots A, B and R. The existing lot fronts on Little Conestoga Road, Milford Road and the Pennsylvania Turnpike, and is within the R-2 Residential Zoning District and 28.99 acres in size. No construction or grading is proposed as part of the minor subdivision application. A summary of proposed lot sizes is as follows:

<u>Lot</u>	<u>Lot Area</u>
A	12.465 Acres
B	6.132 Acres
R	10.400 Acres

There are several structures on the parcel – a dwelling, barn, and sheds.

The Planning Commission reviewed the plan and recommended plan approval at their January 11, 2024 meeting.

Attachments:

Minor Subdivision Plan dated October 20, 2023
Gilmore's Review Letter dated January 4, 2024



UPPER UWCHLAN TOWNSHIP MOTION

The Board of Supervisors of Upper Uwchlan Township at their April 22, 2024 meeting hereby grant **Final Minor Subdivision Plan Approval** of a plan titled "Final/Minor Subdivision Plan for Pennsylvania Turnpike Commission "Wertz Farm", by Navarro & Wright Consulting Engineers, Inc., and dated October 20, 2023 (the "Plans") subject to Applicant revising the Plans to comply with all outstanding comments in Gilmore & Associates, Inc. review letter dated January 4, 2024 under the headers, "Zoning Ordinance Review" and "Subdivision and Land Development Ordinance Review" and "General Comments."



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

January 4, 2024

File No. 23-12021

Mr. Tony Scheivert
Upper Uwchlan Township Manager
140 Pottstown Pike
Chester Springs, PA 19425

Reference: Wertz Farm
 Minor Subdivision Plan – Final Submittal
 Upper Uwchlan Township, Chester County, PA

Dear Tony:

Gilmore & Associates, Inc. (G&A) is in receipt of the following documents:

- “Final/Minor Subdivision Plan for Pennsylvania Turnpike Commission “Wertz Farm”,” consisting of four (4) sheets prepared by Navarro & Wright Consulting Engineers, Inc., and dated October 20, 2023.
- Act 247 County Referral form.
- Subdivision / Land Development Application.

G&A has completed our first review of the above referenced minor subdivision plan for compliance with the applicable sections of the Township’s Zoning Ordinance, Subdivision and Land Development Ordinance, and wish to submit the following comments for your consideration.

I. OVERVIEW

The application proposes the subdivision of an existing parcel (TMP# 32-3-34), indicated as Lot 1 on the submitted plans, into three (3) Lots: A, B and R. The parcel is located on Little Conestoga Road, Milford Road and the Pennsylvania Turnpike, is within the R-2 Residential Zoning District and is 28.99 acres in size. The lot currently contains several existing structures (dwelling, barn, sheds, etc.) with a septic area and a well, driveways, gravel lay down area,

BUILDING ON A FOUNDATION OF EXCELLENCE

184 W. Main Street | Suite 300 | Trappe, PA 19426
Phone: 610-489-4949 | Fax: 610-489-8447
www.gilmore-assoc.com

Reference: Wertz Farm
Minor Subdivision Plan – Final Submittal
Upper Uwchlan Township, Chester County, PA

File No. 23-12021

January 4, 2024

Black Horse Creek, unnamed tributaries, a floodplain boundary, marshland area, Legal Channel Change easements, gas pipelines within Sunoco Pipeline easements and Laurel/Buckeye Pipeline easement, and a driveway easement. No construction or grading is proposed as part of the application. A summary of proposed lot sizes is as follows:

<u>Lot</u>	<u>Lot Area</u>
A	12.465 Acres
B	6.132 Acres
R	10.400 Acres

II. **ZONING ORDINANCE REVIEW**

1. Section 200-17.A – General and Plan Notes #4 indicates the Zoning District as R-2 Medium Density Residential District, and the Zoning Information table (also Sheet 1) indicates the Zoning Use as R-2 Residential Medium Density / F-1 Flexible Development Overlay. These are incorrect and should be revised to R-2 Residential District.
2. Section 200-18 – Add proposed Lot R to the Zoning Information table.
3. Section 200-18.A and B – Verify/revise the minimum lot area and minimum lot width for Lot A and Lot B in the Zoning Information table as they appear incorrect.
4. Section 200-18.C(1) – Revise the Front yard setback for proposed Lot R along Milford Road shown on Sheet C400 plan view as it is incorrect. Label the FY setback for Lot R along the Turnpike on Sheet C300. We note that the FY setbacks from Little Conestoga Road should be from the ultimate right-of-way which does not appear to be shown correctly.
5. Section 200-18.D – Revise the Building Coverage and the Lot Coverage required percentages in the Zoning Information table as they are incorrect.
6. Section 200-73.G(2) – Minimum off-street parking requirements for a Single-family home is 3.0 spaces per dwelling unit. The Zoning Information table lists 2 spaces per dwelling which shall be revised.

Reference: Wertz Farm
Minor Subdivision Plan – Final Submittal
Upper Uwchlan Township, Chester County, PA

File No. 23-12021

January 4, 2024

III. SUBDIVISION & LAND DEVELOPMENT ORDINANCE REVIEW

1. Section 162-7.1.A(1)(c) – Please add a note to sheet C100 stating as a condition of this application being approved as a Minor Subdivision, no further subdivision is permitted to occur.
2. Sections 162-9.C.(2).(a) and 162-9.B.(2).(b)[10] – Significant features within 100 feet of any part of the property proposed to be developed or subdivided should be shown on the plans. This may be addressed by adding an aerial photograph of the subject property and surrounding area with sufficient clarity to see existing features to the plan set.
3. Sections 162-9.C.(2).(a) and 162-9.B.(2).(b)[16] – Locations of all existing structures on the tract, and distance thereof from lot lines shall be labeled on the plans.
4. Section 162-9.C.(2).(a)[1] – The proposed lots should have an error of closure not to exceed one foot in 10,000 feet; please provide legal descriptions and closure reports for Lots A, B and R.
5. Section 162-9.C.(2).(a)[4] – A statement of the intended use of all nonresidential lots shall be added to the Intent of Plan on Sheet 1, and the Zoning Information table shall be revised to state the same uses (currently notes the Use for Lots A and B as open lot”). Lot R should be added to this table as well.
6. Section 162-9.C.(2).(a)[12] – A signature block shall be provided for the County Planning Commission approval. The Upper Uwchlan Township Board of Commissioners signature block shall be removed. The “Date that all conditions of plan approval were met” signature block for ZO/Twp mgr. should be removed as well.
7. Section 162-9.C.(2).(a)[13] – Cartway widths of adjoining public streets shall be labeled on the plans.
8. Section 162-9.H.(5)(a)[1] – The Township Historical Commission has determined a Historic Resources Impact Statement is not required.
9. Section 162-47.A(1) – Permanent stone or concrete monuments shall be accurately placed at the intersection of all lines forming angles and at changes in directions of lines in the boundary (perimeter) of the property being subdivided. Please indicate the installation of monuments at these locations.

Mr. Tony Scheivert
Upper Uwchlan Township Manager
Reference: Wertz Farm
Minor Subdivision Plan – Final Submittal
Upper Uwchlan Township, Chester County, PA
File No. 23-12021
January 4, 2024

10. Section 162-47.A.(4) – Monumentation should be provided along the rights-of-way of existing streets per this section. Please indicate the installation of monuments at these locations.

IV. GENERAL COMMENTS

1. Revise General and Plan Notes #7 on Sheet C100 to include Lot R.
2. A building setback line for the current property should be provided on sheet C200. In addition, the proposed building setback line for proposed Lot R which is shown on sheet C200 should be removed.
3. Revise General and Plan Notes #2 as it is unclear and potentially incorrect.
4. The Zoning Information table indicates public water supply and sanitary sewer disposal; however, the existing dwelling appears to be served by a well and on-site septic. Please verify the water and sewer.
5. Revise all years (i.e., 2022 and 2023) included in signature blocks on Sheet 1 to 2024.
6. Revise the plan sheet titles to match those listed in the Drawing Index on Sheet 1 and remove "& Land Development" from all title blocks.
7. Label Milford Road on Sheet 4.
8. Please cite the source of the Floodplain Boundary as well as the Zone.

V. HISTORICAL COMMISSION COMMENTS

1. In case the Township does not prevail in its purchase of the Robert Smith Farm lot containing the farm buildings, to further the objectives of SALDO and ensure preservation of the Robert Smith Farm buildings going forward, to the extent permissible under applicable law, as a condition of subdivision approval, require the Turnpike Commission to impose in any sale agreement pertaining to the sale of the lot containing the historic Robert Smith Farm buildings, the following restrictions on buyer:

Mr. Tony Scheivert
Upper Uwchlan Township Manager

Page - 5 -

Reference: Wertz Farm
Minor Subdivision Plan – Final Submittal
Upper Uwchlan Township, Chester County, PA

File No. 23-12021

January 4, 2024

- The historic buildings along with what remains of their related historic landscapes and sight lines shall be preserved and the buildings shall be rehabilitated in an appropriate manner sensitive to their historic nature and done so in a timely manner to avoid “demolition by neglect.”
 - The stone house interior and exterior period features, finishes and millwork shall be preserved to the greatest extent practicable
 - The foregoing restrictions shall apply in perpetuity to all future buyers.
2. If a formal appraisal of both lots to be sold, has not yet been obtained, as a condition of subdivision approval, require the Turnpike Commission to obtain such appraisal.
 3. No Historic Resources Impact Statement is required under Section 162-9H(5)(a) of Township ordinances.

Based on our review of the application, we would recommend Minor Subdivision Plan Approval be considered at this time, contingent upon the applicant addressing the above referenced comments as well as any raised by the Planning Commission and Board of Supervisors.

If you have any questions, please do not hesitate to contact me.

Sincerely,

David N. Leh

David N. Leh, P.E.
Vice President
Gilmore & Associates, Inc.

cc: Upper Uwchlan Township Board of Supervisors
Upper Uwchlan Planning Commission
Upper Uwchlan Historical Commission
Kristin Camp, Esq. – BBM&M LLP
Brian Mostek, PTC – Applicant
David M. Ardini – Navarro & Wright Consulting Engineers, Inc.
William J. Grow, PLS – Navarro & Wright Consulting Engineers, Inc.



SUBDIVISION / LAND DEVELOPMENT APPLICATION

☐ Preliminary Submittal

☒ Final Submittal

The undersigned hereby applies for review of the Plan submitted herewith and described below:

1. Name of Subdivision / Development: Wertz Farm
2. Plan Dated: October 20, 2023 County Deed Book/Page No. 9995 / 2382
3. Name of property owner(s): Pennsylvania Turnpike Commission

Address: 700 S. Eisenhower Blvd., Middletown

State/Zip: PA / 17057 Phone No.: 877-736-6727

Email: bmostek@paturnpike.com

4. Name of Applicant (If other than owner):

David M. Ardini (Navarro & Wright Consulting Engineers, Inc.)

Address: 151 Reno Ave, New Cumberland

State/Zip: PA / 17070 Phone No.: 717-441-2216

Email: dardini@navarrowright.com

5. Applicant's interest (If other than owner):

Agent to the Pennsylvania Turnpike Commission

6. Engineer, Architect, Surveyor, or Landscape Architect responsible for Plan.

William J. Grow, PLS, (Navarro and Wright Consulting Engineers, Inc.)

Address: 151 Reno Ave, New Cumberland

State/Zip: PA / 17070 Phone No.: 717-441-2216

Email: wgrow@navarrowright.com

7. Total acreage: 28.99 Acres Number of Lots: 3

8. Acreage of adjoining land in same ownership: (If any) _____

9. Describe Type of Development Planned: Minor Subdivision

The purpose is to subdivide 28.99 acres into three (3) parcels.

10. This Application shall be accompanied by: the Application Fee as listed below, an aerial image of the property, and the quantity of plans/supporting information as detailed in the Township Code §162-8.B.(1)(b) and/or §162-8.C.(1)(d).

[One-half of the required plan submissions may be of a reduced size, i.e. 11 x 17]

11. List all subdivision and zoning standards or requirements which have not been met and for which a waiver or change is requested.

12. The Applicant or his/her agent shall enter into a Subdivision / Land Development Review Escrow Agreement (attached) and place into escrow with the Township at the time of application an amount estimated by the Township to cover all costs of engineering and professional planning reviews (not including County application fee), legal services and other professional services used by the Township in connection with the application.

Signature of Property Owner or Applicant:

By: _____
Date: _____

*Development subject to ACT 209 Impact Fee.

*Park & Recreation Fee per residence is levied. Contact Township Offices to determine amount.

SUBDIVISION / LAND DEVELOPMENT APPLICATION FEE

1-2 Lots \$250

3-5 Lots \$500

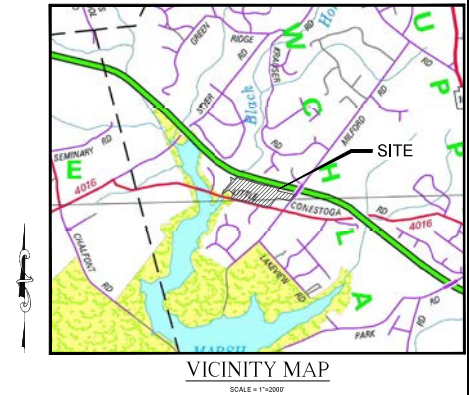
Plus \$25 for each Lot over 3

Over 5 Lots \$1000

Plus \$50 for each Lot over 5

Form revised January 2015

FINAL/MINOR SUBDIVISION PLAN
FOR
PENNSYLVANIA TURNPIKE COMMISSION "WERTZ FARM"
TOWNSHIP OF UPPER UWCHLAN
CHESTER COUNTY, PENNSYLVANIA
OCTOBER 20, 2023
REVISIONS



DRAWING INDEX

C100 COVER SHEET
C200 EXISTING CONDITIONS PLAN
C300 PROPOSED SUBDIVISION PLAN 01
C400 PROPOSED SUBDIVISION PLAN 02

SOURCE OF TITLE

DEED BOOK: 9995 PAGE: 2382

TAX PARCEL NUMBER REFERENCE

32-3-34

ZONING INFORMATION:

LOCATION: UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PA					
ZONING: R-2 RESIDENTIAL - MEDIUM DENSITY / FT - RESIDENTIAL DEVELOPMENT OVERLAY					
ITEM #	ITEM	REQUIRED	LOT A	LOT B	
1	LAND USE	-	OPEN LOT	OPEN LOT	
2	MINIMUM LOT AREA	1 ACRE	7,680 S.F. (0.17 ACRES)	7,680 S.F. (0.17 ACRES)	
3	MINIMUM LOT WIDTH	150 FT	150 FT	150 FT	
4	BUILDING COVERAGE (MAX)	40%	1,200 SF (27.0%)	458 SF (5.0%)	
5	IMPERVIOUS COVERAGE (MAX)	70%	3,078 SF (34.8%)	458 SF (5.0%)	
6	MAX. FRONT BUILDING SETBACK	50 FT	50 FT	50 FT	
7	MINIMUM REAR YARD SETBACK	30 FT	30 FT	30 FT	
8	MINIMUM REAR YARD SETBACK	40 FT	40 FT	40 FT	
9	WATER SUPPLY	PUBLIC	PUBLIC	PUBLIC	
10	SANITARY SEWER DISPOSAL	PUBLIC	PUBLIC	PUBLIC	
11	MAX. BUILDING HEIGHT	30'	40' FT	40' FT	
12	PARKING	2 SPACES PER DWELLING	2 OFF-STREET SPACES	2 OFF-STREET SPACES	

NOTARY SIGNATURE

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF CHESTER
ON THIS _____ DAY OF _____, 2023, BEFORE ME, THE UNDERSIGNED PERSONALLY
APPEARED _____, WHO BEING DULY SWORN, ACCORDING TO LAW,
DEPOSED AND TESTIFIED THAT HE/SHE IS THE OWNER OF THE PROPERTY SHOWN ON THIS PLAN,
AND THAT HE AND SHE ACKNOWLEDGES THE SAME TO BE HIS/HER PLAN AND ORDERS THE SAME TO BE
RECORDED AS SUCH ACCORDING TO LAW, WITHIN MY HAND AND SEAL, THE DAY AND DATE
ABOVE WRITTEN.

NOTARY PUBLIC _____ DATE _____

MY COMMISSION EXPIRES _____

UPPER UWCHLAN TOWNSHIP BOARD OF COMMISSIONERS

APPROVED BY THE BOARD OF COMMISSIONERS OF UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY,
PENNSYLVANIA, BY MOTION ADOPTED THIS _____ DAY OF _____, 2023.

CHAIRMAN SIGNATURE _____ DATE _____

SECRETARY SIGNATURE _____ DATE _____

UPPER UWCHLAN TOWNSHIP ENGINEER

THIS PLAN WAS REVIEWED BY THE UPPER UWCHLAN TOWNSHIP ENGINEER
THIS _____ DAY OF _____, 2023.

TOWNSHIP ENGINEER SIGNATURE _____ DATE _____

ENGINEERING FIRM _____

UPPER UWCHLAN TOWNSHIP PLANNING COMMISSION

AT A MEETING HELD ON THIS PLAN ON THIS _____ DAY OF _____, 2023, THE UPPER
UWCHLAN TOWNSHIP PLANNING COMMISSION REVIEWED THIS PLAN ACCORDING TO THE
REQUIREMENTS OF THE UPPER UWCHLAN TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT
ORDINANCES. THIS CERTIFICATE DOES NOT INDICATE APPROVAL OR DISAPPROVAL BY THE UPPER
UWCHLAN TOWNSHIP BOARD OF SUPERVISORS.

CHAIRMAN SIGNATURE _____ DATE _____

SECRETARY SIGNATURE _____ DATE _____

DATE THAT ALL CONDITIONS OF PLAN APPROVAL WERE MET:

DATE _____

ZONING OFFICER/TOWNSHIP MANAGER SIGNATURE _____

TOWNSHIP BOARD OF SUPERVISORS

AT A MEETING HELD ON THIS PLAN ON THIS _____ DAY OF _____, 2023, THE UPPER
UWCHLAN TOWNSHIP BOARD OF SUPERVISORS APPROVED THIS PROJECT INCLUDING THE
COMPLETE SET OF PLANS AND INFORMATION WHICH ARE FILED WITH THE BOARD OF SUPERVISORS
BASED UPON ITS COMPLIANCE WITH THE STANDARDS OF THE UPPER UWCHLAN TOWNSHIP
SUBDIVISION AND LAND DEVELOPMENT ORDINANCES.

CHAIRMAN SIGNATURE _____ DATE _____

CHAIRMAN SIGNATURE _____ DATE _____

CHAIRMAN SIGNATURE _____ DATE _____

CHAIRMAN SIGNATURE _____ DATE _____

CHAIRMAN SIGNATURE _____ DATE _____

CHAIRMAN SIGNATURE _____ DATE _____

SECRETARY _____ DATE _____

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAN AND THE RELATED SURVEY WORK WAS PREPARED AND
FORWARDED BY ME UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A FULLY
LICENSED LAND SURVEYOR UNDER THE LAWS OF THE COMMONWEALTH OF PENNSYLVANIA.
THIS CERTIFICATION IS NEITHER A WARRANTY NOR GUARANTEE, EITHER EXPRESSED OR
IMPLIED.

LICENSE # S107008
FOR AND ON BEHALF OF NAVARRO & WRIGHT
CONSULTING ENGINEERS, INC.
151 RENO AVENUE, NEW CUMBERLAND, PA, 17070
(717) 441-2218



INTENT OF PLAN

THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE 28.99 ACRES PENNSYLVANIA TURNPIKE COMMISSION PARCEL INTO THREE (3) SEPARATE PARCELS.

GENERAL AND PLAN NOTES

- THE PURPOSE OF THE PLAN IS TO CREATE TWO NEW LOTS.
- THE PENNSYLVANIA TURNPIKE COMMISSION WILL RETAIN LOTS A & B. SUBDIVIDE LOTS A & B AND RETAIN REMAINT LOT 12.
- THE COORDINATES, BEARINGS AND DISTANCES SHOWN HEREON ARE BASED ON PENNSYLVANIA TURNPIKE COMMISSION GRID FOR HORIZONTAL AND
VERTICAL POSITIONING AND REFERENCED BY THE FOLLOWING STATIONS:

T-106	N 58065.2476	E 88062.3282	E1 443.027	MAGNAIL
T-107	N 58023.3301	E 88024.4282	E2 264.067	MAGNAIL
T-108	N 58022.46739	E 87715.92016	E1 447.489	MAGNAIL
T-109	N 49539.91125	E 87715.91417	E1 586.49	MAGNAIL

4. ZONING DATA:

TOTAL ACRES: 28.99 AC

ZONING REQUIREMENTS

ZONING DISTRICT: R-2 MEDIUM DENSITY RESIDENTIAL DISTRICT

ZONING USE: "SINGLE-FAMILY SEMI-DETACHED DWELLING"

MINIMUM LOT AREA (ACRES)	REQUIRED
MINIMUM LOT WIDTH (FEET) <td>150 FT</td>	150 FT
MINIMUM SETBACK REQUIREMENTS:	
FRONT	50 FT
SIDE	30 FT
REAR	40 FT

- NO CONSTRUCTION, BUILDING, DEMOLITION, OR LAND DEVELOPMENT IS PROPOSED WITH THIS PLAN.
- NO GRADING IS BE PROPOSED WITH THIS PLAN.
- UPON APPROVAL OF THIS PLAN, LEGAL DESCRIPTIONS FOR LOTS A & B WILL BE CREATED AND RECORDED BY THE PENNSYLVANIA TURNPIKE COMMISSION.

PLANNING AND NON-BUILDING DECLARATION

NO PORTION OF THIS SUBDIVISION ARE APPROVED BY UPPER UWCHLAN TOWNSHIP OR THE DEPARTMENT OF
ENVIRONMENTAL PROTECTION (DEP) FOR THE INSTALLATION OF ANY SEWAGE DISPOSAL FACILITY. NO PERMIT WILL
BE ISSUED FOR THE INSTALLATION, CONSTRUCTION, CONNECTION TO OR USE OF ANY SEWAGE COLLECTION,
CONVEYANCE, TREATMENT OR DISPOSAL SYSTEM (EXCEPT FOR REPAIRS TO EXISTING SYSTEMS) UNLESS UPPER
UWCHLAN TOWNSHIP AND DEP HAVE BOTH APPROVED SEWAGE FACILITIES PLANNING FOR THE SUBDIVISION
DESCRIBED HEREIN IN ACCORDANCE WITH THE PENNSYLVANIA SEWAGE FACILITIES ACT (PS SECTIONS 7501-16
AND REGULATIONS PROMULGATED THEREUNDER). PRIOR TO BEGINNING, ANY PLANNING, IMPROVING OR
RECORDING ANY SALES CONTRACT OR ADDITIONAL SUBDIVISION PLANS, ANY PURCHASER OR SUBDIVIDER OF ANY
PORTION OF THIS PROPERTY WILL CONTACT APPROPRIATE OFFICIALS OF UPPER UWCHLAN TOWNSHIP, WHO ARE
CHARGED WITH ADMINISTERING THE SEWAGE FACILITIES ACT TO DETERMINE THE FORM OF SEWAGE FACILITIES
PLANNING, REQUIRED AND THE PROCEURE, AND REQUIREMENTS FOR OBTAINING APPROPRIATE PERMITS OR
APPROVALS.

CALL BEFORE YOU DIG!

PENNSYLVANIA LAW REQUIRES
3 WORKING DAYS NOTICE FOR
CONSTRUCTION PHASE AND 10 WORKING
DAYS IN DESIGN STAGE - STOP CALL



POCS SERIAL NUMBERS
20221713179

RECORDER OF DEEDS CERTIFICATE

DATE OF THIS PLAN _____

THIS PLAN IS RECORDED IN THE CHESTER COUNTY COURTHOUSE,
UPPER UWCHLAN, PENNSYLVANIA, THIS _____ DAY OF _____, 2023.

IN PLAN BOOK _____ PAGE _____

RECORDER OF DEEDS _____

PUBLIC UTILITY LISTING

AGRI PENNSYLVANIA
762 WEST LANCASTER AVENUE
BETH LEAH, PA 17004
ATTN: DANIELA LILLYAN
EMAIL: danielalillyan@agri.com

BUCKEY PARTNERS
604 HAMILTON BOULEVARD
ALLENSTOWN, PA 16801
ATTN: DAVID FOSTER
EMAIL: dfooster@buckeye.com

COMCAST
1001 CORNHORSE BOULEVARD
PITTSBURGH, PA 15222
ATTN: TOM BURRO
EMAIL: tom.burro@comcast.com

PECO AN ENERGY COMPANY C/O SBC
450 SCHUMEDERSON ROAD, SUITE B
KING OF PRUSSIA, PA 19396
ATTN: NIKKIA SIMPSON
EMAIL: nikkiastump@peco.com

ENTERPRISE PRODUCTS
940 WEST MAIN LIGUTION PARKWAY NORTH
ROCKFORD, IL 61101
ATTN: ALL EMPLOYMENT PERSONNEL
EMAIL: eall@enterpriseproducts.com

EVERETT TRANSFER
100 MAIN STREET
ROCKFORD, IL 61101
ATTN: CELISTE WATERWALL
EMAIL: celiste.waterwall@everetttransfer.com

UPPER UWCHLAN TOWNSHIP UPPER
UWCHLAN MUNICIPAL AUTHORITY
151 RENO AVENUE
NEW CUMBERLAND, PA 17070
ATTN: MICHAEL WICKMAN
EMAIL: mick@upperuwchlanpa.gov

VERIZON PENNSYLVANIA LLC
1500 VERONA DRIVE
FORT WASHINGTON, PA 19034
ATTN: DARLENE LEPPER-BOYSON



151 RENO AVENUE
NEW CUMBERLAND, PA 17070

PHONE (717) 441-2218
FAX (717) 441-2218

JOB NUMBER: 1302TD019

DRAWN BY: SJM

CHECKED BY: SJM

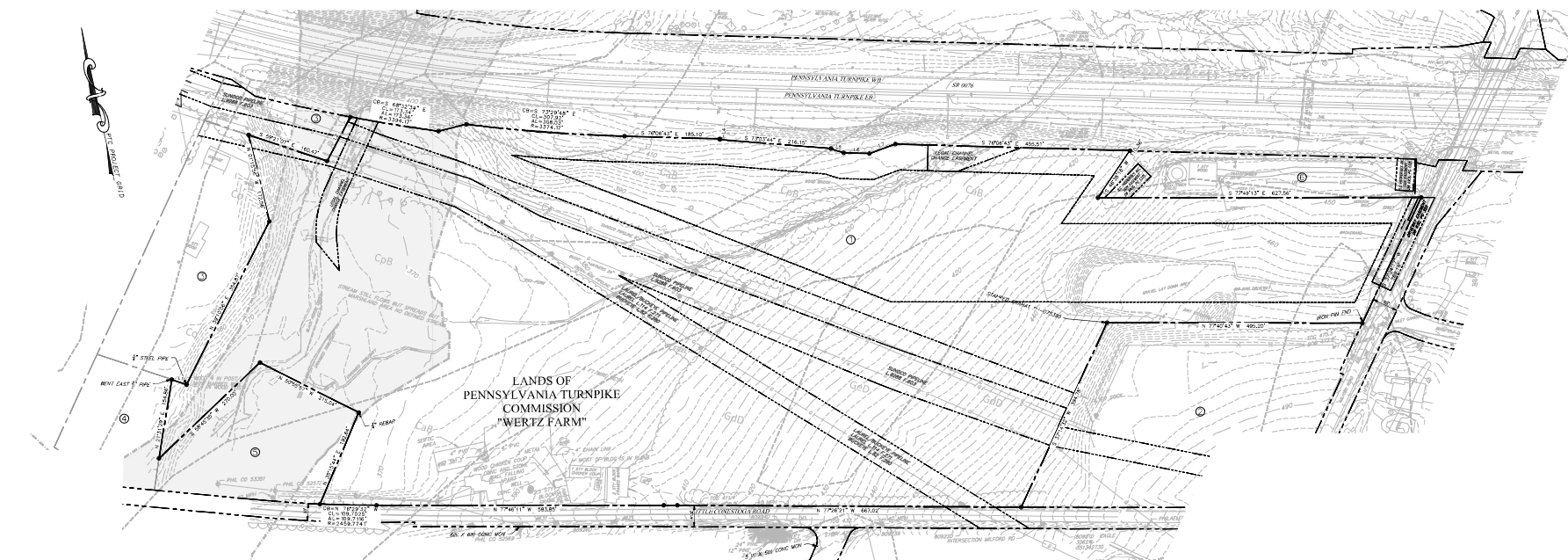
DATE: 10/20/2023

DRAWING NUMBER:

1302TD019-2-S/VEK-TITLE

SHEET

C100



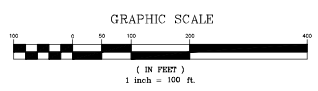
PARCEL NUMBER	CURRENT OWNER	DEED REFERENCE	TAX PID
1	PENNSYLVANIA TURNPIKE COMMISSION	D.B. 9995 PG. 2382	32-3-34
2	SUNOCO PIPELINE, L.P.	D.B. 8960 PG. 768	32-3-34.7
3	ELIZABETH L. STANATIS	D.B. 10702 PG. 1298	32-3-34.2
4	JOHNATHAN D. THUR	D.B. 10088 PG. 1924	32-3-34.1
5	COMMONWEALTH OF PENNSYLVANIA	D.B. C39 PG. 290	32-3-34.5
6	SECURE HOLDINGS, LLC, A PENNSYLVANIA LIMITED LIABILITY COMPANY	D.B. 9272 PG. 1428	32-3-34.3

PENNSYLVANIA TURNPIKE COMMISSION "WERTZ FARM"		
LINE	BEARING	DISTANCE
L1	S 50°42'11" E	100.00
L2	N 50°42'11" E	100.00
L3	N 50°42'11" E	100.00
L4	S 50°42'11" E	100.00
L5	S 50°42'11" E	100.00
L6	S 50°42'11" E	100.00
L7	S 50°42'11" E	100.00

- SOILS KEY**
- CuB - CALIFORN LOAM, 3-8% SLOPES
 - Ca - COLUMBUS SILT LOAM
 - CuB - COKEBURY SILT CLAY LOAM, 8-15% SLOPES
 - BuB - GLADSTONE GRAVELLY LOAMS, 3-8% SLOPES
 - GwD - GLADSTONE-PARKER GRAVELLY LOAMS, 15-25% SLOPES

LEGEND

- EASEMENT
 - EDGE OF ASPHALT
 - FENCE LINE
 - PROPERTY LINE
 - PROPERTY LINE - ADJONER
 - RIGHT-OF-WAY LINE
 - EDGE OF WATER
 - BUILDING LINE
 - GAS LINE
 - WATER LINE
 - FLOODPLAIN BOUNDARY
 - SOILS BOUNDARY
 - EXISTING TREE LINE
- 1 - PARCEL OWNER (SEE TABLE)
 - - PROPERTY CORNER
 - ⊙ - UTILITY POLE
 - ⊙ - SANITARY SEWER MANHOLE
 - ⊙ - UNIDENTIFIED MANHOLE
 - ⊙ - POST
 - ⊙ - FIRE HYDRANT
 - ⊙ - SON
 - ⊙ - IRON PIN FOUND
 - ⊙ - BENCHMARK FOUND
 - CaB - SOILS LABEL

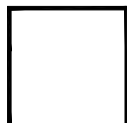
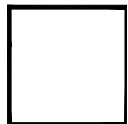


DATE	REVISIONS	BY

SAVARO & WRIGHT
CONSULTING ENGINEERS, INC.

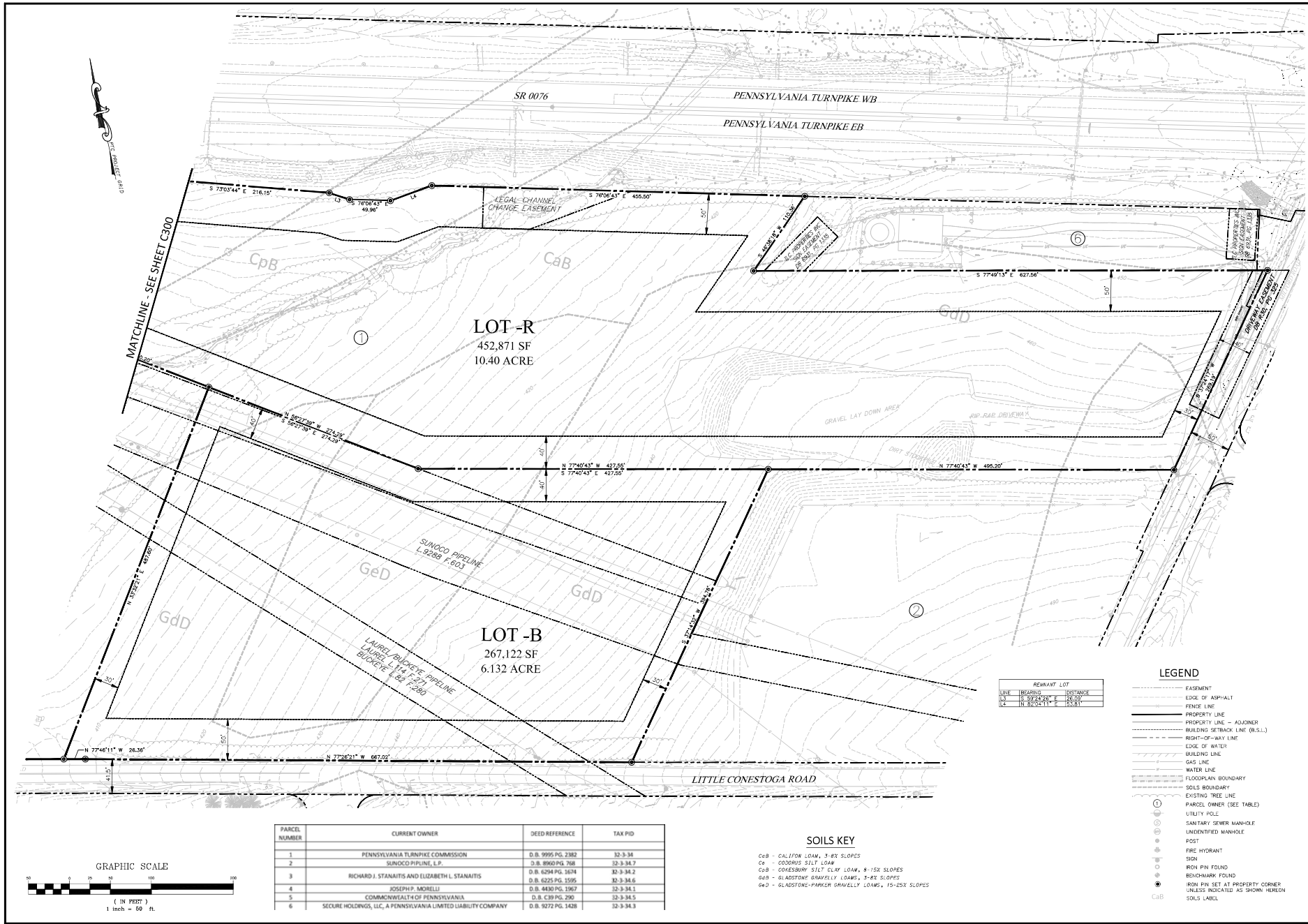
151 RENO AVENUE
NEW CAMDEN, PA 17070

PHONE (717) 641-2216
FAX (717) 641-2211



SUBDIVISION & LAND DEVELOPMENT PLANS
FOR
PENNSYLVANIA TURNPIKE COMMISSION
"WERTZ FARM"
UPPER MERION TOWNSHIP, CHESTER COUNTY, PA

JOB NUMBER: 1302T0019-2
DRAWN BY: SJK
CHECKED BY: SJK
SCALE: 1"=100'
DATE: 10/20/23
DRAWING NUMBER:
SHEET: C200



151 REND AVENUE
NEW CASTLE, PA 17070
PHONE (717) 441-2216
FAX (717) 441-2217

SAVARKO & WRIGHT
CONSULTING ENGINEERS, INC.

SUBDIVISION & LAND DEVELOPMENT PLANS
FOR
PENNSYLVANIA TURNPIKE COMMISSION
"WERTZ FARM"

CHESTER COUNTY, PA
UPPER MERIDIAN TOWNSHIP

JOB NUMBER: 1302T0019
DRAWN BY: BJK
CHECKED BY: BJK
SCALE: 1"=50'
DATE: 10/20/23
DRAWING NUMBER:
SHEET: C400

DATE
REVISIONS
BY



THE COUNTY OF CHESTER



COMMISSIONERS
Marian D. Moskowitz
Josh Maxwell
Michelle Kichline

Brian N. O'Leary, AICP
Executive Director

PLANNING COMMISSION
Government Services Center, Suite 270
601 Westtown Road
P. O. Box 2747
West Chester, PA 19380-0990
(610) 344-6285 Fax (610) 344-6515

January 12, 2024

Tony Scheivert, Manager
Upper Uwchlan Township
140 Pottstown Pike
Chester Springs, PA 19425

Re: Final Subdivision - Pennsylvania Turnpike Commission "Wertz Farm"
Upper Uwchlan Township - SD-12-23-17939

Dear Mr. Scheivert:

A final subdivision plan entitled "Pennsylvania Turnpike Commission "Wertz Farm"", prepared by Navarro & Wright and dated October 20, 2023, was received by this office on December 22, 2023. This plan is reviewed by the Chester County Planning Commission in accord with the provisions of Section 502 of the Pennsylvania Municipalities Planning Code. We offer the following comments on the proposed subdivision for your consideration.

PROJECT SUMMARY:

Location:	North side of Conestoga Road, east of Shoreline Drive
Site Acreage:	29.99 acres
Lots:	3 lots proposed
Proposed Land Use:	Farm/Pasture Land
Municipal Land Use Plan Designation:	Suburban/Site Responsive
UPI#:	32-3-34-E

PROPOSAL:

The applicant proposes the subdivision of a 28.99-acre tract into three lots. The site is in the Upper Uwchlan Township R-2 Residential-Medium Density zoning district and contains a dwelling and associated structures served by on-site water and sewer facilities. Several easements are located on the site, including gas transmission pipeline easements. No additional development is proposed by this subdivision.

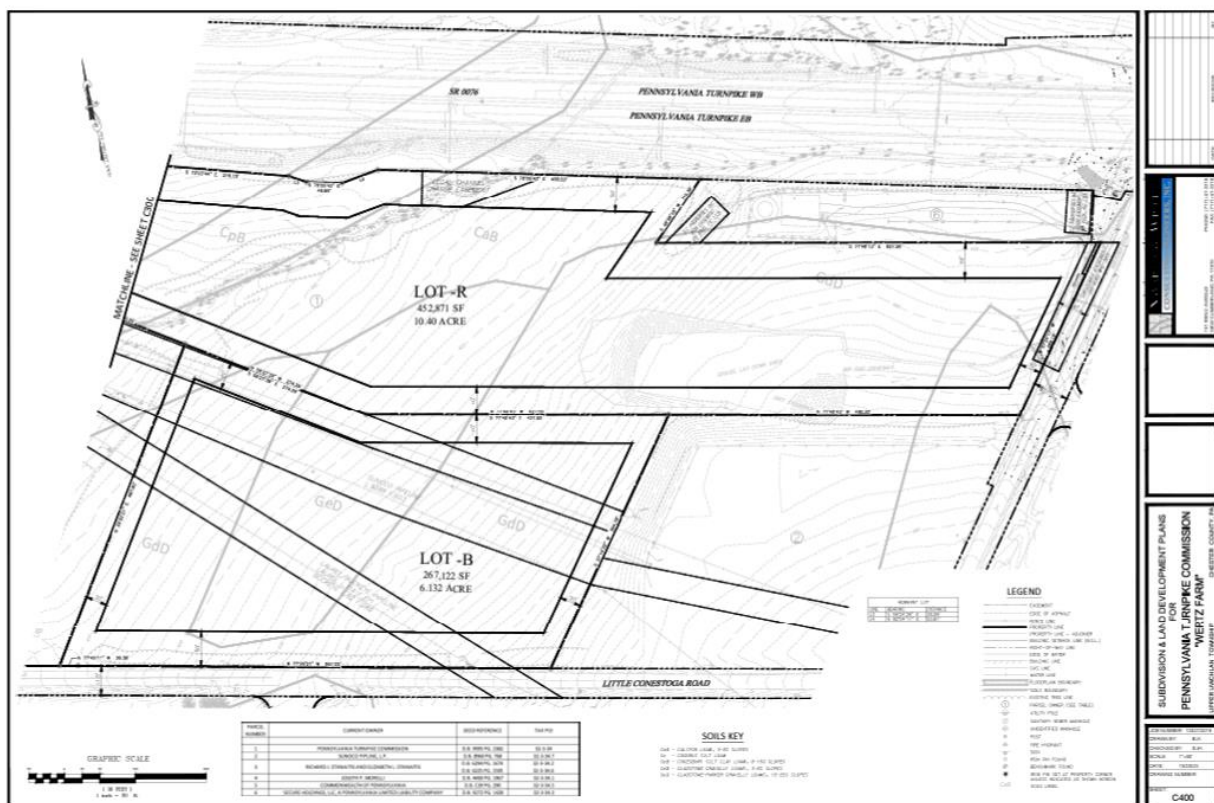
RECOMMENDATION: The County Planning Commission recommends that the issues raised in this letter should be addressed and all Upper Uwchlan Township issues should be resolved before action is taken on this subdivision plan.

COUNTY POLICY:

LANDSCAPES:

1. The site is located within the **Suburban Landscape** designation of [Landscapes3](#), the 2018 County Comprehensive Plan. The vision for the **Suburban Landscape** is predominantly residential communities with locally-oriented commercial uses and facilities, accommodating growth at a medium density that retains a focus on residential neighborhoods, with enhancements in housing diversity and affordability. Additionally, roads, sidewalks and paths with convenient access to parks and community facilities should be provided. The proposed subdivision is consistent with the objectives of the **Suburban Landscape**.





Sheets C300 and C400 of the Pennsylvania Turnpike Commission "Wertz Farm"
Final Subdivision Plan

Page: 4

Re: Final Subdivision - Pennsylvania Turnpike Commission "Wertz Farm"

Upper Uwchlan Township - SD-12-23-17939

PRIMARY ISSUES:

2. General and Plan Note 2 on Sheet C100 states: "THE PENNSYLVANIA TURNPIKE COMMISSION WILL RETAIN LOTS A & B. SUBDIVIDE LOTS A & B AND RETAIN REMNANT LOT 12." This is confusing and the applicant should clarify its intent. Also, the plan does not appear to clearly identify Lot 12.
3. Although no development is proposed by this subdivision, the site contains Sunoco and Laurel/Buckeye gas transmission pipelines. We suggest that the applicant contact the pipeline operators to ensure that any future development will not result in any encroachments into the pipeline rights-of-way. We recommended that future development plans include field survey locations of the pipelines, the size, material and depth (if known), and the type of product typically transported through the pipelines. Pipeline operator contact information is located on the pipeline markers within the easements and can also be found at the Chester County Pipeline Information Center Pipeline Operators page: <http://www.chescoplanning.org/pic/operators.cfm>.

ADMINISTRATIVE ISSUE:

4. A minimum of five copies of the plan should be presented at the Chester County Planning Commission for endorsement to permit recording of the final plan in accord with the procedures of Act 247, the Pennsylvania Municipalities Planning Code, and to meet the requirements of the Recorder of Deeds, the Assessment Office, the Health Department, and the municipality.

This report does not review the plan for compliance to all aspects of your ordinance, as this is more appropriately done by agents of Upper Uwchlan Township. However, we appreciate the opportunity to review and comment on this plan. The staff of the Chester County Planning Commission is available to you to discuss this and other matters in more detail.

Sincerely,

A handwritten signature in cursive script that reads "Wes Bruckno".

Wes Bruckno, AICP
Senior Review Planner

cc: Pennsylvania Turnpike Commission
Navarro & Wright



UPPER UWCHLAN TOWNSHIP

MOTION OF APPROVAL FOR EAGLE ANIMAL HOSPITAL PRELIMINARY LAND DEVELOPMENT PLANS FOR 211 BYERS ROAD

9 Coffman Associates L.P. is the owner of an approximately 1.40 acre parcel of land located on the north side of Byers Road with an address of 211 Byers Road, Chester Springs, PA 19425 and identified as Chester County Tax Parcel No. 32-4K-4 (the "Property"). The Property was previously improved with a two-story building and greenhouse which were used as the Eagle Animal Hospital. These structures were classified as a Class I Historic Resource and referred to as the A.M.F. Stiteler House. The structures were lost in a fire in the Fall of 2023. The Property has an existing paved access driveway from Byers Road and is located in the C-1 Village Zoning District and nationally recognized Byers Station Historic District.

On March 19, 2024, Applicant filed a preliminary land development application and preliminary plans titled, "Eagle Animal Hospital 211 Byers Road" prepared by Linn Architects dated March 4, 2024, consisting of nine sheets (the "Plans"). The Plans propose the construction of a new 5,334-square-foot building to replace the structures lost in the fire and to be used as a veterinary office. The Plans also propose 36 off-street parking spaces in the front of the building. Applicant also intends to decommission the existing on lot septic system on the Property and connect to public sewer.

The Township Planning Commission reviewed the Plans at its meeting on April 11, 2024 and recommended that the Board approve the Plans subject to complying with the outstanding comments in the Township consultants review letter issued by Gilmore & Associates, Inc. dated April 5, 2024.

At the April 22, 2024 Board of Supervisors meeting, the Board voted to grant preliminary land development approval for the Plans subject to the conditions listed below. The Board also grants the following waivers:

- A waiver from SALDO Section 162-28.A. to not require Applicant to widen the existing 23 foot cartway width of Byers Road.
- A waiver from SALDO Section 162-41.B. to not require Applicant to provide a sidewalk along Byers Road.

CONDITIONS OF APPROVAL

1. Prior to the Plans being released for recording, the Plans shall be revised to comply with all outstanding comments in Gilmore & Associates, Inc. review letter dated April 5, 2024.



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

April 5, 2024

File No. 23-01086

VIA E-MAIL ONLY

Mr. Tony Scheivert
Upper Uwchlan Township Manager
140 Pottstown Pike
Chester Springs, PA 19425

Reference: 211 Byers Road – Eagle Animal Hospital
Preliminary Land Development Plan Application Review
Upper Uwchlan Township, Chester County, PA

Dear Tony:

Gilmore & Associates, Inc. (G&A) is in receipt of the following documents:

- Plan set consisting of Nine (9) sheets titled “Eagle Animal Hospital 211 Byers Road,” prepared by Linn Architects and dated March 4, 2024.
- Report titled “Preliminary Stormwater Management Report for Eagle Animal Hospital 211 Byers Road,” prepared by Linn Architects and dated March 19, 2024.
- Color Renderings of proposed Building dated March 14, 2024.
- Preliminary Land Development Plan Application dated March 19, 2024.

G&A, along with the other Township Consultants, have completed our first review of the above referenced Preliminary land Development Plan Application for compliance with the applicable sections of the Township’s Zoning, Subdivision and Land Development, and Stormwater Management Ordinance, and wish to submit the following comments for your consideration.

BUILDING ON A FOUNDATION OF EXCELLENCE

184 W. Main Street | Suite 300 | Trappe, PA 19426
Phone: 610-489-4949 | Fax: 610-489-8447
www.gilmore-assoc.com

Upper Uwchlan Township Manager

Reference: 211 Byers Road – Eagle Animal Hospital
Preliminary Land Development Plan Application Review
Upper Uwchlan Township, Chester County, PA

File No. 23-01086

April 5, 2024

I. OVERVIEW

The site is approximately 1.40 acres in size and previously contained a two-story building, greenhouse which were lost to fire in the fall of 2023. The site has a paved access drive from Byers Road and is located within the C-1 Village Zoning District.

The Applicant is proposing to construct a new 5,334 SF building and 36 space parking facility to replace the elements which were lost to the fire. An underground stormwater management facility is proposed to manage post construction runoff.

II. TOWNSHIP ZONING OFFICER COMMENTS

No comments at this time.

III. ZONING ORDINANCE REVIEW

1. Sections 200-35.A. - The site is currently serviced by on-lot sewage disposal. The applicant proposes to connect the new building to public sewer.
2. Section 200-36.C(4) – This section states “*To the extent practicable, parking shall not be provided in the front yard.*” The proposed plan shows all parking in the front yard. This should be discussed with the Planning Commission.

IV. SUBDIVISION & LAND DEVELOPMENT ORDINANCE REVIEW

1. Section 162-41.B. – The Applicant should discuss with the Planning Commission whether sidewalk should be provided along Byers Road.
2. Section 162-52 – Upon completion of construction, the entire amount of topsoil stripped shall be replaced on the site. No topsoil shall be disposed of, by sale or otherwise, off the site of the construction. Add a note stating same to the Record Plan and the Sequence of Construction.

Upper Uwchlan Township Manager

Reference: 211 Byers Road – Eagle Animal Hospital
Preliminary Land Development Plan Application Review
Upper Uwchlan Township, Chester County, PA

File No. 23-01086

April 5, 2024

3. Section 152-58 – A lighting plan should be provided meeting the requirements of this section.
4. 162-57.D.(1) – The “Required Building / Impervious Tree Calculation” table on sheet 4 should be updated to reflect the proposed building size of 5,334 SF.

V. STORMWATER MANAGEMENT ORDINANCE REVIEW

1. Stormwater management is proposed to be handled by a 45’x60’ infiltration bed located underneath the proposed parking lot.
2. Please show the “Uncontrolled Area” on the “Proposed Drainage Area Map”.
3. Section 152-306.I. – Infiltration testing must be conducted. The applicants engineer indicated this will be completed as part of the final plan submission which is acceptable.
4. We recommend at least a 15” diameter pipe utilized to distribute the runoff through the bed rather than the proposed 10” pipe.
5. Additional information should be provided on the proposed storm piping network. For instance, length, slope, and size of pipes as well as inverts and top of grates for inlets.
6. As stated above, additional information is needed on the proposed system. However, it appears the basin will not be able to drain as the level spreader will be set at an elevation close to the top of the basin. Therefore, in the event there is no infiltration, the basin will remain full of water. This is of particular concern as there are structures immediately downstream which could be adversely affected if the system does not perform as designed. This should be further reviewed following the completion of infiltration testing.

Upper Uwchlan Township Manager

Reference: 211 Byers Road – Eagle Animal Hospital
Preliminary Land Development Plan Application Review
Upper Uwchlan Township, Chester County, PA

File No. 23-01086

April 5, 2024

VI. GENERAL COMMENTS

1. The proposed finished floor of the building is indicated to be 421.25'. This should be confirmed as that would set the building lower than the grades around it.
2. The grading of the parking area in the area of the ADA parking spaces should be reviewed to ensure runoff will be directed to the infiltration bed rather than towards the building.

VII. TOWNSHIP TRAFFIC CONSULTANT COMMENTS BOWMAN

1. SALDO Section 162-28.A – Based on the plans, Byers Road (S.R. 1022) currently provides a 33-foot (16.5-foot half-width) right-of-way. Since Byers Road is classified as a major collector road, the half-width right-of-way along the site frontage should be 30 feet, and the plans should be revised to show a 30-foot half-width right-of-way along the site frontage. This additional right-of-way should be labeled “Required Right-of-Way (To Be Deeded To Upper Uwchlan Township)”.
2. SALDO Section 162-28.A – Byers Road (S.R. 1022) currently provides an approximate 23-foot cartway width along the site frontage with no shoulder area, which does not meet the Township’s requirements for a major collector road of 32 feet. However, since Byers Road is a state road, and since no new access or road improvements are proposed in connection with this development, it is our initial opinion that no roadway widening is necessary for this project.
3. SALDO Section 162-41 – As outlined in the Township’s Comprehensive Plan, as well as the Township’s Active Transportation Plan (ATP), we recommend a five-foot wide sidewalk with a grass buffer be provided along the Byers Road site frontage. In addition, ADA compliant curb ramps should be provided on either side of the site driveway. Detailed curb ramp designs for these curb ramps should be provided for review. The detailed designs should include separate grading details (including spot elevations at all proposed grade changes), and all dimensions for construction, including widths, lengths, and

Upper Uwchlan Township Manager

Reference: 211 Byers Road – Eagle Animal Hospital
Preliminary Land Development Plan Application Review
Upper Uwchlan Township, Chester County, PA

File No. 23-01086

April 5, 2024

all slopes. In addition, please label all proposed curb ramp types, and provide the appropriate PennDOT curb ramp details and notes on the detail sheets.

4. ZO Section 200-73.C(3) – The proposed parking aisle width should be increased from 24 feet to 25 feet to meet Township requirements for 90-degree parking spaces.
5. ZO 200-73.H – The Township's parking supply requirements do not specifically outline a parking requirement for veterinary services. However, the parking analysis on sheet 1 shows the parking supply requirements based on the Township's parking supply requirements for office space. We could support this approach, subject to review by the Planning Commission. Also, the parking supply tabulation should be revised to reflect the proposed 5,334 square-foot building, which would require 27 parking spaces. It is noted that 36 parking spaces are proposed.
6. The proposed site improvements are contained within the property and do not extend into the Byers Road right-of-way, and no access improvements are proposed, but rather it is proposed to use the existing site access. As such, the proposed redevelopment does not require a Highway Occupancy Permit from PennDOT. Since there is no change in use with the proposed redevelopment, the existing driveway is acceptable to serve the site, as there is adequate sight distance and we are not aware of any operational issues. However, for informational purposes, we are not aware whether there is an existing PennDOT permit for the current driveway, and if desired, this redevelopment would be an opportunity to improve the driveway to current standards and secure an approved PennDOT permit. Furthermore, a PennDOT permit may be needed for new sidewalk and ADA ramps if located in the right-of-way (comment 3).
7. Chapter 79-8.C – The proposed redevelopment is located in the Township's Act 209 Transportation Service Area, and as such, this development could be subject to the Township's Transportation Impact Fee of \$2,334 per weekday afternoon peak hour trip if there is a net increase in the building area and if there is an expected increase in traffic. However, since there is no change in land use (veterinary hospital), it is not clear that a Transportation Impact Fee is applicable to this development. The applicant should review this further with the Township.

Upper Uwchlan Township Manager

Reference: 211 Byers Road – Eagle Animal Hospital
Preliminary Land Development Plan Application Review
Upper Uwchlan Township, Chester County, PA

File No. 23-01086

April 5, 2024

Upon resubmission, the applicant's engineer should compose a response letter that describes how each comment has been addressed and where any plan revisions are located. Additional comments may follow upon receipt of future submissions.

VIII. TOWNSHIP LAND PLANNER COMMENTS
BRANDYWINE CONSERVANCY

1. The Conservancy acknowledges the unfortunate loss of the Eagle Animal Hospital from fire in November of 2023, an important community amenity and a historic resource (the A.M.F. Stiteler House) within the Byers Station Historic District.
2. The property is located within the nationally recognized Byers Station Historic District, the C-1 Village Zoning District of Upper Uwchlan Township, as well as the Village Planning Area as designated by the 2010 Village Concept Plan, which was later incorporated into the 2014 Upper Uwchlan Comprehensive Plan.
3. The C-1 Village district purpose is to preserve the historical development patterns of the villages of Eagle and Byers and establish standards for new development and coordinated street and landscape improvements and pedestrian amenities, so as to complement the village setting and provide for safe and convenient access; and provide for a variety of uses in a manner which facilities and promotes pedestrian travel within the village setting.
4. As currently proposed, the Brandywine Conservancy feels the design does not meet the purpose as described in the Township's Zoning Ordinance. The following observations/suggestions are made to help better align the new building with the stated purposes of the Village Zoning District, as well as the aspirations contained within the adopted 2010/14 Village Concept Plan:
 - a. As proposed, the building is set back significantly from Byers Road. Historically, and as seen within the Byers Station Historic District, structures were closer to the road.

Upper Uwchlan Township Manager

Reference: 211 Byers Road – Eagle Animal Hospital
Preliminary Land Development Plan Application Review
Upper Uwchlan Township, Chester County, PA

File No. 23-01086

April 5, 2024

- b. While we recognize that prior to the loss of the building parking was at the front of the lot, the current plans expand that parking area, which increases the disconnect between the building and the street, which is not compatible with a Village setting. The Brandywine suggest seeking alternatives that would bring the building closer to the street (perhaps where it was located prior to its loss) and place additional parking at the rear of the lot. Relocating part, or all, of the parking area will also allow for the dumpster enclosure to be relocated to a less visible location.
5. The recently completed Upper Uwchlan Active Transportation Plan proposes an extension of the existing sidewalk network within Byers Village. The Brandywine Conservancy strongly encourages the owners to provide for the proposed sidewalk extension along Byers Road in front of the property. In addition, any internal sidewalks to the property should then connect to this new sidewalk to provide enhanced pedestrian connections to the animal hospital, to the rest of Byers Village, as well as the ever-increasing trail and sidewalk network within the Township.
6. The Brandywine Conservancy recognizes that the plans meet the plant material number requirements of the Township's Ordinance, however, the Conservancy wonders whether a more diverse and native-driven plant selection can be incorporated into the design. Of the 71 shrubs shown in the plant schedule (there are 13 Ilex shown on the plan, yet the table says 12), only three shrub types are included, with only one of those being native. In addition, besides the winter interest of the winterberry, none of the shrubs suggested provide much seasonal variety or interest.
7. The Brandywine Conservancy also suggests an alternative approach to tree layout for those trees away from property lines and along the street. Assuming a turf grass ground cover, as designed the tree locations could make for cumbersome maintenance during the grass growing season. We suggest seeking an alternative planting plan. One alternative would be to place complimentary trees in clusters within larger planted beds that could also include some of the shrubs proposed or provide more shrub variety on the property. This may also provide open areas on the property to implement Green Stormwater Infrastructure to enhance stormwater management beyond the grey infrastructure proposed.

Upper Uwchlan Township Manager

Reference: 211 Byers Road – Eagle Animal Hospital
Preliminary Land Development Plan Application Review
Upper Uwchlan Township, Chester County, PA

File No. 23-01086

April 5, 2024

8. Should a new sidewalk along Byers Road be incorporated into the plans, consideration should be given to the location of the street trees in relation to the sidewalk to provide maximum shade to pedestrians during the hottest part of the year.

IX. TOWNSHIP SEWER CONSULTANT COMMENTS
ARRO CONSULTING, INC.

1. The site was previously an animal hospital. Plans proposed the demolition of the existing structures for the construction of the new building (5,334 square foot (SF)) and parking lot. 241 gallon per day (GPD) of capacity has already been purchased for the connection into the Byer Road Sanitary Sewer Main Extension. This capacity appears acceptable, but we recommend that the Township reserve the right to evaluate water usage after the building is opened and require the purchase of additional capacity, if warranted. The required sanitary sewer capacity will need to be clearly shown on Sheet 1 of the plan.
2. The following notes shall be on the plan:
 - The existing on-lot septic system shall be decommissioned in accordance with the Chester County Health Department requirements.
 - The Waste Discharge Note shall also include “The Township personnel and/or agents shall have access to site for implementation of this resolution.”
3. The existing sanitary sewer main within Byers Road should be shown on the plans, also the existing manhole should be identified on the plans as MH-2H.
4. An appropriately sized grease interceptor shall be provided for any proposed kitchen facilities.
5. The necessary financial security shall be posted with the Township, which shall be in a form and amount acceptable to the Township.

Upper Uwchlan Township Manager

Reference: 211 Byers Road – Eagle Animal Hospital
Preliminary Land Development Plan Application Review
Upper Uwchlan Township, Chester County, PA

File No. 23-01086

April 5, 2024

X. TOWNSHIP FIRE MARSHALL COMMENTS

1. Please provide the location of fire hydrants that will serve this property, and the distance from the proposed building to the fire hydrant(s).
2. The needed hydrant flow is 2,000 GPM @ 20 PSI residual pressure.
3. The Byers Road entrance and parking lot aisle appear to be adequate for fire truck accessibility.

XI. TOWNSHIP HISTORICAL COMMISSION COMMENTS

As to requirements under Section 200-36, the HC has the following recommendations:

- Although the proposed new building technically appears to comply with the roofline/facade requirements, to the extent practicable, scale back the building front and move that space to the rear of the building where it will not be visible from Byers Road to be more consistent with the size and scale of other historic buildings in Byers Station Historic District
- Use more realistic German siding replica (if available) and, to the extent practicable, duplicate quoins on building front as were on the house and still can be seen on the privy
- Limit the front pent roof to the core.
- To the extent practicable, locate parking in the rear or to the side of the property to preserve the historic feel and character of the area and to be consistent with Eagle and Historic District.
- If the Historical Narrative and Request is intended to be the required historic resources impact statement under Township Ordinance Section 162-9H(5), the Historical Commission requests that the property owner revise the Historical Narrative to comply with the ordinance requirements and resubmit it

Mr. Tony Scheivert
Upper Uwchlan Township Manager

Page - 10 -

Reference: 211 Byers Road – Eagle Animal Hospital
Preliminary Land Development Plan Application Review
Upper Uwchlan Township, Chester County, PA

File No. 23-01086

April 5, 2024

to the Historical Commission by adding a timetable for the project (if known); description of the proposed building's impact on the Emeretta Green House and outbuildings (HR #56), the J.H. Todd House and outbuilding (HR #65) and the Woodland House (HR #64) as to architectural integrity, historic setting or landscape and future use; a general description of the effect of noise and traffic and any other impacts generated by the proposed change on each of the preceding historic resources; and recommendations for mitigating the project's impacts on the listed historic resources, including design alternatives, screening, landscaping and any other appropriate measures permitted under the Township's ordinances.

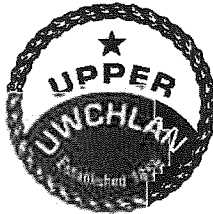
This concludes our review of the above referenced preliminary land development application. We would recommend the plans be revised to address the above referenced comments. If you have any questions, please do not hesitate to contact me.

Sincerely,

David N. Leh

David N. Leh, P.E.
Vice President
Gilmore & Associates, Inc.

cc: Upper Uwchlan Township Planning Commission Members
Upper Uwchlan Township Board of Supervisors
Gwen Jonik – Township Secretary
Rhys Lloyd – Director of Code Enforcement
Anthony Campbell – Zoning Officer
Richard Ruth – Township Fire Marshall
Kristin Camp, Esq. – Buckley, Brion, McGuire, & Morris LLP
Mila Carter, Brandywine Conservancy
Christopher J. Williams, P.E., McMahon Associates, Inc.
G. Mathew Brown, P.E., Upper Uwchlan Township Municipal Authority
David Schlott, P.E., ARRO Consulting, Inc.
9 Coffman Associates, Owners
Adam B. Powell, P.E., Linn Architects



SUBDIVISION / LAND DEVELOPMENT APPLICATION



Preliminary Submittal



Final Submittal

The undersigned hereby applies for review of the Plan submitted herewith and described below:

1. Name of Subdivision / Development: Eagle Animal Hospital
2. Plan Dated: 03/19/2024 County Deed Book/Page No. 7355/455
3. Name of property owner(s): 9 Coffman Associates, LP

Address: 211 Byers Road, Chester Springs

State/Zip: PA 19425 Phone No.: 610-485-8789

Email: jgmatunis@comcast.net

4. Name of Applicant (If other than owner):

Same as owner

Address: _____

State/Zip: _____ Phone No.: _____

Email: _____

5. Applicant's interest (If other than owner): Owner

6. Engineer, Architect, Surveyor, or Landscape Architect responsible for Plan.

Linn Architects c/o Jeffrey Gentile, PE

Address: 1140 N. Providence Road, Media

State/Zip: PA, 19063 Phone No.: 610-566-7044

Email: jgentile@rlinn.com

7. Total acreage: 1.40 Number of Lots: 1.0
8. Acreage of adjoining land in same ownership: (If any) _____
9. Describe Type of Development Planned: New Building to replace existing facility which was lot due to fire in November 2023

10. This Application shall be accompanied by: the Application Fee as listed below, an aerial image of the property, and the quantity of plans/supporting information as detailed in the Township Code §162-8.B.(1)(b) and/or §162-8.C.(1)(d).

[One-half of the required plan submissions may be of a reduced size, i.e. 11 x 17]

11. List all subdivision and zoning standards or requirements which have not been met and for which a waiver or change is requested.

N/A

12. The Applicant or his/her agent shall enter into a Subdivision / Land Development Review Escrow Agreement (attached) and place into escrow with the Township at the time of application an amount estimated by the Township to cover all costs of engineering and professional planning reviews (not including County application fee), legal services and other professional services used by the Township in connection with the application.

Signature of Property Owner or Applicant:

By: 

Date: 3/19/2024

*Development subject to ACT 209 Impact Fee.

*Park & Recreation Fee per residence is levied. Contact Township Offices to determine amount.

SUBDIVISION / LAND DEVELOPMENT APPLICATION FEE

1-2 Lots \$250

3-5 Lots \$500

Plus \$25 for each Lot over 3

Over 5 Lots \$1000

Plus \$50 for each Lot over 5

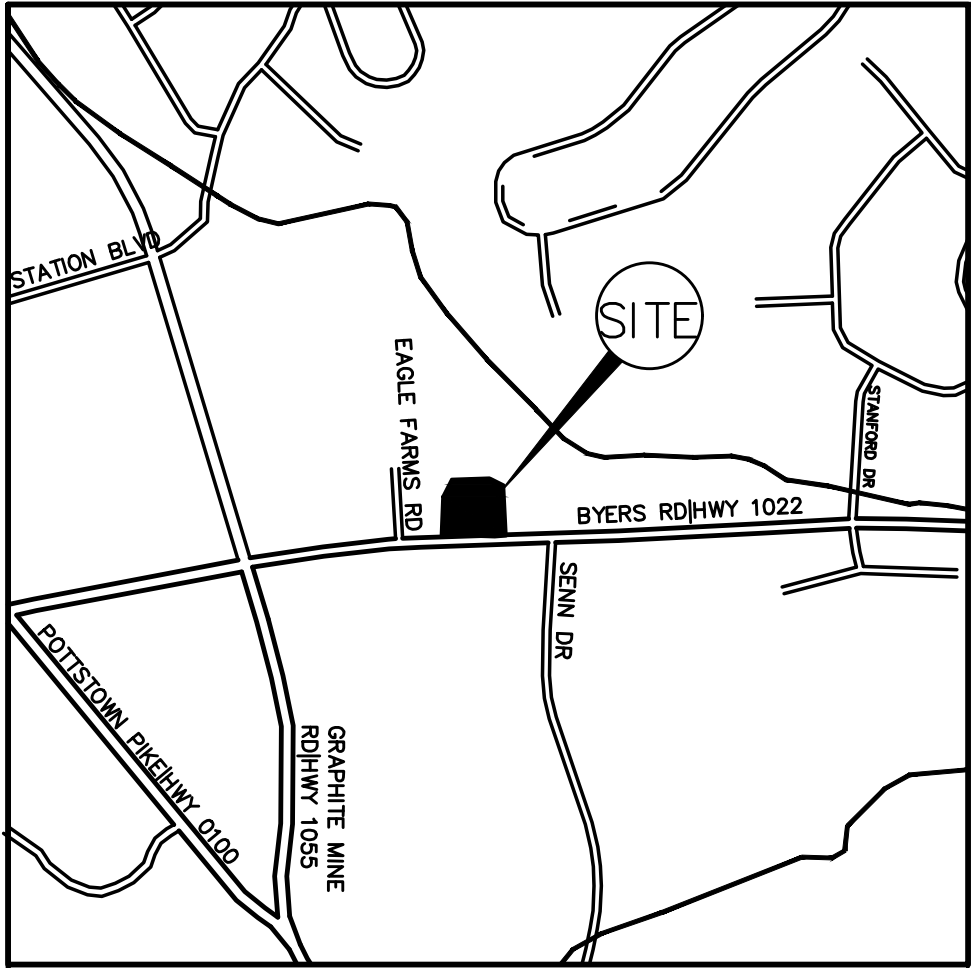
Form revised January 2015

3-14-2024



HE-HI-3





LOCATION MAP
1" = 1,000'

NOTES

- THIS PLAN IS BASED ON A PLAN BY HOWELLKLINE SURVEYING, ENTITLED TOPOGRAPHIC AND PHYSICAL IMPROVEMENTS SURVEY, DATED MAY 19, 2022.
- ELEVATIONS REFER TO CONTOURS FROM FIELD SURVEY BASED ON GPS SYSTEM, NORTH AMERICAN DATUM OF 1988.
- BOUNDARY FROM A PLAN BY HOWELLKLINE SURVEYING LLC, ENTITLED TOPOGRAPHIC AND PHYSICAL IMPROVEMENTS SURVEY, DATED MAY 19, 2022.
- PROPERTY IS IDENTIFIED IN THE HISTORIC ORDINANCE AS HRP NO. 057, KEY NO. 065814, CLASS 1.
- ADJOINER INFORMATION TAKEN FROM CURRENT TAX RECORDS.
- UTILITY INFORMATION FROM OBSERVED SURFACE EVIDENCE. ALL UTILITY LOCATIONS AND DEPTHS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE 'X' OF THE FLOOD INSURANCE RATE MAP, MAP No. 42029C00950, COMMUNITY PANEL No. 95 OF 380, WHICH BEARS AN EFFECTIVE DATE OF SEPTEMBER 29, 2017.
- SOIL DELINEATION LINES TAKEN FROM USDA NATIONAL COOPERATIVE SOIL SURVEY THROUGH THE NATURAL RESOURCES CONSERVATION SERVICE CUSTOM SOIL RESOURCE REPORT FOR THIS PROJECT DATED JANUARY 14TH, 2022.
- SITE IS CURRENTLY SERVICED BY PRIVATE SEWER AND PUBLIC WATER.
- ALL LANDSCAPING SHOWN ON THE PLANS SHALL BE MAINTAINED AND KEPT CLEAN OF ALL DEBRIS, RUBBISH, WEEDS, AND TALL GRASS.
- A BLANKET EASEMENT IS GRANTED TO UPPER UWCHLAN TOWNSHIP TO ALLOW FOR THE INSPECTION OF THE STORMWATER FACILITY. IN THE EVENT THE HOMEOWNER/PROPERTY OWNER FAILS TO PROPERLY MAINTAIN THOSE FACILITIES, AFTER NOTICE TO THE OWNER OF ITS INTENT TO DO SO (WHICH NOTICE SHALL NOT BE REQUIRED IN ANY EMERGENCY), THE TOWNSHIP MAY (BUT IS NOT OBLIGATED TO) ENTER ONTO THE PROPERTY TO INSPECT AND PERFORM ANY SUCH MAINTENANCE. IN SUCH EVENT, THE TOWNSHIP MAY CHARGE THE COSTS THEREOF, WHETHER DIRECT OR INDIRECT, INCLUDING LABOR, EQUIPMENT, MATERIALS, SUPPLIES AND ANY FEES, TO THE OWNER, AND MAY PLACE A LIEN ON THE PROPERTY TO RECOVER ANY CHARGED COSTS THAT REMAIN UNREIMBURSED AND ANY COSTS OF COLLECTION, FEE AND INTEREST.
- THERE WAS NO OBSERVED EVIDENCE OF GAS SERVICE ON THE SURVEYED PREMISES.
- ALL BUILDING MATERIALS AND WASTES MUST BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT OF ENVIRONMENTAL PROTECTION'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ. AND 287.1 ET SEQ. NO BUILDING MATERIAL SHALL BE BURIED, DUMPED OR DISCHARGED FROM THE SITE.
- AN AS-BUILT SURVEY OF ALL STORMWATER BMP'S AND AN EXPLANATION OF ANY DISCREPANCIES WITH THE OPERATION AND MAINTENANCE PLAN SHALL BE PROVIDED TO UPPER UWCHLAN TOWNSHIP.
- ALL SANITARY SEWERS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE UPPER UWCHLAN TOWNSHIP MUNICIPAL AUTHORITY SPECIFICATIONS.
- THE AUTHORITY ENGINEER MUST BE NOTIFIED 48 HOURS PRIOR TO THE BEGINNING OF SANITARY SEWER CONSTRUCTION.
- A SEWER LATERAL AS-BUILT PLAN MUST BE SUBMITTED TO THE AUTHORITY ENGINEER.

SIGHT DISTANCE NOTE

ALL SIGHT DISTANCE OBSTRUCTIONS (INCLUDING BUT NOT LIMITED TO EMBANKMENTS AND VEGETATION) SHALL BE REMOVED BY THE PERMITTEE TO PROVIDE A MINIMUM OF 242 FT. SIGHT DISTANCE TO THE LEFT AND 236 FT. SIGHT DISTANCE TO THE RIGHT FOR A DRIVER EXITING THE PROPOSED DRIVEWAYS ONTO THE THROUGH HIGHWAY. THE DRIVER MUST BE CONSIDERED TO BE POSITIONED TEN FEET FROM THE NEAR EDGE OF THE CLOSEST HIGHWAY THROUGH TRAVEL LANE (FROM THE CURBLINE IF CURBING IS PRESENT) AT AN EYE HEIGHT OF THREE FEET SIX INCHES (3'6") ABOVE THE PAVEMENT SURFACE LOCATED IN THE CENTER OF THE CLOSEST HIGHWAY TRAVEL LANE DESIGNATED FOR USE BY APPROACHING TRAFFIC. THIS SIGHT DISTANCE SHALL BE MAINTAINED BY THE PERMITTEE.

PRELIMINARY
LAND DEVELOPMENT PLAN
EAGLE ANIMAL HOSPITAL

DRAWING INDEX

SHEET NO.	DESCRIPTION
C-1	SITE PLAN
C-2	EXISTING CONDITIONS AND DEMOLITION PLAN
C-3	GRADING AND UTILITY PLAN
C-4	LANDSCAPE PLAN
C-5	EROSION AND SEDIMENTATION CONTROL AND CONSERVATION PLAN
C-6	STORMWATER AND SEWER DETAILS
C-7	CONSTRUCTION DETAILS
C-8	EROSION AND SEDIMENTATION CONTROL DETAILS
C-9	POST CONSTRUCTION STORMWATER MANAGEMENT PLAN

ZONING DATA			
C-1 VILLAGE ZONING DISTRICT			
REQUIREMENT - SINGLE		EXISTING	PROPOSED
LOT AREA (GROSS)		61,201 S.F.	61,201 S.F.
LOT AREA (NET)	10,000 S.F.	58,423 S.F.	58,423 S.F.
MAX. BLDG. HEIGHT	35 FT.	2 STORIES, <35 FT.	2 STORIES, <35 FT.
LOT WIDTH	100 FT.	271.7 FT.	271.7 FT.
BUILDING SETBACKS			
FRONT YARD:	20 FT. MIN	15.8 FT.*	107.5 FT.
SIDE YARD:	10 FT. MIN	18.5 FT.	71.7 FT.
REAR YARD	40 FT. MIN	142.1 FT.	58.5 FT.
IMPERVIOUS COVERAGE	60%	12,037 S.F. (20.6%)	19,687± S.F. (33.7%)
BUILDING COVERAGE	30%	4,366 S.F. (7.5%)	5,582 S.F. (9.6%)
ACCESSORY STRUCTURE SETBACKS			
FRONT YARD:	20 FT. MIN	82.6 FT.	82.6± FT.
SIDE YARD:	10 FT. MIN	0 FT.*	0 FT.**
REAR YARD	10 FT. MIN	42.5 FT.	79.0± FT.

*EXISTING LEGAL NON-CONFORMITY
**CONTINUATION OF EXISTING LEGAL NON-CONFORMITY

PA ONE CALL INFORMATION

COMPANY: AQUA PENNSYLVANIA INC
ADDRESS: 762 W LANCASTER AVE
BRYN MAWR, PA 19010
CONTACT: THOMAS WADDY
EMAIL: TBWADDY@AQUAAMERICA.COM

COMPANY: COMCAST
ADDRESS: 1004 CORNERSTONE BLVD
DOWNTOWN, PA. 19335
CONTACT: TOM RUSSO
EMAIL: tom_russo@cable.comcast.com

COMPANY: PECO AN EXELON COMPANY C/O USIC
ADDRESS: 450 S HENDERSON ROAD SUITE B
KING OF PRUSSIA, PA. 19406
CONTACT: NIKKIA SIMPKINS
EMAIL: NIKKIASIMP@USICLLC.COM

COMPANY: UPPER UWCHLAN TOWNSHIP UPPER
UWCHLAN MUNICIPAL AUTHORITY
ADDRESS: 140 POTTSTOWN PIKE
CHESTER SPRINGS, PA. 19425
CONTACT: MICHAEL HECKMAN
EMAIL: MHECKMAN@UPPERUWCHLAN-PA.GOV

COMPANY: VERIZON BUSINESS FORMERLY MCI
ADDRESS: 7000 WESTON PKWY
CARY, NC. 27513
CONTACT: VICTOR WOOD
EMAIL: victor.s.wood@verizon.com

EXISTING TO PROPOSED PARKING

THE EXISTING FACILITY IS SUPPORTED BY 13 UNSTRIPED PARKING SPACES. THE PROPOSED SITE WILL CONTAIN 36 PARKING SPACES FOR AN INCREASE OF 23 SPACES.

PARKING ANALYSIS

A) EXISTING FACILITY

TOTAL = 13 SPACES PROVIDED

B) PROPOSED USES
USE AND ASSOCIATE PARKING REQUIREMENTS

1) OFFICE USE
5 SPACE PER 1,000 S.F. GROSS FLOOR AREA OF ADDITION
7,237 S.F. GROSS FLOOR AREA IN ADDITION = 36 SPACES

TOTAL = 36 SPACES REQUIRED

TOTAL PARKING PROVIDED = 36 SPACES

CONCLUSION

36 PARKING SPACES HAVE BEEN PROVIDED WHICH SATISFIES THE POST-DEVELOPMENT PARKING REQUIREMENT OF 36 SPACES.

PUBLIC SEWER SERVICE NOTE

APPLICANT IS PROPOSING TO CONNECT TO PUBLIC SEWER LOCATED IN BYERS ROAD AS A PART OF THIS PROJECT.

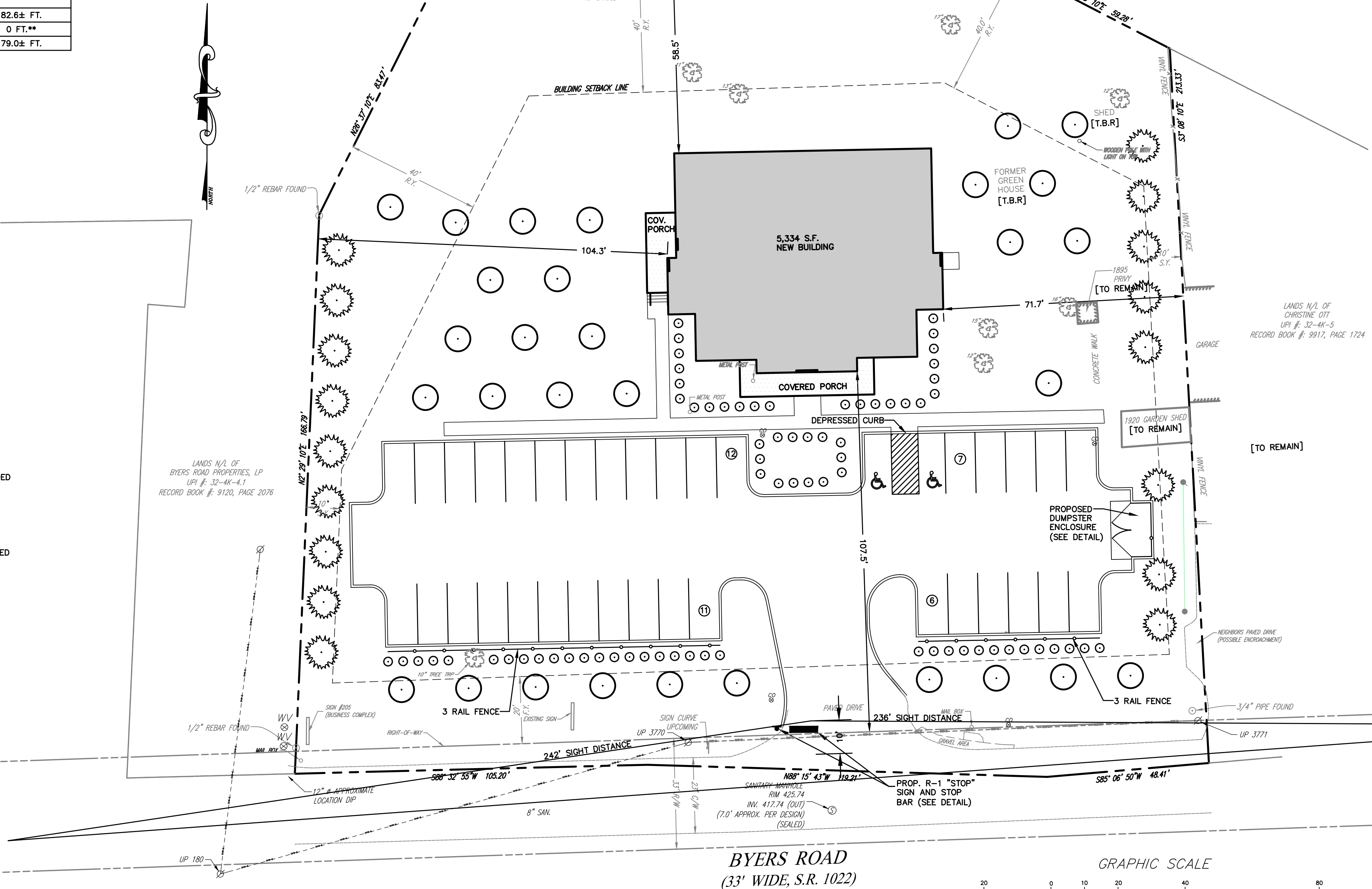
DEMOLITION NOTE

BUILDINGS, PAVEMENT, CURBING, TREES, LIGHTS, TRANSFORMERS, POLES, CONCRETE PADS, DRAINAGE PIPING AND OTHER OBJECTS INTERFERING WITH THE SITE IMPROVEMENTS SHALL BE REMOVED AND DISPOSED OF PROPERLY. ALSO ALL UTILITIES SERVICES TO AND ON THE SITE SHALL BE PERMANENTLY TERMINATED OR TEMPORARILY SHUT OFF IN ACCORDANCE WITH UTILITY COMPANY OR AUTHORITY REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR ANY AND ALL DEMOLITION, INCLUDING HAZARDOUS MATERIAL IN ACCORDANCE WITH PADEP REQUIREMENTS. ALL MATERIALS AND WASTES SHALL BE DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 260.1 ET. SEQ. AND 287.1 ET. SEQ.

LEGEND

EXISTING	PROPOSED
	CONCRETE CURB
	CONC. SIDEWALK
	FENCELINE
	RIGHT OF WAY
	PROPERTY LINE
	IRON PIN
	MONUMENT
	SIGN
	TREE
	EVERGREEN TREE

BUILDING COVERAGE TABLE	
EXISTING BURNED OFFICE	3,263 S.F.
EXISTING SHED TO REMAIN	211 S.F.
EXISTING SHED TO BE REMOVED	120 S.F.
EXISTING GREENHOUSE TO BE REMOVED	735 S.F.
EXISTING OUTHOUSE TO REMAIN	37 S.F.
EXISTING BUILDING COVERAGE:	4,366 S.F.
NEW BUILDING	
REMAINING OUTHOUSE AND SHED	248 S.F.
PROPOSED BUILDING COVERAGE:	5,582 S.F.



POSTED SPEED LIMITS	
STREET	POSTED SPEED LIMIT
BYERS ROAD	35 MPH
SENN DRIVE	35 MPH

SKETCH PLAN STATEMENT OF INTENT

THE PURPOSE OF THIS PLAN IS TO SHOW THE REQUIREMENTS NECESSARY TO CONSTRUCT A NEW BUILDING FOR AN ANIMAL HOSPITAL WHOSE ORIGINAL BUILDING BURNED DOWN. THE PLAN INCLUDES THE IMPROVEMENTS ASSOCIATED WITH THE PROPOSED BUILDING SUCH AS GRADING, LANDSCAPING, AND STORMWATER MANAGEMENT FACILITIES.

TOTAL FLOOR AREA

BUILDING FOOTPRINT = 5,334 S.F.
TOTAL FLOOR AREA = 4,590 S.F.

CHAPTER 93 CLASSIFICATION:

THE SITE DRAINS TO UNNAMED TRIBUTARY PICKERING CREEK. CHAPTER 93 CLASSIFICATION IS HQ-TSF, MF.

CERTIFICATION OF OWNER AND
ACKNOWLEDGEMENT OF LAND DEVELOPMENT PLANS

ON THIS, THE ____ DAY OF _____, 20____, BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED _____ WHO BEING DULY SWORN ACCORDING TO THE LAW, DEPOSES AND SAYS THAT HE/SHE IS THE OWNER OF THE PROPERTY SHOWN ON THIS PLAN, AND THAT HE/SHE ACKNOWLEDGES THE SAME TO BE HIS/HER ACT AND PLAN AND DESIRES THE SAME RECORDED AS SUCH ACCORDING TO LAW.

WITNESS MY HAND AND SEAL THE DAY AND DATE ABOVE WRITTEN.

MY COMMISSION EXPIRES: _____

SIGNATURE OF OWNER NOTARY PUBLIC OR OTHER OFFICER

SIGNATURE OF OWNER

REVIEWED BY THE PLANNING COMMISSION OF UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA THIS ____ DAY OF _____, 20____

CHAIRPERSON _____

MEMBER _____

MEMBER _____

APPROVED BY THE TOWNSHIP SUPERVISORS OF UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA THIS ____ DAY OF _____, 20____

CHAIRPERSON _____

MEMBER _____

MEMBER _____

REVIEWED BY THE CHESTER COUNTY PLANNING COMMISSION THIS ____ DAY OF _____, 20____

SECRETARY _____

REVIEWED BY THE UPPER UWCHLAN TOWNSHIP ENGINEER THIS ____ DAY OF _____, 20____

TOWNSHIP ENGINEER _____

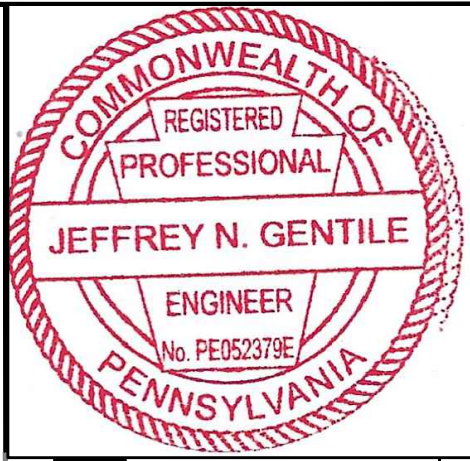
CALL BEFORE YOU DIG!

PENNSYLVANIA LAW REQUIRES THREE (3) WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND TEN (10) WORKING DAYS FOR DESIGN STAGE. UTILITY INFORMATION IDENTIFIED THROUGH THE ONE-CALL PROCESS IS VALID FOR 90 DAYS FROM THE DATE OF THE CALL.

Pennsylvania One Call System, Inc.



800-242-1776
SERIAL# 20222912121
ONE-CALL DATE: 10/18/2022



ARCHITECTS

140 N. PROVIDENCE ROAD
MEDIA, PENNSYLVANIA 19063
TEL: 610-566-7044
FAX: 610-566-3258

ARCHITECTURE

ENGINEERING
SITE PLANNING
INTERIOR DESIGN

SITE PLAN

FOR

EAGLE ANIMAL HOSPITAL

211 BYERS ROAD

UPPER UWCHLAN TOWNSHIP CHESTER COUNTY, PA

REVISIONS

DESCRIPTION

NO.

DATE

1

2

3

4

DATE: 03/04/24

SCALE: 1"=20'

DRAWN BY: SFP

CHECKED BY:

PROJ. NO.: 22222

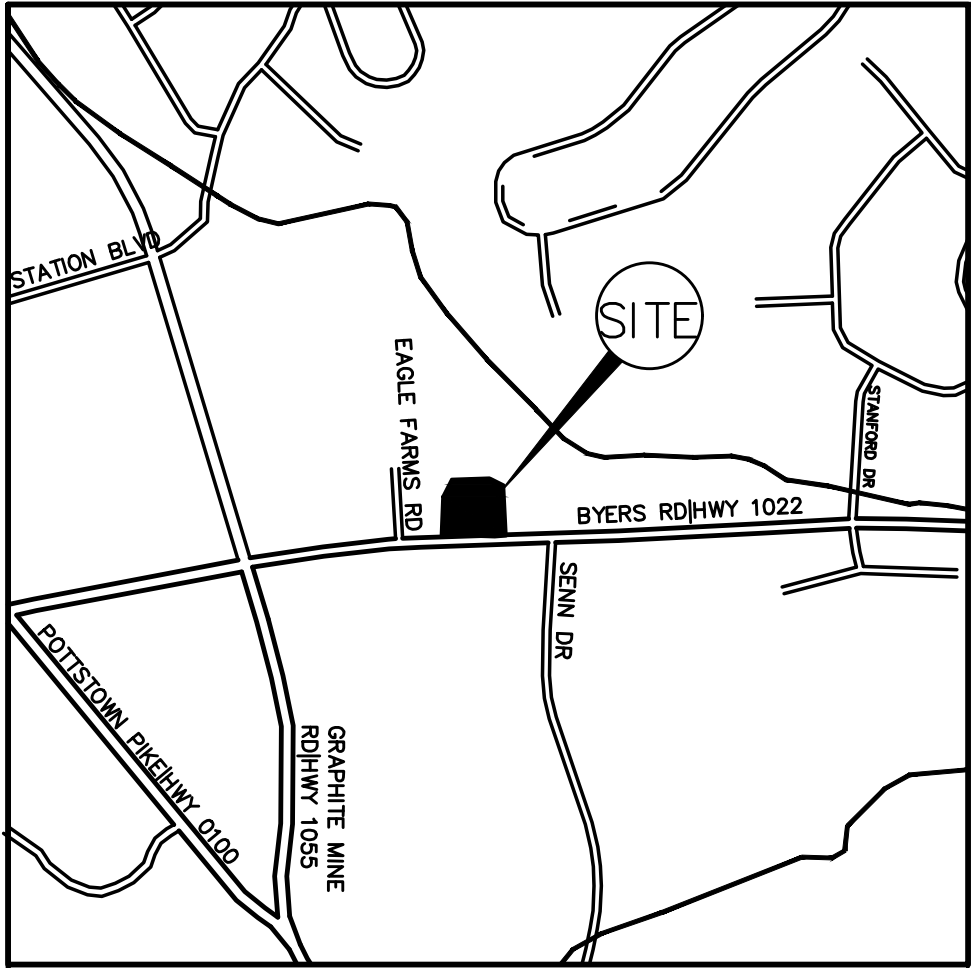
SHEET NO.

9

SHEET 1 OF 9

CHESTER COUNTY PLANNING COMMISSION

C-1



LOCATION MAP
1" = 1,000'

NOTES

1. THIS PLAN IS BASED ON A PLAN BY HOWELLKLINE SURVEYING, ENTITLED TOPOGRAPHIC AND PHYSICAL IMPROVEMENTS SURVEY, DATED MAY 19, 2022.
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6. UTILITY INFORMATION FROM OBSERVED SURFACE EVIDENCE. ALL UTILITY LOCATIONS AND DEPTHS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
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CHAPTER 93 CLASSIFICATION:

THE SITE DRAINS TO UNNAMED TRIBUTARY PICKERING CREEK. CHAPTER 93 CLASSIFICATION IS HQ-TSF, MF.

SOILS TABLE

(FROM UNITED STATES DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE)

SOIL TYPE: CaB-Calfon loam
DRAINAGE CLASS: Moderately Well Drained
SLOPE RANGE: 3-8
HYDROLOGIC GROUP: D
FRAGIPAN DEPTH: 20-30 inches
BEDROCK DEPTH: 72-99 inches
SEASONAL WATER TABLE: 0-36 inches
FLOODING POTENTIAL: None
PROFILE PERMEABILITY: Moderately low to moderately high

SOIL TYPE: Ha-Hatboro silt loam
DRAINAGE CLASS: Poorly Drained
SLOPE RANGE: 0-3
HYDROLOGIC GROUP: B/D
BEDROCK DEPTH: 60-99 inches
SEASONAL WATER TABLE: 0-6 inches
FLOODING POTENTIAL: Non-Frequent
PROFILE PERMEABILITY: Moderately high to high

SOIL TYPE: UugB-Urban land-Udorthents, schist and gneiss complex
DRAINAGE CLASS: Moderately low to moderately high
SLOPE RANGE: 0-8
HYDROLOGIC GROUP: C
BEDROCK DEPTH: 20-70 inches
SEASONAL WATER TABLE: 60 inches
FLOODING POTENTIAL: None
PROFILE PERMEABILITY: Moderately low to moderately high

EXISTING ZONING DATA		
C-1 VILLAGE ZONING DISTRICT		
REQUIREMENT - SINGLE		EXISTING
LOT AREA (GROSS)		61,201 S.F.
LOT AREA (NET)	10,000 S.F.	58,423 S.F.
MAX. BLDG. HEIGHT	35 FT.	2 STORIES, <35 FT.
LOT WIDTH	100 FT.	271.7 FT.
BUILDING SETBACKS		
FRONT YARD:	20 FT. MIN	15.8 FT.*
SIDE YARD:	10 FT. MIN	18.5 FT. MIN
REAR YARD	40 FT. MIN	142.1 FT.
IMPERVIOUS COVERAGE	60%	12,037 S.F. (20.6%)
BUILDING COVERAGE	30%	4,366 S.F. (7.5%)
BUILDING COVERAGE (<1 STORIES)	15%	1,103 S.F. (1.9%)
ACCESSORY STRUCTURE SETBACKS		
FRONT YARD:	20 FT. MIN	82.6 FT.
SIDE YARD:	10 FT. MIN	0 FT.*
REAR YARD	10 FT. MIN	42.5 FT.

*EXISTING LEGAL NON-CONFORMITY

OWNER
9 COFFMAN ASSOCIATES, LP
211 BYERS RD
CHESTER SPRINGS, PA 19425

SITE INFORMATION
211 BYERS RD
TAX MAP: 32-4K-4
DB/PG: 7355/455

SKETCH PLAN STATEMENT OF INTENT

THE PURPOSE OF THIS PLAN IS TO SHOW THE REQUIREMENTS NECESSARY TO CONSTRUCT A NEW BUILDING FOR AN ANIMAL HOSPITAL WHOSE ORIGINAL BUILDING BURNED DOWN. THE PLAN INCLUDES THE IMPROVEMENTS ASSOCIATED WITH THE PROPOSED BUILDING SUCH AS GRADING, LANDSCAPING, AND STORMWATER MANAGEMENT FACILITIES.

DEMOLITION NOTE

BUILDINGS, PAVEMENT, CURBING, TREES, LIGHTS, TRANSFORMERS, POLES, CONCRETE PADS, DRAINAGE PIPING AND OTHER OBJECTS INTERFERING WITH THE SITE IMPROVEMENTS SHALL BE REMOVED AND DISPOSED OF PROPERLY. ALSO ALL UTILITIES SERVICES TO AND ON THE SITE SHALL BE PERMANENTLY TERMINATED OR TEMPORARILY SHUT OFF IN ACCORDANCE WITH UTILITY COMPANY OR AUTHORITY REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR ANY AND ALL DEMOLITION, INCLUDING HAZARDOUS MATERIAL IN ACCORDANCE WITH PADEP REQUIREMENTS. ALL MATERIALS AND WASTES SHALL BE DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET. SEQ. AND 287.1 ET. SEQ.

PA ONE CALL INFORMATION

COMPANY: AQUA PENNSYLVANIA INC
ADDRESS: 762 W LANCASTER AVE
BRYN MAWR, PA 19010
CONTACT: THOMAS WADY
EMAIL: TBWADY@AQUAAMERICA.COM

COMPANY: COMCAST
ADDRESS: 1004 CORNERSTONE BLVD
DOWNTOWN, PA. 19335
CONTACT: TOM RUSSO
EMAIL: tom_russo@comcast.com

COMPANY: PECO AN EXELON COMPANY C/O
ADDRESS: 450 S HENDERSON ROAD SUITE B
KING OF PRUSSIA, PA. 19406
CONTACT: NIKKIA SIMPKINS
EMAIL: NIKKIASIMPKINS@USCLLC.COM

COMPANY: UPPER UWCHLAN TOWNSHIP UPPEI
UWCHLAN MUNICIPAL AUTHORITY
ADDRESS: 140 POTTSWOM PIKE
CHESTER SPRINGS, PA. 19425
CONTACT: MICHAEL HECKMAN
EMAIL: MHECKMAN@UPPERUWCHLAN-PA.GOV

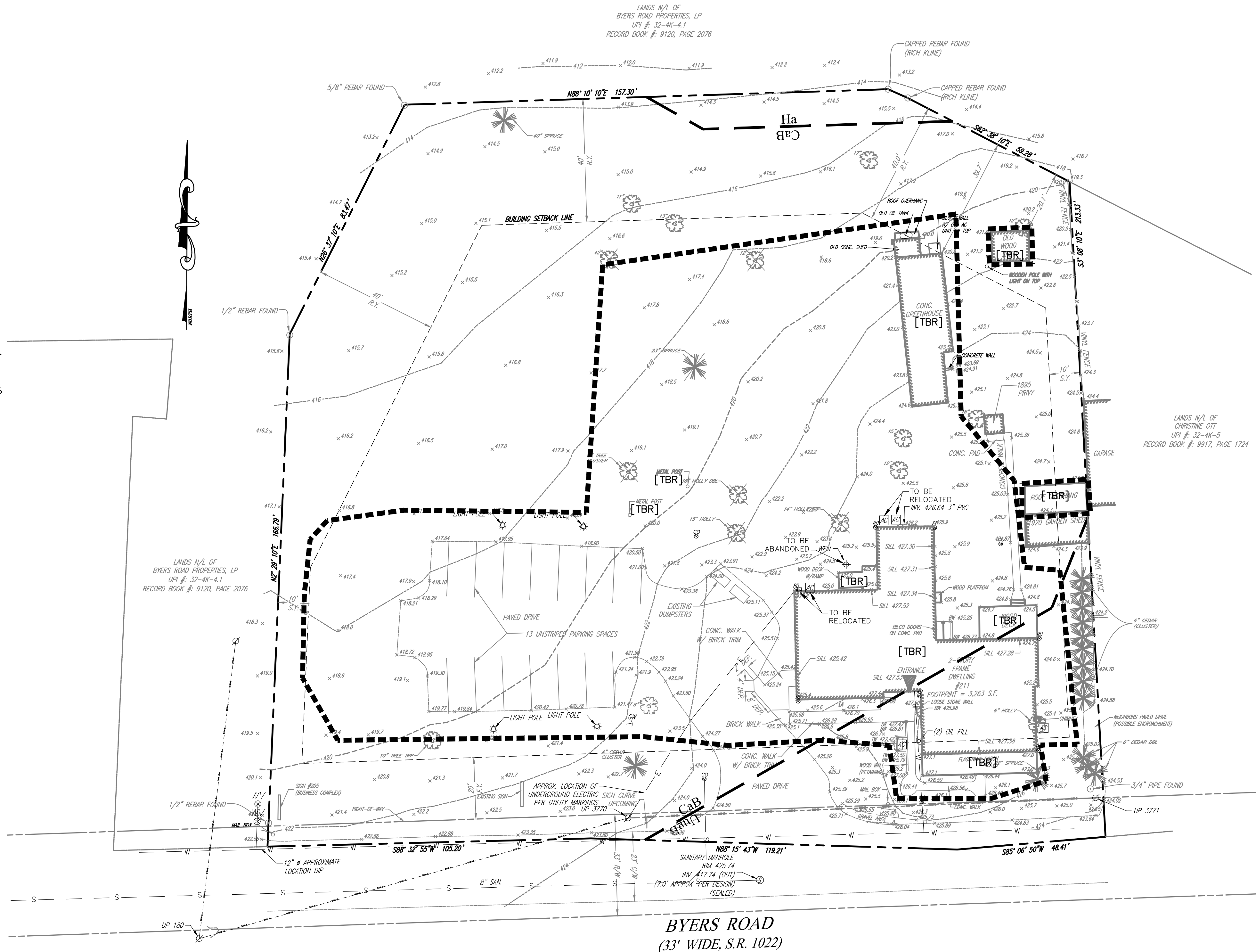
COMPANY: VERIZON BUSINESS FORMERLY MCI
ADDRESS: 7000 WESTON PKWY
CARY, NC. 27513
CONTACT: VICTOR WOOD
EMAIL: victor.s.wood@verizon.com

LEGEND

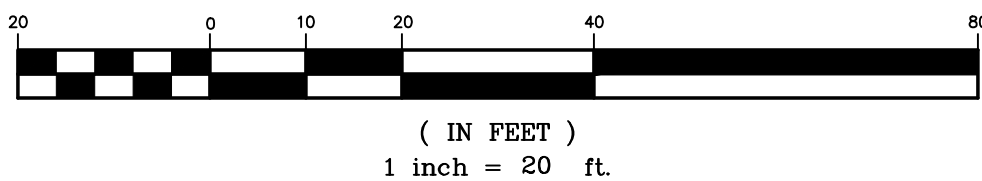
	CONCRETE CURB
	CONC. SIDEWALK
	FENCELINE
	CONTOURS
	RIGHT OF WAY
	PROPERTY LINE
	SIGN
	IRON PIN
	MONUMENT
	SANITARY SEWER W/ M.H.
	WATER LINE
	GAS LINE
	GAS VALVE
	WATER VALVE
	CLEAN-OUT
	FIRE HYDRANT
	OVERHEAD WIRE
	UTILITY POLE
	AREA OF DEMOLITION
	ITEM TO BE REMOVED
	TREE
	REMOVE FOR DEVELOPMENT

EXISTING CONDITIONS NOTE

THE EXISTING CONDITIONS OF THIS PLAN REPRESENTS THE SITE AS OF OCTOBER 2023 PRIOR TO A FIRE WHICH DESTROYED THE EXISTING ANIMAL HOSPITAL BUILDING AND WAS SUBSEQUENTLY DEMOLISHED. STORMWATER CALCULATIONS, EXISTING CONDITIONS, AND LANDSCAPING REQUIREMENTS ARE BASED ON THESE IMPERVIOUS SURFACES.



GRAPHIC SCALE



CALL BEFORE YOU DIG!

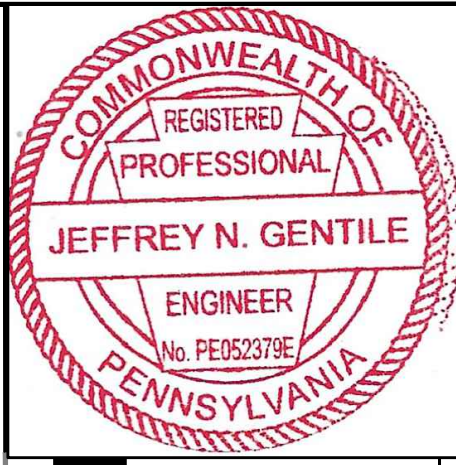
PENNSYLVANIA LAW REQUIRES THREE (3) WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND TEN (10) WORKING DAYS FOR DESIGN STAGE. UTILITY INFORMATION IDENTIFIED THROUGH THE ONE-CALL PROCESS IS VALID FOR 90 DAYS FROM THE DATE OF THE CALL.

Pennsylvania One Call System, Inc.

800-242-1776

SERIAL # 20222912121

ONE-CALL DATE: 10/18/2022



ARCHITECTS

140 N. PROVIDENCE ROAD
MEDIA, PENNSYLVANIA 19063
TEL: 610-566-7044
FAX: 610-566-3258

ARCHITECTURE

ENGINEERING
SITE PLANNING
INTERIOR DESIGN

EXISTING CONDITIONS AND DEMOLITION PLAN

FOR

EAGLE ANIMAL HOSPITAL

211 BYERS ROAD

UPPER UWCHLAN TOWNSHIP CHESTER COUNTY, PA

REVISIONS

DATE

NO.

DESCRIPTION

DATE: 03/04/24

SCALE: 1"=20'

DRAWN BY: SFP

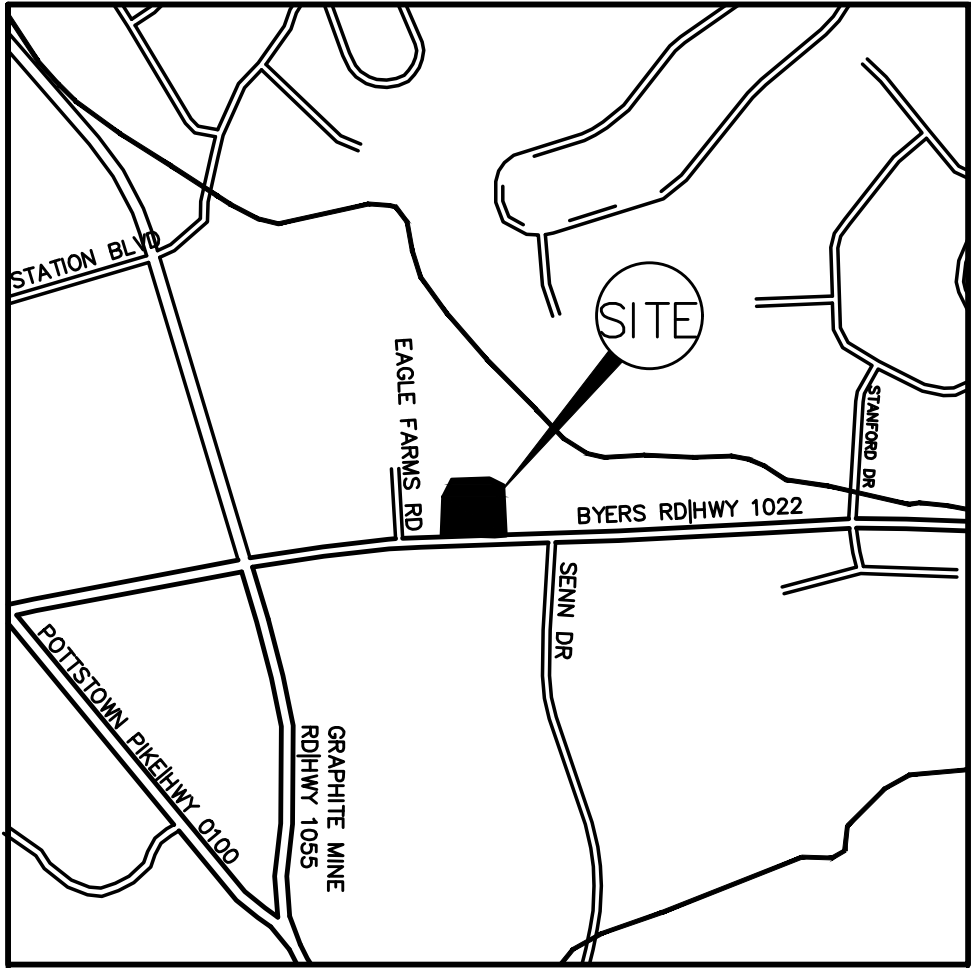
CHECKED BY:

PROJ. NO.: 22222

SHEET NO.

C-2

SHEET 2 OF 9



LOCATION MAP
1" = 1,000'

NOTES

- THIS PLAN IS BASED ON A PLAN BY HOWELLKLINE SURVEYING, ENTITLED TOPOGRAPHIC AND PHYSICAL IMPROVEMENTS SURVEY, DATED MAY 19, 2022.
- ELEVATIONS REFER TO CONTOURS FROM FIELD SURVEY BASED ON GPS SYSTEM. NORTH AMERICAN DATUM OF 1988.
- BOUNDARY FROM A PLAN BY HOWELLKLINE SURVEYING LLC, ENTITLED TOPOGRAPHIC AND PHYSICAL IMPROVEMENTS SURVEY, DATED MAY 19, 2022.
- PROPERTY IS IDENTIFIED IN THE HISTORIC ORDINANCE AS HRP NO. 057, KEY NO. 085814, CLASS 1.
- ADJOINER INFORMATION TAKEN FROM CURRENT TAX RECORDS.
- UTILITY INFORMATION FROM OBSERVED SURFACE EVIDENCE. ALL UTILITY LOCATIONS AND DEPTHS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE 'X' OF THE FLOOD INSURANCE RATE MAP, MAP NO. 42029C0095G, COMMUNITY PANEL NO. 95 OF 380, WHICH BEARS AN EFFECTIVE DATE OF SEPTEMBER 29, 2017.
- SOIL DELINEATION LINES TAKEN FROM USDA NATIONAL COOPERATIVE SOIL SURVEY THROUGH THE NATURAL RESOURCES CONSERVATION SERVICE. CUSTOM SOIL RESOURCE REPORT FOR THIS PROJECT DATED JANUARY 14TH, 2022.
- SITE IS CURRENTLY SERVICED BY PRIVATE SEWER AND PUBLIC WATER.
- ALL LANDSCAPING SHOWN ON THE PLANS SHALL BE MAINTAINED AND KEPT CLEAN OF ALL DEBRIS, RUBBISH, WEEDS, AND TALL GRASS.
- A BLANKET EASEMENT IS GRANTED TO UPPER UWCHLAN TOWNSHIP TO ALLOW FOR THE INSPECTION OF THE STORMWATER FACILITY. IN THE EVENT THE HOMEOWNER/PROPERTY OWNER FAILS TO PROPERLY MAINTAIN THOSE FACILITIES, AFTER NOTICE TO THE OWNER OF ITS INTENT TO DO SO (WHICH NOTICE SHALL NOT BE REQUIRED IN ANY EMERGENCY), THE TOWNSHIP MAY (BUT IS NOT OBLIGATED TO) ENTER ONTO THE PROPERTY TO INSPECT AND PERFORM ANY SUCH MAINTENANCE. IN SUCH EVENT, THE TOWNSHIP MAY CHARGE THE COSTS THEREOF, WHETHER DIRECT OR INDIRECT, INCLUDING LABOR, EQUIPMENT, MATERIALS, SUPPLIES AND ANY FEES, TO THE OWNER, AND MAY PLACE A LIEN ON THE PROPERTY TO RECOVER ANY CHARGED COSTS THAT REMAIN UNREIMBURSED AND ANY COSTS OF COLLECTION, FEE AND INTEREST.
- THERE WAS NO OBSERVED EVIDENCE OF GAS SERVICE ON THE SURVEYED PREMISES.
- ALL BUILDING MATERIALS AND WASTES MUST BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT OF ENVIRONMENTAL PROTECTION'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ. AND 287.1 ET SEQ. NO BUILDING MATERIAL SHALL BE BURIED, DUMPED OR DISCHARGED FROM THE SITE.
- AN AS-BUILT SURVEY OF ALL STORMWATER BMP'S AND AN EXPLANATION OF ANY DISCREPANCIES WITH THE OPERATION AND MAINTENANCE PLAN SHALL BE PROVIDED TO UPPER UWCHLAN TOWNSHIP.
- ALL SANITARY SEWERS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE UPPER UWCHLAN TOWNSHIP MUNICIPAL AUTHORITY SPECIFICATIONS.
- THE AUTHORITY ENGINEER MUST BE NOTIFIED 48 HOURS PRIOR TO THE BEGINNING OF SANITARY SEWER CONSTRUCTION.
- A SEWER LATERAL AS-BUILT PLAN MUST BE SUBMITTED TO THE AUTHORITY ENGINEER.

LEGEND

EXISTING	PROPOSED
	CONCRETE CURB
	CONC. SIDEWALK
	CONC. CROSSWALK
	FENCELINE
	RIGHT OF WAY
	PROPERTY LINE
	IRON PIN
	MONUMENT
	SPOT GRADES
	CONTOURS
	SIGN
	SANITARY SEWER W/ M.H.
	SANITARY SEWER STRUCTURE NO.
	ROOF DRAIN PIPE
	ELECTRIC LINE
	WATER LINE
	GAS LINE
	UTILITY POLE
	FIRE HYDRANT
	GAS VALVE
	CLEAN-OUT
	WATER METER
	GAS METER
	ELECTRIC METER
	OVERHEAD WIRE
	TREE
	EVERGREEN TREE

SOILS TABLE

(FROM UNITED STATES DEPARTMENT OF AGRICULTURE
NATURAL RESOURCES CONSERVATION SERVICE)

SOIL TYPE: CoB-Califon loam
DRAINAGE CLASS: Moderately Well Drained
SLOPE RANGE: 3-8
HYDROLOGIC GROUP: D
FRAGIPAN DEPTH: 20-30 inches
BEDROCK DEPTH: 72-99 inches
SEASONAL WATER TABLE: 6-36 inches
FLOODING POTENTIAL: None
PROFILE PERMEABILITY: Moderately low to moderately high

SOIL TYPE: Ha-Hatboro silt loam
DRAINAGE CLASS: Poorly Drained
SLOPE RANGE: 0-3
HYDROLOGIC GROUP: B/D
BEDROCK DEPTH: 60-99 inches
SEASONAL WATER TABLE: 0-6 inches
FLOODING POTENTIAL: Non-Frequent
PROFILE PERMEABILITY: Moderately high to high

SOIL TYPE: UugB-Urban land-Udorthents, schist and gneiss complex
DRAINAGE CLASS: Moderately low to moderately high
SLOPE RANGE: 0-8
HYDROLOGIC GROUP: C
BEDROCK DEPTH: 20-70 inches
SEASONAL WATER TABLE: 60 inches
FLOODING POTENTIAL: None
PROFILE PERMEABILITY: Moderately low to moderately high

GRADING & UTILITY GENERAL NOTES:

- PRIOR TO STARTING CONSTRUCTION, ALL UTILITY SERVICES IN THE AREA SHALL BE LOCATED AND MEASURES TAKEN TO PROTECT THE EXISTING FACILITIES. ANY DAMAGE TO THE EXISTING FACILITIES SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE UTILITY "ONE-CALL" NUMBER 72 HOURS PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITIES ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES IF NECESSARY.
- LOCATIONS OF EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM FIELD SURVEY AND EXISTING RECORDS. COMPLETENESS AND ACCURACY OF EXISTING UTILITY INFORMATION IS NOT GUARANTEED. PRIOR TO THE START OF ANY CONSTRUCTION, THE CONTRACTOR SHALL ACCURATELY FIELD MEASURE LOCATION AND ELEVATION OF EXISTING UTILITIES AT POINTS OF CONNECTION AND POTENTIAL CONFLICT.
- CONSTRUCTION SHALL BE LOCATED, AND MEASURES TAKEN TO PROTECT THE EXISTING FACILITIES IN ACCORDANCE WITH PENNSYLVANIA ACT 187. ANY DAMAGE TO EXISTING FACILITIES RESULTING FROM THE NEGLIGENCE OF THE CONTRACTOR SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT ALL PERSONS, VEHICLES AND BUILDINGS WITHIN THE CONSTRUCTION AREAS FROM INJURY AND DAMAGE DURING THE COURSE OF WORK.
- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS.
- CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 1.0% MIN. SLOPE ON ASPHALT AND 2.0% MIN. SLOPE ON GRASS; TO PREVENT PONDING, ANY DISCREPANCIES THAT MAY AFFECT THE PUBLIC SAFETY OR PROJECT COST, MUST BE IDENTIFIED TO THE ENGINEER IN WRITING IMMEDIATELY. PROCEEDING WITH CONSTRUCTION WITH DESIGN DISCREPANCIES IS DONE SO AT THE CONTRACTOR'S OWN RISK.
- ALL SITE IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE LOCAL, COUNTY, STATE AND FEDERAL STATUTES AND REGULATIONS.
- ALL TRENCHING, SHORING AND EXCAVATION OPERATIONS SHALL BE PERFORMED IN COMPLIANCE WITH THE REQUIREMENTS OF THE U.S. DEPARTMENT OF LABOR, OCCUPATION, SAFETY AND HEALTH ADMINISTRATION (OSHA).
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE LOCAL AUTHORITY OR GOVERNING AGENCY OF THE BEGINNING DATE OF CONSTRUCTION AND TO ENSURE THAT NO WORK IS PERFORMED WITHOUT THE REQUIRED PERMITS AND INSPECTIONS BY THE LOCAL AUTHORITY OR GOVERNING AGENCY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED TRAFFIC CONTROL, SHEETING, SHORING AND BARRICADING OF OPEN EXCAVATIONS.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND BE SOLELY RESPONSIBLE FOR AND HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, SAFETY PRECAUTIONS, AND PROGRAMS IN CONNECTION WITH THE WORK AND FOR COORDINATION OF ALL PORTIONS OF THE WORK UNDER CONTRACT.
- IN ANY AREA SUBJECT TO VEHICULAR ACTIVITY DURING CONSTRUCTION, A MINIMUM OF 18 INCHES OF COVER SHALL BE MAINTAINED FOR ALL UNDERGROUND UTILITIES (STORMWATER, SANITARY SEWER, WATER, ELECTRIC, GAS, ETC.).
- ALL FILL SHALL BE COMPACTED TO PROVIDE STABILITY OF MATERIAL AND TO PREVENT UNDESIRABLE SETTLEMENTS. THE FILL SHALL BE SPREAD IN A SERIES OF LAYERS, NOT EXCEEDING EIGHT INCHES IN THICKNESS, AND BE COMPACTED BY A SHEEPSFOOT ROLLER OR OTHER APPROVED METHOD AFTER EACH LAYER IS SPREAD. THE TOWNSHIP ENGINEER MAY REQUIRE COMPACTION TESTS AND REPORTS.
- ALL STORM SEWER SHALL BE INSTALLED IN ACCORDANCE WITH UPPER UWCHLAN TOWNSHIP STANDARDS AND PENNDOT PUBLICATION 408 SPECIFICATIONS.
- ALL OTHER UTILITY LINES, INCLUDING, BUT NOT LIMITED TO, ELECTRIC, GAS, STREETLIGHT SUPPLY, CABLE TELEVISION, AND TELEPHONE, SHALL BE PLACED UNDERGROUND. INSTALLATION OF UTILITIES SHALL BE IN STRICT ACCORDANCE WITH THE ENGINEERING STANDARDS AND SPECIFICATIONS OF THE TOWNSHIP OR PUBLIC UTILITY CONCERNED. UNDERGROUND UTILITIES SHALL BE PUT IN PLACE, CONNECTED, AND APPROVED BEFORE THE STREETS ARE CONSTRUCTED WHERE SUCH UTILITIES LIE UNDER THE PROPOSED CARTWAY AND BEFORE ANY PERSON IS PERMITTED TO OCCUPY ANY BUILDING SERVED BY SUCH FACILITIES.
- THE STORMWATER MANAGEMENT SYSTEMS HAVE BEEN DESIGNED ASSUMING THE IMPERVIOUS COVER DEPICTED ON THIS PLAN. IF FUTURE IMPERVIOUS IS ADDED, SEPARATE STORMWATER MANAGEMENT MUST BE DESIGNED AT THAT TIME, AS REQUIRED BY THE TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.
- CLEANOUTS SHALL BE PLACED AT ALL GRADE CHANGES OR CHANGES IN ALIGNMENT OF THE RAIN WATER CONDUCTORS AND SANITARY SEWER LATERALS.
- ALL LATERALS SHALL BE INSTALLED WITH A MINIMUM OF 1/4-INCH PER FOOT SLOPE.
- 9 COFFMAN ASSOCIATES, LP SHALL COMPLY WITH THE REGULATIONS FOR THE DISCHARGE OF NON-RESIDENTIAL WASTE INTO THE UPPER UWCHLAN TOWNSHIP MUNICIPAL AUTHORITY'S SEWERAGE SYSTEM, RESOLUTION #10-20-04-15, DATED OCTOBER 20, 2004.
- IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERCEDE IN ALL CASES. NOTIFY ENGINEER OF ANY CONFLICT.
- CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OR CONSTRUCTION.
- REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS. WHERE CONFLICTS EXIST WITH THESE SITE PLANS, ENGINEER IS TO BE NOTIFIED PRIOR TO CONSTRUCTION TO RESOLVE SAME. SERVICE SIZES TO BE DETERMINED BY ARCHITECT.
- ALL EXISTING CAPS, LIDS, RIMS, ETC. TO REMAIN SHALL BE RESET FLUSH WITH PROPOSED GRADE.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
- ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN CHANGES.
- SOLID WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.

PA ONE CALL INFORMATION

COMPANY: AQUA PENNSYLVANIA INC
ADDRESS: 762 W LANCASTER AVE
BRYN MAWR, PA 19010
CONTACT: THOMAS WADDY
EMAIL: TWADDY@AQUAAMERICA.COM

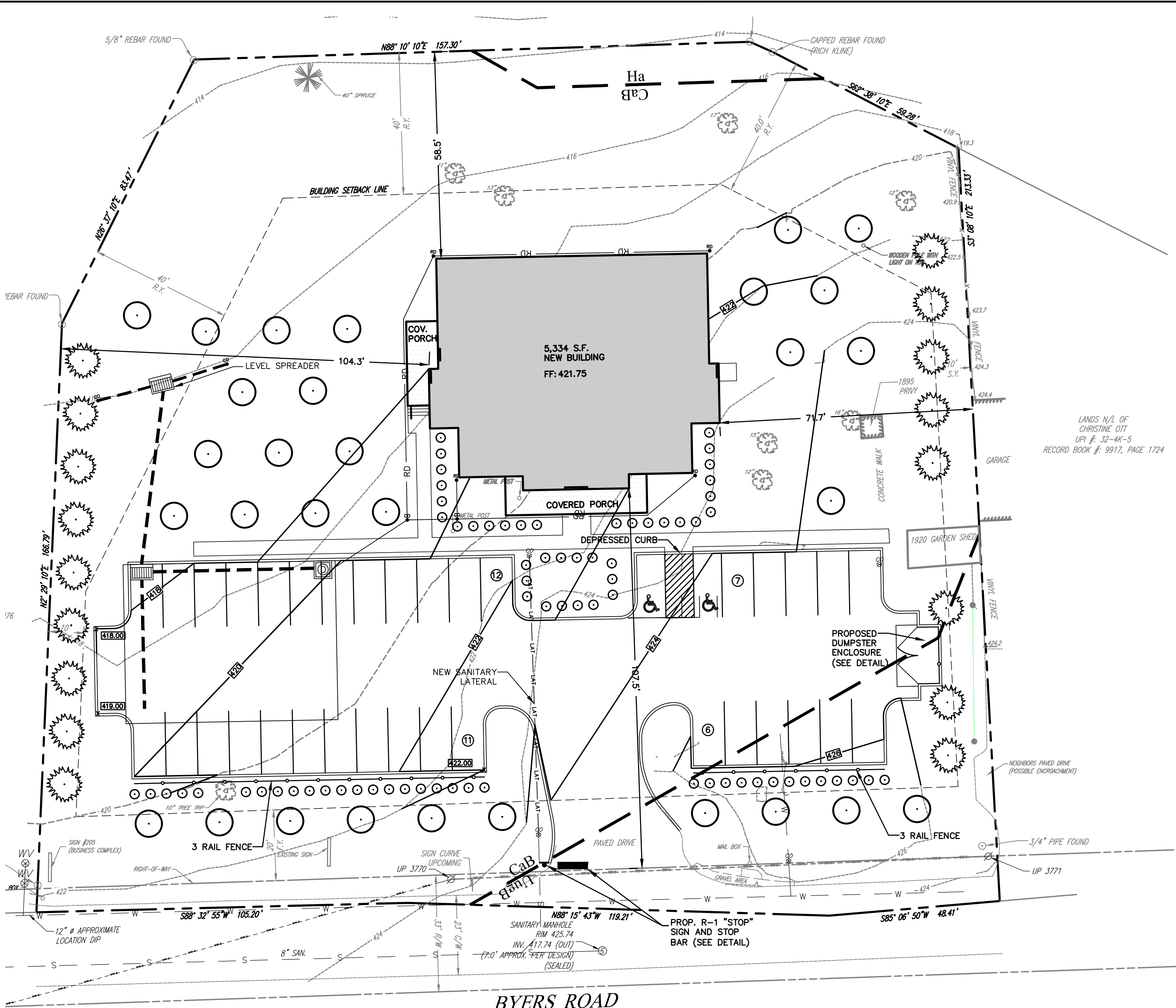
COMPANY: COMCAST
ADDRESS: 1004 CORNERSTONE BLVD
DOWNTOWN, PA. 19335
CONTACT: TOM RUSSO
EMAIL: tom_russo@comcast.com

COMPANY: PECO AN EXELON COMPANY C/O USIC
ADDRESS: 450 S HENDERSON ROAD SUITE B
KING OF PRUSSIA, PA. 19406
CONTACT: NIKKIA SIMPKINS
EMAIL: NIKKIASIMPKINS@USICLLC.COM

COMPANY: UPPER UWCHLAN TOWNSHIP UPPER
UWCHLAN MUNICIPAL AUTHORITY
ADDRESS: 140 POTTSTOWN PIKE
CHESTER SPRINGS, PA. 19425

CONTACT: MICHAEL HECKMAN
EMAIL: MHECKMAN@UPPERUWCHLAN-PA.GOV

COMPANY: VERIZON BUSINESS FORMERLY MCI
ADDRESS: 7000 WESTON PKWY
GARY, NC. 27513
CONTACT: VICTOR WOOD
EMAIL: victor.s.wood@verizon.com



BYERS ROAD
(33' WIDE, S.R. 1022)

DEMOLITION NOTE

BUILDINGS, PAVEMENT, CURBING, TREES, LIGHTS, TRANSFORMERS, POLES, CONCRETE PADS, DRAINAGE PIPING AND OTHER OBJECTS INTERFERING WITH THE SITE IMPROVEMENTS SHALL BE REMOVED AND DISPOSED OF PROPERLY. ALSO ALL UTILITIES SERVICES TO AND ON THE SITE SHALL BE PERMANENTLY TERMINATED OR TEMPORARILY SHUT OFF IN ACCORDANCE WITH UTILITY COMPANY OR AUTHORITY REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR ANY AND ALL DEMOLITION, INCLUDING HAZARDOUS MATERIAL IN ACCORDANCE WITH PADEP REQUIREMENTS. ALL MATERIALS AND WASTES SHALL BE DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 260.1 ET. SEQ. AND 287.1 ET. SEQ.

OWNER

9 COFFMAN ASSOCIATES, LP
211 BYERS RD
CHESTER SPRINGS, PA 19425

CHAPTER 93 CLASSIFICATION:

THE SITE DRAINS TO UNNAMED TRIBUTARY
PICKERING CREEK. CHAPTER 93 CLASSIFICATION
IS HQ-TSF. MF.

SITE INFORMATION

211 BYERS RD
TAX MAP: 32-4K-4
DB/PG: 7355/455

CALL BEFORE YOU DIG!

PENNSYLVANIA LAW REQUIRES
THREE (3) WORKING DAYS NOTICE FOR
CONSTRUCTION PHASE AND TEN (10)
WORKING DAYS FOR DESIGN STAGE.
UTILITY INFORMATION IDENTIFIED THROUGH
THE ONE-CALL PROCESS IS VALID FOR
90 DAYS FROM THE DATE OF THE CALL.
Pennsylvania One Call System, Inc.

800-242-1776

SERIAL # 20222912121
ONE-CALL DATE: 10/18/2022



ARCHITECTS

ARCHITECTURE
ENGINEERING
SITE PLANNING
INTERIOR DESIGN

140 N. PROVIDENCE ROAD
MEDIA, PENNSYLVANIA 19063
TEL: 610-566-7044
FAX: 610-566-3258

GRADING AND UTILITY PLAN

FOR

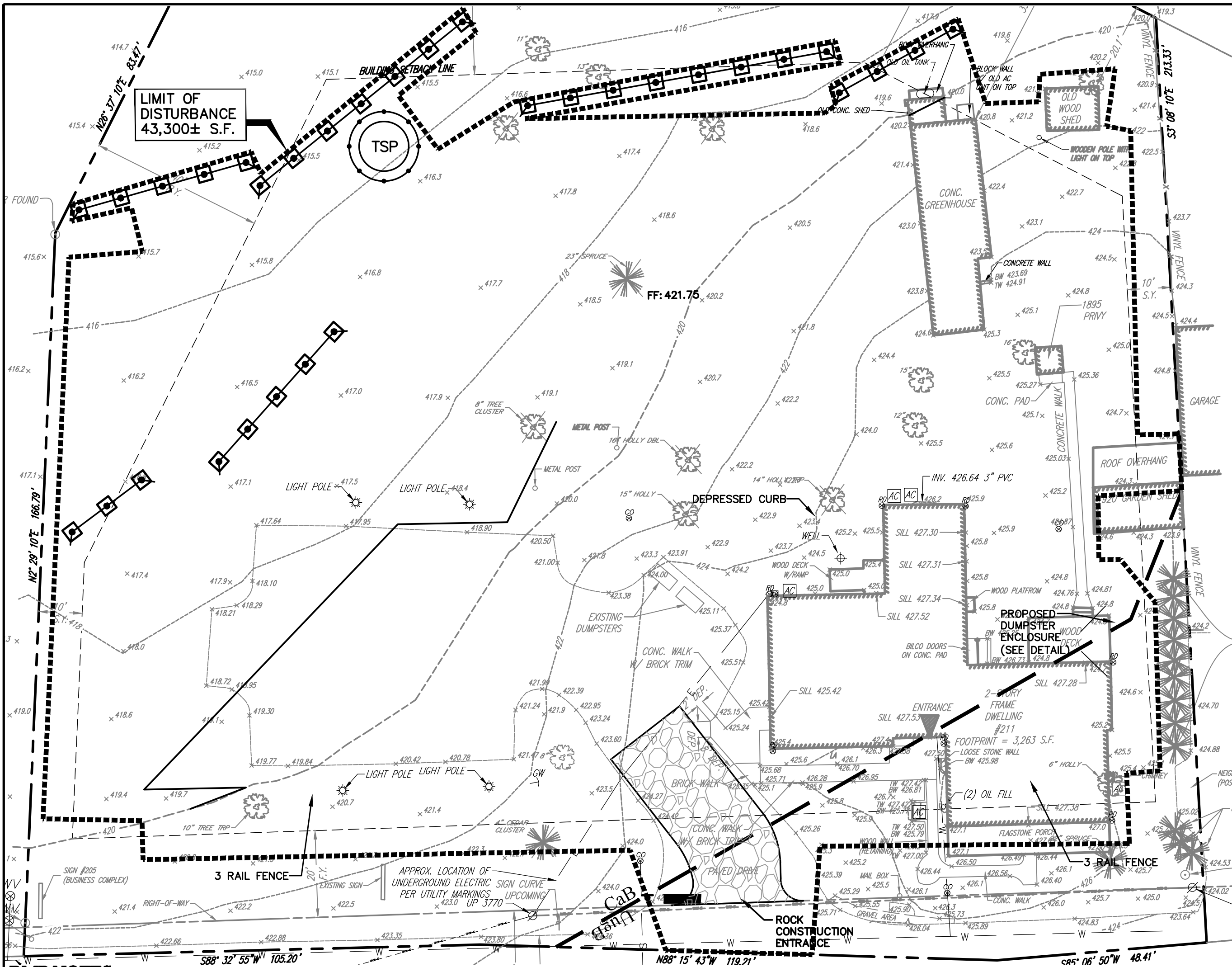
EAGLE ANIMAL HOSPITAL

211 BYERS ROAD

UPPER UWCHLAN TOWNSHIP CHESTER COUNTY, PA

DATE:	REVISIONS	NO.	DESCRIPTION	DATE
03/04/24	1	1		
SCALE: 1"=20'	2	2		
SFP	3	3		
CHECKED BY:	4	4		
PROJ. NO.:	22222			
SHEET NO.:	9			

C-3



BMP NOTES
 AS-BUILT PLAN:
 1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN AND PROTECT ALL EXISTING UTILITIES (SANITARY, WATER, TELECOMMUNICATIONS, AND ELECTRIC, ETC) WITHIN THE WORK ZONE DURING CONSTRUCTION.
 2. CONTRACTOR RESPONSIBLE TO MODIFY EXISTING RM/GRATE/COVERS/ETC. ELEVATIONS AS REQUIRED TO MEET PROVIDED FIELD CONDITIONS.

LEGEND

EXISTING	PROPOSED
CONCRETE CURB	CONC. SIDEWALK
FENCELINE	RIGHT OF WAY
PROPERTY LINE	IRON PIN
MONUMENT	SIGN
SPOT GRADES	CONTOURS
SANITARY SEWER W/ M.H.	STORM SEWER STRUCTURE NO.
ROOFRAIN PIPE	SEWER LATERAL
ELECTRIC LINE	WATER LINE
GAS LINE	UTILITY POLE
FIRE HYDRANT	GAS VALVE
WATER VALVE	CLEAN-OUT
WATER METER	GAS METER
ELECTRIC METER	OVERHEAD WIRE
PERCOLATION TEST LOCATION	UTILITY TEST LOCATION
12" SILT SOCK	18" SILT SOCK
PROJECT AREA	TREE PROTECTION FENCING
CONSTRUCTION FENCING	INLET PROTECTION
TREE	EVERGREEN TREE

PRELIMINARY EROSION CONTROLS

SCALE: 1" = 20'

RECEIVING SURFACE WATERS
 THE PENNSYLVANIA TITLE 25, CHAPTER 93 CLASSIFICATION FOR THE RECEIVING WATERS OF THE COMMONWEALTH UNNAMED TRIBUTARY (UNT) TO PICKERING CREEK IN THE PICKERING CREEK WATERSHED: A HIGH QUALITY-TROUT STOCKING FISHERY (HQ-TSF, MF) WATER COURSE

NOTES FOR SEEPAGE BED CONSTRUCTION:

- EXCAVATION SHALL BE PERFORMED WITH EQUIPMENT THAT WILL NOT COMPACT THE BOTTOM OF THE BED. EQUIPMENT SHALL NOT BE ALLOWED ON EXCAVATED AREAS OF THE SEEPAGE BEDS AT ANY TIME DURING CONSTRUCTION.
- THE BOTTOM OF THE BED SHALL BE SCARIFIED IMMEDIATELY PRIOR TO THE PLACEMENT OF THE GEOTEXTILE FABRIC ON THE BOTTOM OF THE BED.
- THE BED SHALL BE PROTECTED DURING CONSTRUCTION. SEDIMENT SHALL NOT BE ALLOWED TO BE WASHED BACK INTO THE BED BOTH DURING THE TIME WHEN THE BOTTOM OF THE BED IS OPEN AND ONCE THE STONE IS IN PLACE.
- ONLY UNIFORMLY GRADED, CLEAN AGGREGATE, FREE OF FINES, SLATE, SHALE, CLAY, SILT, AND VEGETATIVE MATERIAL, WITH A WASH LOSS OF NO MORE THAN 0.5% AND MEETING SPECIFICATIONS FOR AGGREGATE NO. 3 STONE SHALL BE USED. THE POROSITY OF THE STONE MUST MEET THAT WHICH IS SPECIFIED ON THE PLAN. THE SUPPLIER OF THE STONE SHALL PROVIDE CERTIFICATION OF THE POROSITY OF THE STONE DELIVERED TO THE SITE. THE DESIGN ENGINEER SHALL VERIFY THAT THE POROSITY MEETS OR EXCEEDS THE REQUIREMENTS OF THE DESIGN AND SUBMIT SUCH VERIFICATION TO THE TOWNSHIP.
- COMPACTION OF THE INFILTRATION BED SHALL NOT BE PERMITTED. EQUIPMENT AND TRAFFIC SHALL BE PROHIBITED FROM TRAVELING OVER THE PROPOSED LOCATION OF THE INFILTRATION BED. TO AVOID COMPACTION OF THE SOIL, EXCAVATION OF THE BED SHALL BE COMPLETED FROM OUTSIDE THE BED TO AVOID COMPACTION OF THE BED FLOOR. NO ACCESSORY STRUCTURE SHALL BE PERMITTED OVER THE INFILTRATION BED.
- LIGHT-TRACKED CONSTRUCTION EQUIPMENT SHALL ONLY BE ALLOWED ON THE TOP OF THE STONE AFTER IT HAS BEEN PLACED TO ITS FULL DEPTH AND TO ALLOW COMPLETION OF THE PLACEMENT OF THE STONE AND BACKFILL.
- DRAINAGE FILTER FABRIC SHALL BE PLACED IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS, INCLUDING PIPE PENETRATIONS, AND SHALL OVERLAP A MINIMUM OF EIGHTEEN (18) INCHES.
- IF SEDIMENT DOES ENTER INTO THE SYSTEM, THE CONTRACTOR WILL NEED TO CLEAN OUT THE SEDIMENT TO THE TOWNSHIP'S SATISFACTION, WHICH MAY REQUIRE THE RECONSTRUCTION OF PORTIONS OF OR THE ENTIRE INFILTRATION BED.

SEQUENCE OF CONSTRUCTION

ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED BY THE DESIGN ENGINEER. UNLESS SPECIFICALLY INDICATED OTHERWISE, EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.

AT LEAST SEVEN (7) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES (INCLUDING CLEARING AND GRUBBING), THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LAND OWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARER, THE PCSM PLAN PREPARER TO AN ONSITE PRE-CONSTRUCTION MEETING.

AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.

ALL EXCESS MATERIALS AND WASTE GENERATED DURING THE CLEARING AND GRUBBING OF THIS SITE SHALL BE REMOVED FROM THIS SITE AND RECYCLED OR PROPERLY DISPOSED. WASTE CANNOT BE BURIED ON SITE. EROSION CONTROL FACILITIES (SILT FENCE, STONE BERM, ETC.) SHOULD BE REMOVED AND REUSED, IF AND WHEN POSSIBLE, OR REMOVED FOR OFFSITE DISPOSAL.

THE PROJECT SITE IS 1.40 ACRES (81,201 SF). THE AREA OF DISTURBANCE IS 0.99 ACRES (43,300 SF). THE PROJECT IS TO BE CONSTRUCTED IN ONE PHASE. THE CONTRACTOR IS ADVISED TO BECOME FAMILIAR WITH ALL EROSION CONTROL MEANS AND METHODS OUTLINED IN THE "EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL" PUBLISHED BY THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION (PADEP), MARCH 2000 EDITION. COPIES OF THESE PLANS MUST BE AVAILABLE ON SITE THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL BE AWARE THAT NO SEDIMENT-LADEN RUNOFF SHALL BE ALLOWED TO FLOW TO THE PROPOSED UNDERGROUND INFILTRATION SYSTEM. ALL FLOW INTO THE INFILTRATION SYSTEM SHALL BE BLOCKED UNTIL ALL SITE AREAS ARE STABILIZED.

EROSION AND SEDIMENT CONTROL FACILITIES ARE TO CHECKED AND PROPERLY MAINTAINED WEEKLY AND AFTER EACH STORM EVENT. SUFFICIENT QUANTITIES OF SILT FENCING, CRUSHED STONE, STRAW BARS, SEEDING AND MULCHING SHOULD BE READILY AVAILABLE FOR REMEDIAL WORK IF REQUIRED.

IT IS REQUIRED THAT THE DESIGN PROFESSIONAL BE PRESENT DURING THE INSTALLATION OF ALL CRITICAL STAGES OF CONSTRUCTION.

EROSION AND SEDIMENT CONTROL NARRATIVE - 102.4(b)(4)
 THE PURPOSE OF THIS NARRATIVE AND THE EROSION CONTROL ASPECTS OF THE PLANS ARE TO PREVENT THE ACCELERATED EROSION OF EXPOSED SITE SOILS DURING CONSTRUCTION AND TO RETAIN ON SITE ALL SEDIMENT PRODUCED BY CONSTRUCTION ACTIVITIES. THIS WILL BE ACCOMPLISHED BY STRICT ADHERENCE TO THE FOLLOWING NOTES, SEQUENCE OF CONSTRUCTION, AND EROSION AND SEDIMENT CONTROL DETAILS SHOWN ON THE PLAN. THIS PLAN WILL FURTHER ACT TO PREVENT THE FOLLOWING:

- MINIMIZE EXTENT AND DURATION OF EARTH DISTURBANCE
- MAXIMIZE PROTECTION OF EXISTING DRAINAGE FEATURES AND VEGETATION
- MINIMIZE SOIL COMPACTION
- UTILIZE OTHER MEASURES OR CONTROLS THAT PREVENT OR MINIMIZE GENERATION OF INCREASED STORMWATER RUNOFF

NOTES FOR TREE CONSERVATION PRACTICES:

- ALL TREES TO BE PRESERVED SHALL BE PROTECTED FROM DAMAGE BY SNOW FENCING OR OTHER EFFECTIVE BARRIERS PLACED OUTSIDE THE CRITICAL ROOT ZONE, UNLESS APPROVED BY THE TOWNSHIP TO BE APPROPRIATE IN ANOTHER LOCATION. TREE PROTECTION FENCING MUST BE INSTALLED AND APPROVED BY THE TOWNSHIP'S DESIGNATED LANDSCAPE PROFESSIONAL PRIOR TO THE START OF ANY CLEARING, GRADING, OR OTHER EARTH DISTURBANCE AND MONITORED PERIODICALLY. THE APPLICANT SHALL MAINTAIN THE TREE PROTECTION FENCING, AND IT SHALL BE REMOVED ONLY AFTER ALL EARTH MOVING AND CONSTRUCTION ACTIVITIES THAT MAY IMPACT TREE ROOTS ARE COMPLETED.
- WHEN DISTURBANCE WITHIN THE CRITICAL ROOT ZONE IS UNAVOIDABLE, APPLICANT SHALL MINIMIZE ENCRoACHMENT AND USE THE BEST AVAILABLE METHODS AS APPROVED BY THE TOWNSHIP'S DESIGNATED LANDSCAPE PROFESSIONAL TO MINIMIZE DAMAGE AND PRESERVE TREES.
- SHOULD ANY MATURE TREES ON THE SITE BE IRREPARABLY DAMAGED DURING SITE PREPARATION ACTIVITIES AND, AS A CONSEQUENCE THEREOF, DIE OR DECLINE AS DETERMINED BY THE TOWNSHIP'S DESIGNATED LANDSCAPE PROFESSIONAL, WITHIN 18 MONTHS OF THE CONCLUSION OF CONSTRUCTION ACTIVITIES, SUCH TREES SHALL BE REPLACED WITH NURSERY GROWN MATERIAL, IN ACCORDANCE WITH THE COMPENSATORY PLANTING REQUIREMENTS.
- ONCE ALL DISTURBED AREAS OF SITE HAVE BEEN STABILIZED IN ACCORDANCE WITH THE FINAL STABILIZATION REQUIREMENTS, REMOVE ANY REMAINING EROSION CONTROL MEASURES. IMMEDIATELY STABILIZE ALL AREAS DISTURBED BY THIS OPERATION. THE TOWNSHIP ENGINEER MUST BE NOTIFIED FOR A FINAL SITE INSPECTION PRIOR TO REMOVAL OF EROSION CONTROLS.

GENERAL NOTES

- STOCKPILE HEIGHTS MUST NOT EXCEED 35 FEET. STOCKPILE SLOPES MUST BE 2:1 OR FLATTER.
- THE OPERATOR SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED.
- UNTIL THE SITE ACHIEVES FINAL STABILIZATION, THE OPERATOR SHALL ASSURE THAT THE BEST MANAGEMENT PRACTICES ARE IMPLEMENTED, OPERATED, AND MAINTAINED PROPERLY AND COMPLETELY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL BEST MANAGEMENT PRACTICE FACILITIES. THE OPERATOR SHALL MAINTAIN AND MAKE WRITTEN INSPECTION LOGS OF ALL THOSE INSPECTIONS. ALL MAINTENANCE WORK, INCLUDING CLEANING, REPAIR, REPLACEMENT, REGRADING, AND RESTABILIZATION SHALL BE PERFORMED IMMEDIATELY.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
- BEFORE INITIATING ANY REVISIONS TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS WHICH MAY AFFECT THE EFFECTIVENESS OF THE APPROVED E&S CONTROL PLAN, THE OPERATOR MUST RECEIVE APPROVAL FROM THE DESIGN ENGINEER.
- ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG DISCHARGING OVER NON-DISTURBED AREAS.
- THE OPERATOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF THE APPENDIX 64, EROSION CONTROL RULES AND REGULATIONS, TITLE 25, PART 1, DEPARTMENT OF ENVIRONMENTAL PROTECTION, SUBPART C, PROTECTION OF NATURAL RESOURCES, ARTICLE III, WATER RESOURCES, CHAPTER 102, EROSION CONTROL.
- EROSION AND SEDIMENT BMP'S MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THE TRIBUTARY AREAS OF THOSE BMP'S.
- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE OF CONSTRUCTION. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED

CALL BEFORE YOU DIG!

PENNSYLVANIA LAW REQUIRES THREE (3) WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND TEN (10) WORKING DAYS FOR DESIGN STAGE. UTILITY INFORMATION IDENTIFIED THROUGH THE ONE-CALL PROCESS IS VALID FOR 90 DAYS FROM THE DATE OF THE CALL.

One Call System, Inc.
 SERIAL# 20222912121
 ONE-CALL DATE: 10/18/2022

CHAPTER 93 CLASSIFICATION:
 THE SITE DRAINS TO UNNAMED TRIBUTARY PICKERING CREEK. CHAPTER 93 CLASSIFICATION IS HQ-TSF, MF.

HIGH QUALITY-TROUT STOCKING WATERSHEDS:
 • THE PROJECT IS LOCATED IN A HIGH QUALITY-TROUT STOCKING WATERSHED. THE SPECIAL PROTECTION WATERS IMPLEMENTATION HANDBOOK BEST MANAGEMENT PRACTICES APPLY TO ALL NEW NON-AGRICULTURAL ACTIVITIES/PROJECTS RESULTING IN AN EARTH DISTURBANCE ON HIGH QUALITY OR EXCEPTIONAL VALUE WATERSHEDS. IMPLEMENTATION OF THESE PRACTICES AND THE ADDITIONAL REQUIREMENTS FOR SPECIFIC ACTIVITIES LISTED IN THE HANDBOOK SHALL BE FOLLOWED. STORMWATER MANAGEMENT PRACTICES DESCRIBED IN SECTION TWO OF THE HANDBOOK CONSTITUTE APPROPRIATE, REASONABLE AND COST EFFECTIVE BEST MANAGEMENT PRACTICES FOR NON-POINT SOURCE CONTROL. PERSONS ENGAGED IN THESE LAND DISTURBANCE ACTIVITIES ARE EXPECTED TO COMPLY WITH BOTH THE GENERAL AND PROGRAM SPECIFIC REQUIREMENTS LISTED IN THIS APPENDIX.

BECAUSE THIS PROJECT IS IN A SPECIFICALLY PROTECTED HIGH QUALITY OR EXCEPTIONAL VALUE WATERSHED, UPON COMPLETION OR TEMPORARY CESSATION OF EARTH DISTURBANCE ACTIVITIES, THE PROJECT SITE MUST BE IMMEDIATELY STABILIZED WITH THE APPROPRIATE TEMPORARY OR PERMANENT STABILIZATION.

IN EACH STAGE.

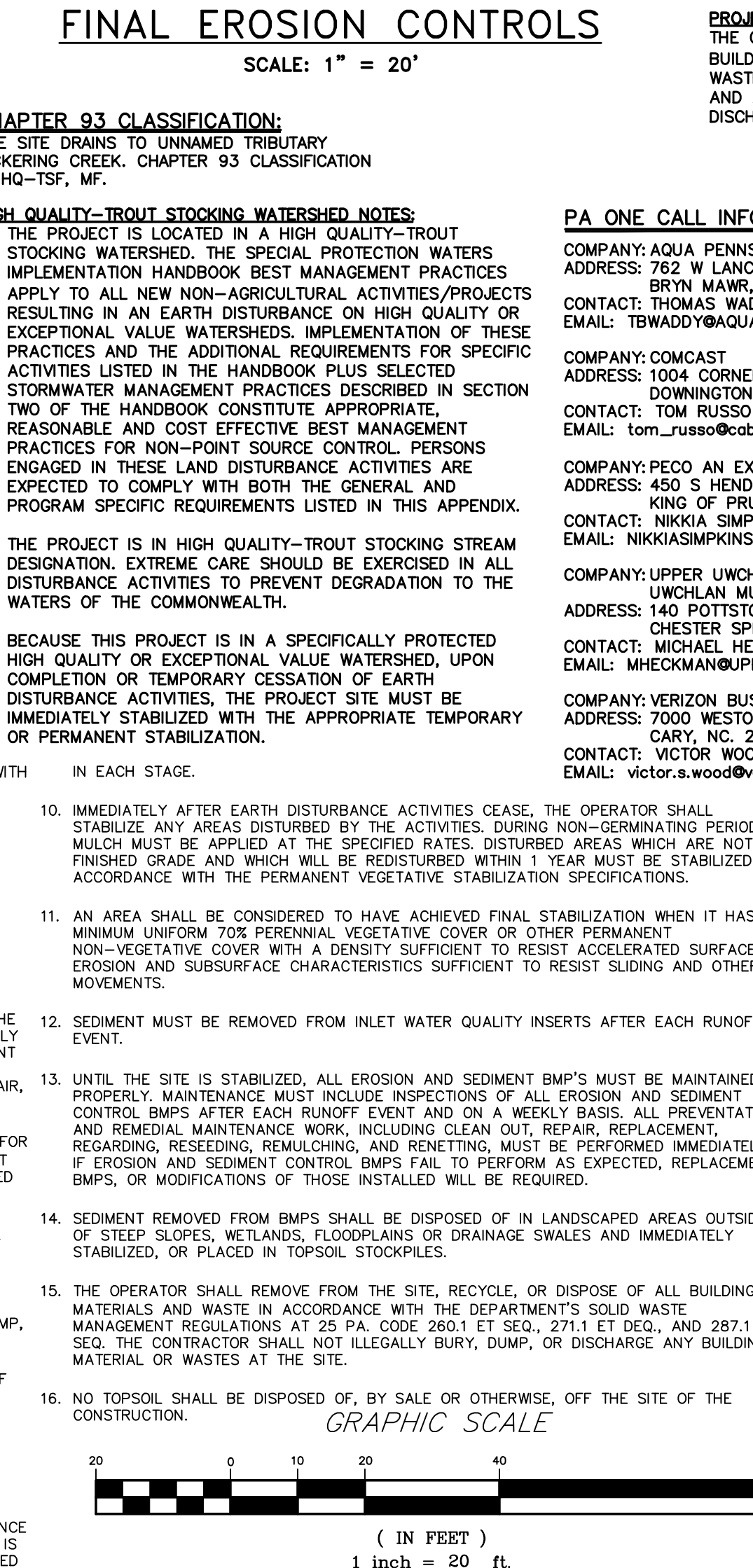
12. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE, THE OPERATOR SHALL STABILIZE ANY AREAS DISTURBED BY THE ACTIVITIES, DURING NON-GERMINATING PERIODS. MULCH MUST BE APPLIED AT THE SPEED SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.

13. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMP'S MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROL BMP'S AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RESTABILIZATION, MUST BE PERFORMED IMMEDIATELY, IF EROSION AND SEDIMENT CONTROL BMP'S FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMP'S, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.

14. SEDIMENT REMOVED FROM BMP'S SHALL BE DISPOSED OF IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED, OR PLACED IN TOPSOIL STOCKPILES.

15. THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND WASTE IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1 ET SEQ. AND 287.1 ET SEQ. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP, OR DISCHARGE ANY BUILDING MATERIAL OR WASTES AT THE SITE.

16. NO TOPSOIL SHALL BE DISPOSED OF, BY SALE OR OTHERWISE, OFF THE SITE OF THE CONSTRUCTION.



PA ONE CALL INFORMATION

COMPANY: AQUA PENNSYLVANIA INC
 ADDRESS: 782 W LANCASTER AVE
 BRYN MAWR, PA 19010
 CONTACT: THOMAS WADY
 EMAIL: TBWADDY@AQUAAMERICA.COM

COMPANY: COMCAST
 ADDRESS: 1004 CORNERSTONE BLVD
 DOWNTOWN, PA 19335
 CONTACT: TOM RUSSO
 EMAIL: tom_russo@comcast.com

COMPANY: PECCO AN EXELON COMPANY C/O USIC
 ADDRESS: 450 S HENDERSON ROAD SUITE B
 KING OF PRUSSIA, PA 19406
 CONTACT: MICHAEL HECKMAN
 EMAIL: MIKEHECKMAN@UPPERWUHLAN-PA.GOV

COMPANY: VERIZON BUSINESS FORMERLY MCI
 ADDRESS: 7000 WESTON PKWY
 CARY, NC 27513
 CONTACT: VICTOR WOOD
 EMAIL: victor.s.wood@verizon.com

JEFFREY N. GENTILE
 ENGINEER
 No. PE0523736
 PENNSYLVANIA

ARCHITECTS

ARCHITECTURE
 140 N. PROVIDENCE ROAD
 MEDIA, PENNSYLVANIA 19063

ENGINEERING
 SITE PLANNING
 INTERIOR DESIGN

TEL: 610-566-7044
 FAX: 610-566-3258

EROSION AND SEDIMENTATION CONTROL AND CONSERVATION PLAN FOR

EAGLE ANIMAL HOSPITAL

211 BYERS ROAD

UPPER UWCHLAN TOWNSHIP

CHESTER COUNTY, PA

DATE: 03/04/24
SCALE: 1"=20'
DRAWN BY: SFL
CHECKED BY: SFL
PROJ. NO.: 22222

SHEET NO. 9

OF 9

STORMWATER SEQUENCE OF CONSTRUCTION

- STAKE OUT FOOTPRINT OF THE SEEPAGE BED. ENSURE THAT AREA DOWNGRADIENT OF SEEPAGE BED CONSTRUCTION IS PROTECTED BY EROSION CONTROL MEASURE (SILT FENCE) AS INDICATED ON APPROVED EROSION CONTROL PLAN. ALL TRIBUTARY INLETS, YARD DRAINS, ETC. CONNECTED TO SEEPAGE BED TO BE SEALED WATERTIGHT TO PREVENT INTRUSION OF SEDIMENT-LADEN RUNOFF INTO BED.
- EXCAVATE AREA FOR SEEPAGE BED. NOTIFY MUNICIPAL/DESIGN ENGINEER IN ADVANCE TO ALLOW ENGINEER TO INSPECT THE PLACEMENT OF FABRIC AND STONE. INSTALLATION OF FABRIC AND STONE SHALL BE APPROVED BY THE MUNICIPAL ENGINEER SITE INSPECTOR. ALL SEDIMENT SHALL BE REMOVED AND OR FABRIC AND STONE REPLACED IF SEDIMENT ENTERS THE SEEPAGE BED.
- INSTALL GEOTEXTILE FABRIC (CONFORMING TO SPECIFICATIONS ON DESIGN DETAILS) ON BOTTOM AND SIDES OF EXCAVATION AND PLACE INITIAL LAYER OF STONE ON BOTTOM OF BED.
- INSTALL PERFORATED PIPE AND OTHER SEEPAGE BED ELEMENTS AND BACKFILL WITH STONE AS INDICATED ON DESIGN DETAILS. ONCE STONE REACHES TOP ELEVATION, WRAP GEOTEXTILE FABRIC.
- PLACE BACKFILL ON TOP OF WRAPPED BED TO ACHIEVE FINAL GRADE OR PAVEMENT SUBGRADE.
- ORANGE CONSTRUCTION FENCE AND EROSION CONTROL MEASURES SHALL BE REMOVED ONCE TRIBUTARY AREAS ARE STABILIZED. IMMEDIATELY STABILIZE ALL AREAS DISTURBED BY THIS OPERATION.
- ONCE ALL TRIBUTARY AREAS ARE FULLY STABILIZED, REMOVE WATERTIGHT SEALS FROM ALL INLETS AND YARD DRAINS TRIBUTARY TO SEEPAGE BED. INSPECT THESE STRUCTURES AND IMMEDIATELY REMOVE ANY SEDIMENT AND/OR DEBRIS THAT MAY HAVE COLLECTED IN BOTTOM OF SUCH STRUCTURES, TO PREVENT MIGRATION OF SEDIMENT AND/OR DEBRIS INTO SEEPAGE BED PIPING.

NON-WOVEN GEOTEXTILE
GEOTEXTILE FABRIC TO LINE BOTTOM, SIDES, AND TOP OF INFILTRATION BED SHALL
CONSIST OF NEEDED NON-WOVEN POLYPROPYLENE FIBERS AND MEET THE
FOLLOWING PROPERTIES:

- GRAB TENSILE STRENGTH (ASTM-D4632) 120 LBS
- MULLEN BURST STRENGTH (ASTM-D3786) 225 PSI
- FLOW RATE (ASTM-D4491) 95 GAL/MIN/FT²
- UV RESISTANCE AFTER 500 HOURS (ASTM-D4355): 70%
- HEAT-SET OR HEAT-CALENDARED FABRICS ARE NOT PERMITTED

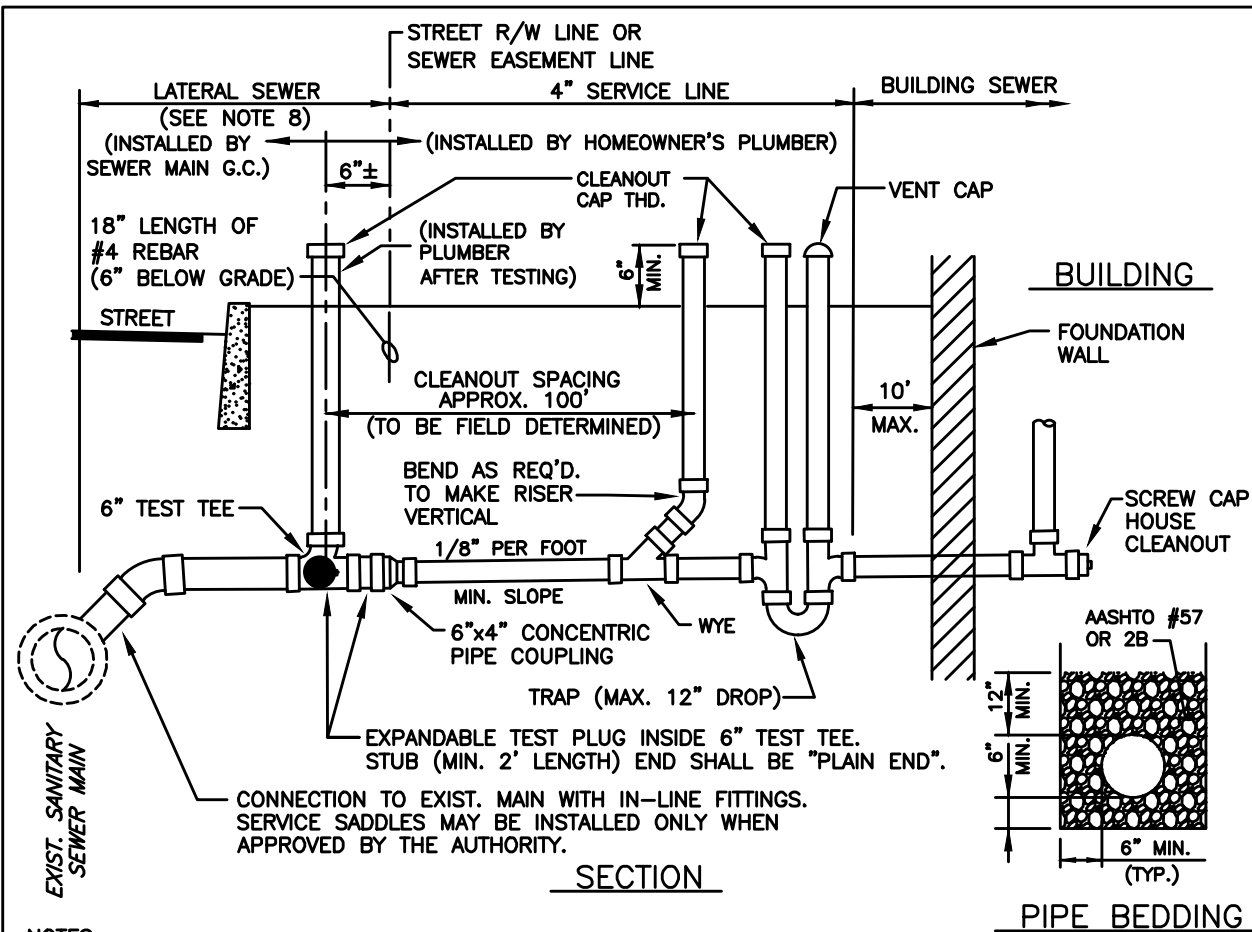
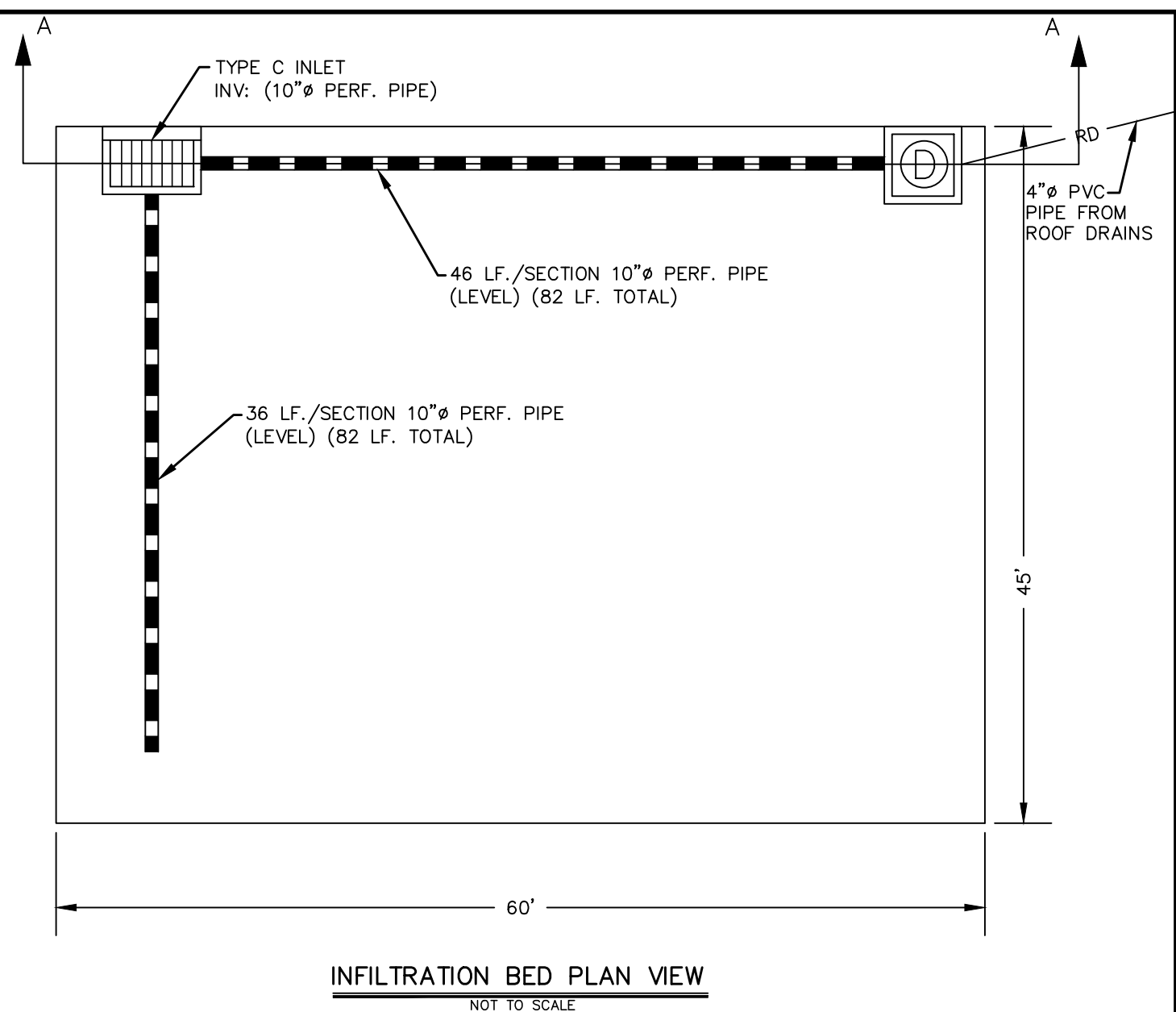
ACCEPTABLE TYPES INCLUDE: MIRAFI 140N, AMOCO 4547, GEOTEX 451

MAINTENANCE NOTES:

- THE OWNER AND/OR OPERATOR OF THE PROPERTY IS RESPONSIBLE FOR THE MAINTENANCE OF THE STORMWATER MANAGEMENT SYSTEM.
- STORMWATER FACILITIES SHALL BE INSPECTED BY A REGISTERED PROFESSIONAL ENGINEER LICENSED IN THE COMMONWEALTH OF PENNSYLVANIA ON BEHALF OF THE APPLICANT OR RESPONSIBLE ENTITY (INCLUDING THE TOWNSHIP ENGINEER FOR DEDICATED FACILITIES) ON THE FOLLOWING BASIS:
 - ANNUALLY FOR THE FIRST FIVE YEARS.
 - ONCE EVERY THREE YEARS THEREAFTER.
 - DURING OR IMMEDIATELY AFTER THE CESSATION OF A ONE-HUNDRED-YEAR OR GREATER STORM EVENT.
- THE PROFESSIONAL ENGINEER CONDUCTING THE INSPECTION SHALL BE REQUIRED TO SUBMIT A WRITTEN REPORT TO THE TOWNSHIP WITHIN ONE MONTH FOLLOWING COMPLETION OF THE INSPECTION. THE REPORT WILL PRESENT DOCUMENTATION AND INCLUDE PICTURES REGARDING THE CONDITION OF THE FACILITY AND RECOMMEND NECESSARY REPAIRS, IF NEEDED. ANY NEEDED REPAIRS SHALL BE IMPLEMENTED BY THE OWNER WITHIN ONE MONTH OF THE REPORT ISSUANCE DATE.

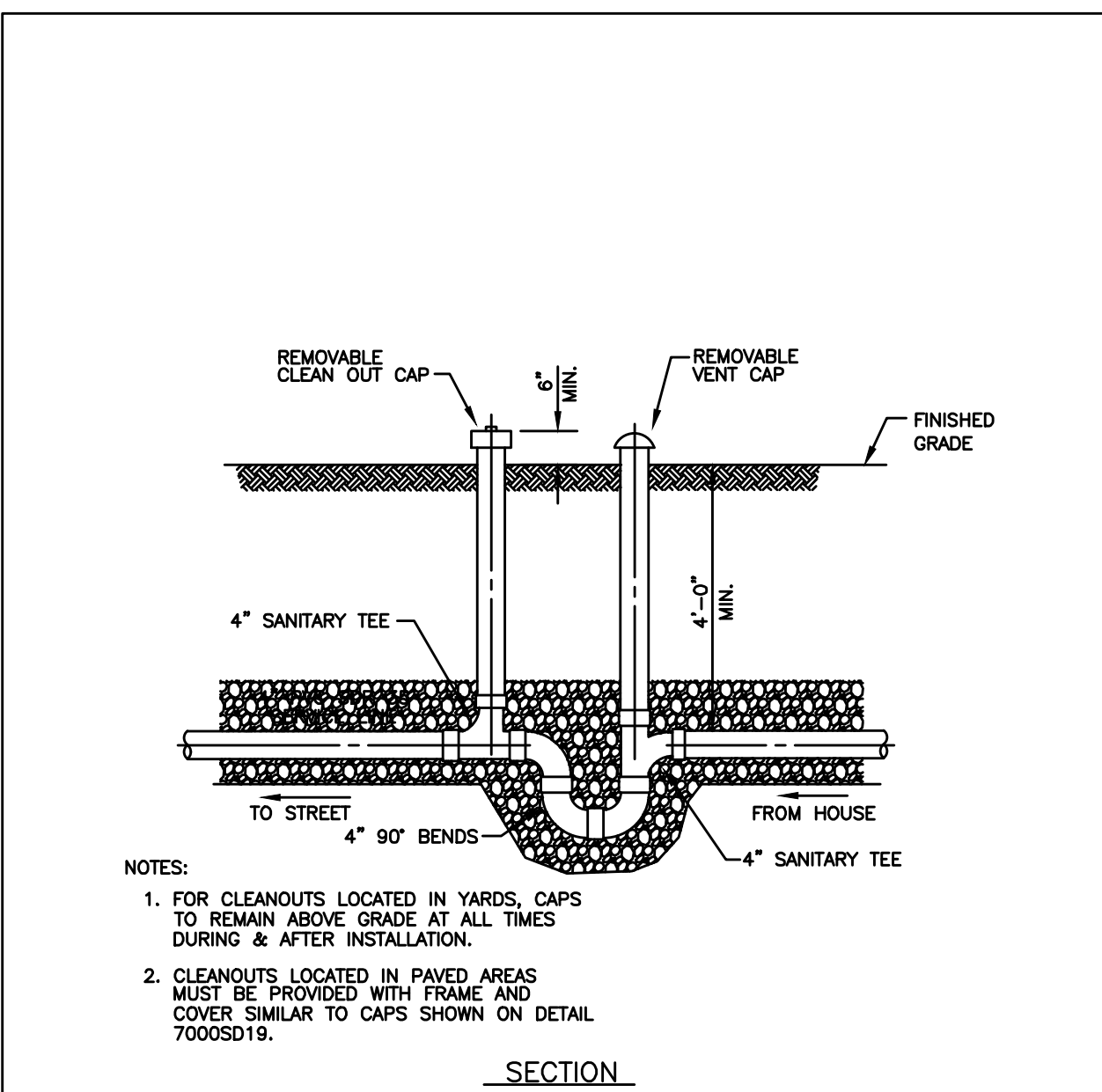
BMP NOTES

AS-BUILT PLAN:
AS-BUILT PLANS AND ALL EXPLANATION OF ANY DISCREPANCIES WITH THE CONSTRUCTIONS PLANS SHALL BE SUBMITTED TO THE MUNICIPALITY WITHIN THREE MONTHS OF THE COMPLETION OF CONSTRUCTION OF THE SIM BMP'S.

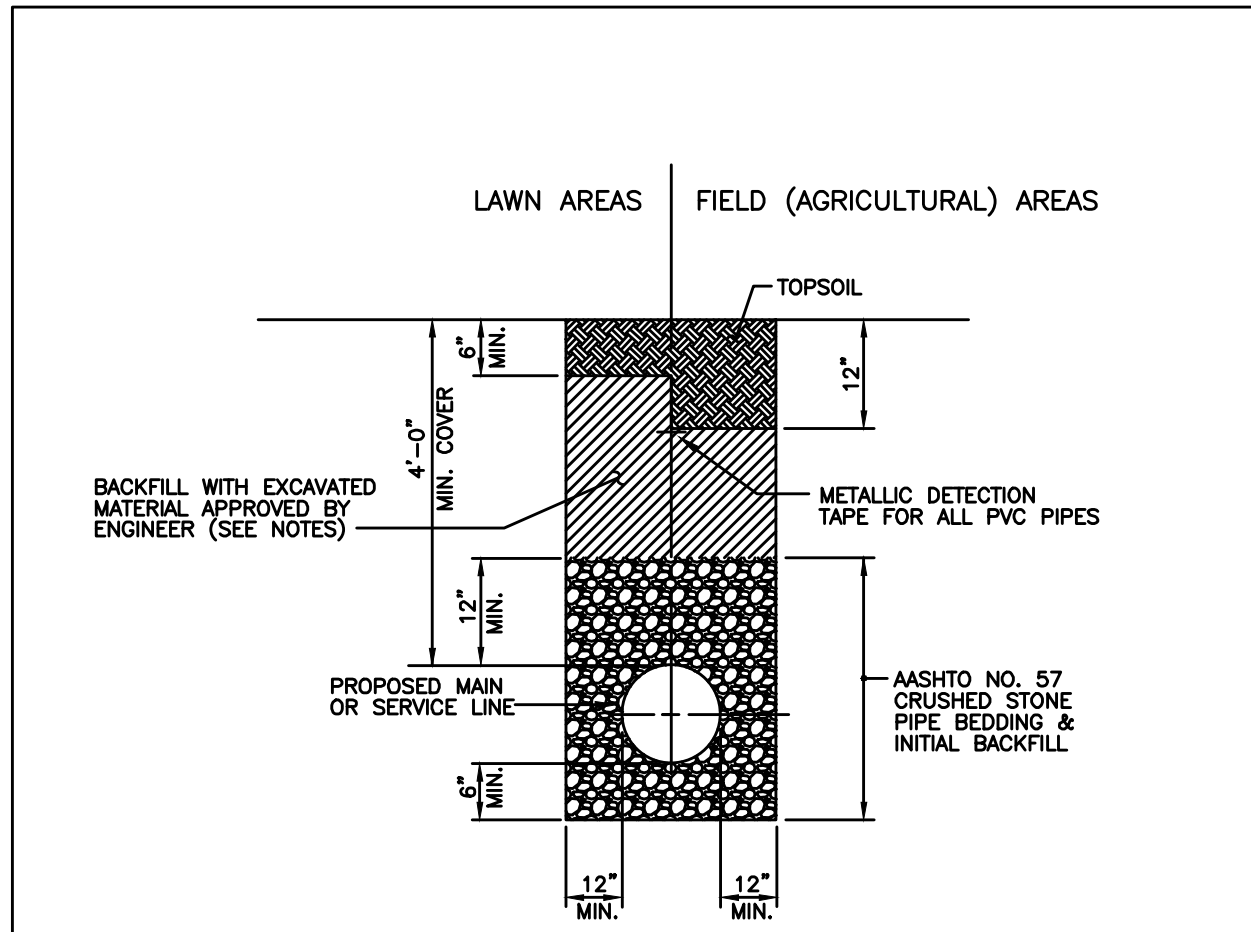


- NOTES:
- PROVIDE 6" OF ASHTO NO. 57 STONE BELOW PIPE AND 12" ABOVE PIPE (TYPICAL ENTIRE LENGTH OF LATERAL AND SERVICE LINE)
 - MINIMUM SLOPE = 1/8" PER FT.
 - MINIMUM DEPTH OF COVER = 4 FT
 - PIPE MATERIALS:
LATERAL SEWER - PVC SDR 35 OR DIP CLASS 52 WHEN INSTALLED IN FILL MATERIAL
SERVICE LINE - PVC SDR 35 OR SCH. 40
 - TO CONDUCT AIR TESTING OF SERVICE LINE, INSTALL EXPANDABLE PLUGS AT LOCATIONS SHOWN.
 - NO SEWER SERVICE LINE VENT CAPS SHALL BE INSTALLED WITHIN A 100-YR FLOOD PLAIN OR WITHIN FLOOD PRONE AREAS.
 - NO VENT CAPS OR CLEANOUTS SHALL BE INSTALLED IN DRIVEWAYS OR OTHER PAVED AREAS, UNLESS SPECIFICALLY APPROVED BY ULTIMA. VENTS AND CLEANOUTS LOCATED IN PAVED AREAS MUST BE PROVIDED WITH A FRAME AND COVER IN ACCORDANCE WITH VENT & CLEANOUTS IN PAVED AREAS DETAIL.
 - THE LATERAL SEWER SHALL BE INSTALLED TO THE EDGE OF THE SEWER EASEMENT FOR SEWERS LOCATED IN AN EASEMENT OR TO THE STREET RIGHT-OF-WAY AS A MINIMUM, OR TO SUCH POINT, AS REQUIRED, TO CLEAR STREET SIDEWALKS AND UNDERGROUND UTILITIES.
 - CLEANOUTS AND VENTS IN LAWN AREAS MUST BE 6" MINIMUM ABOVE GRADE.

6	4/21	Upper Uwchlan Township Municipal Authority	ARRC
5	9/15	STANDARD DETAIL - SEWER SYSTEM	Suite 200, 321 N. Furness St. Birdsboro, PA 19508 Tel 610.374.5285 Fax 610.374.5287
4	10/14		DATE: APRIL 2021
3	1/13		DETAIL: 7000SD17
2	6/05		
1	11/04	LATERAL & SERVICE LINE	
REVISION	DATE		

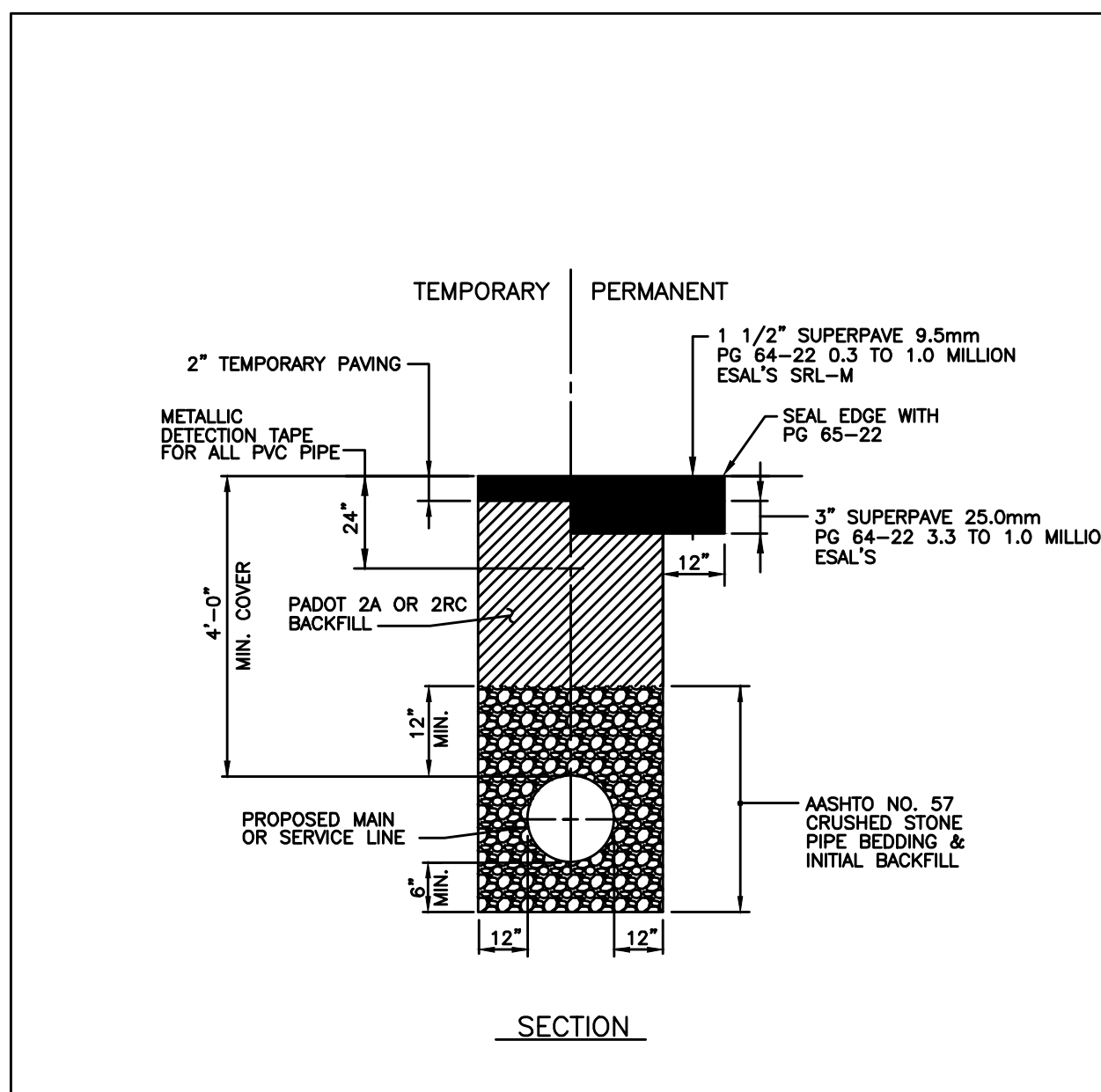


4	4/21	Upper Uwchlan Township Municipal Authority	ARRC
3	1/13	STANDARD DETAIL - SEWER SYSTEM	Suite 200, 321 N. Furness St. Birdsboro, PA 19508 Tel 610.374.5285 Fax 610.374.5287
2	6/05		DATE: APRIL 2021
1	11/04	SERVICE LINE CLEANOUT & VENT	DETAIL: 7000SD18
REVISION	DATE		

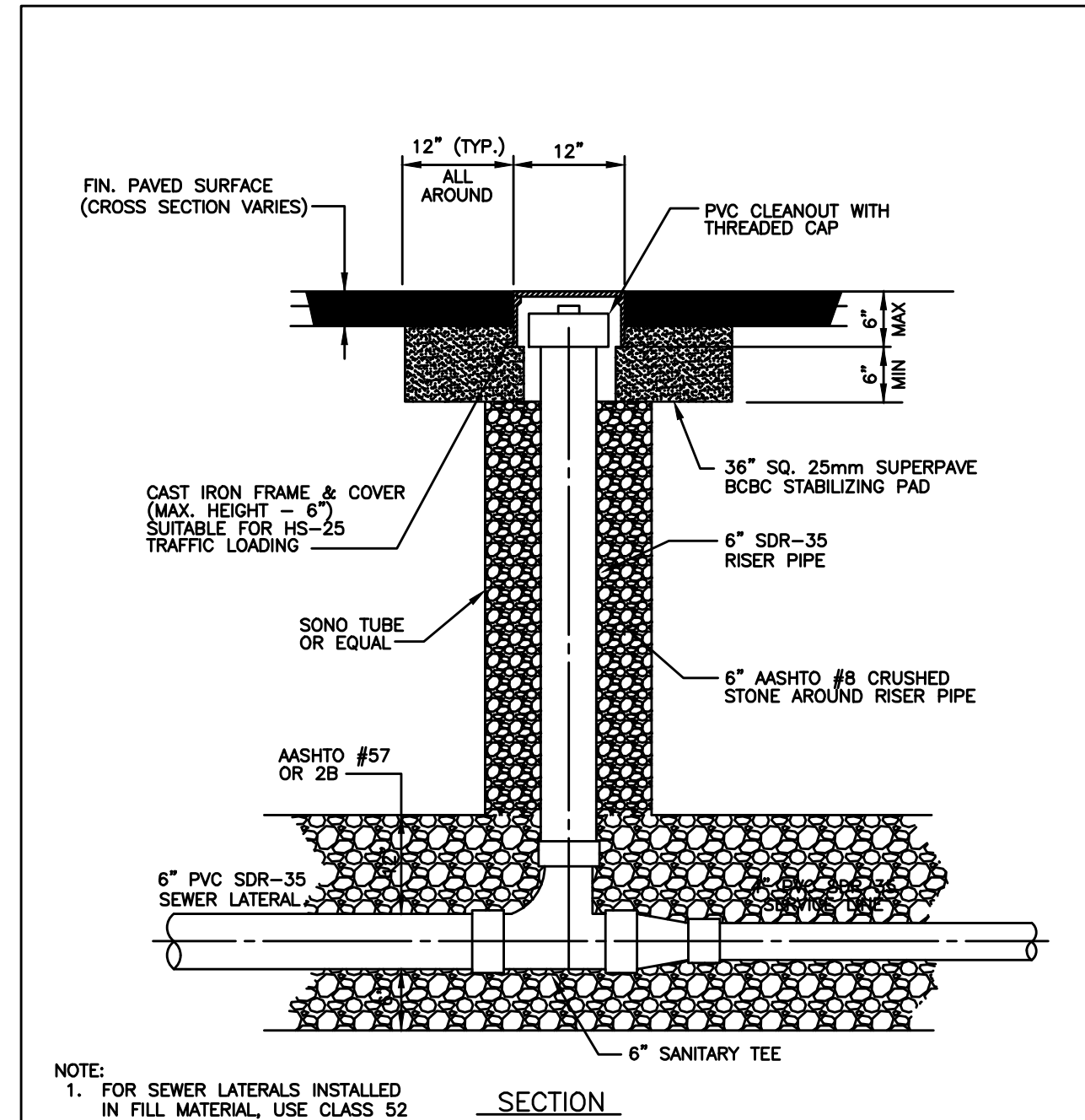


- NOTES:
- BACKFILL TRENCHES WITH EXCAVATED MATERIAL CONTAINING NO STONES LARGER THAN FOUR (4) INCHES IN ANY DIMENSION.
 - A MAXIMUM OF 20% OF BACKFILL CAN CONSIST OF STONES (NOTED ABOVE) IF EVENLY DISTRIBUTED THROUGHOUT BACKFILL.
 - BACKFILL MATERIAL SHALL BE FREE OF ORGANIC MATERIAL, REFUSE, AND FROZEN MATERIAL SUBJECT TO LIMITATIONS SPECIFIED.
 - BACKFILL SHALL BE PLACED IN 4" LOOSE LIFTS WITH THE USE OF A MECHANICAL TAMPER AND 8" LOOSE LIFTS WITH THE USE OF A VIBRATORY TAMPER.

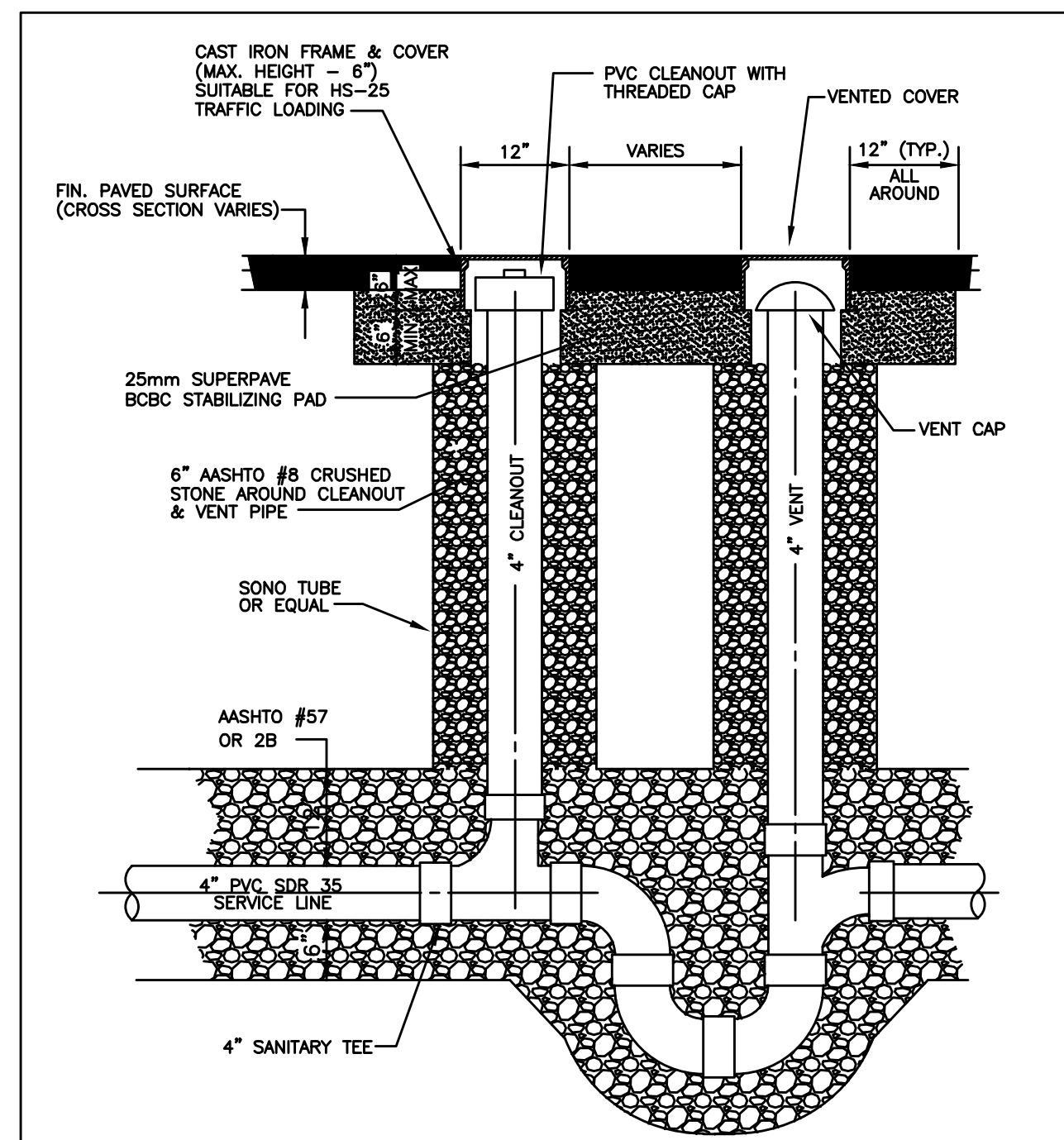
4	4/21	Upper Uwchlan Township Municipal Authority	ARRC
3	1/13	STANDARD DETAIL - SEWER SYSTEM	Suite 200, 321 N. Furness St. Birdsboro, PA 19508 Tel 610.374.5285 Fax 610.374.5287
2	6/05		DATE: APRIL 2021
1	11/04	TRENCH RESTORATION LAWN/FIELD AREAS	DETAIL: 7000SD29
REVISION	DATE		



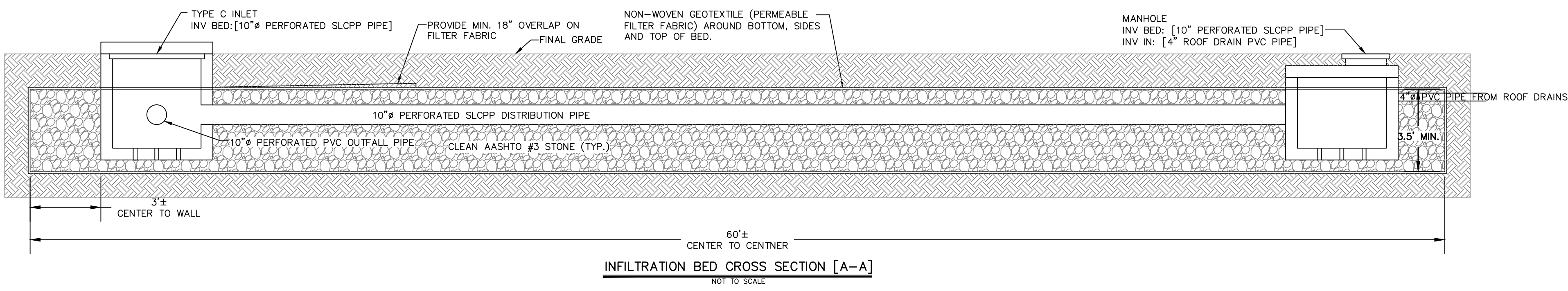
4	4/21	Upper Uwchlan Township Municipal Authority	ARRC
3	1/13	STANDARD DETAIL - SEWER SYSTEM	Suite 200, 321 N. Furness St. Birdsboro, PA 19508 Tel 610.374.5285 Fax 610.374.5287
2	6/05		DATE: APRIL 2021
1	11/04	TRENCH RESTORATION PARKING AREAS & DRIVEWAYS	DETAIL: 7000SD28
REVISION	DATE		



3	4/21	Upper Uwchlan Township Municipal Authority	ARRC
2	1/13	STANDARD DETAIL - SEWER SYSTEM	Suite 200, 321 N. Furness St. Birdsboro, PA 19508 Tel 610.374.5285 Fax 610.374.5287
1	6/05	CLEANOUT/TEST TEE IN PAVED AREAS	DATE: APRIL 2021
REVISION	DATE		DETAIL: 7000SD20



3	4/21	Upper Uwchlan Township Municipal Authority	ARRC
2	1/13	STANDARD DETAIL - SEWER SYSTEM	Suite 200, 321 N. Furness St. Birdsboro, PA 19508 Tel 610.374.5285 Fax 610.374.5287
1	6/05	SERVICE LINE CLEANOUT & VENT IN PAVED AREAS	DATE: APRIL 2021
REVISION	DATE		DETAIL: 7000SD19



LINN ARCHITECTS

ARCHITECTURE
ENGINEERING
SITE PLANNING
INTERIOR DESIGN

140 N. PROVIDENCE ROAD
MEDIA, PENNSYLVANIA 19063
TEL: 610-566-7044
FAX: 610-566-3258

STORMWATER AND SEWER DETAILS

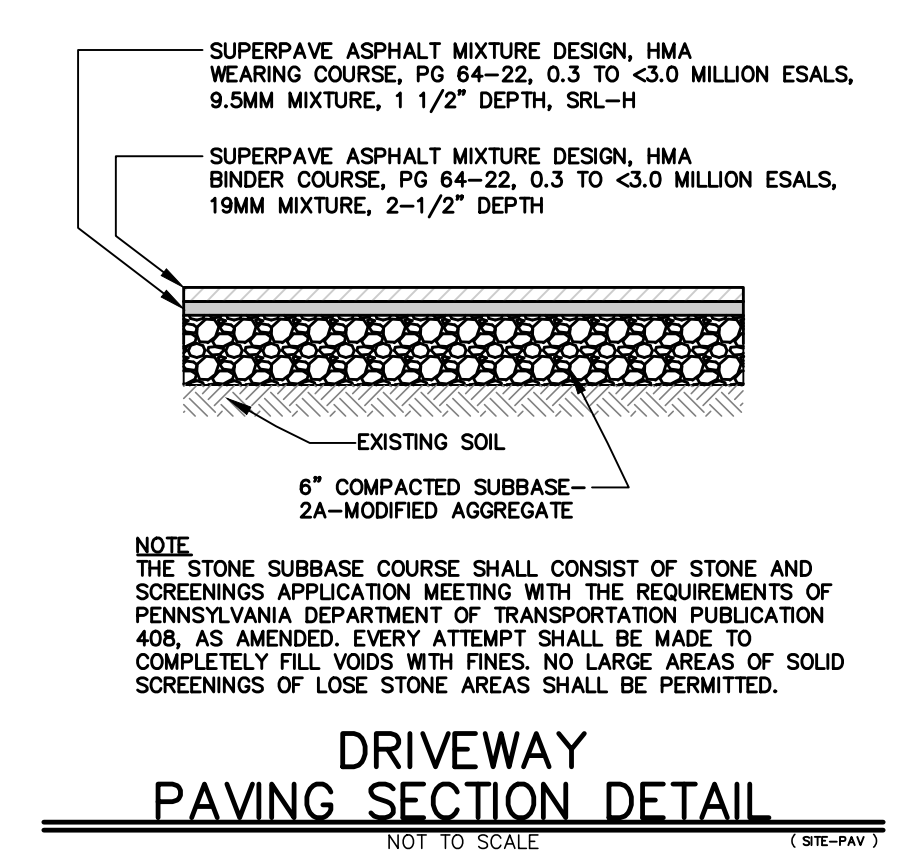
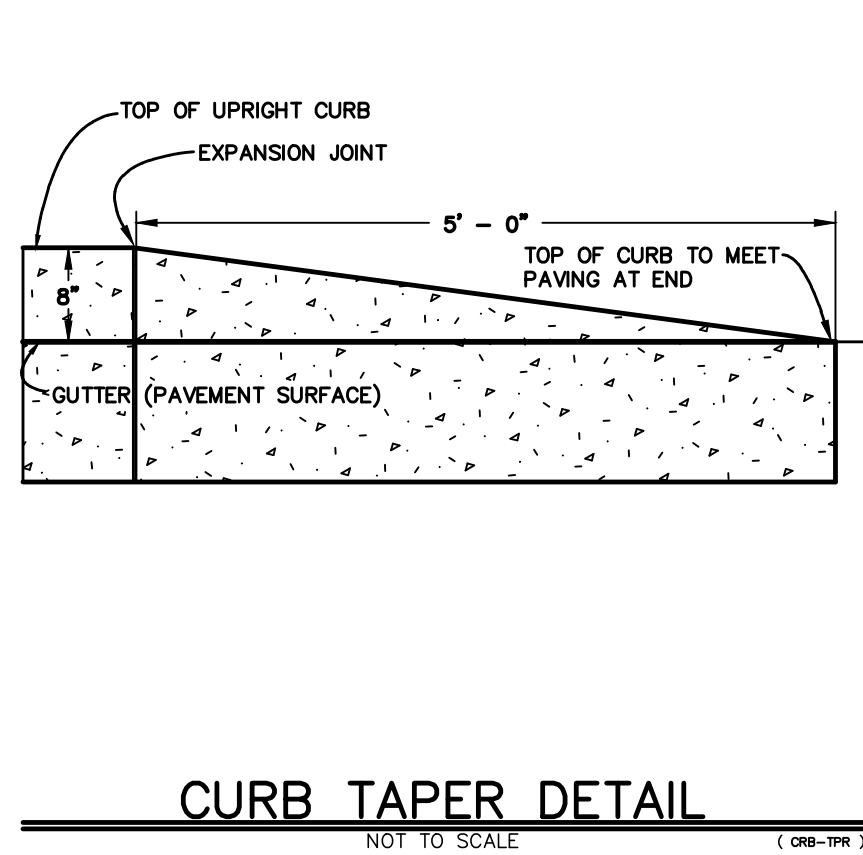
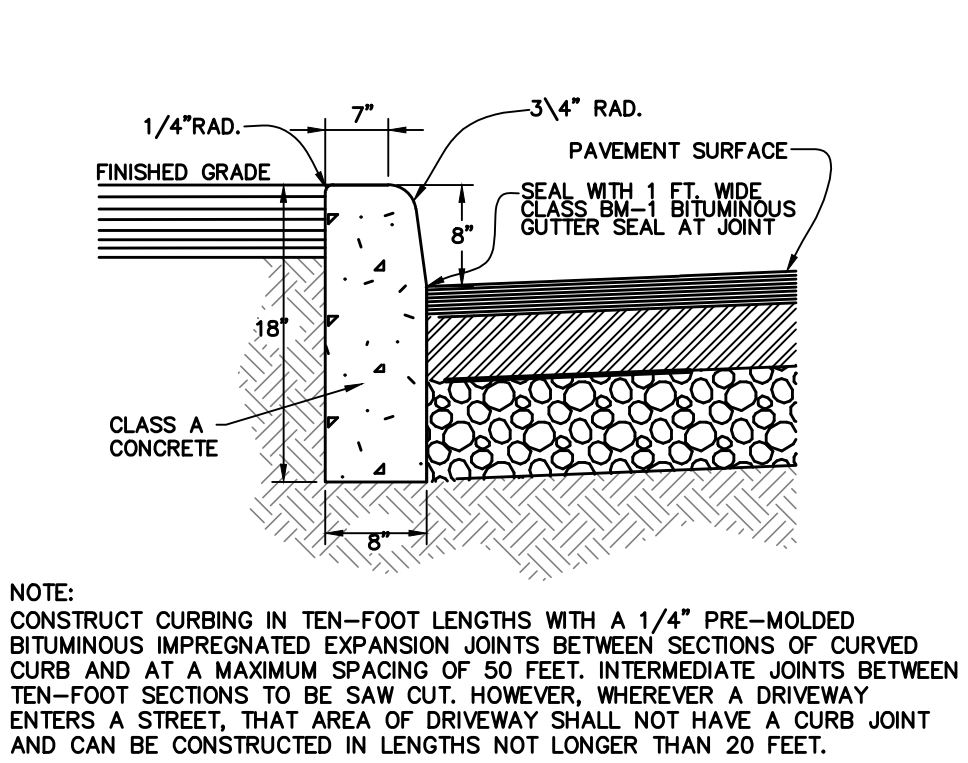
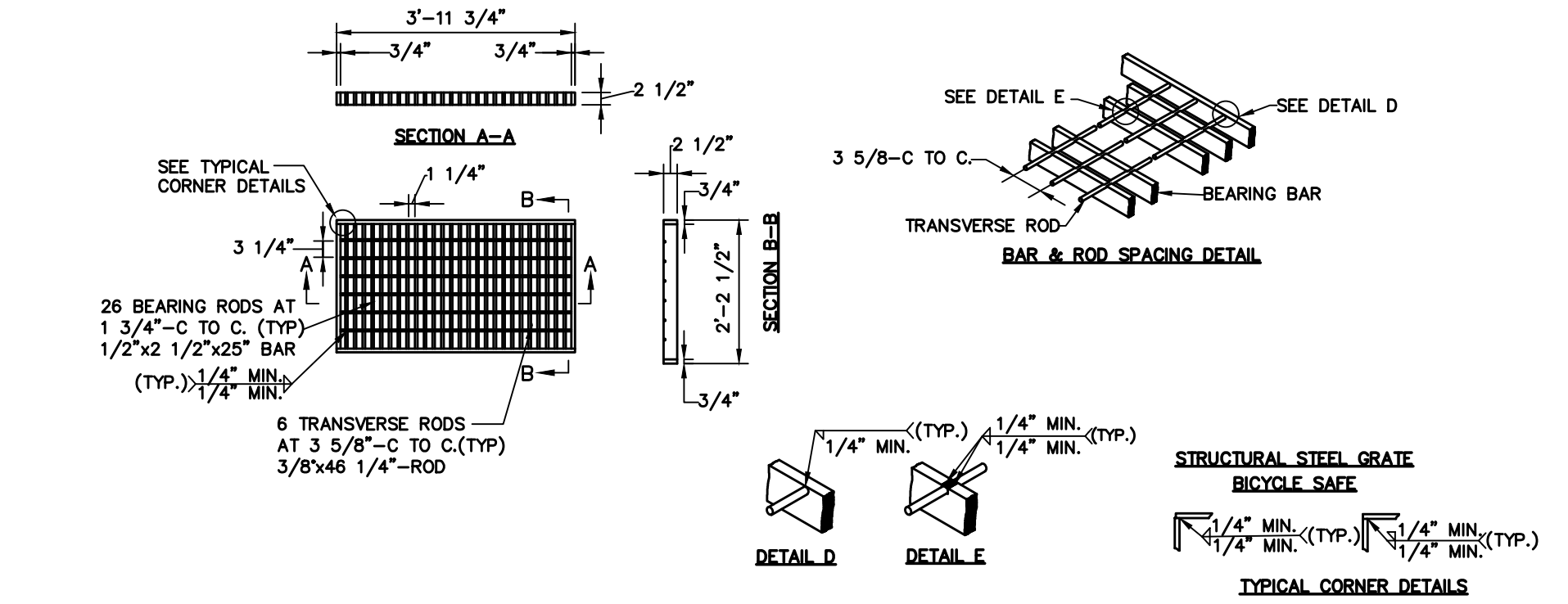
FOR

EAGLE ANIMAL HOSPITAL

211 BYERS ROAD

UPPER UWCHLAN TOWNSHIP CHESTER COUNTY, PA

DATE	NO.	DESCRIPTION	DATE	NO.	DESCRIPTION
03/04/24	1	AS NOTED			
AS NOTED	2	DRAWN BY: SFP			
	3	CHECKED BY:			
	4	PROJ. NO.: 22222			
SHEET NO.					
C-6					
SHEET OF 9					

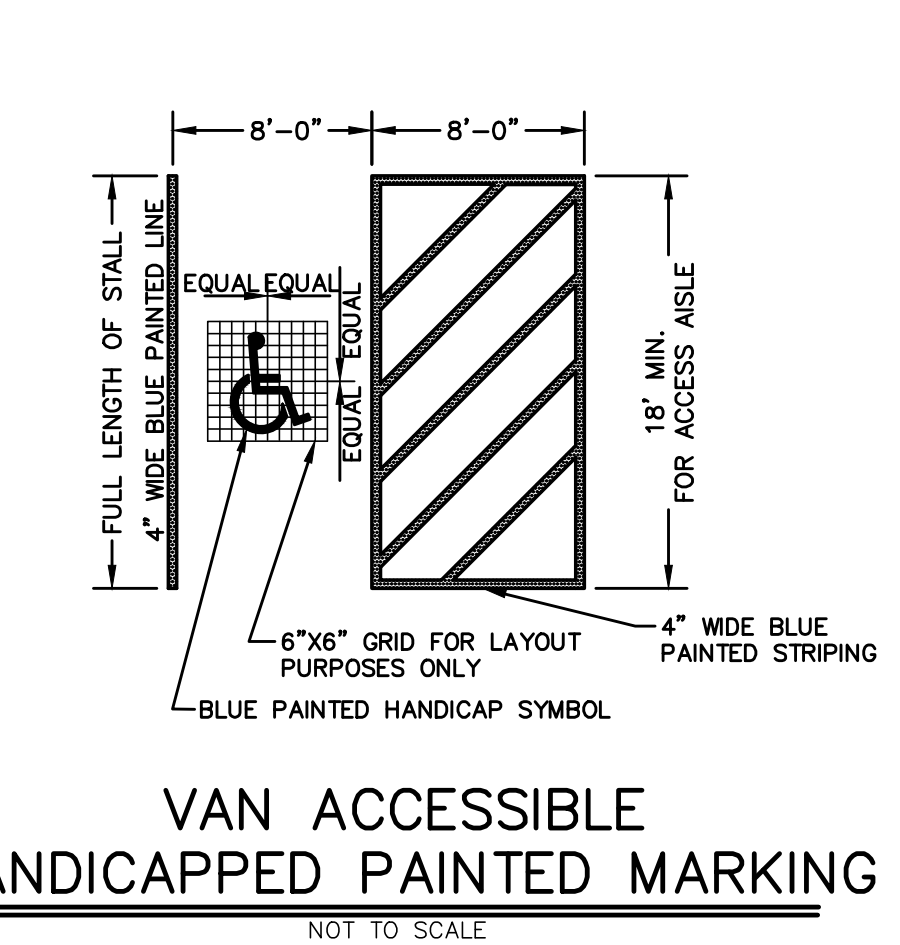
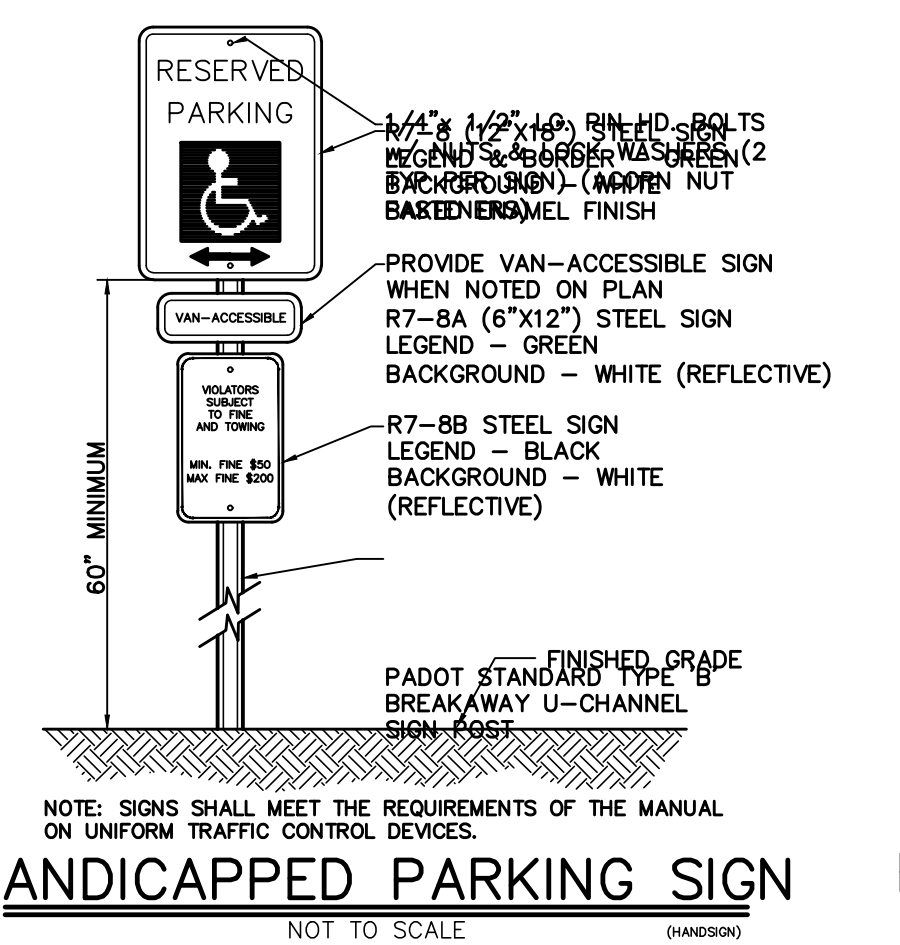
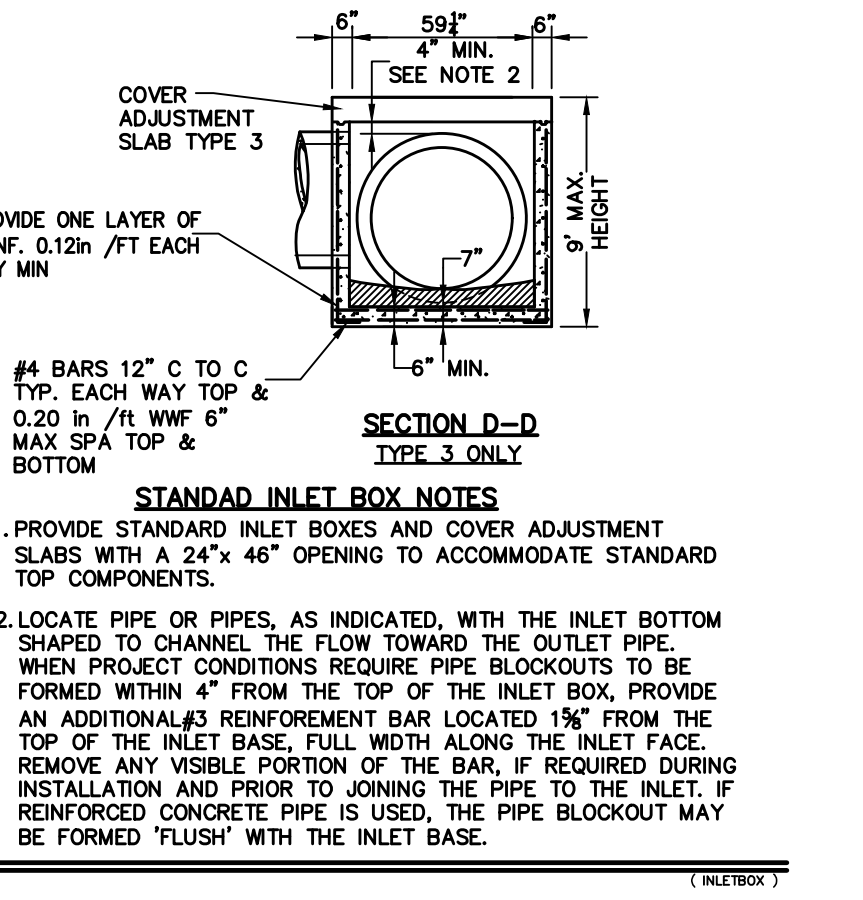
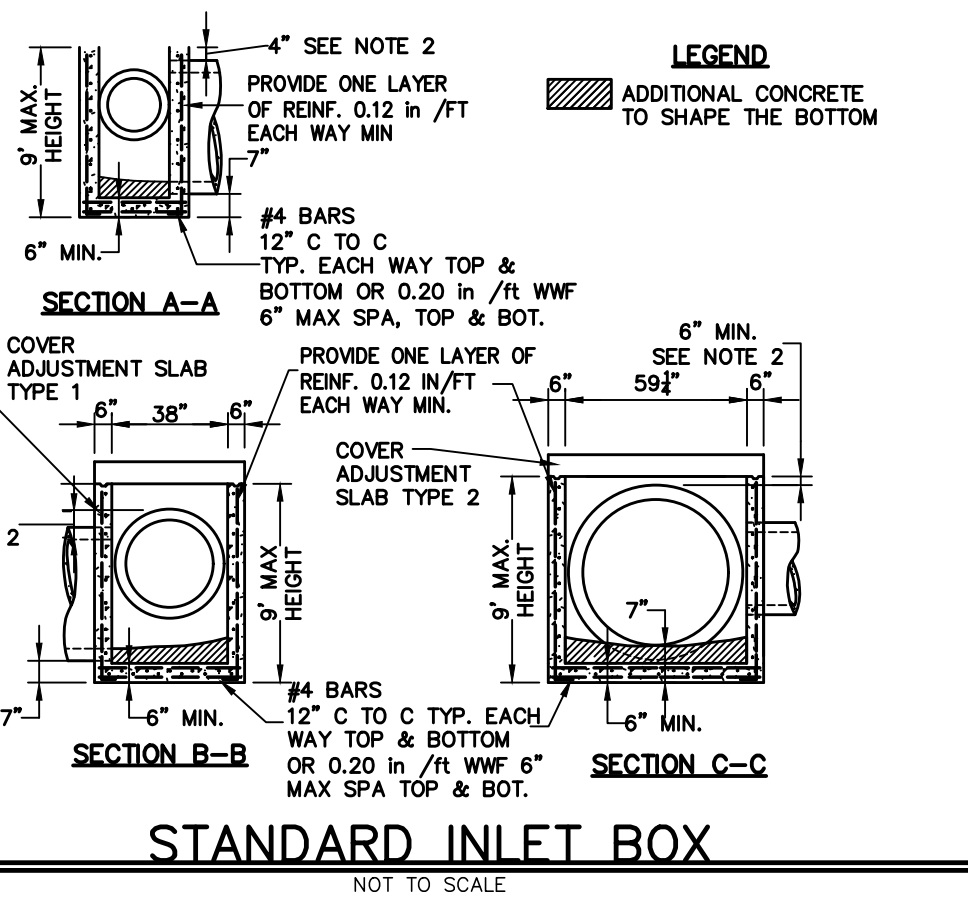
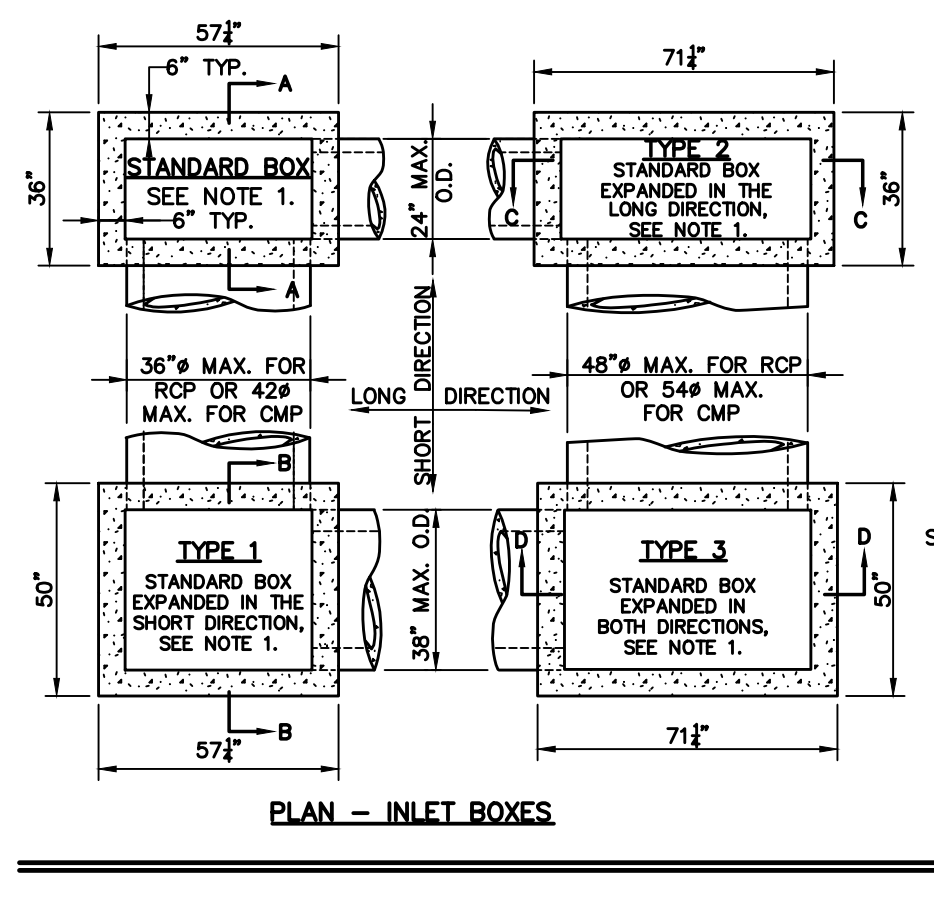
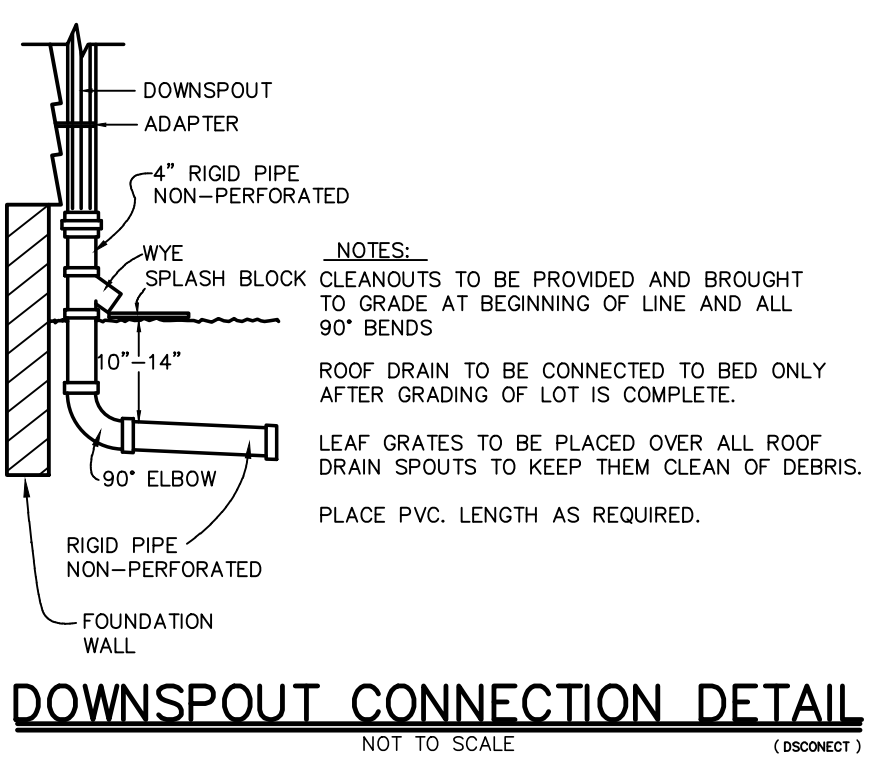
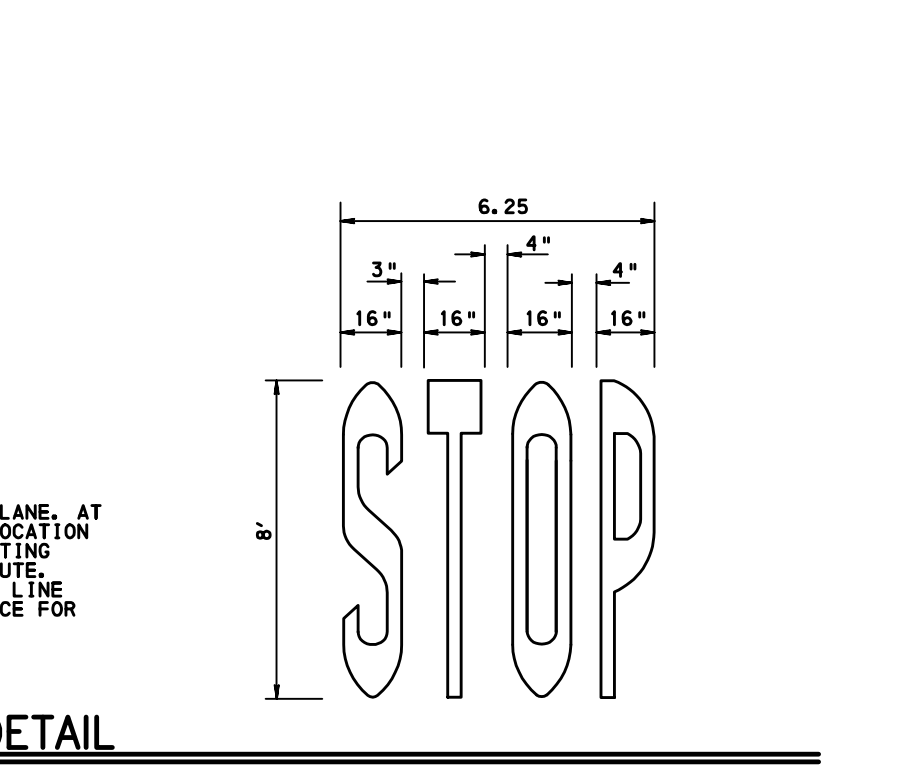
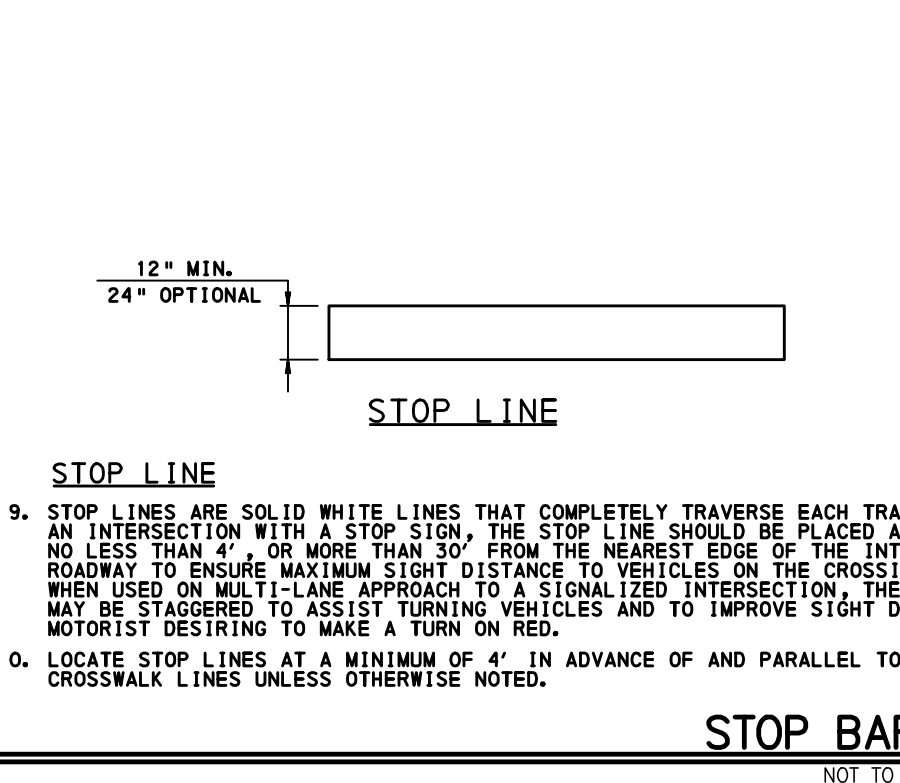
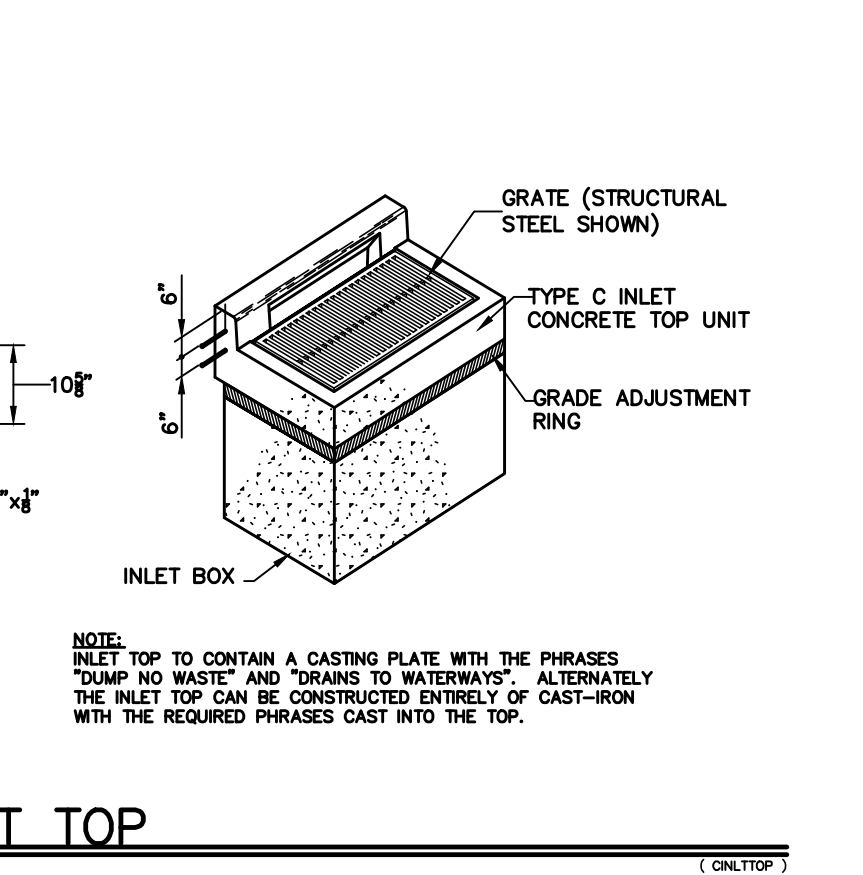
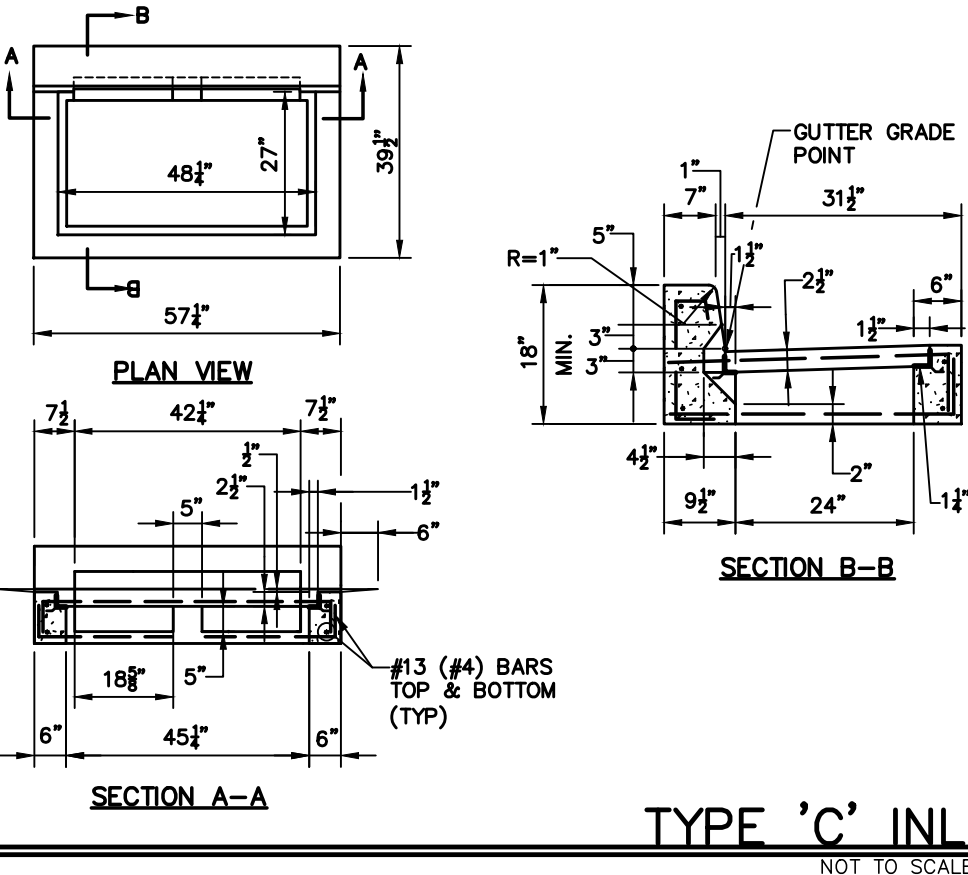
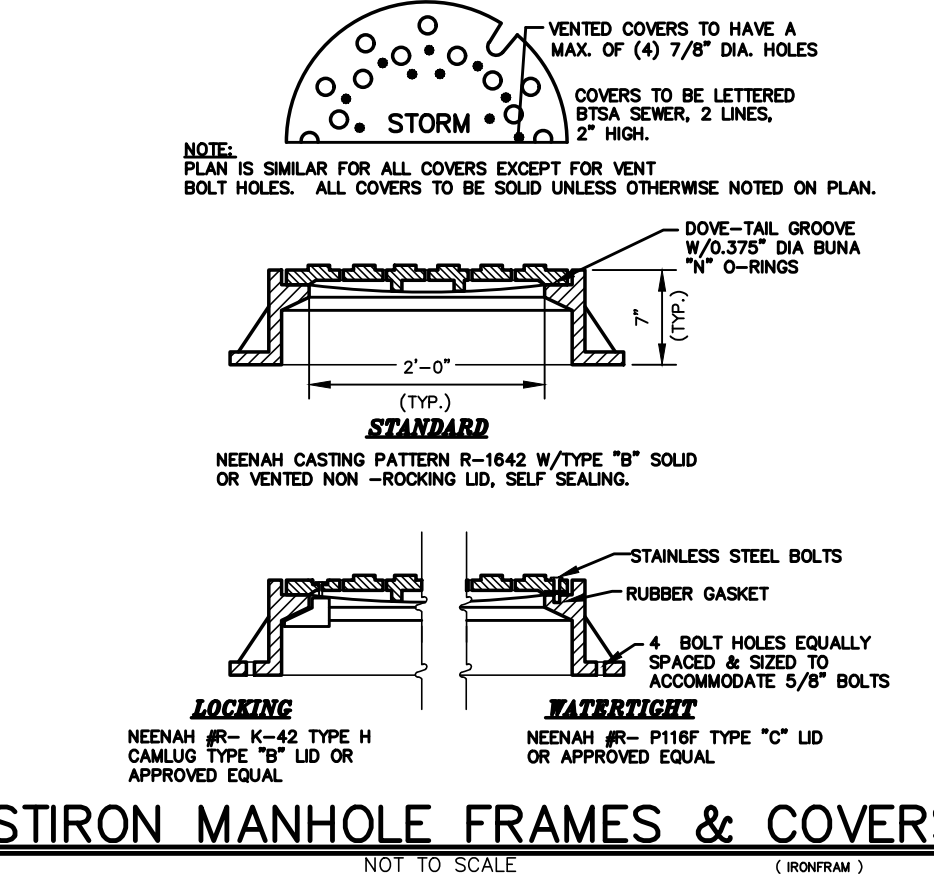
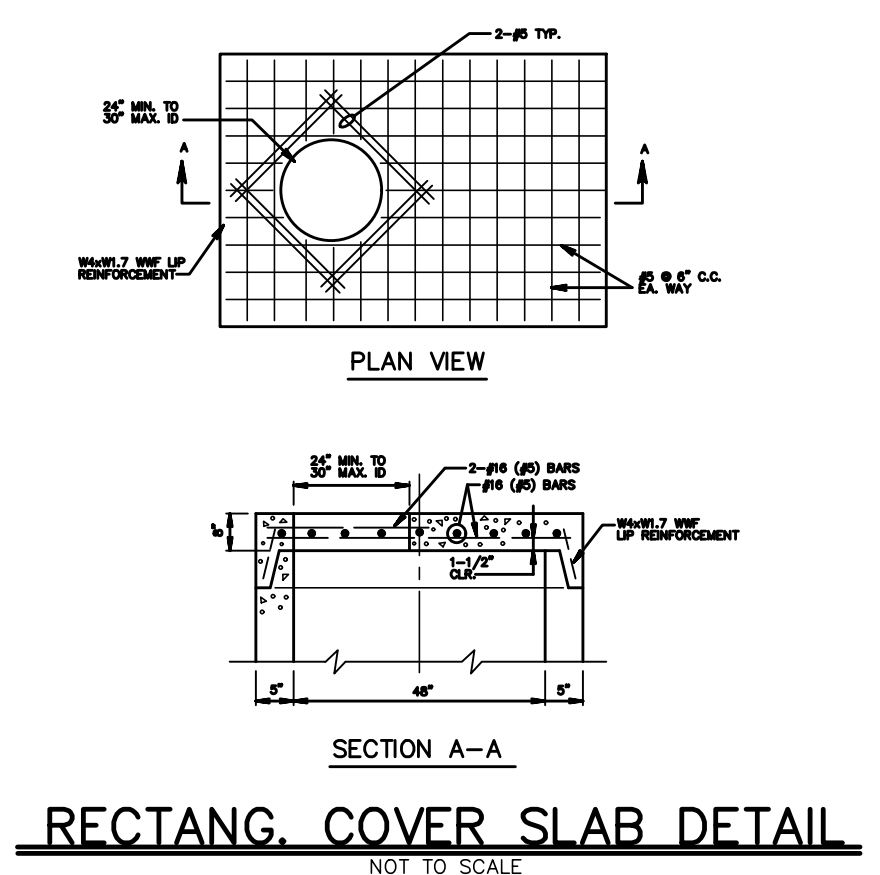
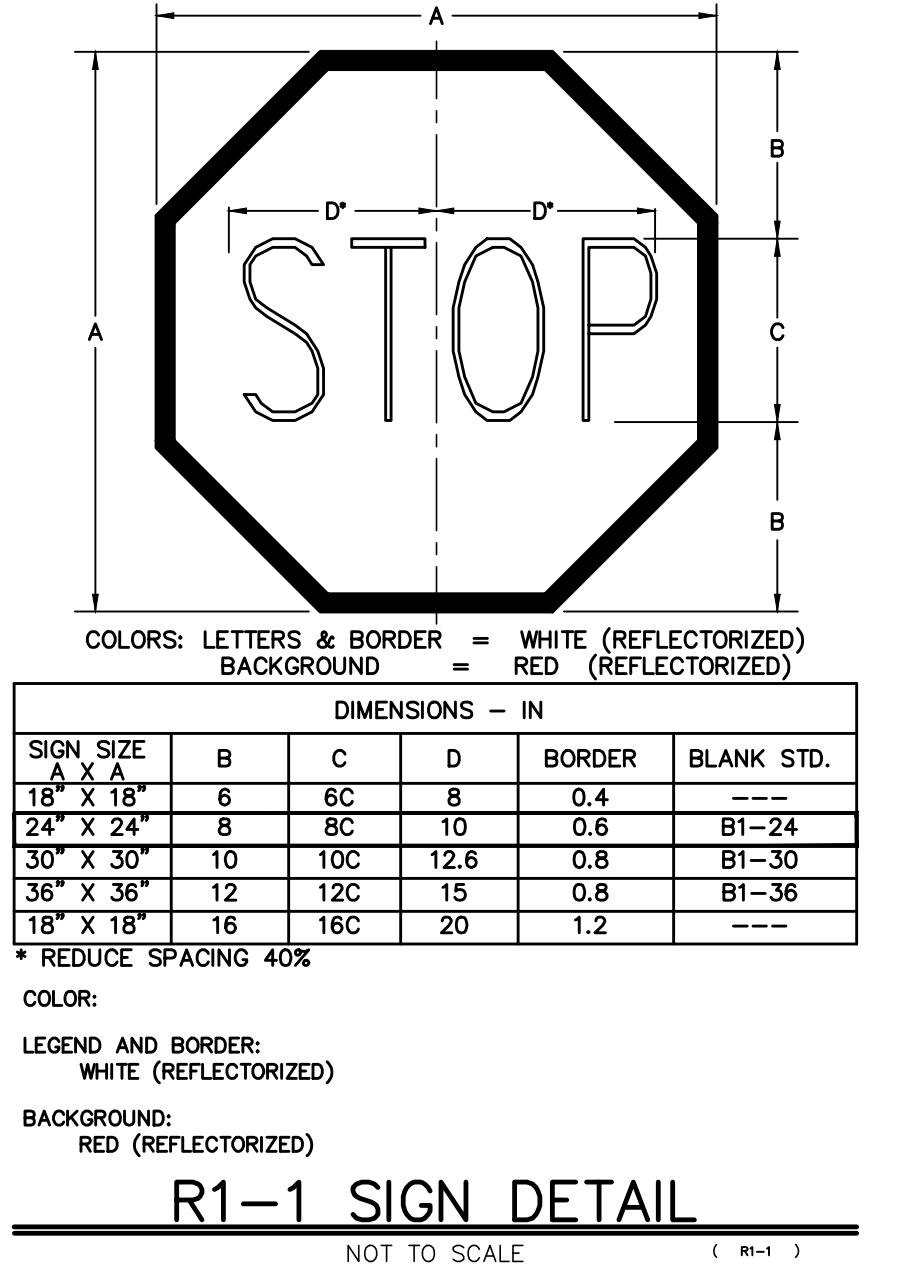
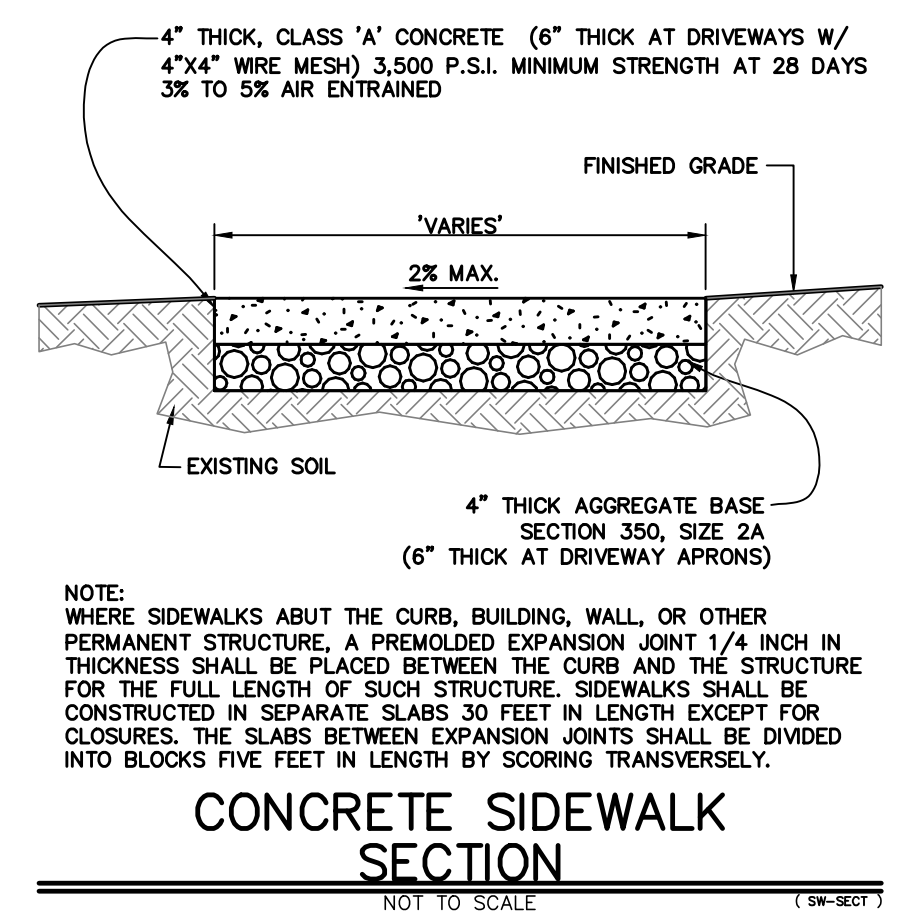
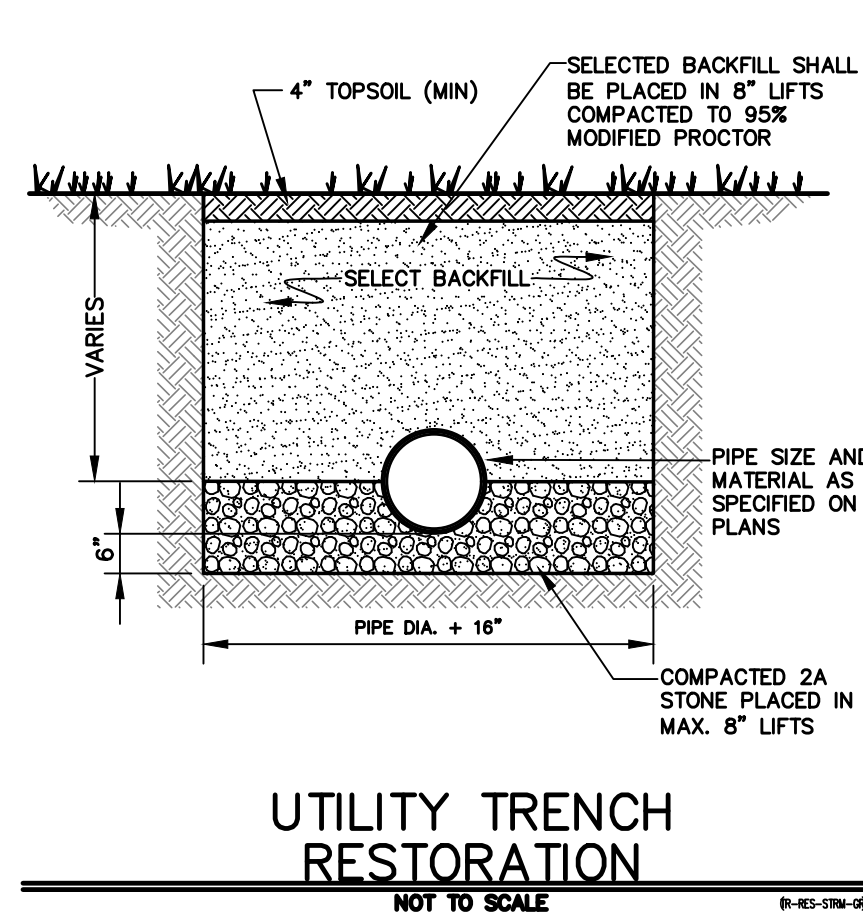
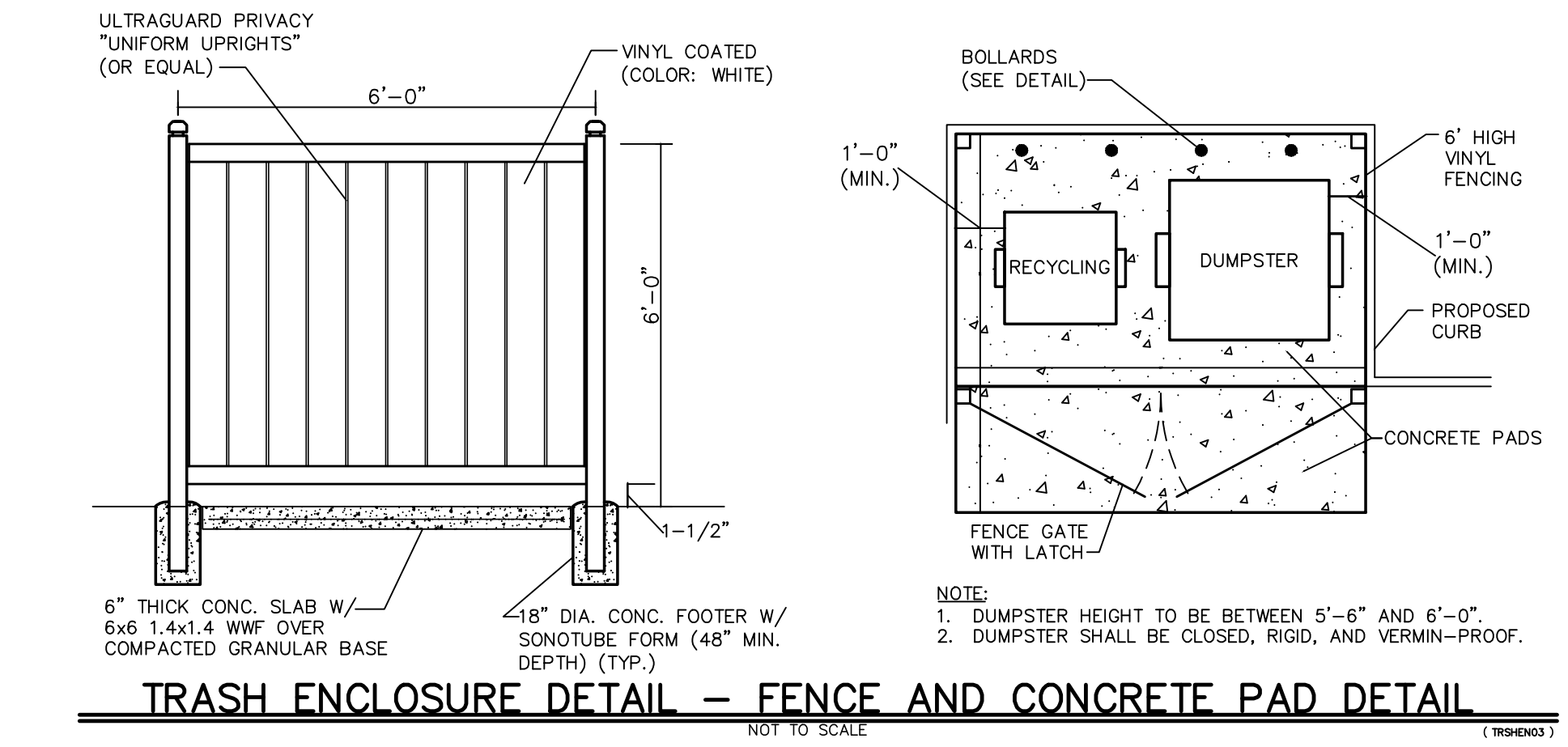
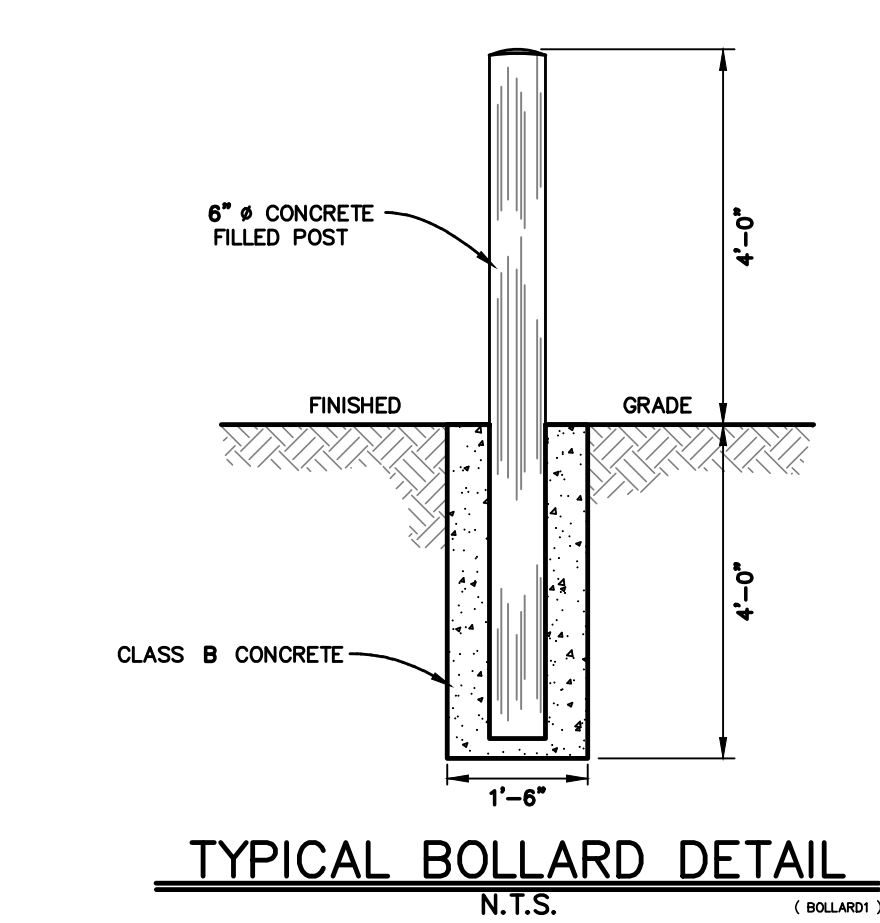


R1-1 STOP SIGN

(A) JUSTIFICATION. THE STOP SIGN (R1-1) IS AUTHORIZED FOR USE ON THOSE STREETS OR HIGHWAYS WHICH INTERSECT WITH A THROUGH HIGHWAY OR A STOP INTERSECTION SO DESIGNATED BY THE DEPARTMENT WITH REFERENCE TO STATE-DESIGNATED HIGHWAYS OR LOCAL AUTHORITIES WITH REFERENCE TO HIGHWAYS UNDER THEIR JURISDICTION. THE R1-1 SIGN IS ALSO AUTHORIZED FOR USE IN WORK ZONES INVOLVING ONE-LANE, TWO-WAY ROADWAYS. AT INTERSECTIONS WHERE ALL APPROACHES ARE CONTROLLED BY AN R1-1 SIGN, A SUPPLEMENTAL ALL-WAY PLAQUE (R1-3P) SHALL BE MOUNTED BELOW EACH R1-1 SIGN.

(B) AUTHORIZATION. BEFORE LOCAL AUTHORITIES DESIGNATE ANY HIGHWAY AS A THROUGH HIGHWAY OR STOP INTERSECTION WHICH WILL INTERSECT OR AFFECT A STATE-DESIGNATED HIGHWAY, APPROVAL OF SUCH DESIGNATION SHALL FIRST BE OBTAINED FROM THE DEPARTMENT. APPROVAL TO INSTALL R1-1 SIGNS IN WORK AREAS SHALL NOT REQUIRE THE APPROVAL OF THE DEPARTMENT OR LOCAL AUTHORITIES WHEN THE CONDITIONS STIPULATED IN THE DEPARTMENT'S TEMPORARY TRAFFIC CONTROL GUIDELINES ARE SATISFIED.

(C) SIZE. THE STANDARD SIZE R1-1 SIGN SHALL BE 30" X 30" FOR SINGLE LANE CONVENTIONAL HIGHWAYS AND 36" X 36" FOR MULTI-LANE CONVENTIONAL HIGHWAYS. THE 24" X 24" SIZE SHALL ONLY BE USED FOR ALLEYS WITH RESTRICTIVE PHYSICAL CONDITIONS AND VEHICLE USAGE THAT PROHIBITS THE INSTALLATION OF THE STANDARD SIZE R1-1. A SIGN THAT IS MOUNTED BACK-TO-BACK WITH A R1-1 SIGN SHOULD STAY WITHIN THE EDGE OF THE R1-1 SIGN. IF NECESSARY, THE SIZE OF THE R1-1 SIGN SHOULD BE INCREASED SO THAT ANY OTHER SIGN INSTALLED BACK-TO-BACK WITH IT REMAINS WITHIN THE EDGES OF THE R1-1 SIGN.



COMMONWEALTH OF PENNSYLVANIA
REGISTERED PROFESSIONAL ENGINEER
JEFFREY N. GENTILE
No. PE052373E

ARCHITECTS
LINN ARCHITECTS
140 N. PROVIDENCE ROAD
MEDIA, PENNSYLVANIA 19063
ARCHITECTURE
ENGINEERING
SITE PLANNING
INTERIOR DESIGN
TEL: 610-566-7044
FAX: 610-566-3258

CONSTRUCTION DETAILS
FOR
EAGLE ANIMAL HOSPITAL
211 BYERS ROAD
UPPER MERION TOWNSHIP
CHESTER COUNTY, PA

REVISIONS
DATE
DESCRIPTION
NO.
1
2
3
4

DATE: 03/04/24
SCALE: 1"=20'
DRAWN BY: SFP
CHECKED BY:
PROJ. NO.: 22222
SHEET NO. 9
OF 7

Plotted: 3-19-24 @12:02pm By: slinn

F:\Projects\Storage\Project Docs\22222\Civil\dwg\Redesign\0-8 Erosion Details.dwg[Layout1]

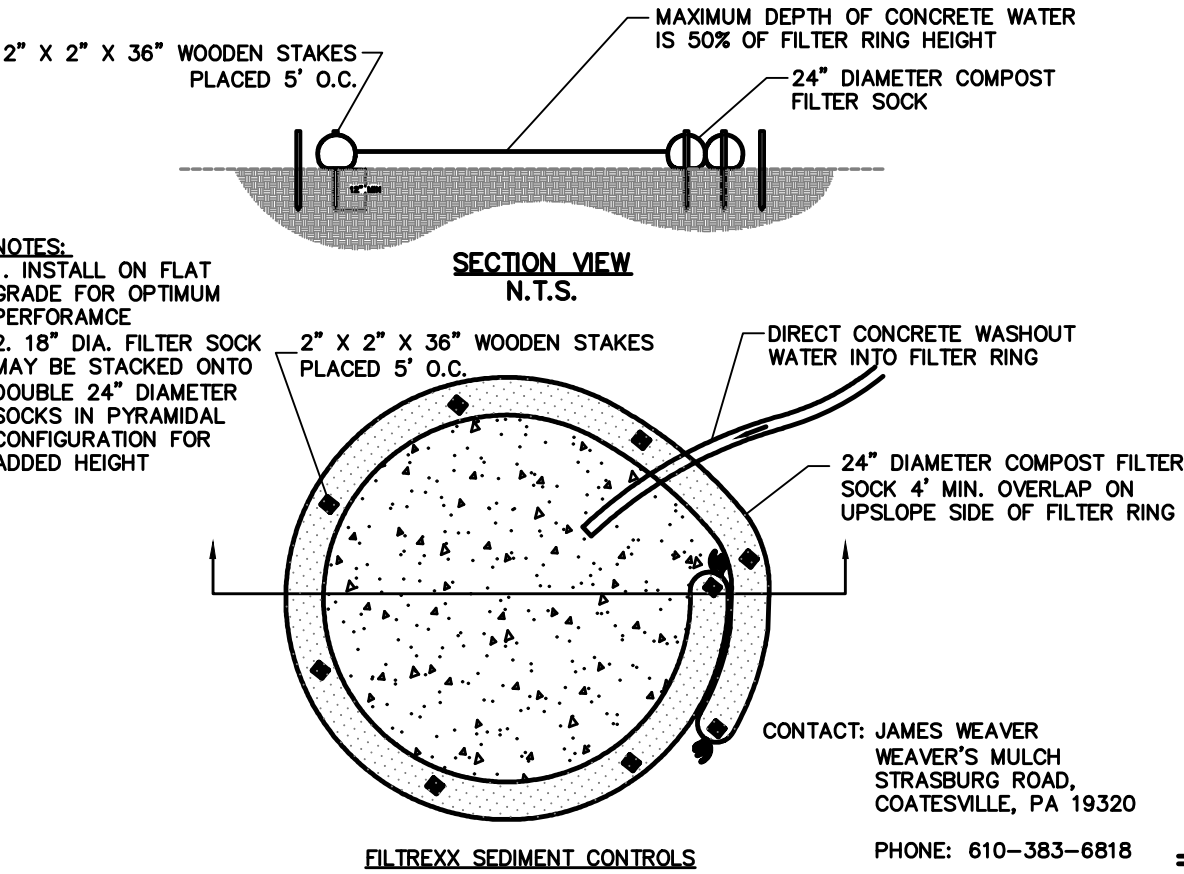
EROSION CONTROL AND MAINTENANCE NOTES

- ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.
- AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARER, THE POSM PLAN PREPARER, THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE POSM PLAN, TO AN ON-SITE PRECONSTRUCTION MEETING.
- AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE DESIGN ENGINEER.
- AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL.
- CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E&S BMPs SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS E&S PLAN.
- AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN MAPS(S) IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS. STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SLOPES SHALL BE 2H:1V OR FLATTER.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE DESIGN ENGINEER.
- ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 2601. ET SEQ., 271.1, AND 287.1 ET. SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING.
- THE DEFINITIONS FOR THE FOLLOWING TERMS ARE LISTED AND ARE TAKEN FROM THE DEPARTMENT OF ENVIRONMENTAL PROTECTION PERMIT SUMMARY SHEET ON PAGE 6.

CLEAN FILL: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREGGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT THAT HAS BEEN PROCEEDED FOR RE-USE.)

ENVIRONMENTAL DUE DILIGENCE: INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS.
- ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER UNDISTURBED VEGETATED AREAS.
- UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING AND RENETTING MUST BE PERFORMED IMMEDIATELY. IF THE E&S BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
- A LOG SHOWING DATES THAT E&S BMPs WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.
- SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY, AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEEPED INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.
- ALL SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS.
- AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARPED TO A MINIMUM DEPTH OF 3 TO 5 INCHES - 6 TO 8 INCHES ON COMPACTED SOILS - PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL. PLACES PRIOR TO SEEDING AND MULCHING. FILL OUTSLOPES SHALL HAVE A MINIMUM OF 2 INCHES OF TOPSOIL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
- FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
- FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDING AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN.
- IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS. DURING NON-GERMINATING MONTHS, MULCH OR PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN 1 YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION

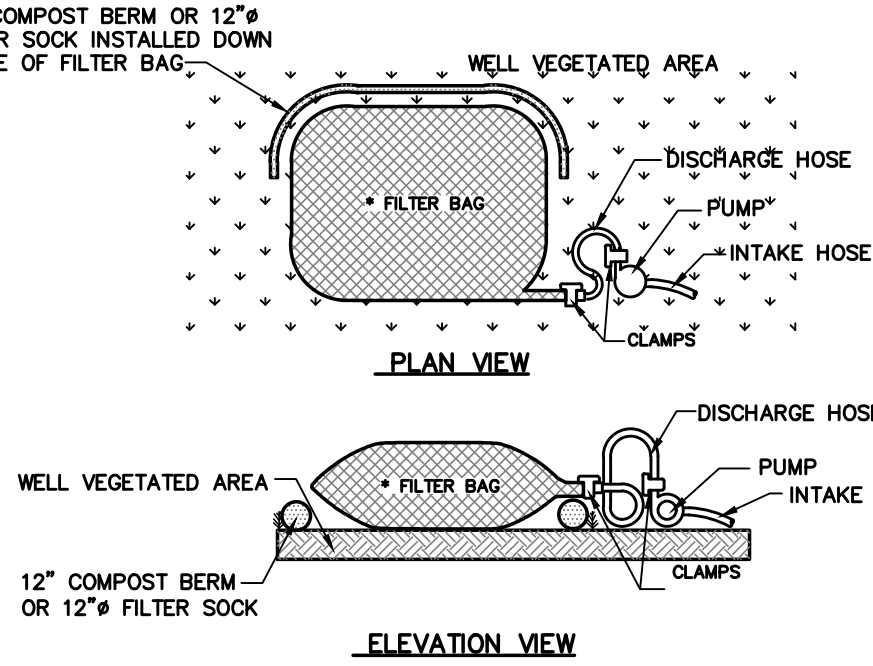
- SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN 1 YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.
- PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS.
 - E&S BMPs SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP.
 - AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPs MUST BE REMOVED OR CONVERTED TO PERMANENT POST CONSTRUCTION STORMWATER MANAGEMENT BMPs. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE BMPs SHALL BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SUCH REMOVAL/CONVERSIONS ARE TO BE DONE ONLY DURING THE GERMINATING SEASON.
 - FAILURE TO CORRECTLY INSTALL E&S BMPs, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&S BMPs MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT AS DEFINED IN SECTION 602 OF THE PENNSYLVANIA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.
 - THE PROJECT'S RECEIVING WATERCOURSE PICKERING CREEK AND THE CHAPTER 93 CLASSIFICATION IS HQ-TSF, MF.



- NOTES:
- WASHOUT FACILITIES SHOULD NOT BE PLACED WITHIN 50 FEET OF STORM DRAINS, OPEN DITCHES, OR SURFACE WATERS.
 - WASHOUT FACILITIES SHOULD BE IN A CONVENIENT LOCATION FOR THE TRUCKS, PREFERABLY NEAR THE PLACE WHERE THE CONCRETE IS BEING POURED, BUT FAR ENOUGH FROM OTHER VEHICULAR TRAFFIC TO MINIMIZE THE POTENTIAL FOR ACCIDENTAL DAMAGE OR SPILLS, WHEREVER POSSIBLE, THEY SHOULD BE LOCATED ON SLOPES NOT EXCEEDING A 2% GRADE.
 - COMPOST SOCKS SHOULD BE STAKED IN THE MANNER RECOMMENDED BY THE MANUFACTURER AROUND PERIMETER OF THE GEOMEMBRANE SO AS TO FORM A RING WITH THE ENDS OF THE SOCK LOCATED AT THE UPSLOPE CORNER. CARE MUST BE TAKEN TO ENSURE CONTINUOUS CONTACT OF THE SOCK WITH THE GEOMEMBRANE AT ALL LOCATIONS. WHERE NECESSARY, SOCKS MAY BE STACKED SO AS TO FORM A TRIANGULAR CROSS-SECTION.
 - PROPER SIGNAGE SHOULD BE PROVIDED TO DRIVERS SO THAT THEY ARE AWARE OF THE PRESENCE OF WASHOUT FACILITIES.

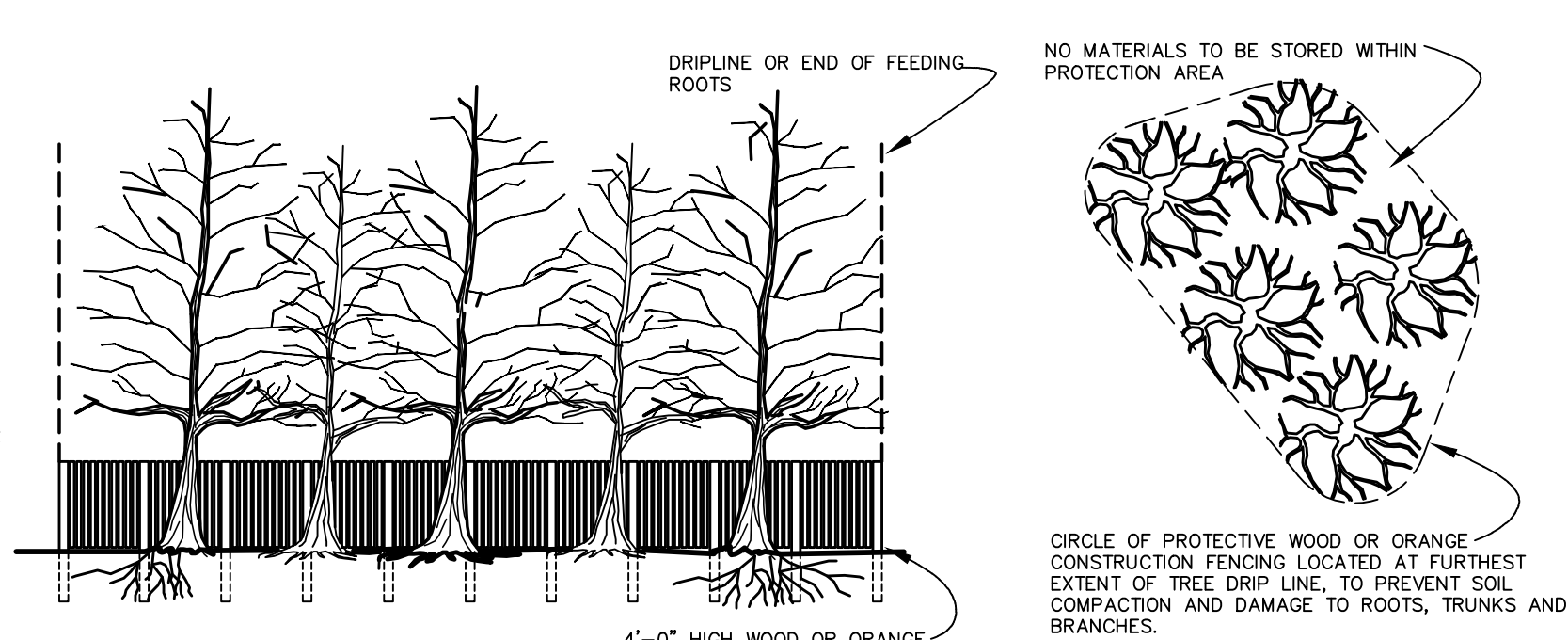
COMPOST SOCK WASHOUT DETAIL

NOT TO SCALE



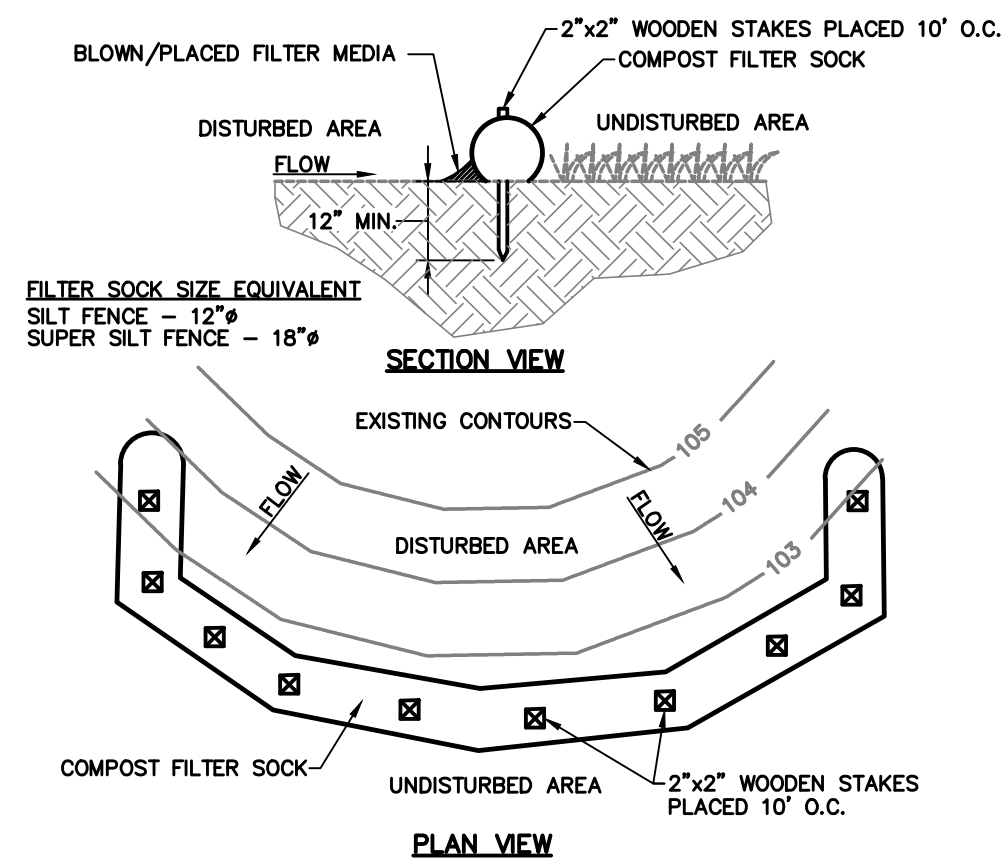
SEDIMENT FILTER BAG FOR PUMPED WATER DETAIL

NOT TO SCALE



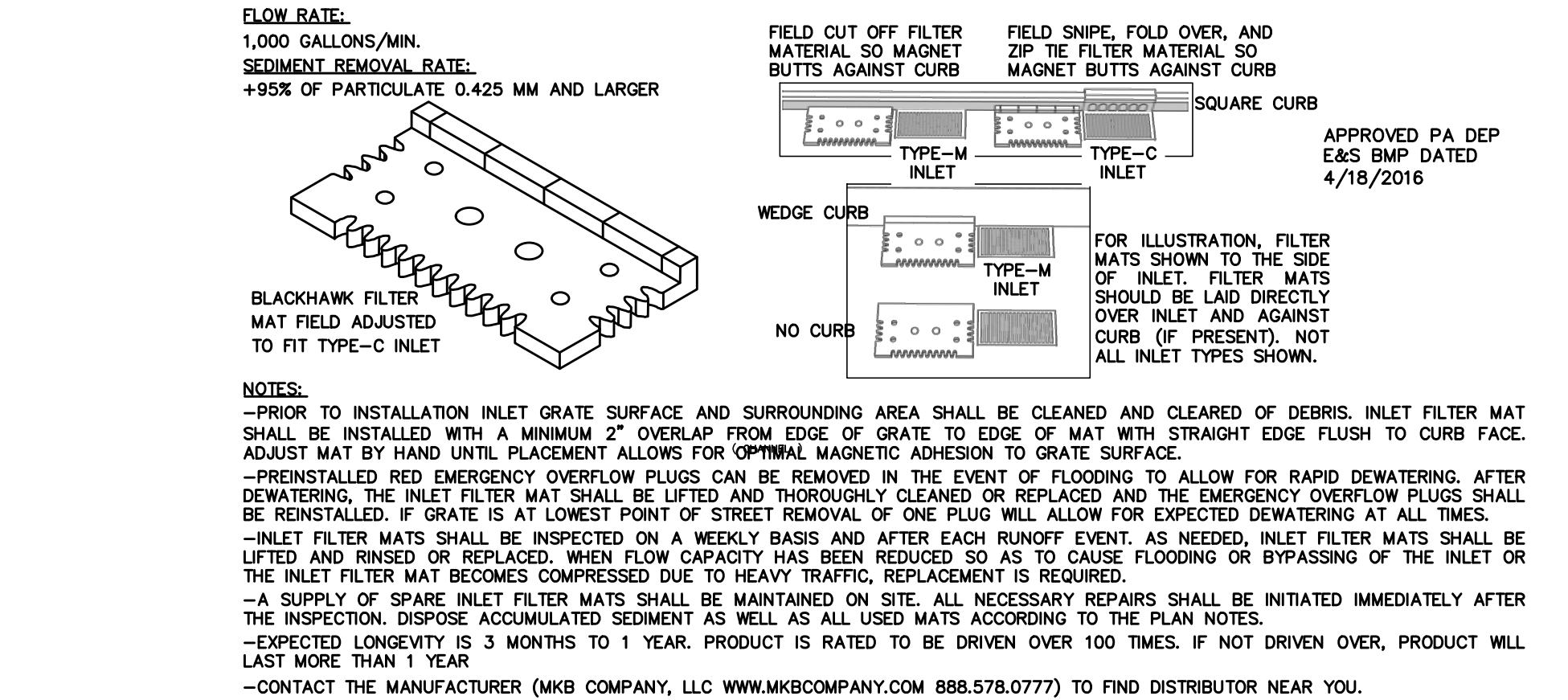
TREE PROTECTION DETAIL (TREE GROUP)

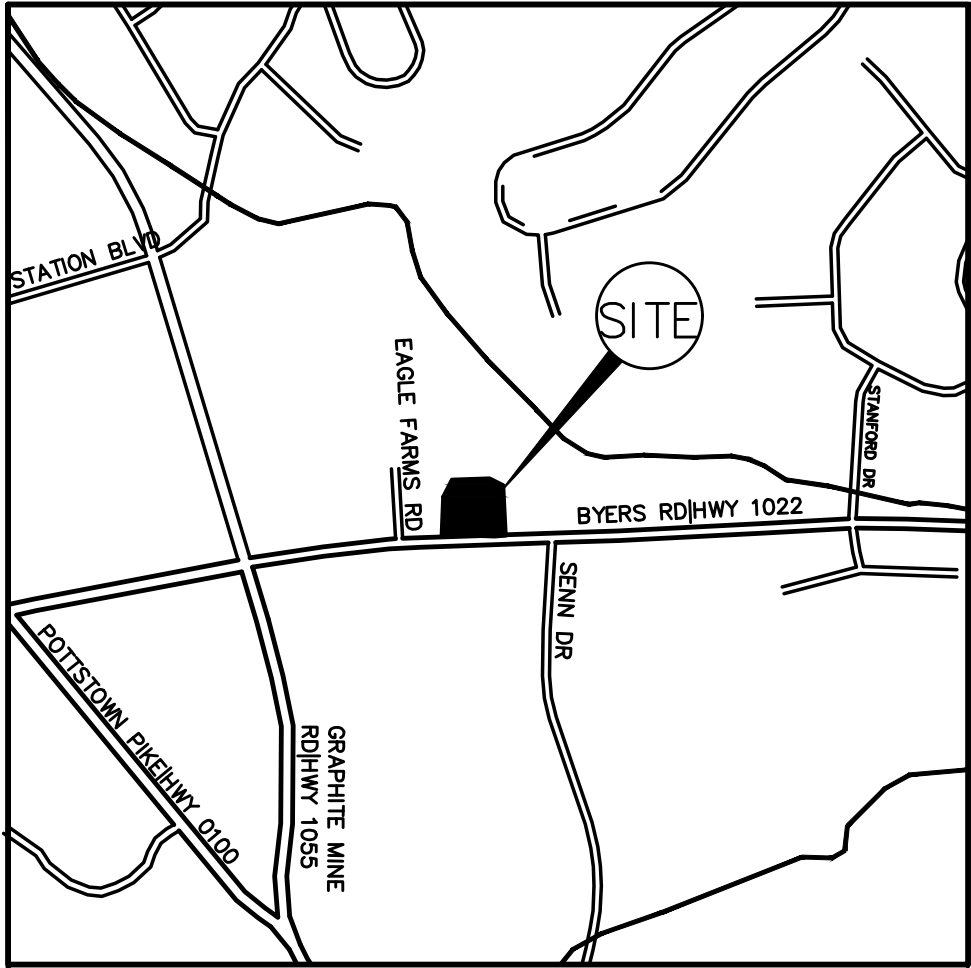
NOT TO SCALE



COMPOST FILTER SOCK DETAIL

NOT TO SCALE





LOCATION MAP
1" = 1,000'

NOTES

- THIS PLAN IS BASED ON A PLAN BY HOWELLKLINE SURVEYING, ENTITLED TOPOGRAPHIC AND PHYSICAL IMPROVEMENTS SURVEY, DATED MAY 19, 2022.
- ELEVATIONS REFER TO CONTOURS FROM FIELD SURVEY BASED ON GPS SYSTEM. NORTH AMERICAN DATUM OF 1988.
- BOUNDARY FROM A PLAN BY HOWELLKLINE SURVEYING LLC, ENTITLED TOPOGRAPHIC AND PHYSICAL IMPROVEMENTS SURVEY, DATED MAY 19, 2022.
- PROPERTY IS IDENTIFIED IN THE HISTORIC ORDINANCE AS HRP NO. 057, KEY NO. 065814, CLASS 1.
- ADJOINER INFORMATION TAKEN FROM CURRENT TAX RECORDS.
- UTILITY INFORMATION FROM OBSERVED SURFACE EVIDENCE. ALL UTILITY LOCATIONS AND DEPTHS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE 'X' OF THE FLOOD INSURANCE RATE MAP, MAP No. 42029C0095G, COMMUNITY PANEL No. 95 OF 380, WHICH BEARS AN EFFECTIVE DATE OF SEPTEMBER 29, 2017.
- SOIL DELINEATION LINES TAKEN FROM USDA NATIONAL COOPERATIVE SOIL SURVEY THROUGH THE NATURAL RESOURCES CONSERVATION SERVICE CUSTOM SOIL RESOURCE REPORT FOR THIS PROJECT DATED JANUARY 14TH, 2022.
- SITE IS CURRENTLY SERVICED BY PRIVATE SEWER AND PUBLIC WATER.
- ALL LANDSCAPING SHOWN ON THE PLANS SHALL BE MAINTAINED AND KEPT CLEAN OF ALL DEBRIS, RUBBISH, WEEDS, AND TALL GRASS.
- A BLANKET EASEMENT IS GRANTED TO UPPER UWCHLAN TOWNSHIP TO ALLOW FOR THE INSPECTION OF THE STORMWATER FACILITY. IN THE EVENT THE HOMEOWNER/PROPERTY OWNER FAILS TO PROPERLY MAINTAIN THOSE FACILITIES, AFTER NOTICE TO THE OWNER OF ITS INTENT TO DO SO (WHICH NOTICE SHALL NOT BE REQUIRED IN ANY EMERGENCY), THE TOWNSHIP MAY (BUT IS NOT OBLIGATED TO) ENTER ONTO THE PROPERTY TO INSPECT AND PERFORM ANY SUCH MAINTENANCE. IN SUCH EVENT, THE TOWNSHIP MAY CHARGE THE COSTS THEREOF, WHETHER DIRECT OR INDIRECT, INCLUDING LABOR, EQUIPMENT, MATERIALS, SUPPLIES AND ANY FEES, TO THE OWNER, AND MAY PLACE A LIEN ON THE PROPERTY TO RECOVER ANY CHARGED COSTS THAT REMAIN UNREIMBURSED AND ANY COSTS OF COLLECTION, FEE AND INTEREST.
- THERE WAS NO OBSERVED EVIDENCE OF GAS SERVICE ON THE SURVEYED PREMISES.
- ALL BUILDING MATERIALS AND WASTES MUST BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT OF ENVIRONMENTAL PROTECTION'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ. AND 287.1 ET SEQ. NO BUILDING MATERIAL SHALL BE BURIED, DUMPED OR DISCHARGED FROM THE SITE.
- AN AS-BUILT SURVEY OF ALL STORMWATER BMP'S AND AN EXPLANATION OF ANY DISCREPANCIES WITH THE OPERATION AND MAINTENANCE PLAN SHALL BE PROVIDED TO UPPER UWCHLAN TOWNSHIP.
- ALL SANITARY SEWERS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE UPPER UWCHLAN TOWNSHIP MUNICIPAL AUTHORITY SPECIFICATIONS.
- THE AUTHORITY ENGINEER MUST BE NOTIFIED 48 HOURS PRIOR TO THE BEGINNING OF SANITARY SEWER CONSTRUCTION.
- A SEWER LATERAL AS-BUILT PLAN MUST BE SUBMITTED TO THE AUTHORITY ENGINEER.

POST-CONSTRUCTION RESPONSIBILITIES:

- THE LANDOWNER ACKNOWLEDGES THAT, PER THE PROVISIONS OF THE MUNICIPALITY'S STORMWATER MANAGEMENT ORDINANCE, IT IS UNLAWFUL TO MODIFY, REMOVE, FILL, LANDSCAPE, ALTER OR IMPAIR THE EFFECTIVENESS OF, OR PLACE ANY STRUCTURE, OTHER VEGETATION, YARD WASTE, BRUSH CUTTINGS, OR OTHER WASTE OR DEBRIS INTO ANY PERMANENT STORMWATER MANAGEMENT BMP OR CONVEYANCE DESCRIBED IN THIS O&M PLAN OR TO ALLOW THE BMP OR CONVEYANCE TO EXIST IN A CONDITION WHICH DOES NOT CONFORM TO THIS O&M PLAN, WITHOUT WRITTEN APPROVAL FROM THE MUNICIPALITY.
- NO BMP OR MAN-MADE CONVEYANCE MAY BE USED BY THE OWNER OR OTHERS FOR ANY PURPOSE OTHER THAN ITS INTENDED STORMWATER CONTROL FUNCTION, OR IF APPROVED BY THE MUNICIPALITY, A STATEMENT OF SPECIFIC ALLOWABLE USES OF THE BMP.
- THE LANDOWNER SHALL REMEDY DEFICIENCIES FOUND DURING THEIR INSPECTIONS WITHIN 6 MONTHS. SOME DEFICIENCIES MAY HAVE A SHORTER TIME FRAME.
- THE PERSON RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF A BMP OR CONVEYANCE SHALL MAKE RECORDS OF THE INSTALLATION AND OF ALL MAINTENANCE AND REPAIRS, AND SHALL RETAIN THE RECORDS FOR AT LEAST 10 YEARS. THESE RECORDS SHALL BE SUBMITTED TO THE MUNICIPALITY, IF REQUESTED.
- UPON FINAL INSPECTION, THE MUNICIPALITY SHALL INFORM THE PERSON RESPONSIBLE FOR THE OPERATION AND MAINTENANCE WHETHER THE SUBMISSION OF PERIODIC (ANNUAL OR OTHER FREQUENCY) INSPECTION AND MAINTENANCE REPORTS WILL BE REQUIRED.
- THE OWNER OF EACH BMP AND CONVEYANCE SHALL KEEP ON FILE WITH THE MUNICIPALITY THE NAME, ADDRESS, AND TELEPHONE NUMBER OF THE PERSON RESPONSIBLE FOR MAINTENANCE ACTIVITIES AND IMPLEMENTATION OF THE O&M PLAN. IN THE EVENT OF A CHANGE, NEW INFORMATION SHALL BE SUBMITTED BY THE BMP OR CONVEYANCE OWNER TO THE MUNICIPALITY WITHIN 30 DAYS OF THE CHANGE.

CALL BEFORE YOU DIG!

PENNSYLVANIA LAW REQUIRES
THREE (3) WORKING DAYS NOTICE FOR
CONSTRUCTION PHASE AND TEN (10)
WORKING DAYS FOR DESIGN STAGE.
UTILITY INFORMATION IDENTIFIED THROUGH
THE ONE-CALL PROCESS IS VALID FOR
90 DAYS FROM THE DATE OF THE CALL.
Pennsylvania One Call System, Inc.

800-242-1776

SERIAL # 202229121
ONE-CALL DATE: 10/15/2022

PA ONE CALL INFORMATION

COMPANY: AQUA PENNSYLVANIA INC
ADDRESS: 782 W LANCASTER AVE
BRYN MAWR, PA 19010
CONTACT: THOMAS WADDY
EMAIL: TWADDY@AQUAAMERICA.COM
COMPANY: COMCAST
ADDRESS: 1004 CORNERSTONE BLVD
DOWNTOWN, PA. 19335
CONTACT: TOM RUSSO
EMAIL: tom_russo@comcast.com
COMPANY: PECO AN EXELON COMPANY C/O USIC
ADDRESS: 450 S HENDERSON ROAD SUITE B
KING OF PRUSSIA, PA. 19406
CONTACT: NIKKIA SIMPKINS
EMAIL: NIKKIASIMPKINS@USICLLC.COM
COMPANY: UPPER UWCHLAN TOWNSHIP
ADDRESS: 140 POTTSTOWN PIKE
CHESTER SPRINGS, PA. 19425
CONTACT: MICHAEL HECKMAN
EMAIL: MHECKMAN@UPPERUWCHLAN-PA.GOV
COMPANY: VERIZON BUSINESS FORMERLY MCI
ADDRESS: 7000 WESTON PKWY
CARY, NC. 27513
CONTACT: VICTOR S. WOOD
EMAIL: victor.s.wood@verizon.com

CHAPTER 93 CLASSIFICATION:
THE SITE DRAINS TO UNNAMED TRIBUTARY
PICKERING CREEK. CHAPTER 93 CLASSIFICATION
IS HO-TSF. MF.

SOILS TABLE

(FROM UNITED STATES DEPARTMENT OF AGRICULTURE
NATURAL RESOURCES CONSERVATION SERVICE)

SOIL TYPE: CoB-Califon loam
DRAINAGE CLASS: Moderately Well Drained
SLOPE RANGE: 3-8
HYDROLOGIC GROUP: D
TRAGFAN DEPTH: 20-30 inches
BEDROCK DEPTH: 72-99 inches
SEASONAL WATER TABLE: 6-36 inches
FLOODING POTENTIAL: None
PROFILE PERMEABILITY: Moderately low to moderately high

SOIL TYPE: Ho-Hatboro silt loam
DRAINAGE CLASS: Poorly Drained
SLOPE RANGE: 0-3
HYDROLOGIC GROUP: B/D
BEDROCK DEPTH: 60-69 inches
SEASONAL WATER TABLE: 0-6 inches
FLOODING POTENTIAL: Non-Frequent
PROFILE PERMEABILITY: Moderately high to high

SOIL TYPE: UuBg-Urban land-Udorthents, schist and gneiss
complex
DRAINAGE CLASS: Moderately low to moderately high
SLOPE RANGE: 0-8
HYDROLOGIC GROUP: C
BEDROCK DEPTH: 60-70 inches
SEASONAL WATER TABLE: 60 inches
FLOODING POTENTIAL: None
PROFILE PERMEABILITY: Moderately low to moderately high

RECEIVING SURFACE WATERS

THE PENNSYLVANIA TITLE 25, CHAPTER 93 CLASSIFICATION FOR THE RECEIVING WATERS OF THE COMMONWEALTH
UNNAMED TRIBUTARY (UNT) TO PICKERING CREEK IN THE PICKERING CREEK WATERSHED: A HIGH QUALITY-TROUT STOCKING
FISHERY (HO-SIT) WATER COURSE

LONG-TERM OPERATION AND MAINTENANCE:

THE PCSM PLAN, INSPECTION REPORTS, AND MONITORING RECORDS SHALL BE AVAILABLE FOR REVIEW AND INSPECTION BY
THE DEPARTMENT OR CONSERVATION DISTRICT.
ALTERATION OF BMP'S:
NO PERSON SHALL MODIFY, REMOVE, FILL, LANDSCAPE, ALTER, OR IMPAIR THE EFFECTIVENESS OF ANY STORMWATER BMP'S,
CONVEYANCES, FACILITIES, AREAS OR STRUCTURES UNLESS THE ACTIVITY IS PART OF AN APPROVED MAINTENANCE
PROGRAM, WITHOUT THE WRITTEN APPROVAL OF THE MUNICIPALITY.

NO PERSON SHALL PLACE ANY STRUCTURE, FILL, LANDSCAPING, ADDITIONAL VEGETATION, YARD WASTE, BRUSH CUTTINGS,
OR OTHER WASTE OR DEBRIS INTO A BMP OR CONVEYANCE, OR WITHIN A STORMWATER EASEMENT, THAT WOULD LIMIT OR
ALTER THE FUNCTIONING OF THE STORMWATER BMP OR CONVEYANCE, WITHOUT THE WRITTEN APPROVAL OF THE
MUNICIPALITY.

BMP PROTECTION NOTE: - 102.8(9)(7)
SITE CONTRACTOR SHALL PROVIDE PROTECTION FOR INFILTRATION BMP'S UNTIL DRAINAGE AREA IS COMPLETELY STABILIZED.
DRAINAGE AREAS IN BMP'S MUST BE 70% STABILIZED BEFORE RUNOFF CAN ENTER THE BMP.

MAINTENANCE NOTES STORMWATER MANAGEMENT:

- THE OWNER AND/OR OPERATOR OF THE PROPERTY IS RESPONSIBLE FOR THE MAINTENANCE
OF THE STORMWATER MANAGEMENT SYSTEM.
- STORMWATER FACILITIES SHALL BE INSPECTED BY A REGISTERED PROFESSIONAL ENGINEER
LICENSED IN THE COMMONWEALTH OF PENNSYLVANIA ON BEHALF OF THE APPLICANT OR
RESPONSIBLE ENTITY (INCLUDING THE TOWNSHIP ENGINEER FOR DEDICATED FACILITIES) ON
THE FOLLOWING BASIS:

- ANNUALLY FOR THE FIRST FIVE YEARS.
- ONCE EVERY THREE YEARS THEREAFTER.
- DURING OR IMMEDIATELY AFTER THE CESSATION OF A ONE-HUNDRED-YEAR OR
GREATER STORM EVENT.

- THE PROFESSIONAL ENGINEER CONDUCTING THE INSPECTION SHALL BE REQUIRED TO SUBMIT
A WRITTEN REPORT TO THE TOWNSHIP WITHIN ONE MONTH FOLLOWING COMPLETION OF THE
INSPECTION. THE REPORT WILL PRESENT DOCUMENTATION AND INCLUDE PICTURES
REGARDING THE CONDITION OF THE FACILITY AND RECOMMEND NECESSARY REPAIRS, IF
NEEDED. ANY NEEDED REPAIRS SHALL BE IMPLEMENTED BY THE OWNER WITHIN ONE MONTH
OF THE REPORT ISSUANCE DATE.

ALTERATION OF BMP'S:

- NO PERSON SHALL MODIFY, REMOVE, FILL, LANDSCAPE, ALTER, OR IMPAIR THE
EFFECTIVENESS OF ANY STORMWATER BMP'S, CONVEYANCES, FACILITIES, AREAS OR
STRUCTURES UNLESS THE ACTIVITY IS PART OF AN APPROVED MAINTENANCE PROGRAM,
WITHOUT THE WRITTEN APPROVAL OF THE MUNICIPALITY.
- NO PERSON SHALL PLACE ANY STRUCTURE, FILL, LANDSCAPING, ADDITIONAL VEGETATION,
YARD WASTE, BRUSH CUTTINGS, OR OTHER WASTE OR DEBRIS INTO A BMP OR
CONVEYANCE, OR WITHIN A STORMWATER EASEMENT, THAT WOULD LIMIT OR ALTER THE
FUNCTIONING OF THE STORMWATER BMP OR CONVEYANCE, WITHOUT THE WRITTEN
APPROVAL OF THE MUNICIPALITY.

ACKNOWLEDGEMENT OF RESPONSIBILITY

ON THIS, THE _____ DAY OF _____, 20____, BEFORE ME, THE SUBSCRIBER,
PERSONALLY APPEARED _____

_____ KNOWN TO ME OR SATISFACTORILY PROVEN TO BE
THE PERSON(S) OR ORGANIZATION WHO, DULY SWORN ACCORDING TO LAW,
DEPOSE AND SAY THAT THEY ARE THE OWNERS OF THE PROPERTY SHOWN ON
THIS PLAN, AND THAT THEY ACKNOWLEDGE THAT STORMWATER BMP'S ARE
PERMANENT FEATURES THAT CAN BE ALTERED AND REMOVED ONLY AFTER
APPROVAL BY THE DEP, THE CHESTER COUNTY CONSERVATION DISTRICT AND THE
TOWNSHIP

WITNESS MY HAND AND SEAL THE DAY AND DATE ABOVE WRITTEN.

PRINT

SIGNATURE OF OWNER

NOTARY PUBLIC

COUNTY: _____

MY COMMISSION EXPIRES: _____

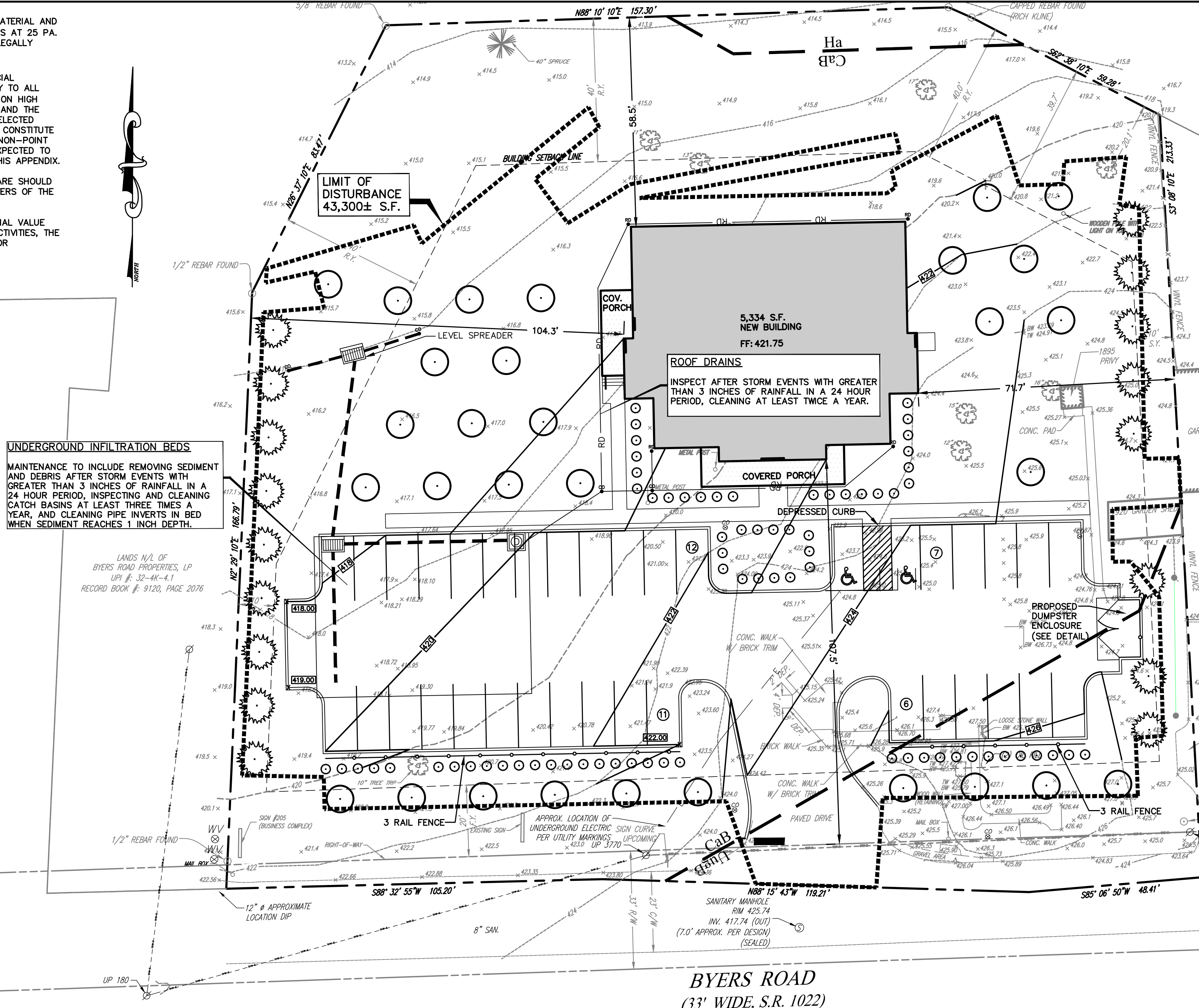
PROJECT WASTE NOTE - 102.4(b)(5)(4)
THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIAL AND
WASTED IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA.
CODE 260.1 ET SEQ., 271.1 ET SEQ., AND 287.1 ET SEQ. THE CONTRACTOR SHALL NOT ILLEGALLY
BURY, DUMP, OR DISCHARGE ANY BUILDING MATERIAL OR WASTES AT THE SITE.
HIGH QUALITY-TROUT STOCKING WATERSHED NOTES:
• THE PROJECT IS LOCATED IN A HIGH QUALITY-TROUT STOCKING WATERSHED. THE SPECIAL
PROTECTION WATERS IMPLEMENTATION HANDBOOK BEST MANAGEMENT PRACTICES APPLY TO ALL
NEW NON-AGRICULTURAL ACTIVITIES/PROJECTS RESULTING IN AN EARTH DISTURBANCE ON HIGH
QUALITY OR EXCEPTIONAL VALUE WATERSHEDS. IMPLEMENTATION OF THESE PRACTICES AND THE
ADDITIONAL REQUIREMENTS FOR SPECIFIC ACTIVITIES LISTED IN THE HANDBOOK PLUS SELECTED
STORMWATER MANAGEMENT PRACTICES DESCRIBED IN SECTION TWO OF THE HANDBOOK CONSTITUTE
APPROPRIATE, REASONABLE AND COST EFFECTIVE BEST MANAGEMENT PRACTICES FOR NON-POINT
SOURCE CONTROL. PERSONS ENGAGED IN THESE LAND DISTURBANCE ACTIVITIES ARE EXPECTED TO
COMPLY WITH BOTH THE GENERAL AND PROGRAM SPECIFIC REQUIREMENTS LISTED IN THIS APPENDIX.
• THE PROJECT IS IN HIGH QUALITY-TROUT STOCKING STREAM DESIGNATION. EXTREME CARE SHOULD
BE EXERCISED IN ALL DISTURBANCE ACTIVITIES TO PREVENT DEGRADATION TO THE WATERS OF THE
COMMONWEALTH.
• BECAUSE THIS PROJECT IS IN A SPECIFICALLY PROTECTED HIGH QUALITY OR EXCEPTIONAL VALUE
WATERSHED, UPON COMPLETION OR TEMPORARY CESSATION OF EARTH DISTURBANCE ACTIVITIES, THE
PROJECT SITE MUST BE IMMEDIATELY STABILIZED WITH THE APPROPRIATE TEMPORARY OR
PERMANENT STABILIZATION.

THERMAL IMPACTS NOTE - 102.4(b)(5)(4)
THERMAL IMPACTS ARE BEING MITIGATED DURING CONSTRUCTION PHASE BY ROUTING
CONSTRUCTION RUNOFF THROUGH PERIMETER EROSION CONTROL MEASURES, I.E. COMPOST
FILTER SOCKS WHICH ALLOWS FURTHER COOLING BEFORE ENTERING SURFACE WATERS.
THERMAL IMPACTS NOTE - 102.8(6)
THE STORMWATER MANAGEMENT SYSTEMS HAVE BEEN DESIGNED TO MAXIMIZE
INFILTRATION BEST MANAGEMENT PRACTICE (BMP) TECHNOLOGIES AND MINIMIZE POINT
SOURCE DISCHARGES. THIS PLAN WILL FURTHER ACT TO PERFORM/PROVIDE THE
FOLLOWING:

- PRESERVE THE INTEGRITY OF STREAM CHANNELS AND MAINTAIN AND PROTECT THE
PHYSICAL, BIOLOGICAL AND CHEMICAL QUALITIES OF THE RECEIVING STREAM
- PREVENT AN INCREASE IN THE RATE OF STORMWATER RUNOFF
- MINIMIZE ANY INCREASE IN STORMWATER RUNOFF VOLUME
- MINIMIZE IMPERVIOUS AREAS
- MAXIMIZE THE PROTECTION OF EXISTING DRAINAGE FEATURES AND EXISTING VEGETATION
- MINIMIZE LAND CLEARING AND GRADING
- MINIMIZE SOIL COMPACTION
- UTILIZE OTHER STRUCTURAL OR NONSTRUCTURAL BMP'S THAT PREVENT OR MINIMIZE
CHANGES IN STORMWATER RUNOFF

UNDERGROUND INFILTRATION BEDS
MAINTENANCE TO INCLUDE REMOVING SEDIMENT
AND DEBRIS AFTER STORM EVENTS WITH
GREATER THAN 3 INCHES OF RAINFALL IN A
24 HOUR PERIOD, INSPECTING AND CLEANING
CATCH BASINS AT LEAST THREE TIMES A
YEAR, AND CLEANING PIPE INVERTS IN BED
WHEN SEDIMENT REACHES 1 INCH DEPTH.

LANDS N/A OF
BYERS ROAD PROPERTIES, LP
UPI #: 32-44-4.1
RECORD BOOK # 9120, PAGE 2076



OWNER
9 COTTAGE ASSOCIATES, LP
211 BYERS RD
CHESTER SPRINGS, PA 19425

SITE INFORMATION
211 BYERS RD
TAX MAP: 32-44-4
DB/PG: 7355/455

CATCH BASIN INSERT MAINTENANCE NOTES:

RECOMMENDED FREQUENCY OF SERVICE:

DRAINAGE PROTECTION SYSTEMS (DPS) RECOMMENDS THAT INSTALLED CATCH BASIN INSERT FILTERS BE
SERVICED ON A RECURRING BASIS. ULTIMATELY, THE FREQUENCY DEPENDS ON THE AMOUNT OF RUNOFF,
POLLUTANT LOADING AND INTERFERENCE FROM DEBRIS (LEAVES, VEGETATION, CANS, PAPER, ETC.). HOWEVER,
IT IS RECOMMENDED THAT EACH INSTALLATION BE SERVICED A MINIMUM OF THREE TIMES PER YEAR, WITH A
CHANGE OF FILTER MEDIUM EVERY YEAR. DPS TECHNICIANS ARE AVAILABLE TO DO AN ON-SITE
EVALUATION, UPON REQUEST.

RECOMMENDED TIMING OF SERVICE:

DPS GUIDELINES FOR THE TIMING OF SERVICE ARE AS FOLLOWS:
1. FOR AREAS WITH WINTER SNOW AND SUMMER RAIN: PRIOR TO AND JUST AFTER THE SNOW SEASON AND
DURING THE SUMMER RAIN SEASON.

SERVICE PROCEDURES:

- THE CATCH BASIN GRATE SHALL BE REMOVED AND SET TO ONE SIDE. THE CATCH BASIN SHALL BE
VISUALLY INSPECTED FOR DEFECTS AND POSSIBLE ILLEGAL DUMPING. IF ILLEGAL DUMPING HAS OCCURRED,
THE PROPER AUTHORITIES AND PROPERTY OWNER REPRESENTATIVE SHALL BE NOTIFIED AS SOON AS
PRACTICABLE.
- USING AN INDUSTRIAL VACUUM, THE COLLECTED MATERIALS SHALL BE REMOVED FROM THE LINER. (NOTE:
DPS USES A TRUCK-MOUNTED VACUUM FOR SERVICING CATCH BASIN INSERTS.)
- WHEN ALL OF THE COLLECTED MATERIALS HAVE BEEN REMOVED, THE FILTER MEDIUM POUCHES SHALL BE
REMOVED BY UNSNAPPING THE TETHER FROM THE D-RING AND SET TO ONE SIDE. THE FILTER LINER,
GASKETS, STAINLESS STEEL FRAME AND MOUNTING BRACKETS, ETC. SHALL BE INSPECTED FOR CONTINUED
SERVICEABILITY. MINOR DAMAGE OR DEFECTS FOUND SHALL BE CORRECTED ON-THE-SPOT AND A
NOTATION MADE ON THE MAINTENANCE RECORD. MORE EXTENSIVE DEFICIENCIES THAT AFFECT THE
EFFICIENCY OF THE FILTER (TORN LINER, ETC.), IF APPROVED BY THE CUSTOMER REPRESENTATIVE, WILL BE
CORRECTED AND AN INVOICE SUBMITTED TO THE REPRESENTATIVE ALONG WITH THE MAINTENANCE RECORD.
- THE FILTER MEDIUM POUCHES SHALL BE INSPECTED FOR DEFECTS AND CONTINUED SERVICEABILITY AND
REPLACED AS NECESSARY AND THE POUCH TETHERS RE-ATTACHED TO THE LINER'S D-RING. SEE BELOW.
- THE GRATE SHALL BE REPLACED.

REPLACEMENT AND DISPOSAL OF EXPOSED FILTER MEDIUM AND COLLECTED DEBRIS

THE FREQUENCY OF FILTER MEDIUM POUCH EXCHANGE WILL BE IN ACCORDANCE WITH THE EXISTING
DPS-CUSTOMER MAINTENANCE CONTRACT. DPS RECOMMENDS THAT THE MEDIUM BE CHANGED AT LEAST ONCE
PER YEAR. DURING THE APPROPRIATE SERVICE, OR IF SO DETERMINED BY THE SERVICE TECHNICIAN DURING A
NON-SCHEDULED SERVICE, THE FILTER MEDIUM POUCHES WILL BE REPLACED WITH NEW POUCHES. ONCE THE
EXPOSED POUCHES AND DEBRIS HAVE BEEN REMOVED, DPS HAS POSSESSION AND MUST DISPOSE OF IT IN
ACCORDANCE WITH LOCAL, STATE AND FEDERAL AGENCY REQUIREMENTS.

DPS ALSO HAS THE CAPABILITY OF SERVICING ALL MANNER OF CATCH BASIN INSERTS AND CATCH BASINS
WITHOUT INSERTS, UNDERGROUND OIL/WATER SEPARATORS, STORMWATER INTERCEPTORS AND OTHER SUCH
DEVICES. ALL DPS PERSONNEL ARE HIGHLY QUALIFIED TECHNICIANS AND ARE CONFINED SPACE TRAINED AND
CERTIFIED. CALL US AT (888) 950-8826 FOR FURTHER INFORMATION AND ASSISTANCE.

PCSM REPORTING AND RECORDKEEPING

THE PCSM PLAN, INSPECTION REPORTS AND
MONITORING SHALL BE AVAILABLE FOR REVIEW AND
INSPECTION BY THE MUNICIPALITY.

CONSTRUCTION OVERSIGHT REQUIREMENTS

THE PERMITTEE SHALL PROVIDE PROFESSIONAL ENGINEERING OVERSIGHT FOR ANY CONSTRUCTION SEQUENCE
DESIGNATED AS A CRITICAL PHASE* IN ORDER TO ENSURE PROPER INSTALLATION. LICENSED PROFESSIONAL
ENGINEER KNOWLEDGEABLE IN THE DESIGN & CONSTRUCTION OF STORMWATER BMP'S, PREFERABLY THE DESIGN
ENGINEER, SHALL CONDUCT THE OVERSIGHT.

STORMWATER MANAGEMENT OPERATION & MAINTENANCE STATEMENT

UNDER AND SUBJECT, NEVERTHELESS, TO THE FOLLOWING CONDITIONS AND
RESTRICTIONS: PRIOR TO THE CONSTRUCTION OF A DWELLING OR ANY OTHER
EARTHMOVING ACTIVITIES, THE PROPERTY OWNER SHALL CONSTRUCT THE PERMANENT
STORMWATER MANAGEMENT FACILITIES AS SHOWN ON THE STORMWATER MANAGEMENT
PLAN PREPARED BY LINN ARCHITECTS DATED DECEMBER 9, 2022 AND APPROVED BY
UPPER UWCHLAN TOWNSHIP; THEREAFTER, THE PROPERTY OWNER, HIS HEIRS,
EXECUTORS, ADMINISTRATORS, SUCCESSORS, AND ASSIGNS ("OWNER"), AT HIS OR HER
SOLE COST OF EXPENSE, SHALL OPERATE, MAINTAIN AND REPAIR SAID STORMWATER
MANAGEMENT FACILITIES ON THE LOT IN ACCORDANCE WITH SAID PLAN, SO THAT THE
FACILITIES SHALL AT ALL TIMES CONTINUE TO OPERATE AND FUNCTION IN THE SAME
MANNER AND CAPACITY AS THEY WERE DESIGNED. IN THE EVENT OF THE FAILURE OF
THE OWNER TO COMPLY WITH THESE CONDITIONS AND RESTRICTIONS, UPPER UWCHLAN
TOWNSHIP SHALL HAVE SAID STORMWATER MANAGEMENT FACILITIES REPAIRED OR
RESTORED AS REQUIRED, AND THE COST THEREOF SHALL BE ASSESSED TO THE OWNER;
SAID ASSESSMENT SHALL BE A CHARGE AND A CONTINUING LIEN UPON THE PROPERTY
HEREIN. THE TOWNSHIP BEFORE IT MAY EXERCISE THIS RIGHT, SHALL NOTIFY THE
OWNER BY CERTIFIED MAIL OF ITS INTENTION TO TAKE THE AFORESAID ACTION. THE
NOTICE SHALL SET FORTH IN WHAT MANNER THE OWNER HAS NEGLECTED THE
OPERATION AND MAINTENANCE OF OR REPAIR TO THE STORMWATER MANAGEMENT
FACILITIES, AND IF THE OWNER FAILS TO CORRECT OR REPAIR THE ITEMS LISTED IN
THE NOTICE FROM THE TOWNSHIP PRIOR TO THE IDENTIFIED DEADLINE, THEN AND ONLY
THEN MAY THE TOWNSHIP EXERCISE THIS RIGHT.

ENGINEER'S CERTIFICATION

I, _____, ON THIS DATE _____, HEREBY
CERTIFY THAT THE DRAINAGE PLAN MEETS ALL DESIGN STANDARDS AND
CRITERIA OF THE UPPER UWCHLAN STORMWATER MANAGEMENT ORDINANCE.

SIGNATURE OF ENGINEER

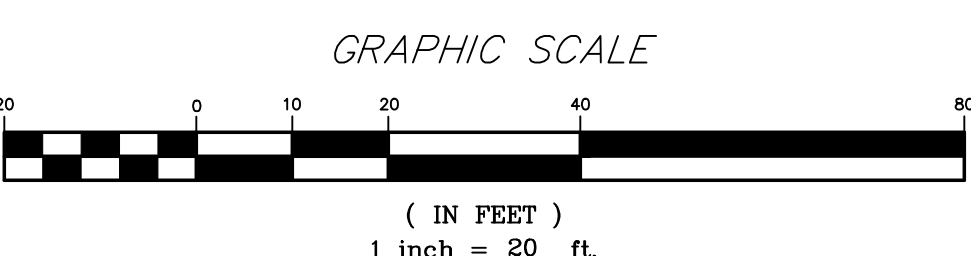
DATE

STORMWATER MANAGEMENT AGREEMENT

I ACKNOWLEDGE THE STORMWATER MANAGEMENT SYSTEM TO BE A PERMANENT
FIXTURE THAT CAN BE ALTERED OR REMOVED ONLY AFTER APPROVAL OF A
REVISED PLAN BY THE TOWNSHIP.

SIGNATURE

DATE



LEGEND

EXISTING	PROPOSED
CONCRETE CURB	CONCRETE CURB
CONC. SIDEWALK	CONC. SIDEWALK
CONC. CROSSWALK	CONC. CROSSWALK
FENCELINE	FENCELINE
RIGHT OF WAY	RIGHT OF WAY
PROPERTY LINE	PROPERTY LINE
IRON PIN	IRON PIN
MONUMENT	MONUMENT
SPOT GRADES	SPOT GRADES
CONTOURS	CONTOURS
SIGN	SIGN
SANITARY SEWER W/ M.H.	SANITARY SEWER W/ M.H.
SANITARY SEWER STRUCTURE NO.	SANITARY SEWER STRUCTURE NO.
ROOFDRAIN PIPE	ROOFDRAIN PIPE
ELECTRIC LINE	ELECTRIC LINE
WATER LINE	WATER LINE
GAS LINE	GAS LINE
UTILITY POLE	UTILITY POLE
FIRE HYDRANT	FIRE HYDRANT
GAS VALVE	GAS VALVE
WATER VALVE	WATER VALVE
CLEAN-OUT	CLEAN-OUT
WATER METER	WATER METER
GAS METER	GAS METER
ELECTRIC METER	ELECTRIC METER
OVERHEAD WIRE	OVERHEAD WIRE
LIMIT OF DISTURBANCE	LIMIT OF DISTURBANCE
PROJECT AREA	PROJECT AREA



ARCHITECTS

140 N. PROVIDENCE ROAD
MEDIA, PENNSYLVANIA 19063
TEL: 610-566-7044
FAX: 610-566-3258

POST CONSTRUCTION STORMWATER MANAGEMENT PLAN

FOR

EAGLE ANIMAL HOSPITAL

211 BYERS ROAD

UPPER UWCHLAN TOWNSHIP

REVISIONS		DATE :	
		NO.	DESCRIPTION
		1	
		2	
		3	
		4	
SHEET NO.		PROJ. NO. :	
C-9		22222	
SHEET 9 OF 9			

C-9



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

April 16, 2024

File No. 14-12031T3

Tony Scheivert
Upper Uwchlan Township Manager
140 Pottstown Pike
Chester Springs, PA 19425

Reference: The Preserve at Marsh Creek – Phase 3 (Toll)
Bond Reduction Recommendation
Upper Uwchlan Township, Chester County, PA

Dear Tony:

Gilmore & Associates, Inc. has reviewed Toll Brothers March 25, 2024, request for bond reduction for the above-referenced project. Based upon our review of the submitted request, we recommend a reduction of **\$60,877.25**. Following this release, the value of the bond will be \$1,779,175.81.

Also enclosed is one (1) copy of the Escrow Status Report summary spreadsheet for this project for the Board's review and consideration. If you have any questions, please do not hesitate to contact me.

Sincerely,

David N. Leh

David N. Leh, P.E.
Vice President
Gilmore & Associates, Inc.

Attachment- Escrow Spreadsheet

cc: Kristin Camp, Esq. BBMM, LLC (Via e-mail only)
Justin Hunt, Toll Brothers, Inc. (Via e-mail only)
Gwen Jonik, Upper Uwchlan Township Secretary (Via e-mail only)

BUILDING ON A FOUNDATION OF EXCELLENCE

184 West Main Street | Suite 300 | Trappe, PA 19426
Phone: 610-489-4949 | Fax: 610-489-8447

www.gilmore-assoc.com

ESCROW STATUS REPORT

GILMORE & ASSOCIATES, INC.
184 WEST MAIN STREET
SUITE 300
TRAPPE, PA 19426

PROJECT NAME:	The Preserve at Marsh Creek (Phase 3)- Toll	SUMMARY OF ESCROW ACCOUNT			
PROJECT NUMBER:	14-12031T3	TOTAL CONSTRUCTION (100%) = \$ 3,579,250.19			
PROJECT SPONSOR:	Toll	TOWNSHIP CONTINGENCY (10%) = \$ 357,925.02			
MUNICIPALITY:	Upper Uwchlan Township	GRAND TOTAL ESCROWED = \$ 3,937,175.21			
		RELEASE NO.: 1			
		REQUEST DATE: March 25, 2024			

ESCROW TABULATION					CURRENT ESCROW RELEASE		ESCROW RELEASED TO DATE (INCLUDES CURRENT REQUEST)		ESCROW REMAINING (AFTER CURRENT REQUEST)		PERCENT COMPLETE
CONSTRUCTION ITEMS	UNITS	QUANTITY	UNIT PRICE	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	PERCENT
A. CLEARING & GRUBBING											
Clearing and Grubbing	LS	1.00	\$ 45,000.00	\$ 45,000.00		\$ -	1	\$ 45,000.00		\$ -	100%
SUBTOTAL ITEM A				\$ 45,000.00		\$ -		\$ 45,000.00		\$ -	100%
B. EROSION & SEDIMENT CONTROLS											
orange construction fence at bio-basin 6A, 6B, 7A	LF	1278	\$ 2.00	\$ 2,556.00		\$ -	1,278	\$ 2,556.00		\$ -	100%
tree protection/LOD fence	LF	2248	\$ 2.00	\$ 4,496.00		\$ -	2,248	\$ 4,496.00		\$ -	100%
24" compost sock	LF	238	\$ 11.50	\$ 2,737.00		\$ -	238	\$ 2,737.00		\$ -	100%
32" compost sock	LF	2575	\$ 15.00	\$ 38,625.00		\$ -	2,575	\$ 38,625.00		\$ -	100%
18" silt fence	LF	1735	\$ 1.50	\$ 2,602.50		\$ -	1,735	\$ 2,602.50		\$ -	
inlet protection / asphalt berm	EA	36	\$ 100.00	\$ 3,600.00		\$ -		\$ -	36	\$ 3,600.00	
S-75 erosion blanket w/seed	SF	121085	\$ 0.20	\$ 24,217.00	60,542.5	\$ 12,108.50	121,085	\$ 24,217.00		\$ -	100%
C-125 matting in swales 6A, 7A & 8A	SF	1775	\$ 3.25	\$ 5,768.75	1,775	\$ 5,768.75	1,775	\$ 5,768.75		\$ -	100%
Tire Scrubber	EA	1	\$ 2,750.00	\$ 2,750.00		\$ -	1	\$ 2,750.00		\$ -	100%
SEDIMENT BASIN #6											
Orange construction fence	LF	413	\$ 2.00	\$ 826.00		\$ -	413	\$ 826.00		\$ -	
Basin skimmer	EA	1	\$ 1,000.00	\$ 1,000.00		\$ -	1	\$ 1,000.00		\$ -	
S-75 erosion blanket w/seed	SF	10056	\$ 0.20	\$ 2,011.20		\$ -	10,056	\$ 2,011.20		\$ -	
strip topsoil	CY	780	\$ 2.00	\$ 1,560.00		\$ -	780	\$ 1,560.00		\$ -	
cut / fill / compact - key trench	CY	156	\$ 4.50	\$ 702.00		\$ -	156	\$ 702.00		\$ -	
cut / fill / compact	CY	506	\$ 3.40	\$ 1,720.40		\$ -	506	\$ 1,720.40		\$ -	
cut to site	CY	1670	\$ 2.00	\$ 3,340.00		\$ -	1,670	\$ 3,340.00		\$ -	
grade basin	SY	2450	\$ 0.35	\$ 857.50		\$ -	2,450	\$ 857.50		\$ -	
respread topsoil to berms	CY	538	\$ 5.25	\$ 2,824.50		\$ -	538	\$ 2,824.50		\$ -	
outlet structure w/4" knife valve	EA	1	\$ 6,000.00	\$ 6,000.00		\$ -	1	\$ 6,000.00		\$ -	
24" RCP outflow- no cradle	LF	152	\$ 65.00	\$ 9,880.00		\$ -	152	\$ 9,880.00		\$ -	
anti-seep collar	EA	3	\$ 1,100.00	\$ 3,300.00		\$ -	3	\$ 3,300.00		\$ -	
4" HDPE with concrete end section	LF	16	\$ 40.00	\$ 640.00		\$ -		\$ -	16	\$ 640.00	
Basin 6 conversion	LS	1	\$ 45,000.00	\$ 45,000.00		\$ -		\$ -	1	\$ 45,000.00	
Mobilization / Stakeout	LS	1	\$ 10,000.00	\$ 10,000.00		\$ -		\$ -	1	\$ 10,000.00	
SEDIMENT BASIN #7											

ESCROW TABULATION					CURRENT ESCROW RELEASE		ESCROW RELEASED TO DATE (INCLUDES CURRENT REQUEST)		ESCROW REMAINING (AFTER CURRENT REQUEST)		PERCENT COMPLETE
CONSTRUCTION ITEMS	UNITS	QUANTITY	UNIT PRICE	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	PERCENT
Orange construction fence	LF	976	\$ 2.00	\$ 1,952.00		\$ -	976	\$ 1,952.00		\$ -	100%
Basin Baffle Wall	LF	740	\$ 15.00	\$ 11,100.00		\$ -	740	\$ 11,100.00		\$ -	100%
Basin skimmer	EA	1	\$ 1,000.00	\$ 1,000.00		\$ -	1	\$ 1,000.00		\$ -	100%
S-75 erosion blanket w/seed	SF	26837	\$ 0.20	\$ 5,367.40		\$ -	26,837	\$ 5,367.40		\$ -	100%
strip topsoil	CY	2064	\$ 2.00	\$ 4,128.00		\$ -	2,064	\$ 4,128.00		\$ -	100%
cut / fill / compact - key trench	CY	681	\$ 4.50	\$ 3,064.50		\$ -	681	\$ 3,064.50		\$ -	100%
cut / fill / compact	CY	1150	\$ 3.40	\$ 3,910.00		\$ -	1,150	\$ 3,910.00		\$ -	100%
fill / compact from site stockpile	CY	4051	\$ 1.00	\$ 4,051.00		\$ -	4,051	\$ 4,051.00		\$ -	100%
grade basin	SY	6460	\$ 0.35	\$ 2,261.00		\$ -	6,460	\$ 2,261.00		\$ -	100%
respread topsoil to berms	CY	1662	\$ 5.25	\$ 8,725.50		\$ -	1,662	\$ 8,725.50		\$ -	100%
outlet structure	EA	1	\$ 3,000.00	\$ 3,000.00		\$ -	1	\$ 3,000.00		\$ -	100%
15" RCP outflow with concrete cradle	LF	32	\$ 175.00	\$ 5,600.00		\$ -	32	\$ 5,600.00		\$ -	100%
anti-seep collar	EA	1	\$ 1,100.00	\$ 1,100.00		\$ -	1	\$ 1,100.00		\$ -	100%
15" DW end wall	EA	1	\$ 1,450.00	\$ 1,450.00		\$ -	1	\$ 1,450.00		\$ -	100%
4" HDPE w/end caps	LF	133	\$ 15.00	\$ 1,995.00		\$ -		\$ -	133	\$ 1,995.00	
yard inlets with knife drain	EA	2	\$ 2,750.00	\$ 5,500.00		\$ -		\$ -	2	\$ 5,500.00	
R-3 rip-rap level spreader	TN	43	\$ 45.00	\$ 1,935.00		\$ -		\$ -	43	\$ 1,935.00	
curb level spreader - 8 X 36"	LF	60	\$ 145.00	\$ 8,700.00		\$ -		\$ -	60	\$ 8,700.00	
P-300 emergency spillway	SF	2400	\$ 0.60	\$ 1,440.00		\$ -		\$ -	2,400	\$ 1,440.00	
Basin 7 conversion	LS	1	\$ 200,000.00	\$ 200,000.00		\$ -		\$ -	1	\$ 200,000.00	
Mobilization / Stakeout	LS	1	\$ 10,000.00	\$ 10,000.00		\$ -		\$ -	1	\$ 10,000.00	
SEDIMENT BASIN #8											
										\$ -	
Orange construction fence	LF	368	\$ 2.00	\$ 736.00		\$ -	368	\$ 736.00		\$ -	100%
Basin skimmer	EA	1	\$ 1,000.00	\$ 1,000.00		\$ -	1	\$ 1,000.00		\$ -	100%
S-75 erosion blanket w/seed	SF	21360	\$ 0.20	\$ 4,272.00		\$ -	21,360	\$ 4,272.00		\$ -	100%
strip topsoil	CY	1259	\$ 2.00	\$ 2,518.00		\$ -	1,259	\$ 2,518.00		\$ -	100%
cut / fill / compact - key trench	CY	430	\$ 4.50	\$ 1,935.00		\$ -	430	\$ 1,935.00		\$ -	100%
cut / fill / compact	CY	1183	\$ 3.40	\$ 4,022.20		\$ -	1,183	\$ 4,022.20		\$ -	100%
cut material to basin	CY	633	\$ 2.50	\$ 1,582.50		\$ -	633	\$ 1,582.50		\$ -	100%
grade basin	SY	3880	\$ 0.35	\$ 1,358.00		\$ -	3,880	\$ 1,358.00		\$ -	100%
respread topsoil to berms	CY	1018	\$ 5.25	\$ 5,344.50		\$ -	1,018	\$ 5,344.50		\$ -	100%
temp. riser with 15" pipe and trash rack	EA	1	\$ 3,500.00	\$ 3,500.00		\$ -	1	\$ 3,500.00		\$ -	100%
outlet structure	EA	1	\$ 2,450.00	\$ 2,450.00		\$ -	1	\$ 2,450.00		\$ -	100%
18" RCP outflow with concrete cradle	LF	36	\$ 185.00	\$ 6,660.00		\$ -	36	\$ 6,660.00		\$ -	100%
anti-seep collar	EA	2	\$ 1,100.00	\$ 2,200.00		\$ -	2	\$ 2,200.00		\$ -	100%
18" DW end wall	EA	1	\$ 1,450.00	\$ 1,450.00		\$ -	1	\$ 1,450.00		\$ -	100%
4" HDPE with concrete end section	LF	17	\$ 35.00	\$ 595.00		\$ -		\$ -	17	\$ 595.00	
yard inlets with knife drain	EA	1	\$ 2,500.00	\$ 2,500.00		\$ -		\$ -	1	\$ 2,500.00	
R-3 rip-rap level spreader	TN	26	\$ 45.00	\$ 1,170.00		\$ -		\$ -	26	\$ 1,170.00	
curb level spreader - 8 X 36"	LF	70	\$ 145.00	\$ 10,150.00		\$ -		\$ -	70	\$ 10,150.00	
R-4 rip-rap swale	TN	93	\$ 45.00	\$ 4,185.00		\$ -		\$ -	93	\$ 4,185.00	
P-300 emergency spillway	SF	1285	\$ 0.50	\$ 642.50		\$ -		\$ -	1,285	\$ 642.50	
Basin 8 conversion	LS	1	\$ 20,000.00	\$ 20,000.00		\$ -		\$ -	1	\$ 20,000.00	
Mobilization / Stakeout	LS	1	\$ 10,000.00	\$ 10,000.00		\$ -		\$ -	1	\$ 10,000.00	
						\$ -		\$ -		\$ -	
BIO-RETENTION BASIN # 6-A											
Orange construction fence	LF	376	\$ 2.00	\$ 752.00		\$ -	376	\$ 752.00		\$ -	100%
S-75 erosion blanket w/seed	SF	7342	\$ 0.20	\$ 1,468.40		\$ -	7,342	\$ 1,468.40		\$ -	100%
strip topsoil	CY	225	\$ 2.00	\$ 450.00		\$ -	225	\$ 450.00		\$ -	100%
cut / fill / compact	CY	31	\$ 4.50	\$ 139.50		\$ -	31	\$ 139.50		\$ -	
cut to site	CY	967	\$ 2.00	\$ 1,934.00		\$ -	967	\$ 1,934.00		\$ -	
grade basin	SY	705	\$ 0.35	\$ 246.75		\$ -	705	\$ 246.75		\$ -	
respread topsoil to berms	CY	334	\$ 5.25	\$ 1,753.50		\$ -	334	\$ 1,753.50		\$ -	
outlet structure	EA	1	\$ 3,250.00	\$ 3,250.00		\$ -	1	\$ 3,250.00		\$ -	100%

ESCROW TABULATION					CURRENT ESCROW RELEASE		ESCROW RELEASED TO DATE (INCLUDES CURRENT REQUEST)		ESCROW REMAINING (AFTER CURRENT REQUEST)		PERCENT COMPLETE
CONSTRUCTION ITEMS	UNITS	QUANTITY	UNIT PRICE	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	PERCENT
15" HDPE outflow pipe	LF	74	\$ 45.00	\$ 3,330.00		\$ -	74	\$ 3,330.00		\$ -	100%
anti-seep collar	EA	2	\$ 1,100.00	\$ 2,200.00		\$ -	2	\$ 2,200.00		\$ -	100%
PAVH - Heavy Metal Switch Grass - plugs	EA	80	\$ 3.85	\$ 308.00		\$ -		\$ -	80	\$ 308.00	
ANV - Broom Sedge - plugs	EA	140	\$ 3.85	\$ 539.00		\$ -		\$ -	140	\$ 539.00	
EUGL - Dwarf Joe Pye Weed - plugs	EA	170	\$ 3.85	\$ 654.50		\$ -		\$ -	170	\$ 654.50	
bio-basin 6-A PEDH - Huskers Red Foxglove Beardtongue - plugs	EA	290	\$ 3.85	\$ 1,116.50		\$ -		\$ -	290	\$ 1,116.50	
CAS - Tussock Sedge - plugs	EA	550	\$ 3.85	\$ 2,117.50		\$ -		\$ -	550	\$ 2,117.50	
mulch bed (5,052 sf at 6" thick)	CY	94	\$ 40.00	\$ 3,742.22		\$ -		\$ -	94	\$ 3,742.22	
river rock inlet berm	EA	1	\$ 1,725.00	\$ 1,725.00		\$ -		\$ -	1	\$ 1,725.00	
bio-basin 6-A conversion	LS	1	\$ 40,000.00	\$ 40,000.00		\$ -		\$ -	1	\$ 40,000.00	
BIO-RETENTION BASIN # 6-B											
Orange construction fence	LF	489	\$ 2.00	\$ 978.00		\$ -	489	\$ 978.00		\$ -	
outlet structure	EA	1	\$ 3,850.00	\$ 3,850.00		\$ -	1	\$ 3,850.00		\$ -	
24" HDPE outflow pipe	LF	118	\$ 65.00	\$ 7,670.00		\$ -	118	\$ 7,670.00		\$ -	
anti-seep collar	EA	3	\$ 1,100.00	\$ 3,300.00		\$ -	3	\$ 3,300.00		\$ -	
cultec system	LS	1	\$ 125,000.00	\$ 125,000.00		\$ -	1	\$ 125,000.00		\$ -	
EUGL - Dwarf Joe Pye Weed - plugs	EA	160	\$ 3.85	\$ 616.00		\$ -		\$ -	160	\$ 616.00	
HIM - Swamp Rose Mallow - plugs	EA	160	\$ 3.85	\$ 616.00		\$ -		\$ -	160	\$ 616.00	
ANGO - Red October Big Bluestem - plugs	EA	190	\$ 3.85	\$ 731.50		\$ -		\$ -	190	\$ 731.50	
PAVH - Heavy Metal Switch Grass - plugs	EA	300	\$ 3.85	\$ 1,155.00		\$ -		\$ -	300	\$ 1,155.00	
CAS - Tussock Sedge - plugs	EA	350	\$ 3.85	\$ 1,347.50		\$ -		\$ -	350	\$ 1,347.50	
JUE - Soft Rush - plugs	EA	600	\$ 3.85	\$ 2,310.00		\$ -		\$ -	600	\$ 2,310.00	
CHL - Northern Sea Oats - plugs	EA	880	\$ 3.85	\$ 3,388.00		\$ -		\$ -	880	\$ 3,388.00	
mulch bed (9,379 sf at 6" thick)	CY	174	\$ 40.00	\$ 6,947.41		\$ -		\$ -	174	\$ 6,947.41	
river rock inlet berm	EA	1	\$ 1,725.00	\$ 1,725.00		\$ -		\$ -	1	\$ 1,725.00	
bio-basin 6-B conversion	LS	1	\$ 7,000.00	\$ 7,000.00		\$ -		\$ -	1	\$ 7,000.00	
BIO-RETENTION BASIN # 7-A											
Orange construction fence	LF	410	\$ 2.00	\$ 820.00		\$ -	410	\$ 820.00		\$ -	
outlet structure	EA	1	\$ 3,450.00	\$ 3,450.00		\$ -	1	\$ 3,450.00		\$ -	
18" HDPE outflow pipe	LF	29	\$ 45.00	\$ 1,305.00		\$ -	29	\$ 1,305.00		\$ -	
anti-seep collar	EA	3	\$ 1,100.00	\$ 3,300.00		\$ -	3	\$ 3,300.00		\$ -	
cultec system	LS	1	\$ 100,000.00	\$ 100,000.00		\$ -	1	\$ 100,000.00		\$ -	
COP - Swamp Tickseed - plugs	EA	190	\$ 3.85	\$ 731.50		\$ -		\$ -	190	\$ 731.50	
IRV - Blue Flag Iris - plugs	EA	290	\$ 3.85	\$ 1,116.50		\$ -		\$ -	290	\$ 1,116.50	
bio-basin 7-A PEDH - Huskers Red Foxglove Beardtongue - plugs	EA	330	\$ 3.85	\$ 1,270.50		\$ -		\$ -	330	\$ 1,270.50	
CHL - Northern Sea Oats - plugs	EA	360	\$ 3.85	\$ 1,386.00		\$ -		\$ -	360	\$ 1,386.00	
ERS - Purple Lovegrass - plugs	EA	370	\$ 3.85	\$ 1,424.50		\$ -		\$ -	370	\$ 1,424.50	
PAVN - Northwind Switch Grass - plugs	EA	410	\$ 3.85	\$ 1,578.50		\$ -		\$ -	410	\$ 1,578.50	
mulch bed (5,210 sf at 6" thick)	CY	96	\$ 40.00	\$ 3,859.26		\$ -		\$ -	96	\$ 3,859.26	
river rock inlet berm	EA	3	\$ 1,725.00	\$ 5,175.00		\$ -		\$ -	3	\$ 5,175.00	
SUBTOTAL ITEM B				\$ 909,341.99		\$ 17,877.25		\$ 478,708.60		\$ 430,633.39	53%
C. EARTHWORK											
strip topsoil - to stockpile	CY	21865	\$ 2.00	\$ 43,730.00		\$ -	21,865	\$ 43,730.00		\$ -	100%
strip topsoil - fill & compact	CY	1038	\$ 3.25	\$ 3,373.50		\$ -	1,038	\$ 3,373.50		\$ -	100%
cut / fill / compact	CY	47226	\$ 3.25	\$ 153,484.50		\$ -	47,226	\$ 153,484.50		\$ -	100%
cut / fill / compact - dirt from phase 2	CY	34095	\$ 3.00	\$ 102,285.00		\$ -	34,095	\$ 102,285.00		\$ -	100%
respread topsoil to open space	CY	7064	\$ 4.25	\$ 30,022.00		\$ -	7,064	\$ 30,022.00		\$ -	100%
permanent seed, mulch and tack open spaces	SF	53676	\$ 0.10	\$ 5,367.60		\$ -	26,838	\$ 2,683.80	26,838	\$ 2,683.80	50%
SUBTOTAL ITEM C				\$ 338,262.60		\$ -		\$ 335,578.80		\$ 2,683.80	99%

ESCROW TABULATION					CURRENT ESCROW RELEASE		ESCROW RELEASED TO DATE (INCLUDES CURRENT REQUEST)		ESCROW REMAINING (AFTER CURRENT REQUEST)		PERCENT COMPLETE
CONSTRUCTION ITEMS	UNITS	QUANTITY	UNIT PRICE	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	PERCENT
D. STORM SEWER											
15" HDPE - temporary run	LF	200	\$ 44.00	\$ 8,800.00		\$ -	200	\$ 8,800.00		\$ -	100%
15" HDPE - 0 to 8'	LF	1537	\$ 44.00	\$ 67,628.00		\$ -	1,537	\$ 67,628.00		\$ -	100%
18" HDPE - 0 to 8'	LF	693	\$ 48.00	\$ 33,264.00		\$ -	693	\$ 33,264.00		\$ -	100%
18" HDPE - 8 to 12'	LF	131	\$ 51.00	\$ 6,681.00		\$ -	131	\$ 6,681.00		\$ -	100%
24" HDPE - 0 to 8'	LF	263	\$ 60.00	\$ 15,780.00		\$ -	263	\$ 15,780.00		\$ -	100%
24" HDPE - 8 to 12'	LF	123	\$ 63.00	\$ 7,749.00		\$ -	123	\$ 7,749.00		\$ -	100%
24" HDPE 12 to 16'	LF	17	\$ 65.00	\$ 1,105.00		\$ -	17	\$ 1,105.00		\$ -	100%
type C storm inlet - 24 X 45" - 0 to 8'	EA	34	\$ 2,850.00	\$ 96,900.00		\$ -	34	\$ 96,900.00		\$ -	100%
type C storm inlet - 24 X 45" - 8 to 12'	EA	1	\$ 3,875.00	\$ 3,875.00		\$ -	1	\$ 3,875.00		\$ -	100%
type C storm inlet - 42 X 48" - 0 to 8'	EA	1	\$ 3,000.00	\$ 3,000.00		\$ -	1	\$ 3,000.00		\$ -	100%
type M storm inlet - 24 X 45" - 0 to 8'	EA	4	\$ 2,500.00	\$ 10,000.00		\$ -	4	\$ 10,000.00		\$ -	100%
type M storm inlet - 24 X 45" - 12 to 16'	EA	1	\$ 4,750.00	\$ 4,750.00		\$ -	1	\$ 4,750.00		\$ -	100%
15" D. W. end wall - temporary run	EA	2	\$ 1,250.00	\$ 2,500.00		\$ -	2	\$ 2,500.00		\$ -	100%
15" D. W. end wall	EA	1	\$ 1,250.00	\$ 1,250.00		\$ -	1	\$ 1,250.00		\$ -	
18" D. W. end wall	EA	5	\$ 1,450.00	\$ 7,250.00		\$ -	5	\$ 7,250.00		\$ -	
24" D. W. end wall	EA	2	\$ 1,600.00	\$ 3,200.00		\$ -	2	\$ 3,200.00		\$ -	
R-3 rip-rap aprons - temp storm run	TN	3	\$ 45.00	\$ 135.00		\$ -	3	\$ 135.00		\$ -	
R-3 rip-rap aprons	TN	6	\$ 45.00	\$ 270.00		\$ -	6	\$ 270.00		\$ -	
R-4 rip-rap aprons	TN	40	\$ 48.00	\$ 1,920.00		\$ -	40	\$ 1,920.00		\$ -	
R-5 rip-rap aprons	TN	11	\$ 50.00	\$ 550.00		\$ -	11	\$ 550.00		\$ -	
R-6 rip-rap aprons	TN	20	\$ 55.00	\$ 1,100.00		\$ -	20	\$ 1,100.00		\$ -	
R-7 rip-rap aprons	TN	37	\$ 62.00	\$ 2,294.00		\$ -	37	\$ 2,294.00		\$ -	
stream crossing	LS	1	\$ 5,500.00	\$ 5,500.00		\$ -	1	\$ 5,500.00		\$ -	
footers	LF	88	\$ 600.00	\$ 52,800.00		\$ -	88	\$ 52,800.00		\$ -	
footers	LF	48	\$ 1,500.00	\$ 72,000.00		\$ -	48	\$ 72,000.00		\$ -	
arch culvert	LS	1	\$ 150,000.00	\$ 150,000.00		\$ -	1	\$ 150,000.00		\$ -	
crane to set bridge - estimated at 3 days	LS	1	\$ 28,500.00	\$ 28,500.00		\$ -	1	\$ 28,500.00		\$ -	
block wing walls	LS	1	\$ 25,000.00	\$ 25,000.00		\$ -	1	\$ 25,000.00		\$ -	
										\$ -	
SUBTOTAL ITEM D				\$ 613,801.00		\$ -		\$ 613,801.00		\$ -	100%
E. PAVING & CONCRETE WORK											
CONCRETE											
Belgian Block Curb	LF	7472	\$ 19.00	\$ 141,968.00		\$ -	3,736	\$ 70,984.00	3,736	\$ 70,984.00	50%
Curb Seal	LF	7472	\$ 0.50	\$ 3,736.00		\$ -	3,736	\$ 1,868.00	3,736	\$ 1,868.00	50%
Grade & Stone	LF	7472	\$ 4.00	\$ 29,888.00		\$ -	3,736	\$ 14,944.00			
4' Wide Sidewalk (4" Depth)	SF	9820	\$ 5.25	\$ 51,555.00		\$ -		\$ -	9,820	\$ 51,555.00	
Driveway Apron (6" Depth) - Single	EA	14	\$ 1,440.00	\$ 20,160.00		\$ -		\$ -	14	\$ 20,160.00	
Driveway Apron (6" Depth) - Double	EA	10	\$ 3,200.00	\$ 32,000.00		\$ -		\$ -	10	\$ 32,000.00	
Handicap Ramp ADA Matting	EA	9	\$ 450.00	\$ 4,050.00		\$ -		\$ -	9	\$ 4,050.00	
										\$ -	
PAVEMENT										\$ -	
Preparation for Paving	SY	12370	\$ 1.25	\$ 15,462.50		\$ -	6,185	\$ 7,731.25	6,185	\$ 7,731.25	50%
2A Compacted Stone (5" Depth)	SY	12370	\$ 6.75	\$ 83,497.50		\$ -	6,185	\$ 41,748.75	6,185	\$ 41,748.75	50%
25mm Base Course (5" Depth)	SY	12370	\$ 22.50	\$ 278,325.00		\$ -	6,185	\$ 139,162.50	6,185	\$ 139,162.50	50%
19mm Binder Course (3" Depth)	SY	12370	\$ 15.00	\$ 185,550.00		\$ -	6,185	\$ 92,775.00	6,185	\$ 92,775.00	50%
Sweep and Tack for Wearing Course	SY	12370	\$ 0.73	\$ 9,030.10		\$ -		\$ -	12,370	\$ 9,030.10	
9.5mm Wearing Course (1.5" Depth)	SY	12370	\$ 8.50	\$ 105,145.00		\$ -		\$ -	12,370	\$ 105,145.00	
WALKING TRAIL											
Excavate	CY	20	\$ 15.00	\$ 300.00		\$ -		\$ -	20	\$ 300.00	
Fine Grade and Compaction	SY	40	\$ 2.50	\$ 100.00		\$ -		\$ -	40	\$ 100.00	
Class 4 Fabric	SY	40	\$ 4.00	\$ 160.00		\$ -		\$ -	40	\$ 160.00	
2A Modified Base (6" Depth)	SY	40	\$ 10.00	\$ 400.00		\$ -		\$ -	40	\$ 400.00	
19mm Binder Course (2" Depth)	SY	40	\$ 20.00	\$ 800.00		\$ -		\$ -	40	\$ 800.00	

ESCROW TABULATION					CURRENT ESCROW RELEASE		ESCROW RELEASED TO DATE (INCLUDES CURRENT REQUEST)		ESCROW REMAINING (AFTER CURRENT REQUEST)		PERCENT COMPLETE
CONSTRUCTION ITEMS	UNITS	QUANTITY	UNIT PRICE	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	PERCENT
9.5mm Wearing Course (1.5" Depth)	SY	40	\$ 21.00	\$ 840.00		\$ -		\$ -	40	\$ 840.00	
Topsoil and Seed Edges of Walking Path	LF	100	\$ 1.50	\$ 150.00		\$ -		\$ -	100	\$ 150.00	
GUIDE RAIL											
Type 31-S guide rail - leading to culvert	LF	125	\$ 45.00	\$ 5,625.00		\$ -	125	\$ 5,625.00		\$ -	
Type 31-S guide rail - leading out of Prescott	LF	110	\$ 45.00	\$ 4,950.00		\$ -	110	\$ 4,950.00		\$ -	
										\$ -	
SUBTOTAL ITEM E				\$ 973,692.10		\$ -		\$ 379,788.50		\$ 593,903.60	39%
F. SURVEYING											
Contractor Layout	LS	1	\$ 85,000.00	\$ 85,000.00		\$ -	0.75	\$ 63,750.00	0	\$ 21,250.00	75%
Final Basin As-Built	LS	1	\$ 15,000.00	\$ 15,000.00		\$ -		\$ -	1	\$ 15,000.00	
Iron Pins & Monuments	EA	1	\$ 4,500.00	\$ 4,500.00		\$ -		\$ -	1	\$ 4,500.00	
SUBTOTAL ITEM F				\$ 104,500.00		\$ -		\$ 63,750.00		\$ 40,750.00	61%
G. LANDSCAPING & LIGHTING											
LIGHTING											
Lumenerea LE3 - 56L - WW	EA	14	\$ 5,000.00	\$ 70,000.00	7	\$ 35,000.00	7	\$ 35,000.00	7	\$ 35,000.00	50%
LANDSCAPING											
Shrubs (24" to 30" Height)	EA	456	\$ 50.00	\$ 22,800.00		\$ -		\$ -	456	\$ 22,800.00	
Trees (7' to 8' Height)	EA	282	\$ 350.00	\$ 98,700.00		\$ -		\$ -	282	\$ 98,700.00	
Trees (8' to 10' Height) EVERGREENS	EA	259	\$ 250.00	\$ 64,750.00		\$ -		\$ -	259	\$ 64,750.00	
Deciduous Trees (2.5" to 3" Caliper)	EA	157	\$ 450.00	\$ 70,650.00		\$ -		\$ -	157	\$ 70,650.00	
										\$ -	
SUBTOTAL ITEM G				\$ 326,900.00		\$ 35,000.00		\$ 35,000.00		\$ 291,900.00	11%
H. MISCELLANEOUS											
Line Striping	LS	1	\$ 1,000.00	\$ 1,000.00		\$ -		\$ -	1	\$ 1,000.00	
Signs (Regulatory & Street)	EA	30	\$ 200.00	\$ 6,000.00	15	\$ 3,000.00	15	\$ 3,000.00	15	\$ 3,000.00	
Mailboxes	EA	7	\$ 1,000.00	\$ 7,000.00		\$ -		\$ -	7	\$ 7,000.00	
Remove Radek Temp. Cul De Sac	LS	1	\$ 10,000.00	\$ 10,000.00		\$ -		\$ -	1	\$ 10,000.00	
Remove end of Prescott	LS	1	\$ 5,000.00	\$ 5,000.00	1	\$ 5,000.00	1	\$ 5,000.00		\$ -	
RETAINING WALLS AND FENCES											
Excavate for Retaining Wall	LF	970	\$ 4.50	\$ 4,365.00		\$ -	970	\$ 4,365.00		\$ -	100%
Retaining Walls (TOTAL)	SF	6355	\$ 25.00	\$ 158,875.00		\$ -	6,355	\$ 158,875.00		\$ -	100%
Retaining Wall Fence Sleeves	EA	138	\$ 100.00	\$ 13,800.00		\$ -	138	\$ 13,800.00		\$ -	100%
Retaining Wall Fence	LF	805	\$ 26.50	\$ 21,332.50		\$ -	805	\$ 21,332.50		\$ -	100%
10' Double Wide Gate	EA	3	\$ 800.00	\$ 2,400.00		\$ -		\$ -	3	\$ 2,400.00	
3 Rail Fence with Wire (Basin 6)	LF	500	\$ 18.00	\$ 9,000.00		\$ -		\$ -	500	\$ 9,000.00	
3 Rail Fence with Wire (Basin 7)	LF	1000	\$ 18.00	\$ 18,000.00		\$ -		\$ -	1,000	\$ 18,000.00	
3 Rail Fence with Wire (Basin 8)	LF	610	\$ 18.00	\$ 10,980.00		\$ -		\$ -	610	\$ 10,980.00	
										\$ -	
SUBTOTAL ITEM H				\$ 267,752.50		\$ 8,000.00		\$ 206,372.50		\$ 61,380.00	77%

ESCROW TABULATION					CURRENT ESCROW RELEASE		ESCROW RELEASED TO DATE (INCLUDES CURRENT REQUEST)		ESCROW REMAINING (AFTER CURRENT REQUEST)		PERCENT COMPLETE
CONSTRUCTION ITEMS	UNITS	QUANTITY	UNIT PRICE	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	PERCENT
TOTAL IMPROVEMENTS - ITEMS A-H				\$ 3,579,250.19		\$ 60,877.25		\$ 2,157,999.40		\$ 1,421,250.79	60%
I. RETAINAGE (10%)						\$ (6,087.73)		\$ (215,799.94)		\$ 215,799.94	
J. CONTINGENCY (10%)				\$ 357,925.02		\$ 6,087.73		\$ 215,799.94		\$ 142,125.08	60%
NET CONSTRUCTION RELEASE						\$ 60,877.25		\$ 2,157,999.40		\$ 1,779,175.81	
SURETY AMOUNT				\$ 3,937,175.21		\$ 60,877.25		\$ 2,157,999.40		\$ 1,779,175.81	55%



UPPER UWCHLAN TOWNSHIP

Chester County, Pennsylvania

RESOLUTION # _____

Delaware Valley Regional Planning Commission

Transportation and Community Development Initiative Grant Program

WHEREAS, Upper Uwchlan Township supports the request for planning grant dollars from the Delaware Valley Regional Planning Commission (DVRPC); and

WHEREAS, Upper Uwchlan Township fully understands that DVRPC will provide project management and oversight of the planning grant, if chosen for funding; and

WHEREAS, Upper Uwchlan Township fully understands the application requirements including county coordination and attachments; and

WHEREAS, Upper Uwchlan Township fully understands that DVRPC will provide project management and oversight for the grant and advise on the qualifications-based procurement process, if required; and

WHEREAS, Upper Uwchlan Township fully understands that DVRPC will contract directly with a consultant chosen through a fair and open procurement process on behalf of the project sponsor; and

WHEREAS, that Board of Supervisors of Upper Uwchlan Township hereby authorizes Tony Scheivert to submit an application to DVRPC for a Transportation and Community Development Initiative (TCDI) planning grant;

NOW, THEREFORE, BE IT RESOLVED, that Upper Uwchlan Township agrees, if selected for the TCDI grant, to take all necessary action to complete the project associated with the grant agreement within the 24-month timeframe, and submit the final deliverable to DVRPC; and

BE IT FURTHER RESOLVED, that Upper Uwchlan Township agrees to provide all documentation and records that may be required by DVRPC to ensure proper allocation of costs and resources; and

BE IT FURTHER RESOLVED, that Upper Uwchlan Township agrees to provide proof of adoption or acceptance of the final deliverable by the governing body through a Resolution that must be submitted no later than December 31, 2026 to DVRPC.

Adopted this day 22nd of April, 2024,

By a vote of: _____ in favor _____ against _____ abstain

BY: _____, Township Secretary, Upper Uwchlan Township