



UPPER UWCHLAN TOWNSHIP
BOARD OF SUPERVISORS MEETING
AGENDA
NOVEMBER 20, 2023

7:00 p.m.

LOCATION: Township Building, 140 Pottstown Pike,
Chester Springs PA 19425

I. CALL TO ORDER	Packet Page #
A. Salute to the Flag	
B. Moment of Silence	
C. Inquire If Any Attendee Plans to Audio or Video Record the Meeting	
D. An Executive Session was held November 14, 2023 re: personnel	
II. APPROVAL OF MINUTES:	
October 10, 2023 Joint Boards & Commissions Workshop	2
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III. APPROVAL OF PAYMENTS	9
IV. TREASURER'S REPORT	46
V. SUPERVISOR'S REPORT	
A. Police Liaison Report	
B. Calendar:	
November 23-24, 2023 Office Closed ~ Thanksgiving Holiday	
November 25, 2023 4:00-7:00 7 th Annual Tree Lighting & Fireworks	
December 12, 2023 4:00 p.m. Board of Supervisors Workshop	
December 18, 2023 7:00 p.m. Board of Supervisors Meeting	
December 25, 2023 Office Closed ~ Christmas Day	
Yard Waste Collection Dates: November 29, December 6, December 20	
Do not use plastic bags as these materials are composted. Place materials curbside the night before to guarantee collection.	
VI. ADMINISTRATION REPORTS	
A. Township Engineer's Report	
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VII. LAND DEVELOPMENT	
A. 164 Byers Road / QBD Ventures – Preliminary/Final Land Development Plan ~ Consider Approval	87
VIII. ADMINISTRATION	
A. Ordinance – Marsh Creek State Park Closure / Parking Restrictions ~ consider adoption	129
B. Resolution -- Real Estate Tax Collection 2024 ~ Keystone Collections ~ consider adoption and executing contract	131
C. McMahon Traffic Study Scope, Proposal ~ authorize expenditure	136
IX. OPEN SESSION	
X. ADJOURNMENT	



Upper Uwchlan Township
Board of Supervisors
Joint Boards and Commissions Workshop
October 10, 2023
4:00 PM
Minutes
DRAFT

Attendees:

Sandy D'Amico, Chair
Jenn Baxter, Vice-Chair
Andy Durkin, Member

Tony Scheivert, Township Manager
Gwen Jonik, Township Secretary
Tom Jones, Police Chief
Rhys Lloyd, Director – Code Enforcement
Anthony Campbell, Zoning Officer
Lindsay Yeager, Assistant to the Township Mgr.
Kristin Camp, Esq., Township Solicitor

Sally Winterton, Planning Commission Chair
Sushila Subramanian, Park & Rec Board Chair
Gerry Stein, Historical Commission Co-Vice-Chair
Byron Nickerson, EMPC Chair
Neil Phillips, Environmental Advisory Council Chair
Jim Greaney, Zoning Hearing Board Chair
Peter Egan, Zoning Hearing Board Member
Matt Brown, Authority Administrator
Ric Bassler, Technology Advisory Board Chair
Mike Esterlis, Director of Public Works

The Workshop was held at the Township Building, 140 Pottstown Pike, Chester Springs PA 19425.

Sandy D'Amico called the Workshop to order at 4:04 pm, led the Pledge of Allegiance, and offered a moment of silence. No one planned to record the meeting. There was 1 citizen in attendance.

Boards & Commissions Updates

Planning Commission (PC)

Sally Winterton made note that she and Joe Stoyack, Vice-Chair, completed a course in Subdivision and Land Development review earlier this year and she thanked the Supervisors for funding their education. Planning Commission members have been attending meetings to update the Village Concept Plan, Village Design Guidelines and the Comprehensive Plan. Vik Harjani was recently appointed to the Commission. Beginning in November the Commission will reinstate 6:00 Workshops to review and discuss ordinances.

Technology Advisory Board (TAB)

Ric Bassler reported the TAB is coordinating a cybersecurity audit, an evaluation of township programs and applications to see if we're at risk procedurally, and could we continue with business if a cybersecurity event occurred. The audit will be conducted by Homeland Security, free of charge. They're working with the Emergency Management Coordinator on this. Ric will need to coordinate with the Authority regarding the Route 100 wastewater treatment plant upgrade of the SCADA system.

Zoning Hearing Board (ZHB)

Jim Greaney and Pete Egan were in attendance. Pete provided a summary of P.J. Reilly's recent application for their proposed headquarters/office/maintenance shop on Park Road – a small triangular piece of land. The ZHB granted both requested variances.

Jim Greaney asked if the ZHB's Decision for 100 Greenridge Road was being appealed. Kristin Camp answered it was and that the Court will decide the outcome.

Emergency Management Planning Commission (EMPC)

Byron Nickerson reported on the EMPC's recent activities: the Limerick Generating Station emergency drill was conducted recently and was a good practice because the communication paths weren't working initially but they did get it worked out. Ongoing activities: community emergency response training (CERT) – when an emergency occurs, all volunteers are to report to Byron and he is to hand out equipment or supplies to them. He would like to be better prepared for that and they're going to get a trailer to store the items to be adequately equipped. The Uwchlan Ambulance Corps substation in Upper Uwchlan has been in place several months now. The emergency operations plan (EOP) is being updated, most likely for adoption in December. Long-term initiatives are to go to the Homeowners Associations to get the word out about how to be prepared, and they are planning for annual roundtables with HOA representatives, emergency service providers and pipeline representatives. Jenn Baxter asked if we're looking for long-term ambulance plans or long-term storage at the Milford Road location. Tony Scheivert said they're trying to find temporary housing (carport) for the ambulance until building a garage/office is affordable, and the EMPC trailer could potentially be stored there. Byron would like to meet with neighboring township managers and emergency management coordinators with these roundtables too.

Environmental Advisory Council (EAC)

Neil Phillips commented that these workshops are wonderful and beneficial for the exchange of information between the Boards and Commissions. He reviewed a list of the activities of the EAC over the last 6 months, such as working on the Comprehensive Plan update, holding another Earth Day event at Upland Farm, holding e-waste and shredding events in May and last week. Neil noted that the Eagle Wawa was the 113th Wawa store to install EV charging stations. Kristin Camp said West Chester Borough and West Goshen Township have asked her office to review EV charging station ordinances.

Historical Commission (HC)

Gerry Stein reported that the HC has 2 vacancies and they'll be interviewing 2 candidates in the near future. The HC participated in the Struble Trail history event in May, the Township Block Party in June and hosted one of the Chester County Walking Tours in August – a bus tour of 3 farms in the Township – Upland Farm, Spackman Farm, Whelen Farm. The HC has recommended names for 2 roads for the 100 Greenridge Road development, if/when it gets approved; they're working with the PC on some of the developments and updating the Village Concept Plan, etc. On October 25 there is a hike of some Milford Mills ruins on the west side of Marsh Creek Lake.

Municipal Authority

Matt Brown advised they are waiting for PaDEP and the State Finance Office to decide on the grants for the Milford Farms extension and Moore Road expansion (Lakeridge wastewater treatment plant [wwtf]), the Eaglepointe plant conversion to a pre-treatment facility that'll flow to Route 100 wwtf, and for extending Meadow Creek. There is \$5,500,000 at play and the decision has been postponed to November. The draft updated Act 537 Plan included Phase 3 of the Route 100 wwtf, obtaining disposal field property, and planning for the next 20 years. It was submitted to DEP in February 2023 and they have 180 days to review. They've told us it's administratively complete but they haven't yet approved it. The Septage Management Ordinance adopted February 2019 requires on-lot septic systems to be pumped and inspected every 3 years. Non-compliance letters were mailed out to residents using the County's database, where the haulers are supposed to input the pumping data. Not all of the haulers hadn't been adding the data, so there weren't many residents that hadn't complied to date.

Park & Recreation Board (P&R)

Sushila Subramanian reported P&R hosted outdoor live music events this summer – 2 concerts were held out of 4 planned – 2 had to be cancelled due to rain. There have been numerous activities in the barn and residents are happy with how things are going; there was a parade for GEYA baseball from Pickering Valley Elementary to Hickory Park to celebrate their regional championship victory; Trunk or Treat will be held the Saturday before Halloween and the Tree Lighting is Saturday after Thanksgiving.

P&R requests: a small playground at Upland Farm and at Fellowship Field; installing a catwalk on the trail between Upland Farm and the Reserve at Eagle as there's an area that gets slushy; plant trees beside the trails at Upland Farm, Hickory Park and Fellowship Fields for some shade here and there (apply for a PECO Green Region Grant); the basketball court at Hickory Park needs to be resurfaced and they'd like lights too; re-shingle the dugouts at Hickory Park; install a trail between Wawa and Starbucks; slow the traffic along Route 100. She'll send her list to the Board of Supervisors for their consideration in budgeting for 2024. Cathy Tomlinson suggests more cooperation with Marsh Creek State Park and the residents for various activities and also suggests clearing the Struble Trail @ N. Reeds Road

Sandy D'Amico thanked the Board and Commission members for their work and announced a 5-minute recess before the remainder of the meeting. The meeting reconvened at 5:20 p.m.

Authorize advertisement of Marsh Creek State Park closure ordinance. Tony Scheivert introduced an ordinance regarding parking on Township roads when Marsh Creek State Park temporarily closes on summer weekends and holidays due to parking being at capacity. In recent years, with increased use of the Park, there are occasions when the Park has to close temporarily, and visitors are parking along neighborhood roads. Kristin Camp, Esq., noted this ordinance prohibits parking along Heron Hill Drive, Watercroft Circle, Stephen Drive and Laura Lane, to help out the residents who live on those roads. Those residents can get a permit if they park on the road normally or permission if they are having an event on a summer weekend. Once passed, the Township will send a letter to those residents explaining the ordinance and the process for getting the parking permit and/or special event. Chief Jones noted violators will receive a traffic citation, with repeat offenders being towed, but there's flexibility for guests or situations that slip through the cracks, it's a matter of communication. Kristin suggested the Township work with Senator Muth and Representative Otten to help solve the problem. Other attendees suggested that if the Park lined their parking spaces and removed dumpsters and boats from the spaces, more parking would be available. Another suggestion would be to talk with Windsor Baptist Church about a shuttle service from their parking lot.

Jenn Baxter moved, seconded by Andy Durkin, to authorize the advertisement of the ordinance for potential adoption at the November 20 Supervisors meeting. The motion carried unanimously.

Draft 2024 Budget

Building/Codes Department. Rhys Lloyd noted a 7% increase, due to increases in workers' compensation insurance, fuel, training and a decrease in wages as the part-time assistant resigned. They have 2 new trucks so no vehicles are needed.

Public Works Department. Mike Esterlis has minimal increases for highway supplies, uniforms, vehicle maintenance. Tony Scheivert noted a lot of the increases are out of Mike's control, such as health care insurance. Regarding road repair, we might increase crack sealing to help keep water from getting underneath the pavement. Facilities maintenance has small increase for maintenance and fuel.

Solid Waste Fund. Tony Scheivert noted our current collection contract ends July 31, 2024 so we've increased the budget by 100% for the last 5 months of 2024, to be on the safe side. He's spoken with other townships who re-bid this year and all are up @ 40%.

Liquid Fuels Fund. Little change for 2024; additional revenue from the State; taking the paving costs out of liquid fuels again this year; with people working from home and more electric vehicles, the State funding might decrease in the future.

General Fund. Tony Scheivert advised that we know our pension plan costs; our insurances are increasing @ 37% as cyber insurance has become an issue; our I.T. firm, HelpNow, has suggestions to keep us more secure with a minimal dollar increase.

Police Department. Chief Jones noted the 2024 budget reflects contractual obligations through 2025; overtime hours are broken down, as requested, with holidays, court time, shift coverage, patrol functions, October 10, 2023 Joint Boards & Commissions Workshop

etc. They are adjusting the budget for 3-person squads; more personnel means more vehicles needing small tools and supplies; adjustments to the office space to accommodate personnel; a PD trailer was outfitted in-house and worked out great. There will be changes to the pension plan (+\$143,000) due to the increased staff for adequately staffing the PD and Public Works Departments. Contracted services such as the tasers, body cams, body armor, are spaced out over several years. The Administrative Assistant, Jami Martin, will begin full-time hours in 2024.

Commercial Zoning District Uses. The review and discussion of C-3 Highway Commercial District and LI Limited Industrial District uses is tabled for another time.

Open Session

Gerry Stein asked about funding for renovations at the Upland Farm farmhouse. Tony Scheivert noted continued renovations are included in the facilities line item.

Rhys Lloyd mentioned repairing the springhouse on N. Reeds Road; input will be requested of the Historical Commission.

Sandy D'Amico mentioned e-bike safety regulations.

Adjournment

There being no further business to be brought before the Board, Sandy D'Amico adjourned the Workshop at 6:23 p.m.

Respectfully submitted,

Gwen A. Jonik
Township Secretary



TOWNSHIP OF UPPER UWCHLAN
BOARD OF SUPERVISORS MEETING

October 16, 2023

7:00 p.m.

DRAFT

Attending:

Board of Supervisors

Sandra M. D'Amico, Chair
Jennifer F. Baxter, Vice-Chair
Andrew P. Durkin, Member

Township Administration

Tony Scheivert, Township Manager
Lindsay Yeager, Assistant to the Township Manager
Gwen Jonik, Township Secretary
Rhys Lloyd, Director of Code Enforcement
Anthony Campbell, Zoning Officer
Mike Esterlis, Director of Public Works
Tom Jones, Police Chief
Dave Leh, P.E., Township Engineer

Kristin Camp, Esq., Township Solicitor

LOCATION: The Barn at Upland Farm, 301 Pottstown Pike, Chester Springs, PA 19425

Mrs. D'Amico called the evening to order at 7:00 p.m., led the Pledge of Allegiance and offered a moment of silence, asking for reflection of the innocent lives lost and impacted around the world, especially in Israel, Gaza, Ukraine, Russia. No one planned to record the meeting. There were 5 citizens in attendance, as well as Lieutenant Joe Carr, Detective-Corporal Brian Gathercole, Detective Dave Stiteler, Corporal Paul Kemme, Corporal Adam Pozza, Administrative Assistant Jami Martin, Officers Bob Davis, Greg Hines, Alec Fleming, Jasmine Hess, Dan Zmuida and Zach Raymond.

Mrs. D'Amico announced an Executive Session was held October 10, 2023 regarding real estate and personnel matters.

Recognition of Police and Emergency Service Responders

Mrs. Baxter read a prepared **Resolution, #10-16-23-08**, recognizing and thanking the Police Department for their tireless efforts during the search in September for escaped convict Danelo Cavalcante. Mrs. D'Amico spoke of her pride in the Department as they assisted with the search efforts in the Longwood Gardens area, when the search moved to our area and to the north, of Paul Kemme's participation with SWAT and for the brief period Chief Jones was in charge during a shift change.

Chief Jones thanked all the Officers, Jami, Tony, Sandy, the Board, and Public Works, who stepped in to cover the office and the schools in the township; Mr. Durkin commented he gained an education for what the Police do in all kinds of conditions; Mrs. Baxter was in awe of their unwavering dedication to service to the community – they are special people and she's grateful; Mr. Scheivert commented we have an impressive department who rose to the occasion and just kept going and thanked Jami for her support; Sandy complimented the Public Works team – everyone pitched in and got the various jobs done. Resident Irina Colligon complimented the Department.

Approval of Minutes

Mrs. Baxter moved, seconded by Mr. Durkin, to approve as presented the minutes of the September 18, 2023 Board of Supervisors Meeting. The motion carried unanimously.

Approval of Payments

Mrs. Baxter moved, seconded by Mr. Durkin, to approve the payments to all vendors listed October 12, 2023. The motion carried unanimously.

Treasurer's Report

Tony Scheivert reported on Jill Bukata's behalf that we are 75% through the year, year-to-date revenues are at 89.7% of the budget, year-to-date expenses are at 75.8% of the budget, and earned income tax revenue is \$11,000 higher than at this time last year.

Supervisor's Report

Mrs. D'Amico read the published calendar: October 28, 2023 3:00-5:00 p.m. Trunk or Treat at Hickory Park; November 14, 2023 4:00 p.m. Board of Supervisors and Draft 2024 Budget Workshop; November 20, 2023 7:00 p.m. Board of Supervisors Meeting; November 23-24, 2023 Office Closed ~ Thanksgiving Holiday; November 25, 2023 4:00-7:00 p.m. 7th Annual Tree Lighting and Fireworks; yard waste collection dates: October 18, 25, November 1, 8, 15, 29. There are @ 25 trunks and several businesses signed up for Trunk or Treat.

Administration Reports

Township Engineer's Report

Dave Leh reported the Planning Commission has reviewed QBD's land development plan and has recommended Final Approval; an escrow release for the Enclave at Chester Springs will be considered later in the meeting.

Building and Codes Department Report

Rhys Lloyd reported that 52 building permits were issued last month, totaling \$20,696 in permit fees; the Department conducted 125 scheduled inspections; 6 new homes settled; and 20 zoning complaints were handled.

Police Chief's Report

Chief Jones reported there were 1,131 calls for service last month, 4 adult arrests, 1 juvenile arrest; CIT training completed by 3 of the newer Officers - only 1 Officer to go; safety tip of the month: with daylight savings time ending November 5, please watch out for children, especially @ Halloween.

Public Works Department Report

Mike Esterlis reported the Department received and completed 163 work orders; assisted with the e-waste and shred event at their facility; road paving is complete; all line striping is done; a full upfit for the police trailer is complete; 2 snowplow bid requests were publicized – no bidders for either -- supplemental personnel will assist our Staff.

Land Development

Enclave at Chester Springs Site Improvements Performance Bond / Financial Security. Dave Leh advised the request for bond reduction #5 / Final release was reviewed and all site improvements have been completed except for the Station Boulevard pedestrian crossing and streetlight installation. Toll can't complete that at this time due to the lead time on the materials. Toll has provided a cash escrow (\$157,473.15) to cover those improvements and requests release of the original site improvements performance bond. Gilmore & Associates recommends release of the performance bond. Kristin Camp, Esq., advised the terms of the Land Development Agreement apply, they are just replacing the financial security bond with the cash escrow. Once the pedestrian crossing and streetlight are complete, an 18-month maintenance bond will be provided.

Mrs. Baxter moved, seconded by Mr. Durkin, to release the Site Improvements Performance Bond upon confirmation of receipt of the \$157,473.15 cash escrow. The motion carried unanimously.

ADMINISTRATION

Alternative Energy System Ordinance amendment. Kristin Camp, Esq., advised the amendment includes minor edits by the Planning Commission, to modernize the regulations. The Environmental Advisory Council also reviewed the amendments and recommends adoption.

Mrs. Baxter moved, seconded by Mr. Durkin, to adopt **Ordinance #2023-04**, amending the Alternative Energy System Ordinance sections “Permitted and Prohibited District Uses” and “General Provisions”. Resident Irina Colligon asked that the adopted Ordinance be posted on the website. The motion carried unanimously.

Resolution - Real Estate Tax Collection 2024. Discussion of this Resolution is tabled to the November Supervisors meeting as the County Treasurer’s collection contract hasn’t been fully vetted.

Resolution - PECO Green Region Grant Application. Tony Scheivert advised this Resolution is to apply for PECO’s Green Region Grant for a tree planting initiative, to plant shade trees at Township Parks. This is a matching-funds grant. We will request \$6,000. Mrs. Baxter moved, seconded by Mr. Durkin, to adopt **Resolution #10-16-23-09** authorizing submission of an application for the PECO Green Region Grant. The motion carried unanimously.

Resolution - Component 3M Planning Module Submission to PaDEP. Gwen Jonik explained that Uwchlan Township Municipal Authority proposes decommissioning their Overlook Pump Station. Upper Uwchlan is involved in the process due to wastewater from Eagleview Corporate Center parcels in Upper Uwchlan flowing to that system. Upper Uwchlan has completed the appropriate portions of the Planning Module and Uwchlan Township is responsible for submitting it to PaDEP. Mrs. Baxter moved, seconded by Mr. Durkin, to adopt **Resolution #10-16-23-10** authorizing the submission to PaDEP of Uwchlan Township’s Component 3 Planning Module to decommission the Overlook Pump Station. The motion carried unanimously.

Open Session

Gerry Stein asked of the statute of limitations for subdivision/land development plan approvals. Kristin Camp, Esq., advised there’s not a statute of limitations; however, if the developer has completed substantial improvements according to the Plan within 5 years from the approval of the Preliminary Plan, there’s no expiration. If the developer has not completed substantial improvements according to the Plan within 5 years from the approval of the Preliminary Plan, the developer will need to address any regulations / Ordinances that were adopted since the Plan was approved.

Gerry Stein questioned why a historic impact statement for 164 Byers Road wasn’t required, since the approval expired. Ms. Camp advised that requirements of Township Code Zoning Section 200-36B for new structures will need to be met – the design standards at the time of building permit application. Section 200-36B will guide the architecture and compatibility with neighboring historic resources.

Adjournment

There being no further business to be brought before the Board, Mrs. D’Amico adjourned the Meeting at 7:46 p.m.

Respectfully submitted,

Gwen A. Jonik
Township Secretary

November 17, 2023
10:42 AM

Upper Uwchlan Township
Check Register By Check Id

Page No: 1

Range of Checking Accts: GENERAL to GENERAL Range of Check Ids:
Report Type: All Checks Report Format: Super Condensed Check Type: Computer: Y Manual: Y Dir Deposit: Y

Check #	Check Date	Vendor	Amount Paid	Reconciled/Void	Ref Num
10/17/23		GENSERVE GENSERVE, LLC	665.00	10/31/23	2991
10/16/23		STRYKER STRYKER SALES, LLC	33,286.16	10/31/23	2992
10/20/23		BURKHOLD BURKHOLDER MFG, INC.	3,696.30	10/31/23	2996
10/23/23		GLNURSER GARDNER'S NURSERY	1,037.68	10/31/23	2997
11/08/23		BANKAMER BANK OF AMERICA	6,147.06	11/08/23 VOID	2999 (Reason: wrong bank account)
11/07/23		ESRI ESRI	538.00		3006
11/20/23		21ST 21st CENTURY MEDIA PHILLY	192.81		3009
11/20/23		A1TRAFFI A-1 TRAFFIC CONTROL PRODUCTS	37,516.50		3009
11/20/23		ADVAN010 ADVANCED HORTICULTURAL SOLN	4,097.00		3009
11/20/23		AQUAP010 AQUA PA	952.28		3009
11/20/23		ATTMOBIL AT&T MOBILITY	667.50		3009
11/20/23		AXONENTE AXON ENTERPRISE, INC	1,369.45		3009
11/20/23		BESTL140 BEST LINE EQUIPMENT	170.29		3009
11/20/23		BINAVITH BINA VITHLANI	600.00		3009
11/20/23		BLHEATIN B&L OTT HEATING AND AIR LLC	717.00		3009
11/20/23		BRANDSPC BRANDYWINE VALLEY SPCA	1,075.62		3009
11/20/23		BRANDWIN BRANDYWINE CONSERVANCY	7,289.36		3009
11/20/23		BSTARNER BOB STARNER	300.00		3009
11/20/23		BUCKL010 BUCKLEY, BRION, MCGUIRE, MORRI	2,206.90		3009
11/20/23		BURKHOLD BURKHOLDER MFG, INC.	142.50		3009
11/20/23		CAPJUNK CAPTAIN JUNK	2,000.00		3009
11/20/23		CEDAR010 CEDAR HOLLOW RECYCLING	277.76		3009
11/20/23		CHARLHIG CHARLES A HIGGINS & SONS	2,372.00		3009
11/20/23		CIVIC010 CIVIC PLUS	8,283.12		3009
11/20/23		CJTIRE CJ'S TIRE & AUTOMOTIVE SERVICE	3,247.84		3009
11/20/23		COLON010 COLONIAL ELECTRIC SUPPLY CO.,	143.71		3009
11/20/23		COMCA010 COMCAST	1,546.91		3009
11/20/23		COREMAIN CORE & MAIN LP	9,943.58		3009
11/20/23		CPLC CENTER FOR POLICE LEADERSHIP	890.00		3009
11/20/23		CRAFCO CRAFCO, INC	2,894.98		3009
11/20/23		CRYST010 CRYSTAL SPRINGS	35.19		3009
11/20/23		CUMMWAGN CUMMINS-WAGNER CO, INC	924.50		3009
11/20/23		DAILY102 THE DAILY LOCAL	1,331.00		3009
11/20/23		DELA030 DELAWARE VALLEY HEALTH TRUST	62,541.42		3009
11/20/23		DEWEE010 DEWEES BROTHERS PLUMBING & HEA	1,947.26		3009
11/20/23		EAGLE100 EAGLE SERVICE CENTER, INC.	125.00		3009
11/20/23		EAGLEPEQ EAGLE POWER & EQUIPMENT	57.32		3009
11/20/23		EAGLHARD EAGLE HARDWARE	409.97		3009
11/20/23		EASTB020 EAST BRANDYWINE FIREMEN'S RELI	5,916.49		3009
11/20/23		ECKERTSE ECKERT SEAMANS	649.00		3009
11/20/23		EDMUN010 EDMUNDS GOVTECH	11,561.73		3009
11/20/23		ENNISPNT ENNIS-FLINT, INC.	2,378.40		3009
11/20/23		FIZZA010 FIZZANO BROS.	106.00		3009
11/20/23		FLEXIBEN FLEXIBLE BENEFIT ADMINISTRATOR	56.00		3009
11/20/23		FOLEYINC FOLEY, INCORPORATED	358.60		3009
11/20/23		FRAME010 FRAMES POWER EQUIPMENT	1.67		3009
11/20/23		GAPPOWER GAP POWER	180.00		3009
11/20/23		GILMO020 GILMORE & ASSOCIATES, INC	2,346.35		3009
11/20/23		GLENM020 GLENMOORE FIREMEN'S RELIEF FUN	1,881.32		3009
11/20/23		GLSAYRE G. L. SAYRE	192.05		3009
11/20/23		HATHO010 H.A. THOMSON	2,486.00		3009

Check #	Check Date	Vendor	Amount Paid	Reconciled/Void Ref Num
11/20/23		HEIDELBE HEIDELBERG MATERIALS	245.77	3009
11/20/23		HELPNOW HELP-NOW, LLC	11,339.63	3009
11/20/23		IHLIC IDEAL HYDRAULICS, LLC	882.96	3009
11/20/23		KEENC010 KEEN COMPRESSED GAS COMPANY	45.50	3009
11/20/23		KRUPA010 KRUPANSKY FENCE CO., LLC	1,200.00	3009
11/20/23		LEVEN010 LEVENGOOD SEPTIC SERVICE	603.00	3009
11/20/23		LINESYST TELESYSTEM	4.94	3009
11/20/23		LIONV020 LIONVILLE FIREMEN'S RELIEF FUN	50,786.38	3009
11/20/23		LUDWI040 LUDWIG'S CORNER FIREMEN RELIEF	54,438.67	3009
11/20/23		LUDWI060 LUDWIG'S CORNER SUPPLY CO.	156.90	3009
11/20/23		MAGLO010 MAGLOCLEN	400.00	3009
11/20/23		MCKENNA MCKENNA SNYDER, LLC	18,728.83	3009
11/20/23		MCMAH010 BOWMAN CONSULTING GROUP, LTD	6,960.00	3009
11/20/23		MIDAT010 MID ATLANTIC CONNECTIONS, INC.	409.50	3009
11/20/23		NAPA0010 NAPA AUTO PARTS	912.10	3009
11/20/23		NAPAMORG NORTH END PARTS GROUP, LLC	523.86	3009
11/20/23		NEWHO010 NEW HOLLAND AUTO GROUP	2,545.44	3009
11/20/23		NOVUS NOVUS MAINTENANCE, LLC	2,160.00	3009
11/20/23		PECO0010 PECO	2,659.89	3009
11/20/23		PENNSTAT THE PENNSYLVANIA STATE UNIV	1,339.00	3009
11/20/23		PIPEL020 PIPE LINE PLASTICS, INC	565.65	3009
11/20/23		POWERD2 POWER DMS, INC	3,237.60	3009
11/20/23		PRED0010 PREDOC	285.00	3009
11/20/23		PSATS030 PSATS-CDL PROGRAM	161.00	3009
11/20/23		READMUHL READING MUHLENBERG CAREER	790.76	3009
11/20/23		ROBLITTL ROBERT E. LITTLE, INC.	168.86	3009
11/20/23		SEMPERON SEMPERON	1,212.78	3009
11/20/23		SERVI010 SERVICE TIRE TRUCK CENTERS	828.00	3009
11/20/23		SKYSHOOT SKYSHOOTER DISPLAYS BY ZY PYRO	4,600.00	3009
11/20/23		SNAPON01 SNAP-ON TOOLS	720.65	3009
11/20/23		STAPLADV STAPLES BUSINESS CREDIT	925.63	3009
11/20/23		STRATIX STRATIX SYSTEMS	1,447.92	3009
11/20/23		TACTWEAR TACTICAL WEAR LLC	356.75	3009
11/20/23		THEPR020 THE PROTECTION BUREAU	247.75	3009
11/20/23		TONYSCH TONY SCHEIVERT	100.00	3009
11/20/23		TRAISR TRAISR, LLC	2,729.20	3009
11/20/23		TRANS010 TRANS-FLEET CONCRETE, INC.	1,578.00	3009
11/20/23		TREASCC1 TREASURER COUNTY OF CHESTER	200.00	3009
11/20/23		ULINE ULINE	1,218.69	3009
11/20/23		VERIZ010 VERIZON	456.67	3009
11/20/23		VERIZFIO VERIZON	124.99	3009
11/20/23		VERIZOSP VERIZON - SPECIAL PROJECTS	434.28	3009
11/20/23		WALLA010 WALLACE TOWNSHIP	6,280.47	3009
11/20/23		WEAVERMU WEAVER MULCH	530.95	3009
11/20/23		WIGGISHR WIGGINS SHREDDING	800.00	3009
11/20/23		WITME010 WITMER PUBLIC SAFETY GROUP, INC	3,082.35	3009
11/20/23		YSM YSM	1,155.00	3009
11/20/23		MCMAH010 BOWMAN CONSULTING GROUP, LTD	3,432.50	3014
11/20/23		SETCO010 SETCOM	69.18	3015
11/20/23		UPPER030 UPPER UWCHLAN POLICE ASSOCIATO	3,600.00	3016

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UPPER UWCHLAN POLICE ASSOCIATO Continued					
Report Totals		<u>Paid</u>	<u>Void</u>	<u>Amount Paid</u>	<u>Amount Void</u>
	Checks:	100	1	421,288.52	6,147.06
	Direct Deposit:	0	0	0.00	0.00
	Total:	100	1	421,288.52	6,147.06

Range of Checking Accts: GENERAL to GENERAL Range of Check Ids:
 Report Type: All Checks Report Format: Detail Check Type: Computer: Y Manual: Y Dir Deposit: Y

Check #	Check Date	Vendor	Amount Paid	Charge Account	Account Type	Reconciled/Void Ref Num	Ref Seq	Acct
PO #	Item	Description				Contract		
23-01450	1	10/17/23 GENSERVE GENSERVE, LLC generator inspection-pw bldg	305.00	01-409-001-450 Contracted Services	Expenditure	10/31/23	2991 1	1
23-01450	2	generator inspection-twp bldg	360.00	01-409-003-450 Contracted Services	Expenditure		2	1
			665.00					
23-01460	1	10/16/23 STRYKER STRYKER SALES, LLC purchase 16 aed units	38,740.64	01-410-000-190 -ARPA - COVID Pay	Expenditure	10/31/23	2992 1	1
23-01460	2	credit issued to offset cost	5,454.48	01-410-000-190 ARPA - COVID Pay	Expenditure		2	1
			33,286.16					
23-01469	1	10/20/23 BURKHOLD BURKHOLDER MFG, INC. 30% Deposit for EMPC trailer	3,696.30	01-495-000-000 Expense Reclass	Expenditure	10/31/23	2996 1	1
23-01470	1	10/23/23 GLNURSER GARDNER'S NURSERY trunk-or-treat / flower bulbs	1,037.68	01-455-000-450 EAC - Contracted Services	Expenditure	10/31/23	2997 1	1
23-01549	1	11/07/23 ESRI ESRI arcgis license renewal 2023-24	538.00	01-407-000-220 Software	Expenditure		3006 1	1
23-01474	1	11/20/23 21ST 21st CENTURY MEDIA PHILLY mending chap 77, section 77-3	192.81	01-400-000-341 Advertising	Expenditure		3009 1	1
23-01500	1	11/20/23 A1TRAFFI A-1 TRAFFIC CONTROL PRODUCTS pavement markings	37,516.50	01-438-000-450 Contracted Services	Expenditure		3009 38	1
23-01526	1	11/20/23 ADVAN010 ADVANCED HORTICULTURAL SOLN hp - biofert turf	2,258.00	01-454-002-450 Contracted Services	Expenditure		3009 99	1
23-01526	2	ff - liquid biological	1,839.00	01-454-003-450 Contracted Services	Expenditure		100	1
			4,097.00					
23-01476	1	11/20/23 AQUAP010 AQUA PA twp	112.03	01-409-003-360 utilities	Expenditure		3009 2	1
23-01476	2	twp	25.00	01-409-003-360 utilities	Expenditure		3	1
23-01476	3	upland	246.75	01-454-005-360 utilities	Expenditure		4	1
23-01476	4	upland	176.21	01-454-005-360 utilities	Expenditure		5	1
23-01476	5	pw	99.00	01-409-001-360 utilities	Expenditure		6	1
23-01476	6	milford	23.18	01-409-004-360 utilities	Expenditure		7	1
23-01476	7	hickory park	192.90	01-454-002-360 utilities	Expenditure		8	1

Check #	Check Date	Vendor	Amount Paid	Charge Account	Account Type	Reconciled/Void Contract	Ref Num	
PO #	Item	Description					Ref Seq	Acct
AQUA PA Continued								
23-01476	8	ff	56.32	01-454-003-360	Expenditure		9	1
				Utilities				
23-01476	9	upland	20.89	01-454-005-360	Expenditure		10	1
				Utilities				
			<u>952.28</u>					
11/20/23 ATMOBIL AT&T MOBILITY 3009								
23-01566	1	pd	418.54	01-410-000-320	Expenditure		163	1
				Telephone				
23-01566	2	admin	60.21	01-400-000-320	Expenditure		164	1
				Telephone				
23-01566	3	codes	60.21	01-413-000-320	Expenditure		165	1
				Telephone				
23-01566	4	pw	103.28	01-438-000-320	Expenditure		166	1
				Telephone				
23-01566	5	pw ipad	25.26	01-438-000-322	Expenditure		167	1
				Ipad Expense				
			<u>667.50</u>					
11/20/23 AXONENTE AXON ENTERPRISE, INC 3009								
23-01527	1	pd - taser instructor	990.00	01-410-000-316	Expenditure		101	1
				Training/Seminar				
23-01527	2	pd - magnet mount	60.70	01-410-000-238	Expenditure		102	1
				Clothing/Uniforms				
23-01527	3	pd - molle mount/magnet mount	318.75	01-410-000-238	Expenditure		103	1
				Clothing/Uniforms				
			<u>1,369.45</u>					
11/20/23 BESTL140 BEST LINE EQUIPMENT 3009								
23-01575	1	pw - bobcat belts/hardware	170.29	01-438-000-235	Expenditure		177	1
				Vehicle Maintenance				
11/20/23 BINA VITHLANI 3009								
23-01560	1	tree lighting-cookies (300)	600.00	01-454-001-201	Expenditure		154	1
				Park & Rec Special Events				
11/20/23 BLHEATIN B&L OTT HEATING AND AIR LLC 3009								
23-01557	1	milford-thermostat install	717.00	01-409-004-450	Expenditure		136	1
				Contracted Services				
11/20/23 BRANDSPC BRANDYWINE VALLEY SPCA 3009								
23-01528	1	strays	1,075.62	01-422-000-530	Expenditure		104	1
				Contributions/SPCA				
11/20/23 BRANDWIN BRANDYWINE CONSERVANCY 3009								
23-01478	1	village concept plan 663.00.87	5,110.72	01-414-002-367	Expenditure		12	1
				General Planning				
23-01478	2	comp plan update 663.00.88	318.75	01-414-001-365	Expenditure		13	1
				Comp Plan Update				
23-01478	3	village concept plan 663.00.87	247.50	01-414-002-367	Expenditure		14	1
				General Planning				

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PO #	Item	Description							
23-01478	4	BRANDYWINE CONSERVANCY Continued comp plan update 663.00.88	1,612.39	01-414-001-365 Comp Plan Update	Expenditure		15	1	
			<u>7,289.36</u>						
23-01477	1	11/20/23 BSTARNER BOB STARNER tree lighting musician	300.00	01-454-001-201 Park & Rec Special Events	Expenditure		3009 11	1	
23-01555	1	11/20/23 BUCKL010 BUCKLEY, BRION, MCGUIRE, MORRI twp oct services	2,206.90	01-404-000-311 Non Reimbursable Legal	Expenditure		3009 135	1	
23-01479	1	11/20/23 BURKHOLD BURKHOLDER MFG, INC. (24)round bumpers/(6) d-rings	142.50	01-454-001-235 Vehicle Maintenance	Expenditure		3009 16	1	
23-01480	1	11/20/23 CAPJUNK CAPTAIN JUNK e-waste event	2,000.00	01-455-000-450 EAC - Contracted Services	Expenditure		3009 17	1	
23-01482	1	11/20/23 CEDAR010 CEDAR HOLLOW RECYCLING pw - 34.72 units of dirt	277.76	01-438-000-450 Contracted Services	Expenditure		3009 18	1	
23-01546	1	11/20/23 CHARLHIG CHARLES A HIGGINS & SONS rt100/ticond - flasher fail	2,372.00	01-434-000-450 Contracted Services	Expenditure		3009 129	1	
23-01568	1	11/20/23 CIVIC010 CIVIC PLUS 2024 civic send annual fee	1,653.42	01-407-000-240 Web Page	Expenditure		3009 168	1	
23-01568	2	2024 hosting & support	6,629.70	01-407-000-240 Web Page	Expenditure		169	1	
			<u>8,283.12</u>						
23-01484	1	11/20/23 CJTIRES CJ'S TIRE & AUTOMOTIVE SERVICE pd - (8) dynapro hp2 ra33x1	3,247.84	01-410-000-235 Vehicle Maintenance	Expenditure		3009 20	1	
23-01485	1	11/20/23 COLON010 COLONIAL ELECTRIC SUPPLY CO., ff - (5) led 63 & (3) led 36	143.71	01-454-003-250 Maintenance & Repairs	Expenditure		3009 21	1	
23-01524	1	11/20/23 COMCA010 COMCAST hp	261.14	01-454-002-450 Contracted Services	Expenditure		3009 90	1	
23-01524	2	pw	263.39	01-409-001-450 Contracted Services	Expenditure		91	1	
23-01524	3	twp	615.47	01-409-003-450 Contracted Services	Expenditure		92	1	

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PO #	Item	Description					Seq	Acct
COMCAST		Continued						
23-01524	4	upland	406.91	01-454-005-450	Expenditure		93	1
			<u>1,546.91</u>	Contracted Services				
11/20/23		COREMAIN CORE & MAIN LP					3009	
23-01529	1	pw - replace aqua twin pipes	9,043.58	01-409-001-250	Expenditure		105	1
				Maint & Repair				
23-01529	2	pw - replace pe tubing	900.00	01-409-001-250	Expenditure		106	1
			<u>9,943.58</u>	Maint & Repair				
11/20/23		CPL CENTER FOR POLICE LEADERSHIP					3009	
23-01545	1	Leadership devel course 12/6-7	890.00	01-410-000-316	Expenditure		128	1
				Training/Seminar				
11/20/23		CRAFCO CRAFCO, INC					3009	
23-01513	1	pw - drivebelt	40.31	01-438-000-235	Expenditure		75	1
				Vehicle Maintenance				
23-01513	2	pw-fuel/oil/air filter/hose	2,854.67	01-438-000-235	Expenditure		76	1
			<u>2,894.98</u>	Vehicle Maintenance				
11/20/23		CRYST010 CRYSTAL SPRINGS					3009	
23-01547	1	pw-kitchen supplies	35.19	01-438-000-200	Expenditure		130	1
				Supplies				
11/20/23		CUMMWAGN CUMMINS-WAGNER CO, INC					3009	
23-01486	1	pw bldg - compressor repair	924.50	01-409-001-450	Expenditure		22	1
				Contracted Services				
11/20/23		DAILY102 THE DAILY LOCAL					3009	
23-01559	1	52-week subscription	1,331.00	01-400-000-420	Expenditure		153	1
				Dues/Subscriptions/Mem				
11/20/23		DELA030 DELAWARE VALLEY HEALTH TRUST					3009	
23-01525	1	admin	5,549.38	01-401-000-156	Expenditure		94	1
				Employee Benefit Expens				
23-01525	2	pd	35,027.43	01-410-000-156	Expenditure		95	1
				Employee Benefit Expense				
23-01525	3	codes	4,277.94	01-413-000-156	Expenditure		96	1
				Employee Benefit Expens				
23-01525	4	pw	15,087.33	01-438-000-156	Expenditure		97	1
				Employee Benefit Expense				
23-01525	5	pw facilities	2,599.34	01-438-001-156	Expenditure		98	1
			<u>62,541.42</u>	Employee Benefit Expense				
11/20/23		DEWEE010 DEWEES BROTHERS PLUMBING & HEA					3009	
23-01548	1	upland-connect radiators	1,947.26	01-454-005-250	Expenditure		131	1
				Repairs & Maint				

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PO #	Item	Description							
23-01488	11/20/23	EAGLE100 EAGLE SERVICE CENTER, INC. towing of stolen vehicle	125.00	01-410-000-450 Contracted Services	Expenditure		3009 24	1	
23-01576	11/20/23	EAGLEPEQ EAGLE POWER & EQUIPMENT pw - replacement switch	57.32	01-438-000-235 Vehicle Maintenance	Expenditure		3009 178	1	
23-01558	11/20/23	EAGLHARD EAGLE HARDWARE tape measure	24.99	01-438-000-260 Small Tools & Equipment	Expenditure		3009 137	1	
23-01558	2	upland - construction adhesive	6.99	01-454-005-250 Repairs & Maint	Expenditure		138	1	
23-01558	3	codes - tape measure	19.99	01-413-000-200 Supplies	Expenditure		139	1	
23-01558	4	parks - key	2.99	01-454-001-200 Supplies	Expenditure		140	1	
23-01558	5	pw bldg - downspout band	11.94	01-409-001-250 Maint & Repair	Expenditure		141	1	
23-01558	6	upland - misc items	14.98	01-454-005-200 Supplies	Expenditure		142	1	
23-01558	7	misc items	16.98	01-438-000-200 Supplies	Expenditure		143	1	
23-01558	8	pd - batteries	31.98	01-410-000-200 Supplies	Expenditure		144	1	
23-01558	9	upland - zip ties	30.98	01-454-005-200 Supplies	Expenditure		145	1	
23-01558	11	upland - batteries	6.29	01-454-005-250 Repairs & Maint	Expenditure		146	1	
23-01558	12	ff - line/utility knife	32.98	01-454-003-250 Maintenance & Repairs	Expenditure		147	1	
23-01558	13	pw - 48" level	49.99	01-438-000-260 Small Tools & Equipment	Expenditure		148	1	
23-01558	14	pw - 6x3 ss edger	12.99	01-438-000-260 Small Tools & Equipment	Expenditure		149	1	
23-01558	15	parks - padlocks	90.92	01-454-001-200 Supplies	Expenditure		150	1	
23-01558	16	parks - timer	31.99	01-454-001-200 Supplies	Expenditure		151	1	
23-01558	17	upland - propane exchange	22.99	01-454-005-231 Propane & Heating Oil	Expenditure		152	1	
			409.97						
23-01587	11/20/23	EASTB020 EAST BRANDYWINE FIREMEN'S RELI east brandywine firemens relie	5,916.49	01-411-002-530 Contributions-Fire Relief	Expenditure		3009 184	1	
23-01487	11/20/23	ECKERTSE ECKERT SEAMANS twp - sept services	649.00	01-404-000-311 Non Reimbursable Legal	Expenditure		3009 23	1	

Check #	Check Date	Vendor	Amount Paid	Charge Account	Account Type	Reconciled/Void Contract	Ref Num	Ref Seq	Num Acct
PO #	Item	Description							
L 23-01573	11/20/23	EDMUN010 EDMUNDS GOVTECH					3009		
		2024-software maint 50%	5,780.87	01-407-000-220 Software	Expenditure		174	1	
23-01573	2	2024-cloud hosting 50%	5,780.86	01-407-000-220 Software	Expenditure		175	1	
			<u>11,561.73</u>						
23-01530	11/20/23	ENNISPNT ENNIS-FLINT, INC.					3009		
		pd - traffic stop lines	2,378.40	01-410-000-316 Training/Seminar	Expenditure		107	1	
23-01550	11/20/23	FIZZA010 FIZZANO BROS.					3009		
		ff - wire mesh sheets	106.00	01-454-003-250 Maintenance & Repairs	Expenditure		132	1	
23-01499	11/20/23	FLEXIBEN FLEXIBLE BENEFIT ADMINISTRATOR					3009		
		pd - september services	56.00	01-410-000-450 Contracted Services	Expenditure		37	1	
23-01489	11/20/23	FOLEYINC FOLEY, INCORPORATED					3009		
		asst backhoe parts	358.60	01-438-000-235 Vehicle Maintenance	Expenditure		25	1	
23-01570	11/20/23	FRAME010 FRAMES POWER EQUIPMENT					3009		
		pw facilities - hardware	1.67	01-438-001-200 Supplies - Facilities	Expenditure		172	1	
23-01551	11/20/23	GAPPOWER GAP POWER					3009		
		ff - concrete buggy rental	180.00	01-454-003-250 Maintenance & Repairs	Expenditure		133	1	
23-01562	11/20/23	GILMO020 GILMORE & ASSOCIATES, INC					3009		
		oct monthly services	1,590.10	01-408-000-313 Non Reimbursable	Expenditure		156	1	
23-01562	2	ms4 permit - october	756.25	01-408-000-368 MS4 Expenses	Expenditure		157	1	
			<u>2,346.35</u>						
23-01586	11/20/23	GLENM020 GLENMOORE FIREMEN'S RELIEF FUN					3009		
		glenmoore firemens relief	1,881.32	01-411-002-530 Contributions-Fire Relief	Expenditure		183	1	
23-01490	11/20/23	GLSAYRE G. L. SAYRE					3009		
		(2) band clamp	109.14	01-438-000-235 Vehicle Maintenance	Expenditure		26	1	
23-01490	2	(1) band clamp, (1) strap	82.91	01-438-000-235 Vehicle Maintenance	Expenditure		27	1	
			<u>192.05</u>						
23-01491	11/20/23	HATHO010 H.A. THOMSON					3009		
		2024 treasure bond renewal	2,486.00	01-400-000-350 Insurance-Bonding	Expenditure		28	1	

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PO #	Item	Description							
23-01579	11/20/23	HEIDELBE HEIDELBERG MATERIALS					3009		
	1	pw bldg - 14.85 ton	245.77	01-409-001-250	Expenditure		181	1	
				Maint & Repair					
23-01492	11/20/23	HELPNOW HELP-NOW, LLC					3009		
	1	twp - service tickets	950.00	01-407-000-450	Expenditure		29	1	
				Contracted Services					
23-01531	1	guardian monthly services	2,934.63	01-407-000-450	Expenditure		108	1	
				Contracted Services					
23-01531	2	upland-install camera system	7,455.00	01-454-005-250	Expenditure		109	1	
				Repairs & Maint					
			11,339.63						
23-01493	11/20/23	IHLLC IDEAL HYDRAULICS, LLC					3009		
	1	seal/labor for telescopic cyls	882.96	01-438-000-235	Expenditure		30	1	
				Vehicle Maintenance					
23-01552	11/20/23	KEENC010 KEEN COMPRESSED GAS COMPANY					3009		
	1	pw - cylinder rental	45.50	01-438-000-450	Expenditure		134	1	
				Contracted Services					
23-01494	11/20/23	KRUPA010 KRUPANSKY FENCE CO., LLC					3009		
	1	ff swing gate & posts	1,200.00	01-454-003-250	Expenditure		31	1	
				Maintenance & Repairs					
23-01497	11/20/23	LEVEN010 LEVENGOOD SEPTIC SERVICE					3009		
	1	hp - pumped holding tank	301.50	01-454-002-450	Expenditure		34	1	
				Contracted Services					
23-01497	2	hp - pumped holding tank	301.50	01-454-002-450	Expenditure		35	1	
				Contracted Services					
			603.00						
23-01561	11/20/23	LINESYST TELESYSTEM					3009		
	1	admin	4.94	01-409-003-320	Expenditure		155	1	
				Telephone					
23-01588	11/20/23	LIONV020 LIONVILLE FIREMEN'S RELIEF FUN					3009		
	1	lionville fire relief	50,786.38	01-411-002-530	Expenditure		185	1	
				Contributions-Fire Relief					
23-01589	11/20/23	LUDWIO40 LUDWIG'S CORNER FIREMEN RELIEF					3009		
	1	ludwigs corner fire relief	54,438.67	01-411-002-530	Expenditure		186	1	
				Contributions-Fire Relief					
23-01501	11/20/23	LUDWIO60 LUDWIG'S CORNER SUPPLY CO.					3009		
	1	ff - misc hardware	4.48	01-454-003-250	Expenditure		39	1	
				Maintenance & Repairs					
23-01501	2	pw - misc hardware	3.00	01-438-000-235	Expenditure		40	1	
				Vehicle Maintenance					
23-01501	3	pw - misc hardware/oil	149.42	01-438-000-235	Expenditure		41	1	
				Vehicle Maintenance					
			156.90						

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PO #	Item	Description					Ref Seq	Acct
11/20/23		MAGLO010 MAGLOCLEN					3009	
23-01532	1	pd - annual membership	400.00	01-410-000-450 Contracted Services	Expenditure		110	1
11/20/23		MCKENNA MCKENNA SNYDER, LLC					3009	
23-01496	1	struble july-sept services	7,667.50	01-404-000-305 Reimbursable CU Legal	Expenditure		32	1
23-01496	2	shyrock(nlt) july-sept service	11,061.33	01-404-000-310 Reimbursable Legal Fees	Expenditure		33	1
			<u>18,728.83</u>					
11/20/23		MCMAH010 BOWMAN CONSULTING GROUP, LTD					3009	
23-01502	1	tasa grant-313607-01-001	3,602.50	01-408-000-313 Non Reimbursable	Expenditure		42	1
23-01502	2	traffic engineer 310018-01-001	247.50	01-408-000-311 Traffic Engineering	Expenditure		43	1
23-01502	3	struble trail 311343-01-001	46.25	01-408-000-310 Reimbursable Engineer	Expenditure		44	1
23-01502	4	traffic engineer 311430-01-001	3,015.00	01-408-000-311 Traffic Engineering	Expenditure		45	1
23-01502	5	ducklings- 311430-01-001	48.75	01-408-000-313 Non Reimbursable	Expenditure		46	1
			<u>6,960.00</u>					
11/20/23		MIDAT010 MID ATLANTIC CONNECTIONS, INC.					3009	
23-01503	1	ff-replace upper lot light box	409.50	01-454-003-250 Maintenance & Repairs	Expenditure		47	1
11/20/23		NAPA0010 NAPA AUTO PARTS					3009	
23-01504	1	pw - oil drain pedestal	315.00	01-438-000-235 Vehicle Maintenance	Expenditure		48	1
23-01504	2	pw - oil filter wrence	51.56	01-438-000-235 Vehicle Maintenance	Expenditure		49	1
23-01504	3	pd - wiper blades	216.12	01-410-000-235 Vehicle Maintenance	Expenditure		50	1
23-01504	4	pw - fuel/oil filters	76.70	01-438-000-245 Highway Supplies	Expenditure		51	1
23-01504	5	pw - fuel/oil filters	171.82	01-438-000-235 Vehicle Maintenance	Expenditure		52	1
23-01504	6	pw - 5w40	25.99	01-438-000-235 Vehicle Maintenance	Expenditure		53	1
23-01504	7	pd - gauge/blow gun/adapter	54.91	01-410-000-260 Small Tools & Equipment	Expenditure		54	1
			<u>912.10</u>					
11/20/23		NAPAMORG NORTH END PARTS GROUP, LLC					3009	
23-01505	1	pd - deicer	29.94	01-438-000-235 Vehicle Maintenance	Expenditure		55	1
23-01505	2	pw - filters	233.93	01-438-000-235 Vehicle Maintenance	Expenditure		56	1

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Check #	Check Date	Vendor	Amount Paid	Charge Account	Account Type	Reconciled/Void Contract	Ref Num	Ref Seq	Acct
PO #	Item	Description							
<hr/>									
23-01505	3	NORTH END PARTS GROUP, LLC pw - brake master cylinder	259.99	01-438-000-235 Vehicle Maintenance	Expenditure		57	1	
			<u>523.86</u>						
23-01506	1	11/20/23 NEWHO010 NEW HOLLAND AUTO GROUP pd - oil filters/elements	309.90	01-410-000-235 Vehicle Maintenance	Expenditure		58	1	3009
23-01506	2	pd - v belt/pump assembly #329	130.39	01-410-000-235 Vehicle Maintenance	Expenditure		59	1	
23-01506	3	pw - wheel nuts/stud hub trk 3	98.70	01-438-000-235 Vehicle Maintenance	Expenditure		60	1	
23-01506	4	pd - thermostat/seal #329	14.12	01-410-000-235 Vehicle Maintenance	Expenditure		61	1	
23-01506	5	pd - exhaus/hego sensors #328	206.74	01-410-000-235 Vehicle Maintenance	Expenditure		62	1	
23-01506	6	pd - remote tr #327	545.79	01-410-000-235 Vehicle Maintenance	Expenditure		63	1	
23-01506	7	pw - ab sensor	845.00	01-438-000-235 Vehicle Maintenance	Expenditure		64	1	
23-01506	8	pw - tail light (2)	268.50	01-438-000-235 Vehicle Maintenance	Expenditure		65	1	
23-01506	9	pw - aa filter (2)	126.30	01-438-000-235 Vehicle Maintenance	Expenditure		66	1	
			<u>2,545.44</u>						
23-01565	1	11/20/23 NOVUS NOVUS MAINTENANCE, LLC twp - october services	1,200.00	01-409-003-450 Contracted Services	Expenditure		160	1	3009
23-01565	2	upland - october services	720.00	01-454-005-450 Contracted Services	Expenditure		161	1	
23-01565	3	pw - october services	240.00	01-409-001-450 Contracted Services	Expenditure		162	1	
			<u>2,160.00</u>						
23-01544	1	11/20/23 PEC00010 PECO ff - estimated cost	352.58	01-454-003-360 Utilities	Expenditure		119	1	3009
23-01544	2	upland	215.79	01-454-005-360 Utilities	Expenditure		120	1	
23-01544	3	twp	780.63	01-409-003-360 Utilities	Expenditure		121	1	
23-01544	4	twp	86.65	01-409-003-360 Utilities	Expenditure		122	1	
23-01544	5	ff	246.77	01-454-003-360 Utilities	Expenditure		123	1	
23-01544	6	pw	396.43	01-409-001-360 Utilities	Expenditure		124	1	
23-01544	7	twp	452.88	01-409-003-360 Utilities	Expenditure		125	1	
23-01544	8	milford	53.73	01-409-004-360 Utilities	Expenditure		126	1	

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Check #	Check Date	Vendor	Amount Paid	Charge Account	Account Type	Reconciled/Void Contract	Ref Num	
PO #	Item	Description					Ref Seq	Acct
PECO		Continued						
23-01544	9	hp	74.43	01-454-002-360	Expenditure		127	1
				Utilities				
			<u>2,659.89</u>					
11/20/23		PENNSTAT THE PENNSYLVANIA STATE UNIV					3009	
23-01574	1	pd - 2/12-2/23/24 - pozza	1,339.00	01-410-000-316	Expenditure		176	1
				Training/Seminar				
11/20/23		PIPELO20 PIPE LINE PLASTICS, INC					3009	
23-01580	1	stiffener/coupling/water serv	565.65	01-409-001-250	Expenditure		182	1
				Maint & Repair				
11/20/23		POWERD2 POWER DMS, INC					3009	
23-01572	1	2024 annual renewal	3,237.60	01-407-000-220	Expenditure		173	1
				Software				
11/20/23		PRED0010 PREDOC					3009	
23-01578	1	pw bldg - inlet inspection	285.00	01-409-001-250	Expenditure		180	1
				Maint & Repair				
11/20/23		PSATS030 PSATS-CDL PROGRAM					3009	
23-01564	1	cdl drug dot/alcohol-poley	101.00	01-438-000-450	Expenditure		158	1
				Contracted Services				
23-01564	2	cdl drug dot-stewart	60.00	01-438-000-450	Expenditure		159	1
				Contracted Services				
			<u>161.00</u>					
11/20/23		READMUHL READING MUHLENBERG CAREER					3009	
23-01508	1	pd-mc eagles tees-reimbursed	790.76	01-410-000-340	Expenditure		67	1
				Public Relations				
11/20/23		ROBLITTL ROBERT E. LITTLE, INC.					3009	
23-01569	1	fuel pump	36.89	01-454-001-235	Expenditure		170	1
				Vehicle Maintenance				
23-01569	2	chain loop/20" bar	131.97	01-454-001-200	Expenditure		171	1
				Supplies				
			<u>168.86</u>					
11/20/23		SEMPERON SEMPERON					3009	
23-01533	1	twp	970.22	01-409-003-320	Expenditure		111	1
				Telephone				
23-01533	2	pw	242.56	01-409-001-320	Expenditure		112	1
				Telephone				
			<u>1,212.78</u>					
11/20/23		SERVIO10 SERVICE TIRE TRUCK CENTERS					3009	
23-01512	1	wrangler workhorse- trks 10/12	828.00	01-438-000-235	Expenditure		74	1
				Vehicle Maintenance				
11/20/23		SKYSHOOT SKYSHOOTER DISPLAYS BY ZY PYRO					3009	
23-01509	1	tree lighting -balance due	4,600.00	01-454-001-201	Expenditure		68	1
				Park & Rec Special Events				

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Check #	Check Date	Vendor	Amount Paid	Charge Account	Account Type	Reconciled/Void Contract	Ref Num	Ref Seq	Acct
PO #	Item	Description							
	11/20/23	SNAPON01 SNAP-ON TOOLS					3009		
23-01510	1	pw - ratchet (2)	316.50	01-438-000-260	Expenditure		69	1	
				Small Tools & Equipment					
23-01510	2	pw - wrench set/oxy sen skt	298.75	01-438-000-260	Expenditure		70	1	
				Small Tools & Equipment					
23-01510	5	pw - blow gun kit	105.40	01-410-000-260	Expenditure		71	1	
				Small Tools & Equipment					
			<u>720.65</u>						
	11/20/23	STAPLADV STAPLES BUSINESS CREDIT					3009		
23-01537	1	twp	557.19	01-401-000-200	Expenditure		116	1	
				Supplies					
23-01537	2	pd	316.68	01-410-000-200	Expenditure		117	1	
				Supplies					
23-01537	3	pw	51.76	01-438-000-200	Expenditure		118	1	
				Supplies					
			<u>925.63</u>						
	11/20/23	STRATIX STRATIX SYSTEMS					3009		
23-01511	1	10/26 - 1/25/24 billing period	718.00	01-401-000-450	Expenditure		72	1	
				Contracted Services					
23-01511	2	twp - color copies	729.92	01-401-000-200	Expenditure		73	1	
				Supplies					
			<u>1,447.92</u>						
	11/20/23	TACTWEAR TACTICAL WEAR LLC					3009		
23-01514	1	uniform vest w/ front molle	356.75	01-410-000-238	Expenditure		77	1	
				Clothing/Uniforms					
	11/20/23	THEPRO20 THE PROTECTION BUREAU					3009		
23-01515	1	upland - receiver maintenance	247.75	01-454-005-450	Expenditure		78	1	
				Contracted Services					
	11/20/23	TONYSCH TONY SCHEIVERT					3009		
23-01498	1	cell phone reimbursement	100.00	01-400-000-320	Expenditure		36	1	
				Telephone					
	11/20/23	TRAISR TRAISR, LLC					3009		
23-01516	1	september monthly services	2,729.20	01-407-000-220	Expenditure		79	1	
				Software					
	11/20/23	TRANS010 TRANS-FLEET CONCRETE, INC.					3009		
23-01577	1	ff - bleacher sidewall repair	1,578.00	01-454-003-250	Expenditure		179	1	
				Maintenance & Repairs					
	11/20/23	TREASCC1 TREASURER COUNTY OF CHESTER					3009		
23-01483	1	pd - scenerio evoc 9/27/23	200.00	01-410-000-316	Expenditure		19	1	
				Training/Seminar					
	11/20/23	ULINE ULINE					3009		
23-01517	1	l-desk 66x78	1,218.69	01-409-001-250	Expenditure		80	1	
				Maint & Repair					

Check #	Check Date	Vendor	Amount Paid	Charge Account	Account Type	Reconciled/Void Contract	Ref Num
PO #	Item	Description					Ref Seq Acct
11/20/23		VERIZ010 VERIZON					3009
23-01518	1	milford	299.48	01-409-004-320 Telephone	Expenditure		81 1
23-01518	2	pw	157.19	01-409-001-320 Telephone	Expenditure		82 1
			<u>456.67</u>				
11/20/23		VERIZFIO VERIZON					3009
23-01519	1	ff	124.99	01-454-003-320 Telephone	Expenditure		83 1
11/20/23		VERIZOSP VERIZON - SPECIAL PROJECTS					3009
23-01523	1	nov 2023 conduit occupancy	217.14	01-434-000-450 Contracted Services	Expenditure		88 1
23-01523	2	dec 2023 conduit occupancy	217.14	01-434-000-450 Contracted Services	Expenditure		89 1
			<u>434.28</u>				
11/20/23		WALLA010 WALLACE TOWNSHIP					3009
23-01520	1	2022 earned income tax	4,540.61	01-400-000-464 Wallace Twp. Tax Agreement	Expenditure		84 1
23-01520	2	2023 property tax	1,739.86	01-400-000-464 Wallace Twp. Tax Agreement	Expenditure		85 1
			<u>6,280.47</u>				
11/20/23		WEAVERMU WEAVER MULCH					3009
23-01521	1	ff - straw/soil/stone	530.95	01-454-003-250 Maintenance & Repairs	Expenditure		86 1
11/20/23		WIGGISHR WIGGINS SHREDDING					3009
23-01522	1	eac - fall ewaste event	800.00	01-455-000-450 EAC - Contracted Services	Expenditure		87 1
11/20/23		WITME010 WITMER PUBLIC SAFETY GROUP, INC					3009
23-01535	1	returned item paid in error	69.00	01-410-000-238 Clothing/Uniforms	Expenditure		113 1
23-01535	2	firearms (3)	3,151.35	01-410-000-260 Small Tools & Equipment	Expenditure		114 1
			<u>3,082.35</u>				
11/20/23		YSM YSM					3009
23-01536	1	hp project - 21uut-02	1,155.00	01-454-002-450 Contracted Services	Expenditure		115 1
11/20/23		MCMAH010 BOWMAN CONSULTING GROUP, LTD					3014
23-01590	1	lt conest/park crash documents	1,155.00	01-408-000-311 Traffic Engineering	Expenditure		1 1
23-01590	2	tasa grant 313607-01-001	195.00	01-408-000-313 Non Reimbursable	Expenditure		2 1
23-01590	3	traffic engineer 311430-01-001	2,000.00	01-408-000-311 Traffic Engineering	Expenditure		3 1

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Check #	Check Date	Vendor	Amount Paid	Charge Account	Account Type	Reconciled/Void Contract	Ref Num	Ref Seq	Acct
PO #	Item	Description							
BOWMAN CONSULTING GROUP, LTD Continued									
23-01590	4	traffic engineer 310018-01-001	82.50	01-408-000-311	Expenditure		4	1	
				Traffic Engineering					
			3,432.50						
11/20/23 SETCO010 SETCOM									
23-01591	1	pd- mic clip #3211 repair	69.18	01-410-000-260	Expenditure		3015	1	1
				Small Tools & Equipment					
11/20/23 UPPER030 UPPER UWCHLAN POLICE ASSOCIATO									
23-01592	1	2023 - 3rd qtr dues	3,600.00	01-218-000-000	Expenditure		3016	1	1
				Police Association Dues (PAD)					

Report Totals		<u>Paid</u>	<u>Void</u>	<u>Amount Paid</u>	<u>Amount Void</u>
	Checks:	100	1	421,288.52	6,147.06
	Direct Deposit:	0	0	0.00	0.00
	Total:	100	1	421,288.52	6,147.06

Totals by Year-Fund					
Fund Description	Fund	Expend Total	Revenue Total	G/L Total	Total
General Fund	3-01	417,688.52	0.00	0.00	417,688.52
General Fund	X-01	3,600.00	0.00	0.00	3,600.00
Total of All Funds:		421,288.52	0.00	0.00	421,288.52

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Range of Checking Accts: GENERAL EFTS to GENERAL EFTS Range of Check Ids:
Report Type: All Checks Report Format: Super Condensed Check Type: Computer: Y Manual: Y Dir Deposit: Y

Check #	Check Date	Vendor	Amount Paid	Reconciled/Void	Ref Num
	11/08/23	BANKAMER BANK OF AMERICA	6,147.06		2999
	11/14/23	LOWES020 LOWES BUSINESS ACCOUNT	180.61		3002
	11/27/23	AQUAP010 AQUA PA	7,069.77		3004
	11/03/23	WEXBANK WEX BANK	9,884.20		3005
	11/10/23	STANDINS STANDARD INSURANCE COMPANY	3,625.45		3000

Report Totals	<u>Paid</u>	<u>Void</u>	<u>Amount Paid</u>	<u>Amount Void</u>
Checks:	5	0	26,907.09	0.00
Direct Deposit:	0	0	0.00	0.00
Total:	5	0	26,907.09	0.00

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Check #	Check Date	Vendor	Amount Paid	Charge Account	Account Type	Reconciled/Void Contract	Ref Num	Ref Seq	Acct
PO #	Item	Description							
		BANK OF AMERICA Continued							
23-01472	25	county of chester chesco pin	10.00	01-401-000-420	Expenditure		25	1	
				Dues/Subscriptions/Mem					
23-01472	26	amazon - bulletin board	73.88	01-401-000-200	Expenditure		26	1	
				Supplies					
23-01472	27	amazon - post its	19.44	01-401-000-200	Expenditure		27	1	
				Supplies					
23-01472	28	amazon - stamp pad	9.59	01-401-000-200	Expenditure		28	1	
				Supplies					
23-01472	29	staples - printer	229.99	01-401-000-200	Expenditure		29	1	
				Supplies					
23-01472	30	psats - 2023 summit montgo co	125.00	01-401-000-316	Expenditure		30	1	
				Training & Seminars					
23-01472	31	psats - 2023 summit montgo co	125.00	01-401-000-316	Expenditure		31	1	
				Training & Seminars					
23-01472	32	best line equip lever kit	206.22	01-438-000-245	Expenditure		32	1	
				Highway Supplies					
23-01472	33	tsc 12m boot	99.99	01-438-001-238	Expenditure		33	1	
				Uniforms - Facilities					
23-01472	34	amazon computer mouse	5.77	01-438-000-200	Expenditure		34	1	
				Supplies					
23-01472	35	eastwood torch nozzle/versa	169.54	01-438-000-260	Expenditure		35	1	
				Small Tools & Equipment					
23-01472	36	emedco diesel fuel oil	52.50	01-409-001-231	Expenditure		36	1	
				Propane & heating - PW bldg					
23-01472	37	bjs trunk or treat	22.78	01-454-001-201	Expenditure		37	1	
				Park & Rec Special Events					
23-01472	38	earthborne chipper blades	434.70	01-438-000-235	Expenditure		38	1	
				Vehicle Maintenance					
23-01472	39	somerset nursery trees	413.40	01-454-001-200	Expenditure		39	1	
				Supplies					
23-01472	40	dollar tree trunk or treat	7.95	01-454-001-201	Expenditure		40	1	
				Park & Rec Special Events					
23-01472	41	bjs trunk or treat	104.93	01-454-001-201	Expenditure		41	1	
				Park & Rec Special Events					
23-01472	42	applecross cc mgrs outing	90.60	01-401-000-200	Expenditure		42	1	
				Supplies					
23-01472	43	primo	146.22	01-401-000-200	Expenditure		43	1	
				Supplies					
23-01472	44	montesano village concept meet	62.19	01-401-000-200	Expenditure		44	1	
				Supplies					
23-01472	45	acme	48.11	01-401-000-200	Expenditure		45	1	
				Supplies					
23-01472	46	wcu	572.96	01-401-000-174	Expenditure		46	1	
				Tuition Reimbursements					
23-01472	47	wcu processing fee	16.33	01-401-000-174	Expenditure		47	1	
				Tuition Reimbursements					
			6,147.06						
	11/14/23	LOWES020 LOWES BUSINESS ACCOUNT					3002		
23-01539	1	trunk or treat items	13.27	01-454-001-201	Expenditure		1	1	
				Park & Rec Special Events					

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Range of Checking Accts: GENERAL EFTS to GENERAL EFTS Range of Check Ids:
Report Type: All Checks Report Format: Detail Check Type: Computer: Y Manual: Y Dir Deposit: Y

Check #	Check Date	Vendor	Amount Paid	Charge Account	Account Type	Reconciled/Void Contract	Ref Num
PO #	Item	Description					Seq Acct
	11/08/23	BANKAMER BANK OF AMERICA		(Replacement of: GENERAL	54545)		2999
23-01472	1	propper-rainsuit	139.96	01-410-000-238	Expenditure		1 1
				Clothing/Uniforms			
23-01472	2	ups	19.32	01-410-000-215	Expenditure		2 1
				Postage			
23-01472	3	amazon-magnets	14.99	01-410-000-200	Expenditure		3 1
				Supplies			
23-01472	4	hsi - instructor reauthorize	15.00	01-410-000-316	Expenditure		4 1
				Training/Seminar			
23-01472	5	hsi - new instructor membershi	35.00	01-410-000-316	Expenditure		5 1
				Training/Seminar			
23-01472	6	fed aviation admin drone reg	5.00	01-410-000-316	Expenditure		6 1
				Training/Seminar			
23-01472	7	psi services drone assessment	175.00	01-410-000-316	Expenditure		7 1
				Training/Seminar			
23-01472	8	amazon prime	14.99	01-410-000-420	Expenditure		8 1
				Dues/Subscription/Memb			
23-01472	9	amazon gun cleaning apron	22.99	01-410-000-260	Expenditure		9 1
				Small Tools & Equipment			
23-01472	10	amazon bullhorn	59.20	01-410-000-260	Expenditure		10 1
				Small Tools & Equipment			
23-01472	11	psi drone test fee	175.00	01-410-000-316	Expenditure		11 1
				Training/Seminar			
23-01472	12	party city trunk or treat	81.17	01-410-000-340	Expenditure		12 1
				Public Relations			
23-01472	13	cvs trunk or treat	7.82	01-410-000-340	Expenditure		13 1
				Public Relations			
23-01472	14	amazon medium duty shelving	93.98	01-410-000-740	Expenditure		14 1
				Computer/Furniture			
23-01472	15	hsi aed/cpr certification card	12.50	01-410-000-316	Expenditure		15 1
				Training/Seminar			
23-01472	16	shirts n more - jackets	447.00	01-410-000-238	Expenditure		16 1
				Clothing/Uniforms			
23-01472	17	msft	845.94	01-407-000-450	Expenditure		17 1
				Contracted Services			
23-01472	18	msft	261.90	01-407-000-450	Expenditure		18 1
				Contracted Services			
23-01472	19	adobe	21.19	01-407-000-220	Expenditure		19 1
				Software			
23-01472	20	adobe	21.19	01-407-000-220	Expenditure		20 1
				Software			
23-01472	21	limoncello empc training	424.80	01-415-000-316	Expenditure		21 1
				Training/Seminar			
23-01472	22	amazon - barn	26.99	01-401-000-200	Expenditure		22 1
				Supplies			
23-01472	23	ge applicances-filters	167.17	01-401-000-200	Expenditure		23 1
				Supplies			
23-01472	24	amazon - storage	11.87	01-401-000-200	Expenditure		24 1
				Supplies			

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Check #	Check Date	Vendor	Amount Paid	Charge Account	Account Type	Reconciled/Void Contract	Ref Num	Ref Seq	Acct
PO #	Item	Description							
LOWES BUSINESS ACCOUNT Continued									
23-01539	2	ff-bldg materials	151.82	01-454-003-250	Expenditure		2	1	
				Maintenance & Repairs					
23-01539	3	pw - cleaning products	15.52	01-438-000-200	Expenditure		3	1	
				Supplies					
			180.61						
11/27/23 AQUAP010 AQUA PA									
23-01541	1	217 hydrants	6,186.05	01-411-000-451	Expenditure		1	1	3004
				Hydrant expenses-Aqua					
23-01541	2	31 hydrants	883.72	01-411-000-451	Expenditure		2	1	
				Hydrant expenses-Aqua					
			7,069.77						
11/03/23 WEXBANK WEX BANK									
23-01542	1	admin	156.64	01-401-000-230	Expenditure		1	1	3005
				Gasoline & Oil					
23-01542	2	pd	5,049.66	01-410-000-230	Expenditure		2	1	
				Gasoline & Oil					
23-01542	3	codes	292.26	01-413-000-230	Expenditure		3	1	
				Gasoline & Oil					
23-01542	4	pw	2,638.87	01-438-000-230	Expenditure		4	1	
				Gasoline & Oil					
23-01542	5	pw facilities	1,746.77	01-438-001-230	Expenditure		5	1	
				Gasoline & Oil - Facilities					
			9,884.20						
11/10/23 STANDINS STANDARD INSURANCE COMPANY (Replacement of: PAYROLL EFTS 811)									
23-01473	1	admin	526.15	01-401-000-156	Expenditure		1	1	3000
				Employee Benefit Expens					
23-01473	2	pd	1,990.43	01-410-000-156	Expenditure		2	1	
				Employee Benefit Expense					
23-01473	3	codes	279.68	01-413-000-156	Expenditure		3	1	
				Employee Benefit Expens					
23-01473	4	pw	678.90	01-438-000-156	Expenditure		4	1	
				Employee Benefit Expense					
23-01473	5	pw facilities	150.29	01-438-001-156	Expenditure		5	1	
				Employee Benefit Expense					
			3,625.45						
Report Totals									
		Paid	Void	Amount Paid	Amount Void				
	Checks:	5	0	26,907.09	0.00				
	Direct Deposit:	0	0	0.00	0.00				
	Total:	5	0	26,907.09	0.00				

Totals by Year-Fund					
Fund Description	Fund	Expend Total	Revenue Total	G/L Total	Total
General Fund	3-01	26,907.09	0.00	0.00	26,907.09
Total of All Funds:		26,907.09	0.00	0.00	26,907.09

November 16, 2023
04:10 PM

Upper Uwchlan Township
Check Register By Check Id

Page No: 1

Range of Checking Accts: LIQUID FUELS to LIQUID FUELS Range of Check Ids:
Report Type: All Checks Report Format: Super Condensed Check Type: Computer: Y Manual: Y Dir Deposit: Y

Check #	Check Date	Vendor	Amount Paid	Reconciled/Void Ref Num
11/20/23	21ST	21st CENTURY MEDIA PHILLY	293.82	3010

Report Totals	<u>Paid</u>	<u>Void</u>	<u>Amount Paid</u>	<u>Amount Void</u>
Checks:	1	0	293.82	0.00
Direct Deposit:	0	0	0.00	0.00
Total:	1	0	293.82	0.00

November 16, 2023
04:08 PM

Upper Uwchlan Township
Check Payment Batch Verification Listing

Page No: 1

Batch Id: BABMAAS Batch Type: C Batch Date: 11/20/23 Checking Account: LIQUID FUELS G/L Credit: Expenditure G/L Credit
Generate Direct Deposit: N

Check No.	Check Date	Vendor #	Name	Payment Amt	Street 1 of Address to be printed on Check	Charge Account	Account Type	Status	Seq	Acct
PO #	Enc	Date	Item Description		Description					
		11/20/23	21ST		21st CENTURY MEDIA PHILLY					
23-01475	11/20/23	1	snow removal bids 9/20-9/27	293.82	21C ADVERTISING					
					04-432-000-450	Expenditure	Aprv		1	1
					Snow & Ice Contracted Services					
				293.82						

	<u>Count</u>	<u>Line Items</u>	<u>Amount</u>
Checks:	1	1	293.82

There are NO errors or warnings in this listing.

November 16, 2023
04:20 PM

Upper Uwchlan Township
Check Register By Check Id

Page No: 1

Range of Checking Accts: SOLID WASTE to SOLID WASTE Range of Check Ids:
Report Type: All Checks Report Format: Super Condensed Check Type: Computer: Y Manual: Y Dir Deposit: Y

Check #	Check Date	Vendor	Amount Paid	Reconciled/Void	Ref Num
11/20/23		AJBLO010 A.J. BLOENSKI	18,408.62		3011
11/20/23		ANDREAR ANDREA RACITI	302.40		3011
11/20/23		BUCKL010 BUCKLEY, BRION, MCGUIRE, MORRI	2,050.00		3011
11/20/23		CCSWA010 CCSWA	26,461.94		3011
11/20/23		TOTALREC TOTAL RECYCLE	5,352.87		3011
11/20/23		WMCORP WM CORPORATE SERVICES, INC	43,211.82		3011

Report Totals	<u>Paid</u>	<u>Void</u>	<u>Amount Paid</u>	<u>Amount Void</u>
Checks:	6	0	95,787.65	0.00
Direct Deposit:	0	0	0.00	0.00
Total:	6	0	95,787.65	0.00

Batch Id: BABMAAS Batch Type: C Batch Date: 11/20/23 Checking Account: SOLID WASTE G/L Credit: Expenditure G/L Credit
Generate Direct Deposit: N

Check No. PO #	Check Date Enc Date	Vendor # Name Item Description	Payment Amt	Street 1 of Address to be printed on Check Charge Account Description	Account Type	Status	Seq	Acct
23-01543	11/20/23	AJBL0010 A.J. BLOSENSKI 1 sw - november monthly services	18,408.62	A WASTE CONNECTIONS COMPANY 05-427-000-460 Contracted Services - Recycling	Expenditure	Aprv	7	1
			18,408.62					
23-01581	11/20/23	ANDREAR ANDREA RACITI 1 refund overpayment acct 2081-0	302.40	347 DARTMOUTH ROAD 05-495-000-000 Expense Reclass	Expenditure	Aprv	10	1
			302.40					
23-01554	11/20/23	BUCKL010 BUCKLEY, BRION, MCGUIRE, MORRI 1 trash collection letters	2,050.00	118 W. MARKET STREET 05-427-000-314 Legal Fees	Expenditure	Aprv	8	1
			2,050.00					
23-01481	11/20/23	CCSWA010 CCSWA 1 sw - 10/09 - 10/11	5,122.94	P. O. BOX 476 05-427-000-700 Tipping Fees	Expenditure	Aprv	1	1
23-01481	11/20/23	2 sw - 10/16 - 10/18	6,034.34	05-427-000-700 Tipping Fees	Expenditure	Aprv	2	1
23-01481	11/20/23	3 adjusted ticket from 5/19/21	82.56	05-427-000-700 Tipping Fees	Expenditure	Aprv	3	1
23-01481	11/20/23	4 sw - 10/23 - 10/31	9,921.11	05-427-000-700 Tipping Fees	Expenditure	Aprv	4	1
23-01481	11/20/23	5 sw - 11/01 - 11/07	5,466.11	05-427-000-700 Tipping Fees	Expenditure	Aprv	5	1
			26,461.94					
23-01534	11/20/23	TOTALREC TOTAL RECYCLE 1 october services 10/02-10/31	5,352.87	PO BOX 7250 05-427-000-725 Tipping Fees - Recycling	Expenditure	Aprv	6	1
			5,352.87					
23-01556	11/20/23	WMCORP WM CORPORATE SERVICES, INC 1 sw - october services	43,211.82	AS PAYMENT AGENT 05-427-000-450 Contracted Services	Expenditure	Aprv	9	1
			43,211.82					

Checks:	<u>Count</u> 6	<u>Line Items</u> 10	<u>Amount</u> 95,787.65
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There are NO errors or warnings in this listing.

November 16, 2023
05:02 PM

Upper Uwchlan Township
Check Register By Check Id

Page No: 1

Range of Checking Accts: STORM WATER MGT to STORM WATER MGT Range of Check Ids:
Report Type: All Checks Report Format: Super Condensed Check Type: Computer: Y Manual: Y Dir Deposit: Y

Check #	Check Date	Vendor	Amount Paid	Reconciled/Void	Ref Num
	11/20/23	HIGHW010 HIGHWAY MATERIALS, INC.	874.36		3012
Report Totals					
	Checks:	<u>Paid</u>	<u>Void</u>	<u>Amount Paid</u>	<u>Amount Void</u>
		1	0	874.36	0.00
	Direct Deposit:	<u>0</u>	<u>0</u>	<u>0.00</u>	<u>0.00</u>
	Total:	<u>1</u>	<u>0</u>	<u>874.36</u>	<u>0.00</u>

Batch Id: BABMAAS Batch Type: C Batch Date: 11/20/23 Checking Account: STORM WATER MGT G/L Credit: Expenditure G/L Credit
Generate Direct Deposit: N

Check No.	Check Date	Vendor #	Name	Payment Amt	Street 1 of Address to be printed on Check	Charge Account	Account Type	Status	Seq	Acct
PO #	Enc Date	Item	Description		Description					
	11/20/23		HIGHW010 HIGHWAY MATERIALS, INC.		PO BOX 62879					
23-01495	11/20/23	1	auburn drive	279.45	08-446-000-250	Maintenance & repair	Expenditure	Aprv	1	1
23-01495	11/20/23	2	auburn drive	594.91	08-446-000-250	Maintenance & repair	Expenditure	Aprv	2	1
				874.36						
Checks:	<u>Count</u>	<u>Line Items</u>	<u>Amount</u>							
	1	2	874.36							

There are NO errors or warnings in this listing.

November 16, 2023
04:59 PM

Upper Uwchlan Township
Check Register By Check Id

Page No: 1

Range of Checking Accts: CAPITAL to CAPITAL Range of Check Ids:
Report Type: All Checks Report Format: Super Condensed Check Type: Computer: Y Manual: Y Dir Deposit: Y

Check #	Check Date	Vendor	Amount Paid	Reconciled/Void Ref Num
	11/20/23	NORMGLAS NORMAN T. GLASS "RESTORATIONS"	7,900.00	3013

Report Totals	<u>Paid</u>	<u>Void</u>	<u>Amount Paid</u>	<u>Amount Void</u>
Checks:	1	0	7,900.00	0.00
Direct Deposit:	0	0	0.00	0.00
Total:	1	0	7,900.00	0.00

November 16, 2023
04:58 PM

Upper Uwchlan Township
Check Payment Batch Verification Listing

Page No: 1

Batch Id: BABMAAS Batch Type: C Batch Date: 11/20/23 Checking Account: CAPITAL G/L Credit: Expenditure G/L Credit
Generate Direct Deposit: N

Check No.	Check Date	Vendor #	Name	Payment Amt	Street 1 of Address to be printed on Check	Charge Account	Account Type	Status	Seq	Acct
PO #	Enc Date	Item	Description		Description					
	11/20/23		NORMGLAS NORMAN T. GLASS "RESTORATIONS"		1020 LITTLE CONESTOGA ROAD					
23-01507	11/20/23	1	upland house-final bill	6,000.00	30-454-004-600	Expenditure	Aprv		1	1
					Capital Construction - Upland					
23-01507	11/20/23	2	upland house-fireplace/wall	1,900.00	30-454-004-600	Expenditure	Aprv		2	1
					Capital Construction - Upland					
				7,900.00						

	<u>Count</u>	<u>Line Items</u>	<u>Amount</u>
Checks:	1	2	7,900.00

There are NO errors or warnings in this listing.

November 16, 2023
10:25 AM

Upper Uwchlan Township
Check Register By Check Id

Page No: 1

Range of Checking Accts: DEV ESCROW to DEV ESCROW Range of Check Ids:
Report Type: All Checks Report Format: Super Condensed Check Type: Computer: Y Manual: Y Dir Deposit: Y

Check #	Check Date	Vendor	Amount Paid	Reconciled/Void	Ref Num
11/20/23		ARROC010 ARRO CONSULTING, INC.	13,714.90		3008
11/20/23		BUCKL010 BUCKLEY, BRION, MCGUIRE, MORRI	598.50		3008
11/20/23		GILMO020 GILMORE & ASSOCIATES, INC	14,160.28		3008
11/20/23		MCMAH010 BOWMAN CONSULTING GROUP, LTD	1,001.25		3008

Report Totals	<u>Paid</u>	<u>Void</u>	<u>Amount Paid</u>	<u>Amount Void</u>
Checks:	4	0	29,474.93	0.00
Direct Deposit:	0	0	0.00	0.00
Total:	<u>4</u>	<u>0</u>	<u>29,474.93</u>	<u>0.00</u>

Project Description	Project No.	Project Total
Vantage Point at Chester Spr	248-017	3,443.89
Eagleview Lot 1C	248-025	802.76
THE PRESERVE @ MARSH CREEK SEW	248-035	6,951.53
164 BYERS ROAD QBD	248-039	1,147.33
Prosperity Byers 5C 2B	248-046	48.75
301 PARK ROAD	248-048	37.50
EAGLEVIEW LOT 1A	248-049	607.50
THE PRESERVE @ MARSH CREEK CON	248-1-035	3,843.02
ENCLAVE at CHESTER SPRINGS sit	248-1-038	1,934.81
PMC SEWER PHASE III	248-2-035	6,763.37
PMC CONSTRUCTION PHASE III	248-3-035	3,894.47
Total Of All Projects:		<u>29,474.93</u>

Check No. PO #	Check Date Enc Date	Vendor # Name Item Description	Payment Amt	Street 1 of Address to be printed on Check Charge Account Description	Account Type	Status	Seq	Acct
23-01583	11/20/23	ARROC010 ARRO CONSULTING, INC. 1 Preserve	4,517.37	108 WEST AIRPORT ROAD 248-035	Project	Aprv	5	1
23-01583	11/20/23	2 Preserve Phase III	313.49	THE PRESERVE @ MARSH CREEK SEW 248-2-035	Project	Aprv	6	1
23-01583	11/20/23	3 Preserve	2,434.16	PMC SEWER PHASE III 248-035	Project	Aprv	7	1
23-01583	11/20/23	4 Preserve Phase III	6,449.88	THE PRESERVE @ MARSH CREEK SEW 248-2-035	Project	Aprv	8	1
			<u>13,714.90</u>	PMC SEWER PHASE III				
23-01585	11/20/23	BUCKL010 BUCKLEY, BRION, MCGUIRE, MORRI 1 QBD	451.50	118 W. MARKET STREET 248-039	Project	Aprv	17	1
23-01585	11/20/23	2 Enclave	147.00	164 BYERS ROAD QBD 248-1-038	Project	Aprv	18	1
			<u>598.50</u>	ENCLAVE at CHESTER SPRINGS sit				
23-01584	11/20/23	GILMO020 GILMORE & ASSOCIATES, INC 1 Preserve	2,240.53	65 E. BULTER AVENUE, SUITE 100 248-1-035	Project	Aprv	9	1
23-01584	11/20/23	2 PJ Reilly	37.50	THE PRESERVE @ MARSH CREEK CON 248-048	Project	Aprv	10	1
23-01584	11/20/23	3 Presrve Toll Phase III	3,894.47	301 PARK ROAD 248-3-035	Project	Aprv	11	1
23-01584	11/20/23	4 Preserve Phase II	1,602.49	PMC CONSTRUCTION PHASE III 248-1-035	Project	Aprv	12	1
23-01584	11/20/23	5 QBD	598.33	THE PRESERVE @ MARSH CREEK CON 248-039	Project	Aprv	13	1
23-01584	11/20/23	6 Eagleview 1 C	802.76	164 BYERS ROAD QBD 248-025	Project	Aprv	14	1
23-01584	11/20/23	8 Vantage Point	3,196.39	Eagleview Lot 1C 248-017	Project	Aprv	15	1
23-01584	11/20/23	9 Escrow Enclave	1,787.81	Vantage Point at Chester Spr 248-1-038	Project	Aprv	16	1
			<u>14,160.28</u>	ENCLAVE at CHESTER SPRINGS sit				
23-01582	11/20/23	MCMAH010 BOWMAN CONSULTING GROUP, LTD 1 Vantage Point	247.50	P.O. BOX 748548 248-017	Project	Aprv	1	1
23-01582	11/20/23	2 QBD	97.50	Vantage Point at Chester Spr 248-039	Project	Aprv	2	1
23-01582	11/20/23	3 Eagleview 1A	607.50	164 BYERS ROAD QBD 248-049	Project	Aprv	3	1
23-01582	11/20/23	4 Lot 5-C 2B	48.75	EAGLEVIEW LOT 1A 248-046	Project	Aprv	4	1
			<u>1,001.25</u>	Prosperity Byers 5C 2B				

Check No.	Check Date	Vendor #	Name		Street 1 of Address to be printed on Check				
PO #	Enc Date	Item	Description	Payment Amt	Charge Account	Account Type	Status	Seq	Acct
					Description				
checks:				<u>Count</u>	<u>Line Items</u>	<u>Amount</u>			
				4	18	29,474.93			

There are NO errors or warnings in this listing.

Project Description	Project No.	Project Total
Vantage Point at Chester Spr	248-017	3,443.89
Eagleview Lot 1C	248-025	802.76
THE PRESERVE @ MARSH CREEK SEW	248-035	6,951.53
164 BYERS ROAD QBD	248-039	1,147.33
Prosperity Byers 5C 2B	248-046	48.75
301 PARK ROAD	248-048	37.50
EAGLEVIEW LOT 1A	248-049	607.50
THE PRESERVE @ MARSH CREEK CON	248-1-035	3,843.02
ENCLAVE at CHESTER SPRINGS sit	248-1-038	1,934.81
PMC SEWER PHASE III	248-2-035	6,763.37
PMC CONSTRUCTION PHASE III	248-3-035	3,894.47
Total of All Projects:		<u>29,474.93</u>

G/L Posting Summary

Account	Description	Debits	Credits
40-100-000-100	Cash - Fulton Bank	0.00	29,474.93
40-248-000-017	Due to Developer - Vantage Pt Retirement	3,443.89	0.00
40-248-000-025	Eagleview Lot 1C	802.76	0.00
40-248-000-035	THE PRESERVE @ MARSH CREEK SD	6,951.53	0.00
40-248-000-039	164 BYERS ROAD QBD	1,147.33	0.00
40-248-000-046	Prosperity Byers Parcel 5C Lot 2B	48.75	0.00
40-248-000-048	301 PARK ROAD	37.50	0.00
40-248-000-049	EAGLEVIEW LOT 1A	607.50	0.00
40-248-001-035	THE PRESERVE @ MARSH CREEK CON	3,843.02	0.00
40-248-001-038	ENCLAVE at CHESTER SPRINGS site	1,934.81	0.00
40-248-002-035	PMC SEWER PHASE III	6,763.37	0.00
40-248-003-035	PMC CONSTRUCTION PHASE III	<u>3,894.47</u>	<u>0.00</u>
	Grand Total:	29,474.93	29,474.93

November 10, 2023
04:03 PM

Upper Uwchlan Township
Check Register By Check Id

Page No: 1

Range of Checking Accts: PAYROLL EFTS to PAYROLL EFTS Range of Check Ids: --
Report Type: All Checks Report Format: Super Condensed Check Type: Computer: Y Manual: Y Dir Deposit: Y

Check #	Check Date	Vendor	Amount Paid	Reconciled/Void	Ref Num
	11/15/23	AFLAC010 AFLAC	1,151.88		3007
Report Totals					
		<u>Paid</u>	<u>Void</u>	<u>Amount Paid</u>	<u>Amount Void</u>
	Checks:	1	0	1,151.88	0.00
	Direct Deposit:	0	0	0.00	0.00
	Total:	1	0	1,151.88	0.00

November 10, 2023
04:03 PM

Upper Uwchlan Township
Check Register By Check Id

Page No: 1

Range of Checking Accts: PAYROLL EFTS to PAYROLL EFTS Range of Check Ids:
Report Type: All Checks Report Format: Detail Check Type: Computer: Y Manual: Y Dir Deposit: Y

Check #	Check Date	Vendor	Amount Paid	Charge Account	Account Type	Reconciled/Void	Ref Num
PO #	Item	Description				Contract	Ref Seq Acct
11/15/23	AFLAC010	AFLAC					3007
23-01567	1	October services	1,151.88	01-221-000-000	Expenditure		1 1
				Benefit Deduction- Aflac (AFL)			

Report Totals	<u>Paid</u>	<u>Void</u>	<u>Amount Paid</u>	<u>Amount Void</u>
Checks:	1	0	1,151.88	0.00
Direct Deposit:	0	0	0.00	0.00
Total:	1	0	1,151.88	0.00



UPPER UWCHLAN TOWNSHIP

MEMORANDUM

TO: BOARD OF SUPERVISORS
FROM: Jill Bukata, Township Treasurer
RE: Status Update
DATE: November 20, 2023

Finance has worked on the following items during the month

- Received and processed 119 trash and 1,736 sewer payments (10/12/2023 – 11/16/2023)

Highlights of the October 31, 2023 financial statements

- The balance sheet remains strong with cash of over **\$12.0 million** - of that amount **approximately \$5.3 million** is not available for the routine operations of the Township as it is reserved for specific purposes, ie. Liquid Fuels and Act 209 for highways, Turf Field for replacement of the Turf Field, Capital Projects for capital improvements etc.
- Combined revenue and expense status (General Fund & Solid Waste Fund):
 - Percentage through the year 83.3%
 - YTD revenues \$ 8,832,502 94.1%
 - YTD expenses \$ 7,161,891 83.9%
 - YTD net income \$ 1,670,611 (before transfers)
 - YTD transfers out \$ 951,564
 - **YTD net income (after transfers) \$ 719,047**
 - Budgeted 2023 net income \$ 853,596 (before transfers)
 - Budgeted 2023 net income (after) \$ 18,596 (after transfers)
- YTD EIT revenues as of October were \$43,000 higher than at the same time last year. As of November 15, 2023, EIT revenue received is \$211,213 higher than the 2023 Budget of \$4,500,000.

Upper Uwchlan Township

Treasurer's Report

Cash Balances As of October 31, 2023

General Fund

Meridian Bank	\$ 5,099,789
Meridian Bank - Payroll	105,806
Meridian Bank - ARPA Funds	657,444
Meridian Bank MMA - restricted	39,469
Meridian Bank-restricted-Meadow Creek	8,054
Fulton Bank	152,344
Fulton Bank - Turf Field	261,661
Petty cash	300
Total General Fund	6,324,867

Certificate of Deposit - 10/2/24 (First Resource)	279,196
Certificate of Deposit - Fulton	255,856
Certificate of Deposit - ARPA	254,499
Certificate of Deposit - Meadow Creek	1,023,425
	1,812,976

Total General Fund \$ **8,137,843**

Solid Waste Fund

Meridian Bank - Solid Waste	60,481
Fulton Bank - Solid Waste	770,980
Total Solid Waste Funds	831,461

Total Solid Waste Fund **831,461**

Liquid Fuels Fund

Fulton Bank	706,266
Certificate of Deposit -	516,681
	1,222,947

Total Liquid Fuels Fund **1,222,947**

Capital Projects Fund

Fulton Bank	264,287
PSDLAF	5,110
Fulton Bank - 2019 Bond Proceeds	-
Fulton Bank - 2019 Bond Proceeds, ICS Sweep	1
	269,397

Total Capital Projects Fund **269,397**

Act 209 Impact Fund

Fulton Bank	57,883
Certificate of Deposit - First Resource	1,023,425
	1,081,308

Total Act 209 Impact Fund **1,081,308**

Water Resource Protection Fund

Fulton Bank	377,866
	377,866

Total Water Resource Protection Fund **377,866**

Sewer Fund

PSDLAF	84
Fulton Bank	108,145
	108,229

Total Sewer Fund **108,229**

Total - Upper Uwchlan Township	\$ 12,029,051
---------------------------------------	----------------------

Municipal Authority	\$ 8,837,650
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Developer's Escrow Fund	\$ 305,011
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Upper Uwchlan Township
Schedule of Investments

As of October 31, 2023

	Institution	Amount Invested	Type of Investment	Maturity Date	Interest Rate	Market Value
<u>General Fund</u>						
General Fund	First Resource Bank	250,000.00	Certificate of Deposit	10/2/2024	4.500%	250,000.00
		28,410.13	Interest accrued			28,410.13
	Accrued interest - YTD	785.50				785.50
		<u>279,195.63</u>				<u>279,195.63</u>
General Fund	Fulton Bank	250,000.00	Certificate of Deposit	5/19/2024	4.750%	250,000.00
	Accrued interest - YTD	5,856.18	Interest accrued			5,856.18
		<u>255,856.18</u>				<u>255,856.18</u>
General Fund - ARPA	Presence Bank	250,000.00	Certificate of Deposit	6/15/2024	4.510%	250,000.00
	Accrued interest - YTD	4,499.22	Interest accrued			4,499.22
		<u>254,499.22</u>				<u>254,499.22</u>
General Fund - Meadow Creek	First Resource Bank	1,000,000.00	Certificate of Deposit	4/28/2024	4.750%	1,000,000.00
	Accrued interest - YTD	23,424.66	Interest accrued			23,424.66
		<u>1,023,424.66</u>				<u>1,023,424.66</u>
<u>Liquid Fuels Fund</u>						
Liquid Fuels	First Resource Bank	500,000.00	Certificate of Deposit	4/28/2024	4.750%	500,000.00
	Accrued interest - YTD	16,680.83	Interest accrued			16,680.83
		<u>516,680.83</u>				<u>516,680.83</u>
<u>Act 209 Fund</u>						
Act 209	First Resource Bank	1,000,000.00	Certificate of Deposit	4/28/2024	4.750%	1,000,000.00
	Accrued interest - YTD	23,424.66	Interest accrued			23,424.66
		<u>1,023,424.66</u>				<u>1,023,424.66</u>
<u>Sewer Fund - General Obligation Bonds (2014 Bonds)</u>						
Sewer Fund	PSDLAF	2,812,792.62	Collateralized CD Pool		0.100%	2,812,792.62
	Redemptions	(2,812,792.62)				(2,812,792.62)
	PSDLAF	83.59	MAX account (MMF)			83.59
	PSDLAF	-	MAX account (MMF)	-	0.02%	-
		<u>83.59</u>				<u>83.59</u>
<u>Capital Fund</u>						
Capital Fund	PSDLAF	1,500,000.00	Collateralized CD Pool		0.100%	1,500,000.00
	Redemptions	(1,535,000.00)				(1,535,000.00)
	MAX account (MMF)	40,109.71	MAX account (MMF)	-	0.02%	40,109.71
		<u>5,109.71</u>				<u>5,109.71</u>
	Fulton Bank - 2019 Bond Proceeds	5,598,727.66				5,598,727.66
	Used for projects/interest	<u>(5,598,727.11)</u>				<u>(5,598,727.11)</u>
		<u>0.55</u>				<u>0.55</u>
Total Capital Fund		<u>5,110.26</u>				<u>5,110.26</u>

Upper Uwchlan Township
Accounts Receivable
As of October 31, 2023

Engineering and Legal Receivables - 01-145-000-200 and 300
Reimbursable CU Fees - 01-145-000-021

	Total Amount Due 10/31/2023	Total Amount Due 9/30/2023	Less than 30 days	31 - 60	61 - 90	Over 90 days	Over 180 days	Total
Alpha Phylte Fitness	827.55	827.55	-	-	-	827.55	-	827.55
Chester Co./Struble	3,899.97	20,446.24	494.75	-	-	3,405.22	-	3,899.97
McHugh	-	-	-	-	-	-	-	-
Hankin	3,102.50	3,102.50	-	-	-	3,102.50	-	3,102.50
Montesano	1,774.96	1,774.96	-	-	-	-	1,774.96	1,774.96
Toll Brothers	32,163.42	26,178.42	5,985.00	666.00	789.16	24,723.26	-	32,163.42
Natural Lands Trust	15,783.83	15,783.83	13,022.58	-	136.50	2,624.75	-	15,783.83
McKee	874.00	874.00	-	-	-	874.00	-	874.00
Moser	642.50	642.50	-	-	642.50	-	-	642.50
								-
Balance at October 31, 2023	\$ 59,068.73	\$ 69,630.00	\$ 19,502.33	\$ 666.00	\$ 1,568.16	\$ 35,557.28	\$ 1,774.96	\$ 59,068.73

Upper Uwchlan Township
Accounts Receivable
As of October 31, 2023

Turf and Field Fees Receivable - Account 01-145-000-080 and 085

	Total Amount 10/31/2023	Total Amount 9/30/2023	Less than 30 days	31 - 60	61 - 90	Over 90 days	Over 180 days	Total
Marsh Creek Eagles	-	-	-	-	-	-	-	-
GEYA Soccer	-	-	-	-	-	-	-	-
Brandywine Rugby	-	-	-	-	-	-	-	-
Downingtown Rugby	-	-	-	-	-	-	-	-
Next Level Sports	40.00	40.00	-	-	-	40.00	-	40.00
Downingtown Dawgs Lacrose	220.00	220.00	-	-	220.00	-	-	220.00
LYA LAX	200.00	-	-	200.00	-	-	-	200.00
Freedom LAX	-	200.00	-	-	-	-	-	-
Balance at October 31, 2023	\$ 460.00	\$ 460.00	\$ -	\$ 200.00	\$ 220.00	\$ 40.00	\$ -	\$ 460.00

Upper Uwchlan Township
Accounts Receivable
As of October 31, 2023

Misc Accounts Receivable - Account 01-145-000-095

	Amount 10/31/2023	Amount 9/30/2023	Aging					Total
			Less than 30 days	30 days	60 days	90 days	180 days & over	
Franchise fees - 3Q	48,000.00	48,000.00	-	48,000.00	-			48,000.00
PSATS overpayment - 3Q 2022	1,056.43	1,056.43	-	-		-	1,056.43	1,056.43
								-
Balance at October 31, 2023	<u>\$ 49,056.43</u>	<u>\$ 49,056.43</u>	<u>-</u>	<u>48,000.00</u>	<u>-</u>	<u>-</u>	<u>1,056.43</u>	<u>49,056.43</u>

Upper Uwchlan Township
General Fund
Balance Sheet
As of October 31, 2023

ASSETS

Cash			
01-100-000-100	General Checking - Fulton Bank	\$	152,343.82
01-100-000-200	Meridian Bank		5,099,788.83
01-100-000-210	Meridian Bank - Payroll		105,806.13
01-100-000-220	Meridian Bank MMA - restricted		39,469.28
01-100-000-230	Meridian Bank - ARPA		657,444.47
01-100-000-250	Fulton Bank - Turf Field		261,661.28
01-100-000-260	Meridian Bank - Meadow Creek Lane		8,054.14
01-100-000-300	Petty Cash		300.00
	Total Cash		<u>6,324,867.95</u>

Investments

01-120-000-100	Certificate of Deposit - First Resource		279,195.63
01-120-000-110	Certificate of Deposit - Fulton		255,856.18
01-120-000-120	Certificate of Deposit - Meadow Creek		1,023,424.66
01-120-000-130	Certificate of Deposit - ARPA		254,499.22
			<u>1,812,975.69</u>

Accounts Receivable

01-145-000-020	Engineering Fees Receivable		16,701.39
01-145-000-021	Engineering Fees Receivable-CU		617.55
01-145-000-030	Legal Fees Receivable		37,055.79
01-145-000-040	R/E Taxes Receivable		17,672.14
01-145-000-050	Hydrant Tax Receivable		-
01-145-000-060	Domestic Relations Receivable		955.61
01-145-000-080	Field Fees Receivables		460.00
01-145-000-085	Turf Field Receivables		-
01-145-000-086	EIT Receivable		28,322.83
01-145-000-090	RE Transfer Tax Receivable		79,476.35
01-145-000-095	Misc accounts receivable		49,056.43
01-145-000-096	Traffic Signals Receivable		-
01-145-000-097	Advertising Fees Reimbursable		-
	Total Accounts Receivable		<u>230,318.09</u>

Other Current Assets

01-130-000-001	Due From Municipal Authority		108,721.73
01-130-000-003	Due From Liquid Fuels		-
01-130-000-004	Due from ACT 209 Fund		-
01-130-000-005	Due From Capital Fund		-
01-130-000-006	Due from Solid Waste Fund		20,018.03
01-130-000-007	Due from Water Resource Protection Fund		-
01-130-000-008	Due from the Sewer Fund		-
01-130-000-009	Due from Developer's Escrow Fund		460.00
01-131-000-000	Suspense Account		-
	Total Other Current Assets		<u>129,199.76</u>

Prepaid Expense

01-155-000-000	Prepaid expenses		-
	Total Prepaid Expense		<u>-</u>

Total Assets	\$	8,497,361.49
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Upper Uwchlan Township
General Fund
Balance Sheet
As of October 31, 2023

LIABILITIES AND FUND BALANCE

Accounts Payable

01-200-000-000	Accounts Payable	-
01-252-000-001	Deferred Revenues	912,796.08
	Total Accounts Payable	912,796.08

Other Current Liabilities

01-199-000-000	Suspense Account	-
01-210-000-000	Payroll Liabilities	-
01-210-000-001	Federal Tax Withheld	-
01-211-000-000	FICA Tax Withheld	-
01-212-000-000	Earned Income Tax W/H	3,983.09
01-214-000-000	Non-Uniform Pension	-
01-214-000-100	NU Pension Plan #2	-
01-215-000-000	Police Pension Withheld	-
01-216-000-000	Domestic Relation W/H	-
01-217-000-000	State Tax Withheld	-
01-218-000-000	Police Association Dues	4,800.00
01-219-000-000	LST Tax Withheld	30.00
01-220-000-000	State Unemployment W/H	190.35
01-221-000-000	Benefit Deduction-Aflac	(1,386.85)
01-221-000-100	Benefit Deduction-Aflac After Tax	634.20
01-222-000-000	457 Contribution Deduction	-
01-223-000-000	Direct Deposit	-
01-224-000-000	Payroll Deduction Adjustments	-
01-239-000-001	Due to Municipal Authority	-
01-239-000-003	Due To Liquid Fuels	-
01-239-000-004	Due to Act 209 Fund	-
01-239-000-005	Due to Capital Fund	-
01-239-000-006	Due to Solid Waste Fund	1,920.97
01-239-000-007	Due to Water Resource Protection Fund	-
01-239-000-008	Due to Developer's Escrow Fund	6,241.79
01-258-000-000	Accrued Expenses	154,059.83
	Total Other Current Liabilities	170,473.38

Total Liabilities	\$	1,083,269.46
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EQUITY

01-272-000-000	Opening Balance Equity	812,921.60
01-272-000-001	Retained Earnings	6,115,501.12
	Current Period Net Income (Loss)	485,669.31
	Total Equity	7,414,092.03

Total Fund Balance	\$	7,414,092.03
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Total Liabilities & Fund Balance	\$	8,497,361.49
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Upper Uwchlan Township
General Fund
Statement of Revenues and Expenditures
For the Period Ended October 31, 2023

GL Account #	Account Description	2023 YTD Actual	2023 Budget	Over (Under) Budget	Actual as % of Budget
REVENUES					
01-301-000-010	Current Real Estate Taxes	\$ 1,200,731.23	\$ 1,182,000.00	\$ 18,731.23	101.6%
01-301-000-013	Real Estate Tax Refunds	(352.55)	(3,000.00)	2,647.45	11.8%
01-301-000-030	Delinquent Real Estate Taxes	20,456.44	30,000.00	(9,543.56)	68.2%
01-301-000-071	Hydrant Tax	-	-	-	#DIV/0!
01-301-000-072	Delinquent Hydrant Taxes	-	500.00	(500.00)	0.0%
01-310-000-010	Real Estate Transfer Taxes	621,077.65	675,000.00	(53,922.35)	92.0%
01-310-000-020	Earned Income Taxes	3,995,274.50	4,500,000.00	(504,725.50)	88.8%
01-310-000-021	EIT commissions paid	(48,434.54)	(61,200.00)	12,765.46	79.1%
01-320-000-010	Building Permits	526,584.81	500,000.00	26,584.81	105.3%
01-320-000-011	Building Permits - credit card fees	-	-	-	#DIV/0!
01-320-000-020	Use & Occupancy Permit	9,905.00	12,000.00	(2,095.00)	82.5%
01-320-000-030	Sign Permits	-	100.00	(100.00)	0.0%
01-320-000-040	Contractors Permit	1,650.00	2,000.00	(350.00)	82.5%
01-320-000-050	Refinance Certification Fees	2,050.00	3,000.00	(950.00)	68.3%
01-321-000-080	Cable TV Franchise Fees	146,588.87	200,000.00	(53,411.13)	73.3%
01-331-000-010	Vehicle Codes Violation	59,632.70	50,000.00	9,632.70	119.3%
01-331-000-011	Reports/Fingerprints	1,495.00	2,000.00	(505.00)	74.8%
01-331-000-012	Solicitation Permits	485.00	500.00	(15.00)	97.0%
01-331-000-050	Reimbursable Police Wages	4,496.88	5,000.00	(503.12)	89.9%
01-341-000-001	Interest Earnings	73,304.37	33,000.00	40,304.37	222.1%
01-342-000-001	Rental Property Income	20,000.00	24,000.00	(4,000.00)	83.3%
01-354-000-010	County Grants	-	-	-	#DIV/0!
01-354-000-020	State Grants	123,367.96	300,000.00	(176,632.04)	41.1%
01-354-000-030	Police Grants	-	-	-	#DIV/0!
01-355-000-001	PURTA	6,089.81	6,500.00	(410.19)	93.7%
01-355-000-004	Alcoholic Beverage Tax	600.00	800.00	(200.00)	75.0%
01-355-000-005	State Aid, Police Pension	224,726.52	122,000.00	102,726.52	184.2%
01-355-000-006	State Aid, Non-Uniform Pension	60,840.00	60,000.00	840.00	101.4%
01-355-000-007	Foreign Fire Insurance Tax	113,022.86	95,000.00	18,022.86	119.0%
01-360-000-010	Vehicle Storage Fees	-	1,000.00	(1,000.00)	0.0%
01-361-000-030	Zoning/SubDivision Land Development	7,754.00	6,000.00	1,754.00	129.2%
01-361-000-032	Fees from Engineering	21,801.88	50,000.00	(28,198.12)	43.6%
01-361-000-033	Admin Fees from Engineering	361.99	4,000.00	(3,638.01)	9.0%
01-361-000-035	Admin Fees from Legal	295.45	1,000.00	(704.55)	29.5%
01-361-000-036	Legal Services Fees	32,334.46	6,000.00	26,334.46	538.9%
01-361-000-038	Sale of Maps & Books	160.00	250.00	(90.00)	64.0%
01-361-000-039	Fire Inspection Fees	775.00	2,000.00	(1,225.00)	38.8%
01-361-000-040	Fees from Engineering - CU	-	20,000.00	(20,000.00)	0.0%
01-361-000-041	Property Inspection Fees	-	8,000.00	(8,000.00)	0.0%
01-361-000-042	Copies	-	100.00	(100.00)	0.0%
01-361-000-043	Fees from Traffic Signals Reimbursables	-	-	-	#DIV/0!
01-361-000-044	Fees from Advertising Reimbursables	350.80	500.00	(149.20)	70.2%
01-367-000-010	Recreation Donations	-	-	-	#DIV/0!
01-367-000-014	Pavillion Rental	50.00	500.00	(450.00)	10.0%
01-367-000-020	Tennis Fees	-	-	-	#DIV/0!
01-367-000-021	Field Programs	26,110.00	30,000.00	(3,890.00)	87.0%
01-367-000-025	Turf Field Fees	40,860.00	45,000.00	(4,140.00)	90.8%
01-367-000-030	Community Events Donations	19,200.00	15,000.00	4,200.00	128.0%
01-367-000-040	History Book Revenue	75.00	200.00	(125.00)	37.5%
01-367-000-045	Upland Farms Barn Rental Fees	12,975.00	10,000.00	2,975.00	129.8%
01-367-000-089	Donations for Park Equipment	-	-	-	#DIV/0!
01-380-000-001	Miscellaneous Revenue	13,529.51	10,000.00	3,529.51	135.3%
01-380-000-010	Insurance Reimbursement	47,348.35	3,000.00	44,348.35	1578.3%
01-392-000-008	Municipal Authority Reimbursement	221,349.35	270,688.00	(49,338.65)	81.8%

Upper Uwchlan Township
General Fund
Statement of Revenues and Expenditures
For the Period Ended October 31, 2023

GL Account #	Account Description	2023 YTD Actual	2023 Budget	Over (Under) Budget	Actual as % of Budget
01-392-000-020	Transfer from Capital Fund	-	-	-	#DIV/0!
01-392-000-030	Transfer from Solid Waste Fund	-	-	-	#DIV/0!
01-395-000-000	Refund of Prior Year Expenses	2,838.26		2,838.26	#DIV/0!
	Total Revenue	\$ 7,611,761.56	\$ 8,222,438.00	\$ (610,676.44)	92.6%
GENERAL GOVERNMENT					
01-400-000-113	Supervisors Wages	\$ 9,750.00	\$ 9,750.00	\$ -	100.0%
01-400-000-150	Payroll Tax Expense	745.92	746.00	(0.08)	100.0%
01-400-000-320	Telephone	1,601.24	2,000.00	(398.76)	80.1%
01-400-000-340	Public Relations	2,602.80	2,000.00	602.80	130.1%
01-400-000-341	Advertising	2,494.11	7,500.00	(5,005.89)	33.3%
01-400-000-342	Printing	10,055.45	5,000.00	5,055.45	201.1%
01-400-000-344	Community Notice	-	2,000.00	(2,000.00)	0.0%
01-400-000-350	Insurance-Bonding	3,449.00	2,945.00	504.00	117.1%
01-400-000-352	Insurance-Liability	21,038.40	21,038.00	0.40	100.0%
01-400-000-420	Dues/Subscriptions/Memberships	5,470.00	4,375.00	1,095.00	125.0%
01-400-000-460	Meeting & Conferences	4,086.94	6,000.00	(1,913.06)	68.1%
01-400-000-461	Bank Fees	11,723.34	15,000.00	(3,276.66)	78.2%
01-400-000-463	Misc expenses	35,285.07	2,000.00	33,285.07	1764.3%
01-400-000-464	Wallace Twp. Tax Agreement	6,280.47	5,794.00	486.47	108.4%
		114,582.74	86,148.00	28,434.74	133.0%
EXECUTIVE					
01-401-000-100	Administration Wages	455,193.70	561,178.00	(105,984.30)	81.1%
01-401-000-150	Payroll Tax Expense	35,903.85	42,930.00	(7,026.15)	83.6%
01-401-000-151	PSATS Unemployment Compensation	2,310.00	2,310.00	-	100.0%
01-401-000-156	Employee Benefit Expense	64,329.44	85,631.00	(21,301.56)	75.1%
01-401-000-157	ACA Fees	258.00	240.00	18.00	107.5%
01-401-000-159	Employer HSA Contribution	10,500.00	-	10,500.00	#DIV/0!
01-401-000-160	Non-Uniform Pension	35,922.60	35,923.00	(0.40)	100.0%
01-401-000-165	Employer 457 Match	-	12,000.00	(12,000.00)	0.0%
01-401-000-174	Tuition Reimbursements	-	6,300.00	(6,300.00)	0.0%
01-401-000-181	Longevity Pay	5,550.00	6,450.00	(900.00)	86.0%
01-401-000-183	Overtime Wages	7,843.98	5,000.00	2,843.98	156.9%
01-401-000-200	Supplies	20,036.73	15,000.00	5,036.73	133.6%
01-401-000-205	Meals & Meal Allowances	183.70	200.00	(16.30)	91.9%
01-401-000-215	Postage	1,368.00	4,500.00	(3,132.00)	30.4%
01-401-000-230	Gasoline & Oil	1,686.02	2,200.00	(513.98)	76.6%
01-401-000-235	Vehicle Maintenance	-	1,000.00	(1,000.00)	0.0%
01-401-000-252	Repair & Maintenance	-	2,000.00	(2,000.00)	0.0%
01-401-000-316	Training & Seminars	5,986.35	10,000.00	(4,013.65)	59.9%
01-401-000-317	Parking/Travel	382.15	1,200.00	(817.85)	31.8%
01-401-000-322	Ipad Expenses	31.08	600.00	(568.92)	5.2%
01-401-000-352	Insurance - Liability	1,269.52	270.00	999.52	470.2%
01-401-000-353	Insurance-Vehicle	402.72	403.00	(0.28)	99.9%
01-401-000-354	Insurance-Workers Compensation	2,318.20	685.00	1,633.20	338.4%
01-401-000-420	Dues/Subscriptions/Memberships	6,236.00	6,100.00	136.00	102.2%
01-401-000-450	Contracted Services	11,014.57	16,000.00	(4,985.43)	68.8%
		668,726.61	818,120.00	(149,393.39)	81.7%
AUDIT					
01-402-000-450	Contracted Services	25,800.00	25,700.00	100.00	100.4%
		25,800.00	25,700.00	100.00	100.4%

Upper Uwchlan Township
General Fund
Statement of Revenues and Expenditures
For the Period Ended October 31, 2023

GL Account #	Account Description	2023 YTD Actual	2023 Budget	Over (Under) Budget	Actual as % of Budget
TAX COLLECTION					
01-403-000-110	Chester Co. Treasurer Expense	8,114.75	12,500.00	(4,385.25)	64.9%
01-403-000-200	Supplies	-	-	-	#DIV/0!
01-403-000-215	Postage	-	-	-	#DIV/0!
01-403-000-350	Insurance-Bonding	-	-	-	#DIV/0!
01-403-000-450	Contracted Services	-	400.00	(400.00)	0.0%
		8,114.75	12,900.00	(4,785.25)	62.9%
LEGAL					
01-404-000-305	Reimbursable Legal Fees - CU	13,407.96	500.00	12,907.96	2681.6%
01-404-000-310	Reimbursable Legal Fees	13,258.50	9,500.00	3,758.50	139.6%
01-404-000-311	Non Reimbursable Legal	15,943.78	45,000.00	(29,056.22)	35.4%
01-404-000-450	Contracted Services	2,301.00	5,000.00	(2,699.00)	46.0%
		44,911.24	60,000.00	(15,088.76)	74.9%
MUNICIPAL AUTHORITY ADMINISTRATOR					
01-406-000-100	Administrator Wages	63,848.59	86,400.00	(22,551.41)	73.9%
01-406-000-101	Employee Cost Transferred to MA	(67,489.45)	(93,395.00)	25,905.55	72.3%
01-406-000-150	Payroll Tax Expense	3,255.86	6,610.00	(3,354.14)	49.3%
01-406-000-151	PSATS Unemployment Compensation	385.00	385.00	-	100.0%
		(0.00)	-	(0.00)	#DIV/0!
TECHNOLOGY					
01-407-000-200	Supplies	14.99	2,000.00	(1,985.01)	0.7%
01-407-000-220	Software	54,113.99	76,401.00	(22,287.01)	70.8%
01-407-000-222	Hardware	6,109.97	16,000.00	(9,890.03)	38.2%
01-407-000-240	Web Page	6,679.93	6,000.00	679.93	111.3%
01-407-000-450	Contracted Services	55,632.32	62,720.00	(7,087.68)	88.7%
		122,551.20	163,121.00	(40,569.80)	75.1%
ENGINEERING					
01-408-000-305	Reimbursable Conditional Use	350.80	25,000.00	(24,649.20)	1.4%
01-408-000-310	Reimbursable Engineering	18,234.94	75,000.00	(56,765.06)	24.3%
01-408-000-311	Traffic Engineering	29,399.85	25,000.00	4,399.85	117.6%
01-408-000-313	Non Reimbursable Engineering	59,562.43	30,000.00	29,562.43	198.5%
01-408-000-366	Ordinance Update	-	4,500.00	(4,500.00)	0.0%
01-408-000-367	General Planning	16,017.42	10,000.00	6,017.42	160.2%
01-408-000-368	MS4 Expenses	2,470.00	-	2,470.00	#DIV/0!
01-408-000-369	Reimbursable Traffic Signals	-	-	-	#DIV/0!
01-408-000-370	Reimbursable Advertising	-	-	-	#DIV/0!
		126,035.44	169,500.00	(43,464.56)	74.4%
TOWNSHIP PROPERTIES					
<u>Public Works Building</u>					
01-409-001-200	Supplies	627.06	1,000.00	(372.94)	62.7%
01-409-001-231	Propane & heating - PW bldg	233.24	15,000.00	(14,766.76)	1.6%
01-409-001-250	Maint & Repair	8,130.59	20,500.00	(12,369.41)	39.7%
01-409-001-320	Telephone	4,204.21	4,000.00	204.21	105.1%
01-409-001-351	Insurance - property	20,765.76	20,766.00	(0.24)	100.0%
01-409-001-360	Utilities	5,248.21	10,000.00	(4,751.79)	52.5%
01-409-001-450	Contracted Services	7,161.96	8,000.00	(838.04)	89.5%

Upper Uwchlan Township
General Fund
Statement of Revenues and Expenditures
For the Period Ended October 31, 2023

GL Account #	Account Description	2023 YTD Actual	2023 Budget	Over (Under) Budget	Actual as % of Budget
<u><i>Township Building</i></u>					
01-409-003-101	Employee Cost Allocated	-	-	-	#DIV/0!
01-409-003-200	Supplies	2,829.80	4,000.00	(1,170.20)	70.7%
01-409-003-231	Propane & Heating Oil	-	5,000.00	(5,000.00)	0.0%
01-409-003-250	Maintenance & Repairs	13,007.39	3,000.00	10,007.39	433.6%
01-409-003-320	Telephone	9,811.91	7,000.00	2,811.91	140.2%
01-409-003-351	Insurance Property	24,226.72	24,227.00	(0.28)	100.0%
01-409-003-360	Utilities	16,233.24	25,000.00	(8,766.76)	64.9%
01-409-003-380	Rent	-	-	-	#DIV/0!
01-409-003-385	Relocation Costs	-	-	-	#DIV/0!
01-409-003-450	Contracted Services	25,274.68	39,000.00	(13,725.32)	64.8%
<u><i>Milford Road</i></u>					
01-409-004-200	Supplies	814.36	500.00	314.36	162.9%
01-409-004-231	Propane	-	2,000.00	(2,000.00)	0.0%
01-409-004-250	Maintenance & Repairs	390.12	2,000.00	(1,609.88)	19.5%
01-409-004-320	Telephone	3,123.57	3,000.00	123.57	104.1%
01-409-004-351	Insurance - property	3,460.96	3,461.00	(0.04)	100.0%
01-409-004-360	Utilities	934.29	1,000.00	(65.71)	93.4%
01-409-004-450	Contracted Services	850.00	500.00	350.00	170.0%
		147,328.07	198,954.00	(51,625.93)	74.1%
POLICE EXPENSES					
01-410-000-100	Police Wages	1,365,936.01	1,815,903.00	(449,966.99)	75.2%
01-410-000-110	Police Wages - WC reimbursement	-	-	-	#DIV/0!
01-410-000-150	Payroll Tax Expense	117,497.51	138,917.00	(21,419.49)	84.6%
01-410-000-151	PSATS Unemployment Compensation	6,889.64	7,700.00	(810.36)	89.5%
01-410-000-156	Employee Benefit Expense	358,182.21	413,159.00	(54,976.79)	86.7%
01-410-000-158	Medical Expense Reimbursements	9,401.47	10,000.00	(598.53)	94.0%
01-410-000-159	Employer HSA Contribution	39,000.00	-	39,000.00	#DIV/0!
01-410-000-160	Pension Expense	252,675.00	252,675.00	-	100.0%
01-410-000-165	Employer 457 Match	-	32,000.00	(32,000.00)	0.0%
01-410-000-174	Tuition Reimbursment	10,722.00	12,000.00	(1,278.00)	89.4%
01-410-000-181	Longevity Pay	25,500.00	32,050.00	(6,550.00)	79.6%
01-410-000-182	Education incentive	4,250.00	3,500.00	750.00	121.4%
01-410-000-183	Overtime - Patrol Functions	44,024.05	4,024.00	40,000.05	1094.0%
01-410-000-184	Overtime - Shift Coverage	32,977.39	15,000.00	17,977.39	219.8%
01-410-000-185	Overtime - Holiday Worked	28,210.86	35,976.00	(7,765.14)	78.4%
01-410-000-187	Courttime Wages	9,881.82	14,000.00	(4,118.18)	70.6%
01-410-000-190	ARPA - COVID Pay	10,750.00	12,000.00	(1,250.00)	89.6%
01-410-000-191	Uniform/Boot Allowances	14,550.00	17,700.00	(3,150.00)	82.2%
01-410-000-200	Supplies	15,175.60	12,000.00	3,175.60	126.5%
01-410-000-215	Postage	750.00	750.00	-	100.0%
01-410-000-230	Gasoline & Oil	43,277.83	50,000.00	(6,722.17)	86.6%
01-410-000-235	Vehicle Maintenance	24,345.40	20,000.00	4,345.40	121.7%
01-410-000-238	Clothing/Uniforms	31,529.07	39,282.00	(7,752.93)	80.3%
01-410-000-250	Maintenance & Repairs	1,979.24	-	1,979.24	#DIV/0!
01-410-000-260	Small Tools & Equipment	10,581.53	15,000.00	(4,418.47)	70.5%
01-410-000-311	Non-Reimburseable-Legal	-	-	-	#DIV/0!
01-410-000-316	Training/Seminar	11,931.64	20,000.00	(8,068.36)	59.7%
01-410-000-317	Parking & travel	740.10	1,000.00	(259.90)	74.0%
01-410-000-320	Telephone	4,491.40	7,000.00	(2,508.60)	64.2%
01-410-000-322	Ipad Expense	-	-	-	#DIV/0!
01-410-000-327	Radio Equipment M & R	-	1,000.00	(1,000.00)	0.0%
01-410-000-340	Public Relations	9,764.27	-	9,764.27	#DIV/0!

Upper Uwchlan Township
General Fund
Statement of Revenues and Expenditures
For the Period Ended October 31, 2023

GL Account #	Account Description	2023 YTD Actual	2023 Budget	Over (Under) Budget	Actual as % of Budget
01-410-000-342	Police Accreditation	1,373.95	4,000.00	(2,626.05)	34.3%
01-410-000-352	Insurance - Liability	13,507.00	13,507.00	-	100.0%
01-410-000-353	Insurance - Vehicles	2,012.00	2,012.00	-	100.0%
01-410-000-354	Insurance - Workers Compensation	50,228.12	41,074.00	9,154.12	122.3%
01-410-000-420	Dues/Subscriptions/Memberships	1,357.81	1,000.00	357.81	135.8%
01-410-000-450	Contracted Services	26,100.84	16,700.00	9,400.84	156.3%
01-410-000-740	Computer/Furniture	9,955.19	8,000.00	1,955.19	124.4%
		2,589,548.95	3,068,929.00	(479,380.05)	84.4%
FIRE/AMBULANCE					
01-411-000-354	Insurance - Workers Compensation	-	23,000.00	(23,000.00)	0.0%
01-411-000-420	Dues/Subscriptions/Memberships	-	-	-	#DIV/0!
01-411-000-450	Contracted Services	-	-	-	#DIV/0!
01-411-000-451	Hydrant expenses-Aqua	72,546.71	70,000.00	2,546.71	103.6%
01-411-001-001	Ludwigs	99,196.00	99,196.00	-	100.0%
01-411-001-002	Lionville	99,360.00	99,360.00	-	100.0%
01-411-001-003	Lionville Capital	-	-	-	100.0%
01-411-001-004	Glenmoore	11,435.00	11,435.00	-	100.0%
01-411-001-005	E. Brandywine	21,279.00	46,279.00	(25,000.00)	46.0%
01-411-001-006	Reimbursement - Uwchlan Township	7,668.91	2,300.00	5,368.91	333.4%
01-411-001-007	Reimbursement - East Brandywine Twp.	-	200.00	(200.00)	0.0%
01-411-002-530	Contributions-Fire Relief	113,022.86	95,000.00	18,022.86	119.0%
		424,508.48	446,770.00	(22,261.52)	95.0%
AMBULANCE					
01-412-000-540	Uwchlan Ambulance	58,000.00	58,000.00	-	100.0%
01-412-000-544	Uwchlan Ambulance - Capital	10,000.00	-	10,000.00	#DIV/0!
		68,000.00	58,000.00	10,000.00	117.2%
CODES ADMINISTRATION					
01-413-000-100	Code Administrator Wages	223,833.93	285,657.00	(61,823.07)	78.4%
01-413-000-150	Payroll Tax Expenses	17,758.58	21,853.00	(4,094.42)	81.3%
01-413-000-151	PSATS Unemployment Compensation	1,426.90	1,540.00	(113.10)	92.7%
01-413-000-156	Employee Benefit Expense	47,214.52	53,884.00	(6,669.48)	87.6%
01-413-000-159	Employer HSA Contribution	7,500.00	-	7,500.00	#DIV/0!
01-413-000-160	Pension	18,762.08	18,762.00	0.08	100.0%
01-413-000-165	Employer 457 Match	-	6,000.00	(6,000.00)	0.0%
01-413-000-181	Longevity Pay	2,700.00	5,400.00	(2,700.00)	50.0%
01-413-000-183	Overtime	2,497.11	2,000.00	497.11	124.9%
01-413-000-200	Supplies	2,006.27	2,000.00	6.27	100.3%
01-413-000-230	Gasoline & Oil	2,451.11	3,400.00	(948.89)	72.1%
01-413-000-235	Vehicle Maintenance	1,353.75	1,500.00	(146.25)	90.3%
01-413-000-316	Training/Seminar	871.88	3,000.00	(2,128.12)	29.1%
01-413-000-317	Parking/Travel	15.80	250.00	(234.20)	6.3%
01-413-000-320	Telephone	1,638.74	3,000.00	(1,361.26)	54.6%
01-413-000-322	Ipad Expense	115.17	500.00	(384.83)	23.0%
01-413-000-352	Insurance - Liability	269.52	270.00	(0.48)	99.8%
01-413-000-353	Insurance - Vehicle	402.72	403.00	(0.28)	99.9%
01-413-000-354	Insurance - Workers Compensation	2,318.20	685.00	1,633.20	338.4%
01-413-000-420	Dues/Subscriptions/Memberships	422.00	1,500.00	(1,078.00)	28.1%
01-413-000-450	Contracted Services	5,470.00	5,000.00	470.00	109.4%
01-413-000-460	Meetings & Conferences	-	1,000.00	(1,000.00)	0.0%
		339,028.28	417,604.00	(78,575.72)	81.2%
PLANNING & ZONING					
01-414-001-116	Compensation	-	-	-	#DIV/0!

Upper Uwchlan Township
General Fund
Statement of Revenues and Expenditures
For the Period Ended October 31, 2023

GL Account #	Account Description	2023 YTD Actual	2023 Budget	Over (Under) Budget	Actual as % of Budget
01-414-001-200	Supplies	415.19	500.00	(84.81)	83.0%
01-414-001-301	Court Reporter	692.00	1,500.00	(808.00)	46.1%
01-414-001-315	Legal Fees	7,830.00	3,000.00	4,830.00	261.0%
01-414-001-365	Comp Plan Update	38,127.67	50,000.00	(11,872.33)	76.3%
01-414-001-366	Ordinance Update	-	20,000.00	(20,000.00)	0.0%
01-414-001-367	General Planning	-	3,000.00	(3,000.00)	0.0%
01-414-001-368	Advertising	1,187.08	500.00	687.08	237.4%
01-414-001-451	ACT 209	-	-	-	#DIV/0!
		48,251.94	78,500.00	(30,248.06)	61.5%
VILLAGE CONCEPT					
01-414-002-367	General Planning	52,054.06	1,000.00	51,054.06	5205.4%
		52,054.06	1,000.00	51,054.06	5205.4%
ZONING					
01-414-003-100	Compensation	-	800.00	(800.00)	0.0%
01-414-003-301	Court Reporter	1,463.00	2,000.00	(537.00)	73.2%
01-414-003-315	Legal Fees	2,565.00	6,000.00	(3,435.00)	42.8%
01-414-003-450	Contracted Services	-	1,000.00	(1,000.00)	0.0%
		4,028.00	9,800.00	(5,772.00)	41.1%
EMERGENCY OPERATIONS					
01-415-000-200	Supplies	2,658.48	2,000.00	658.48	132.9%
01-415-000-260	Small Tools & Equipment	14.99	1,000.00	(985.01)	1.5%
01-415-000-316	Training/Seminar	600.00	1,200.00	(600.00)	50.0%
01-415-000-317	Parking/Travel	220.05	400.00	(179.95)	55.0%
01-415-000-320	Telephone	-	1,200.00	(1,200.00)	0.0%
01-415-000-330	Other Services/Charges	-	500.00	(500.00)	0.0%
01-415-000-420	Dues/subscriptions/memberships	216.00	50.00	166.00	432.0%
01-415-000-450	Contracted Services	-	500.00	(500.00)	0.0%
01-415-000-740	Computer/Office Equipment	-	1,000.00	(1,000.00)	0.0%
		3,709.52	7,850.00	(4,140.48)	47.3%
ANIMAL CONTROL/OTHER					
01-422-000-530	Contributions - SPCA	3,383.23	4,776.00	(1,392.77)	70.8%
01-422-000-601	Contributions - DARC	24,189.00	25,398.00	(1,209.00)	95.2%
01-422-000-603	Downingtown Senior Center	-	2,000.00	(2,000.00)	0.0%
01-422-000-605	Natural Lands Trust	-	20,000.00	(20,000.00)	0.0%
		27,572.23	52,174.00	(24,601.77)	52.8%
SIGNS					
01-433-000-200	Supplies	5,315.75	5,000.00	315.75	106.3%
01-433-000-450	Contracted Services	-	1,000.00	(1,000.00)	0.0%
		5,315.75	6,000.00	(684.25)	88.6%
SIGNALS					
01-434-000-450	Contracted Services	20,461.52	35,200.00	(14,738.48)	58.1%
		20,461.52	35,200.00	(14,738.48)	58.1%
PUBLIC WORKS					
01-438-000-100	Public Works Wages	377,828.37	521,773.00	(143,944.63)	72.4%
01-438-000-101	Employee Cost Allocated	(19,654.03)	(81,283.00)	61,628.97	24.2%
01-438-000-150	Payroll Tax Expense	30,511.73	39,916.00	(9,404.27)	76.4%
01-438-000-151	PSATS Unemployment Compensation	3,169.09	2,695.00	474.09	117.6%
01-438-000-156	Employee Benefit Expense	171,599.04	184,174.00	(12,574.96)	93.2%
01-438-000-159	Employer HSA Contribution	18,000.00	-	18,000.00	#DIV/0!

Upper Uwchlan Township
General Fund
Statement of Revenues and Expenditures
For the Period Ended October 31, 2023

GL Account #	Account Description	2023 YTD Actual	2023 Budget	Over (Under) Budget	Actual as % of Budget
01-438-000-160	Pension	32,015.00	32,593.00	(578.00)	98.2%
01-438-000-165	Employer 457 Match	-	14,000.00	(14,000.00)	0.0%
01-438-000-181	Longevity	5,400.00	8,850.00	(3,450.00)	61.0%
01-438-000-183	Overtime Wages	5,186.30	26,000.00	(20,813.70)	19.9%
01-438-000-200	Supplies	56,024.76	49,000.00	7,024.76	114.3%
01-438-000-205	Meals & Meal Allowances	143.16	600.00	(456.84)	23.9%
01-438-000-230	Gasoline & Oil	30,794.62	45,000.00	(14,205.38)	68.4%
01-438-000-235	Vehicle Maintenance	18,740.15	20,000.00	(1,259.85)	93.7%
01-438-000-238	Uniforms	5,666.96	4,500.00	1,166.96	125.9%
01-438-000-245	Highway Supplies	12,100.76	9,600.00	2,500.76	126.0%
01-438-000-260	Small Tools & Equipment	8,724.41	9,600.00	(875.59)	90.9%
01-438-000-316	Training/Seminar	4,367.19	5,300.00	(932.81)	82.4%
01-438-000-317	Parking & travel	136.50	800.00	(663.50)	17.1%
01-438-000-320	Telephone	3,659.71	4,300.00	(640.29)	85.1%
01-438-000-322	Ipad Expense	472.91	1,200.00	(727.09)	39.4%
01-438-000-341	Advertising	1,562.22	-	1,562.22	#DIV/0!
01-438-000-342	Accreditation	336.99	5,000.00	(4,663.01)	6.7%
01-438-000-352	Insurance - Liability	1,439.20	1,439.00	0.20	100.0%
01-438-000-353	Vehicle Insurance	1,610.88	1,611.00	(0.12)	100.0%
01-438-000-354	Insurance - Workers Compensation	12,363.84	13,007.00	(643.16)	95.1%
01-438-000-420	Dues and Subscriptions	370.00	400.00	(30.00)	92.5%
01-438-000-450	Contracted Services	72,264.54	94,500.00	(22,235.46)	76.5%
01-438-000-463	Miscellaneous	-	-	-	#DIV/0!
01-438-000-720	Road Resurfacing	-	-	-	#DIV/0!
		854,834.30	1,014,575.00	(159,740.70)	84.3%
	<u>Public Works - Facilities Division</u>				
01-438-001-100	Wages	183,291.52	247,991.00	(64,699.48)	73.9%
01-438-001-101	Employee Costs Allocated	(156,730.72)	(220,095.00)	63,364.28	71.2%
01-438-001-150	Payroll Tax Expense	15,013.15	18,971.00	(3,957.85)	79.1%
01-438-001-151	PSATS Unemployment Compensation	2,964.62	2,695.00	269.62	110.0%
01-438-001-156	Employee Benefit Expense	33,464.81	48,545.00	(15,080.19)	68.9%
01-438-001-159	Employer HSA Contribution	7,500.00	-	7,500.00	#DIV/0!
01-438-001-160	Pension Expense	10,562.56	10,563.00	(0.44)	100.0%
01-438-001-165	Employer 457 Match	-	6,000.00	(6,000.00)	0.0%
01-438-001-174	Tuition Reimbursement	-	-	-	#DIV/0!
01-438-001-181	Longevity	3,450.00	3,450.00	-	100.0%
01-438-001-183	Overtime Wages	4,063.48	8,000.00	(3,936.52)	50.8%
01-438-001-200	Supplies	949.69	2,500.00	(1,550.31)	38.0%
01-438-001-230	Gasoline & Oil	16,800.84	12,000.00	4,800.84	140.0%
01-438-001-235	Vehicle Maintenance	10,662.09	6,500.00	4,162.09	164.0%
01-438-001-238	Uniforms	499.66	1,500.00	(1,000.34)	33.3%
01-438-001-260	Small Tools & Equipment	271.96	-	271.96	#DIV/0!
01-438-001-316	Training & Seminars	232.62	1,600.00	(1,367.38)	14.5%
01-438-001-352	Insurance - Liability	1,439.20	1,439.00	0.20	100.0%
01-438-001-353	Insurance - Vehicles	1,610.84	1,611.00	(0.16)	100.0%
01-438-001-354	Insurance - Workers Compensation	6,181.92	8,899.00	(2,717.08)	69.5%
01-438-001-450	Contracted Services	-	-	-	#DIV/0!
		142,228.24	162,169.00	(19,940.76)	87.7%
	ROAD CONSTRUCTION				
01-439-000-752	East West Link	-	-	-	#DIV/0!
		-	-	-	#DIV/0!

Upper Uwchlan Township
General Fund
Statement of Revenues and Expenditures
For the Period Ended October 31, 2023

GL Account #	Account Description	2023 YTD Actual	2023 Budget	Over (Under) Budget	Actual as % of Budget
PARK & RECREATION					
<i>Parks - General</i>					
01-454-000-150	Scholarships for Youth Groups	-	-	-	#DIV/0!
01-454-001-101	Park wages allocation	156,730.72	220,095.00	(63,364.28)	71.2%
01-454-001-200	Supplies	13,459.02	15,000.00	(1,540.98)	89.7%
01-454-001-201	Park & Rec Special Events	6,275.48	21,000.00	(14,724.52)	29.9%
01-454-001-202	Community Day	37,874.64	30,000.00	7,874.64	126.2%
01-454-001-230	Gasoline & Oil	-	-	-	#DIV/0!
01-454-001-235	Vehicle Maintenance	357.80	4,000.00	(3,642.20)	8.9%
01-454-001-250	Maintenance & Repairs	559.44	500.00	59.44	111.9%
01-454-001-260	Small Tools & Equipment	367.98	6,130.00	(5,762.02)	6.0%
01-454-001-316	Training/Seminars	-	1,000.00	(1,000.00)	0.0%
01-454-001-340	Public Relations	-	-	-	#DIV/0!
01-454-001-354	Insurance - Workers Compensation	3,863.72	4,107.00	(243.28)	94.1%
01-454-001-420	Dues/Subscriptions/Memberships	-	300.00	(300.00)	0.0%
01-454-001-427	Waste Disposal	-	1,500.00	(1,500.00)	0.0%
01-454-001-450	Contracted Services	-	-	-	#DIV/0!
		219,488.80	303,632.00	(84,143.20)	72.3%
HICKORY PARK					
01-454-002-200	Supplies-Hickory	9,188.98	3,000.00	6,188.98	306.3%
01-454-002-231	Propane	-	3,000.00	(3,000.00)	0.0%
01-454-002-250	Maintenance & Repairs	4,313.87	8,000.00	(3,686.13)	53.9%
01-454-002-351	Insurance-Property	6,921.92	6,922.00	(0.08)	100.0%
01-454-002-360	Utilities	2,535.41	5,000.00	(2,464.59)	50.7%
01-454-002-450	Contracted Services	47,427.53	20,000.00	27,427.53	237.1%
		70,387.71	45,922.00	24,465.71	153.3%
FELLOWSHIP FIELDS					
01-454-003-200	Supplies	1,146.83	3,000.00	(1,853.17)	38.2%
01-454-003-250	Maintenance & Repairs	1,203.92	10,000.00	(8,796.08)	12.0%
01-454-003-312	Engineering Fees	-	-	-	#DIV/0!
01-454-003-320	Telephone	1,249.90	2,500.00	(1,250.10)	50.0%
01-454-003-351	Insurance Property	6,921.92	6,922.00	(0.08)	100.0%
01-454-003-360	Utilities	8,860.02	12,000.00	(3,139.98)	73.8%
01-454-003-450	Contracted Services	20,245.00	38,000.00	(17,755.00)	53.3%
		39,627.59	72,422.00	(32,794.41)	54.7%
LARKINS FIELD					
01-454-004-200	Supplies-Larkins	21.66	500.00	(478.34)	4.3%
01-454-004-250	Maintenance & Repair	-	500.00	(500.00)	0.0%
01-454-004-312	Engineering Fee-Larkins	-	-	-	#DIV/0!
01-454-004-450	Contracted Services	3,985.00	3,000.00	985.00	132.8%
		4,006.66	4,000.00	6.66	100.2%

Upper Uwchlan Township
General Fund
Statement of Revenues and Expenditures
For the Period Ended October 31, 2023

GL Account #	Account Description	2023 YTD Actual	2023 Budget	Over (Under) Budget	Actual as % of Budget
UPLAND FARMS					
01-454-005-200	Supplies	7,578.56	7,500.00	78.56	101.0%
01-454-005-231	Propane & Heating Oil	-	5,000.00	(5,000.00)	0.0%
01-454-005-250	Repairs & Maintenance	24,104.07	50,000.00	(25,895.93)	48.2%
01-454-005-351	Insurance - Building	6,921.92	6,922.00	(0.08)	100.0%
01-454-005-360	Utilities	16,255.41	15,000.00	1,255.41	108.4%
01-454-005-450	Contracted Services	9,922.66	20,000.00	(10,077.34)	49.6%
01-454-005-513	Engineering Fees	-	-	-	#DIV/0!
		64,782.62	104,422.00	(39,639.38)	62.0%
	Total Parks and Recreation	398,293.38	530,398.00	(132,104.62)	75.1%
LIBRARY and EAC					
01-455-000-450	EAC Contracted Services	7,600.93	10,000.00	(2,399.07)	76.0%
01-456-000-530	Library Contributions	-	5,000.00	(5,000.00)	0.0%
		7,600.93	15,000.00	(7,399.07)	50.7%
HISTORICAL COMMISSIONS					
01-459-000-200	Supplies	11,980.36	2,500.00	9,480.36	479.2%
01-459-000-320	Telephone	-	1,000.00	(1,000.00)	0.0%
01-459-000-450	Contracted Services	4,062.00	1,500.00	2,562.00	270.8%
		16,042.36	5,000.00	11,042.36	320.8%
	Total Expenditures Before Operating Transfers	6,259,527.99	7,443,412.00	(1,183,884.01)	84.1%
	Excess of Revenues over Expenses Before Operating Transfers	1,352,233.57	779,026.00	573,207.57	173.6%
OPERATING TRANSFERS					
	Transfer from Turf Field Cash account	-	-	-	#DIV/0!
01-492-000-030	Transfer to Capital Projects Fund	566,564.26	450,000.00	116,564.26	125.9%
01-492-000-031	Transfer to Solid Waste Fund	-	-	-	#DIV/0!
01-492-000-033	Transfer to Developer's Escrow Fund	-	-	-	#DIV/0!
01-492-000-034	Transfer to Act 209 Fund	-	-	-	#DIV/0!
01-492-000-035	Transfer to Municipal Authority	-	-	-	#DIV/0!
01-492-000-036	Transfer to Water Resource Protection Fund	300,000.00	300,000.00	-	100.0%
		866,564.26	750,000.00	116,564.26	115.5%
	Total Expenditures after Operating Transfers	7,126,092.25	8,193,412.00	(1,067,319.75)	87.0%
EXCESS OF REVENUES OVER EXPENSES		\$ 485,669.31	\$ 29,026.00	\$ 456,643.31	1673.2%

Upper Uwchlan Township
Liquid Fuels Fund
Balance Sheet
As of October 31, 2023

ASSETS

Cash		
04-100-000-000	Cash - Fulton Bank	\$ 706,266.45
	Total Cash	<u>706,266.45</u>
Investments		
04-120-000-100	Certificate of Deposit - Presence Bank	516,680.83
	Total Certificates of Deposit	<u>516,680.83</u>
Other Current Assets		
04-130-000-001	Due from General Fund	-
04-130-000-002	Due from Capital Fund	-
	Other Assets	-
	Total Other Current Assets	<u>-</u>
	Total Assets	\$ 1,222,947.28

LIABILITIES AND FUND BALANCE

Accounts Payable		
04-200-000-000	Accounts Payable	-
04-258-000-000	Accrued Expenses	-
	Total Accounts Payable	<u>-</u>
Other Current Liabilities		
	Other Liabilities	-
04-230-000-010	Due To General Fund	-
04-252-000-000	Deferred Revenues	-
	Total Other Current Liabilities	<u>-</u>
	Total Liabilities	-
Equity		
04-272-000-001	Opening Balance Equity	192,790.66
04-272-000-002	Retained Earnings	974,460.81
04-272-000-003	Transfer from Other Funds	-
	Unrestricted Net Assets	-
	Current Period Net Income (Loss)	55,695.81
	Total Equity	<u>1,222,947.28</u>
	Total Fund Balance	\$ 1,222,947.28
	Total Liabilities & Fund Balance	\$ 1,222,947.28

Upper Uwchlan Township
Liquid Fuels Fund
Statement of Revenues and Expenditures
For the Period Ending October 31, 2023

GL Account #	Account Description	2023 YTD Actual	2023 Budget	Over (Under) Budget	Actual as % of Budget
REVENUES					
04-341-000-000	Interest Earnings	\$ 47,357.32	\$ 7,000.00	40,357.32	677%
04-355-000-002	Motor Fuel Vehicle Taxes	401,446.69	393,350.00	8,096.69	102%
04-389-000-001	Winter Snow Agreement	692.76	600.00	92.76	115%
04-389-000-002	Turnback Maintenance	14,520.00	14,520.00	-	100%
	Total Revenues	\$ 464,016.77	\$ 415,470.00	\$ 48,546.77	994%
EXPENDITURES					
Equipment					
04-400-000-074	Equipment Purchases	-	-	-	#DIV/0!
	Total Equipment	-	-	-	#DIV/0!
Snow					
04-432-000-239	Snow & Ice Supplies	19,641.49	75,000.00	(55,358.51)	26%
04-432-000-250	Vehicle Maintenance & Repair	-	4,000.00	(4,000.00)	0%
04-432-000-450	Snow & Ice Contracted Services	2,536.88	24,000.00	(21,463.12)	11%
	Total Snow	22,178.37	103,000.00	(80,821.63)	37%
Road Projects					
04-438-000-239	Road Project Supplies	-	31,000.00	(31,000.00)	0%
04-438-000-450	Road Project Contracted Services	-	-	-	#DIV/0!
	Total Road Projects	-	31,000.00	(31,000.00)	#DIV/0!
Highway Construction					
04-439-001-250	Resurfacing	386,142.59	549,333.00	(163,190.41)	70%
04-439-002-250	Base Repairs - Pa. Drive	-	6,000.00	(6,000.00)	0%
	Total Highway Construction	386,142.59	555,333.00	(169,190.41)	0.70
	Total Expenditures	\$ 408,320.96	\$ 689,333.00	\$ (281,012.04)	59%
	Excess of Revenues over Expenditures	\$ 55,695.81	\$ (273,863.00)	\$ 329,558.81	-20%

Upper Uwchlan Township
Solid Waste Fund
Balance Sheet
As of October 31, 2023

ASSETS

Cash		
05-100-000-010	Meridian Bank	\$ 60,481.14
05-100-000-030	Cash - Fulton Bank	770,980.21
	Total Cash	<u>831,461.35</u>

Accounts Receivable		
05-130-000-045	WIPP Receivable from MA	117,500.78
05-145-000-010	Solid Waste Receivable	129,387.67
05-145-000-095	Misc. Receivable	-
		<u>246,888.45</u>

Other Current Assets

05-130-000-010	Due from General Fund	1,920.97
05-130-000-020	Due from Capital Fund	-
05-130-000-050	Due from Municipal Authority	4,320.50
05-155-000-010	Prepaid Attorney Fees	-
	Other Assets	-
	Total Other Current Assets	<u>6,241.47</u>

Total Assets	\$	1,084,591.27
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LIABILITIES AND FUND BALANCE

Accounts Payable		
05-200-000-020	Accounts Payable	-
05-258-000-000	Accrued Expenses	-
	Total Accounts Payable	<u>-</u>

Other Current Liabilities

05-239-000-010	Due To General Fund	20,018.03
05-239-000-020	Due To Capital Fund	-
05-239-000-030	Due to Liquid Fuels Fund	-
05-239-000-040	Due to Act 209 Fund	-
05-239-000-050	Due to Municipal Authority	140.00
05-239-000-055	Due to Water Resource Protection Fund	-
05-252-000-010	Deferred Revenues	112,898.38
	Total Other Current Liabilities	<u>133,056.41</u>

Total Liabilities	133,056.41
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Equity

05-272-000-001	Opening Balance Equity	984,603.98
05-272-000-004	Unrestricted Net Assets	(266,446.24)
	Current Period Net Income (Loss)	233,377.12
	Total Equity	<u>951,534.86</u>

Total Fund Balance	\$	951,534.86
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Total Liabilities & Fund Balance	\$	1,084,591.27
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Upper Uwchlan Township
Solid Waste Fund
Statement of Revenues and Expenditures
For the Period Ending October 31, 2023

GL Account #	Account Description	2023 YTD Actual	2023 Budget	Over (Under) Budget	Actual as % of Budget
REVENUES					
05-341-000-000	Interest Earnings	\$ 21,676.40	\$ 1,600.00	20,076.40	1355%
05-364-000-010	Solid Waste Income	1,175,002.13	1,130,973.00	44,029.13	104%
05-364-000-015	Resident Refunds	(2,141.36)	-	(2,141.36)	#DIV/0!
05-364-000-020	Recycling Income	-	5,000.00	(5,000.00)	0%
05-364-000-025	Hazardous Waste Event	1,890.97	2,000.00	(109.03)	95%
05-364-000-030	Leaf Bags Sold	105.00	500.00	(395.00)	21%
05-364-000-035	Scrap Metal Sold	661.20	500.00	161.20	132%
	Equipment Purchase Grant (Pa.)	-	-	-	#DIV/0!
05-364-000-040	Performance Grant	23,545.78	25,000.00	(1,454.22)	94%
05-380-000-000	Misc Income	-	-	-	#DIV/0!
	Total Revenues	\$ 1,220,740.12	\$ 1,165,573.00	\$ 55,167.12	#DIV/0!
EXPENDITURES					
Operations					
05-427-000-101	Employee Cost Allocation	19,654.03	20,535.00	(880.97)	96%
05-427-000-150	Bank Fees	175.00	200.00	(25.00)	88%
05-427-000-200	Supplies	(39.00)	2,000.00	(2,039.00)	-2%
05-427-000-210	Utility Billing Expenses	4,013.36	5,000.00	(986.64)	80%
05-427-000-220	Postage	2,315.25	2,300.00	15.25	101%
05-427-000-230	Toters	53,543.00	36,069.00	17,474.00	148%
05-427-000-314	Legal Fees	10,991.34	9,000.00	1,991.34	122%
05-427-000-316	Training & Seminars	-	500.00	(500.00)	0%
05-427-000-420	Dues/Subscriptions/Memberships	160.00	125.00	35.00	128%
05-427-000-450	Contracted Services - Solid Waste	377,047.54	457,665.00	(80,617.46)	82%
05-427-000-460	Contracted Services - Recycling	175,327.77	192,609.00	(17,281.23)	91%
05-427-000-700	Tipping Fees	212,901.24	283,000.00	(70,098.76)	75%
05-427-000-725	Tipping Fees - Recycling	43,957.87	52,000.00	(8,042.13)	85%
05-427-000-800	Recycling Disposal	392.00	9,000.00	(8,608.00)	4%
05-427-000-805	Electronic Waste Event	-	6,000.00	(6,000.00)	0%
05-427-000-810	Hazardous Waste Event	1,923.60	-	1,923.60	#DIV/0!
	Total Operations	902,363.00	1,076,003.00	(173,640.00)	84%
Operating Transfers					
05-492-000-030	Transfer to Capital Fund	85,000.00	85,000.00	-	100%
	Transfer to General Fund	-	-	-	#DIV/0!
	Total Operating Transfers	85,000.00	85,000.00	-	#DIV/0!
	Total Expenditures	\$ 987,363.00	\$ 1,161,003.00	\$ (173,640.00)	85%
	Excess of Revenues over Expenditures	\$ 233,377.12	\$ 4,570.00	\$ 228,807.12	5107%

Upper Uwchlan Township
Water Resource Protection Fund
Balance Sheet
As of October 31, 2023

ASSETS

Cash		
08-100-000-100	Cash - Fulton Bank	377,866.05
	Total Cash	<u>377,866.05</u>

Other Current Assets

08-130-000-010	Due from General Fund	-
08-130-000-020	Due from Municipal Authority	-
08-130-000-030	Due from Solid Waste Fund	-
08-145-000-095	Misc. Receivable	-
	Total Other Current Assets	<u>-</u>

Total Assets	\$	377,866.05
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LIABILITIES AND FUND BALANCE

Accounts Payable

08-200-000-000	Accounts Payable	-
08-258-000-000	Accrued Expenses	-
	Total Accounts Payable	<u>-</u>

Other Current Liabilities

08-230-000-010	Due To General Fund	-
08-230-000-020	Due to Municipal Authority	-
08-230-000-030	Due to Capital Fund	-
	Deferred Revenues	-
	Total Other Current Liabilities	<u>-</u>

Total Liabilities	\$	-
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Equity

08-272-000-100	Unrestricted Net Assets	419,662.12
08-272-000-200	Restricted Net Assets	-
	Current Period Net Income (Loss)	(41,796.07)
	Total Equity	<u>377,866.05</u>

Total Fund Balance	\$	377,866.05
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Total Liabilities & Fund Balance	\$	377,866.05
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Upper Uwchlan Township
Water Resource Protection Fund
Statement of Revenues and Expenditures
For the Period Ending October 31, 2023

GL Account #	Account Description	2023 YTD Actual	2023 Budget	Over (Under) Budget	Actual as % of Budget
REVENUES					
08-341-000-010	Interest Earnings	\$ 10,237.48	\$ 600.00	9,637.48	1706%
08-351-000-010	Federal Grants	-	-	-	#DIV/0!
08-354-000-010	County Grants	-	-	-	#DIV/0!
08-354-000-020	State Grants	-	-	-	#DIV/0!
08-361-000-100	Water Resource Protection Fees	-	-	-	#DIV/0!
08-392-000-010	Transfer from the General Fund	-	300,000.00	(300,000.00)	0%
08-392-000-020	Transfer from Municipal Authority	-	-	-	#DIV/0!
08-395-000-000	Refund of Prior Year Expenditures	-	-	-	#DIV/0!
	Miscellaneous Revenue	-	-	-	#DIV/0!
Total Revenues		\$ 10,237.48	\$ 300,600.00	\$ (290,362.52)	3%
EXPENDITURES					
Operations					
08-404-000-310	Wage Allocation	-	60,748.00	(60,748.00)	0%
08-404-000-311	Legal Fees	58.00	-	58.00	#DIV/0!
08-406-000-010	Grant Application Fees	-	-	-	#DIV/0!
08-406-000-340	Public Relations	-	-	-	
08-408-000-010	Engineering	-	5,000.00	(5,000.00)	0%
08-408-000-020	Feasibility Studies	-	140,022.00	(140,022.00)	0%
08-420-000-035	Permits	2,500.00	-	2,500.00	#DIV/0!
08-420-000-260	Small Tools & Equipment	2,195.73	1,500.00	695.73	146%
08-446-000-101	Allocated Wages	-	-	-	#DIV/0!
08-446-000-200	Supplies	10,180.08	27,112.00	(16,931.92)	38%
08-446-000-230	Gasoline & Oil	-	2,400.00	(2,400.00)	0%
08-446-000-235	Vehicle maintenance	2,565.23	4,250.00	(1,684.77)	60%
08-446-000-250	Maintenance & Repair	19,217.40	25,600.00	(6,382.60)	75%
08-446-000-316	Training & Seminars	-	2,000.00	(2,000.00)	0%
08-446-000-450	Contracted Services	15,317.11	30,000.00	(14,682.89)	51%
08-446-000-600	Construction	-	-	-	#DIV/0!
08-446-004-600	Construction - Upland Farms	-	-	-	#DIV/0!
08-446-005-600	Construction - Marsh Creek	-	-	-	#DIV/0!
08-446-001-250	Maintenance & Repair - MA	-	-	-	#DIV/0!
08-446-001-600	Construction - MA	-	-	-	#DIV/0!
	Total Operations	52,033.55	298,632.00	(246,598.45)	17%
Operating Transfers					
	Transfer to General Fund	-	-	-	#DIV/0!
	Total Operating Transfers	-	-	-	#DIV/0!
Total Expenditures		\$ 52,033.55	\$ 298,632.00	\$ (246,598.45)	17%
Excess of Revenues over Expenditures		\$ (41,796.07)	\$ 1,968.00	\$ (43,764.07)	-2124%

Upper Uwchlan Township
Act 209 Fund
Balance Sheet
As of October 31, 2023

ASSETS

Cash		
09-100-000-010	Cash - Fulton Bank	\$ 57,882.56
	Total Cash	57,882.56
Investments		
09-120-000-100	Certificate of Deposit	1,023,424.66
	Total Certificates of Deposit	1,023,424.66
Other Current Assets		
09-130-000-000	Due from General Fund	-
09-130-000-001	Due from Capital Fund	-
09-191-000-000	Other Assets	-
	Reserve - Accounts Receivable	-
	Total Other Current Assets	-
Total Assets		\$ 1,081,307.22

LIABILITIES AND FUND BALANCE

Accounts Payable		
09-200-000-000	Accounts Payable	-
09-258-000-000	Accrued Expenses	-
	Total Accounts Payable	-
Other Current Liabilities		
09-297-000-000	Other Liabilities	-
09-297-000-001	Due To General Fund	-
09-297-000-002	Due To Capital Fund	-
	Total Other Current Liabilities	-
Total Liabilities		\$ -
Equity		
09-272-000-001	Opening Balance Equity	299,600.19
09-272-000-002	Permanently Restricted Net Assets	-
09-272-000-003	Retained Earnings	496,762.39
09-272-000-004	Temporarily Restricted Net Assets	-
09-272-000-005	Unrestricted Net Assets	251,305.53
	Current Period Net Income (Loss)	33,639.11
	Total Equity	1,081,307.22
Total Fund Balance		\$ 1,081,307.22
Total Liabilities & Fund Balance		\$ 1,081,307.22

Upper Uwchlan Township
Act 209 Fund
Statement of Revenues and Expenditures
For the Period Ended October 31, 2023

GL Account #	Account Description	2023 YTD Actual	2023 Budget	Over (Under) Budget	Actual as % of Budget
09-341-000-000	Interest Income	\$ 33,789.11	\$ 1,000.00	\$ 32,789.11	3378.9%
09-354-000-030	Grant Revenue - Federal	-	-	-	#DIV/0!
09-354-000-140	Grant Revenue - State (ARLE)	-	-	-	#DIV/0!
09-379-000-010	Transportation Impact Fees	-	-	-	#DIV/0!
09-379-000-020	Transportation Impact Fees - Reserve	-	-	-	#DIV/0!
09-380-000-000	Misc Revenue	-	-	-	#DIV/0!
09-395-000-100	Transfer from General Fund	-	-	-	#DIV/0!
09-395-000-200	Transfer from Capital Fund	-	-	-	#DIV/0!
	Total Revenue	33,789.11	1,000.00	32,789.11	#DIV/0!
09-427-000-150	Bank Fees	150.00			#DIV/0!
09-489-000-000	Arle Grant - Act 209	-	-	-	#DIV/0!
09-489-000-010	Engineering Fees	-	-	-	#DIV/0!
09-489-000-020	Construction	-	-	-	#DIV/0!
09-489-000-045	Contracted Services	-	-	-	#DIV/0!
09-489-000-600	Capital Construction	-	-	-	#DIV/0!
	Total Expenditures	150.00	-	-	#DIV/0!
	Excess of Revenues over Expenditures	\$ 33,639.11	\$ 1,000.00	\$ 32,789.11	#DIV/0!

Upper Uwchlan Township
Sewer Fund
Balance Sheet
As of October 31, 2023

ASSETS

Cash		
15-100-000-100	Cash - Fulton Bank	\$ 108,144.89
15-100-000-200	Cash - Construction Fund (PSDLAF)	83.59
	Total Cash	<u>108,228.48</u>
Other Current Assets		
15-130-000-001	Due from General Fund	-
15-130-000-002	Due from Municipal Authority	-
15-136-000-100	Interest Receivable	-
	Other Assets	-
	Total Other Current Assets	<u>-</u>
Long-Term Assets		
15-130-000-005	Due from Municipal Authority - 2019 Bonds	5,205,556.07
15-161-000-100	Sewer Easements	-
15-163-000-100	Capital Assets - Plant	26,377,547.00
15-163-000-110	Construction in Progress	74,706.00
15-163-000-200	Capital Assets - Expansion	116,592.00
15-163-000-500	Accumulated Depreciation	(5,452,719.40)
15-157-000-100	Discount on Bonds - Series of 2019	16,587.35
15-157-000-110	OID Amortization - Series of 2019	(2,883.64)
		<u>26,335,385.38</u>
	Total Assets	\$ 26,443,613.86

LIABILITIES AND FUND BALANCE

Current Liabilities		
15-200-000-000	Accounts Payable	-
15-230-000-001	Due To General Fund	-
15-230-000-002	Due to Municipal Authority	-
15-258-000-000	Accrued Expenses	-
15-258-000-045	Retainage Payable	-
15-258-000-100	Interest Payable on Bonds - 2014	-
15-258-000-105	Interest Payable on Bonds - 2019	85,518.25
15-258-000-110	Interest Payable on Bonds - Series A of 2019	49,041.65
	Total Accounts Payable	<u>134,559.90</u>
Long Term Liabilities		
15-261-000-100	General Obligation Bonds- Series of 2014	-
15-261-000-105	General Obligation Bonds- Series of 2019	5,185,000.00
15-261-000-110	General Obligation Bonds- Series A of 2019	4,450,000.00
15-261-000-200	Premium on Bonds - Series of 2014	86,933.00
15-261-000-210	Premium on Bonds - Series A of 2019	132,902.90
15-261-000-250	Accrued Amortization on Bond Premium - 2014	-
15-261-000-260	Accrued Amortiz on Bond Premium - Series of 2019	(28,241.86)
		<u>9,826,594.04</u>
	Total Liabilities	9,961,153.94

Equity

15-272-000-100	Unrestricted Net Assets	16,585,287.52
	Current Period Net Income (Loss)	(102,827.60)
	Total Equity	<u>16,482,459.92</u>

Total Fund Balance \$ 16,482,459.92

Total Liabilities & Fund Balance \$ 26,443,613.86

Upper Uwchlan Township
Sewer Fund
Statement of Revenues and Expenditures
For the Period Ending October 31, 2023

GL Account #	Account Description	2023 YTD Actual	2023 Budget	Over (Under) Budget	Actual as % of Budget
REVENUES					
15-341-000-000	Interest Earnings	\$ 2,912.43	\$ 1,000.00	1,912.43	291%
15-342-000-100	Operations Mgmt Agreement Fees - 2014 bonds	-	-	-	#DIV/0!
15-342-000-200	Operations Mgmt Agreement Fees - 2019 bonds	102,322.73	235,244.00	(132,921.27)	43%
15-342-000-300	Operations Mgmt Agreement Fees - Series A of 2019 (MA)	58,665.81	332,700.00	(274,034.19)	18%
Total Revenues		\$ 163,900.97	\$ 568,944.00	\$ (405,043.03)	#DIV/0!
EXPENDITURES					
General					
15-400-000-461	Bank Fees	1,000.00	800.00	200.00	125%
15-400-000-463	Misc Expenses	-	1,000.00	(1,000.00)	0%
15-404-000-100	Legal Fees	-	-	-	#DIV/0!
		1,000.00	1,800.00	(800.00)	1.25
Bond expenses					
15-472-000-100	Bond Interest Expense - Series of 2014	-	-	-	#DIV/0!
15-472-000-105	Bond Interest Expense - Series of 2019	170,737.35	205,244.00	(34,506.65)	83%
15-472-000-110	Bond Interest Expense - Series A of 2019	97,899.11	117,700.00	(19,800.89)	83%
15-472-000-200	Bond Issuance Costs	-	-	-	#DIV/0!
15-472-000-300	Bond Amortization Expense - 2014 Bonds	-	-	-	#DIV/0!
15-472-000-305	Bond Amortization Expense - 2019 Bonds	414.68	829.00	(414.32)	50%
15-472-000-310	Bond Amortization Expense - 2019A Bonds	(3,322.57)	(6,645.00)	3,322.43	50%
Total Debt Expenses		265,728.57	317,128.00	(54,307.54)	#DIV/0!
Other					
15-493-000-083	Depreciation	-	-	-	#DIV/0!
		-	-	-	#DIV/0!
Total Expenditures before Transfers		\$ 266,728.57	\$ 318,928.00	\$ (55,107.54)	84%
Transfers					
15-492-000-010	Transfer to Municipal Authority	-	-	-	#DIV/0!
Total Transfers		-	-	-	#DIV/0!
Total Expenditures and Transfers		266,728.57	318,928.00	(55,107.54)	#DIV/0!
Excess of Revenues over Expenditures		\$ (102,827.60)	\$ 250,016.00	\$ (349,935.49)	-41%

Upper Uwchlan Township
Capital Projects Fund
Balance Sheet
As of October 31, 2023

ASSETS

Cash			
30-100-000-010	Cash - Fulton Bank	\$	264,286.58
30-100-000-020	PSDLAF		5,109.71
30-110-000-100	Fulton Bank - 2019 Bond Proceeds		
30-110-000-200	Fulton Bank - 2019 Bond Proceeds - ICS		0.55
	Total Cash		<u>269,396.84</u>
Accounts Receivable			
30-130-000-001	Due from General Fund		-
30-130-000-002	Due From Municipal Authority		-
30-130-000-003	Due from Escrow Fund		-
30-130-000-004	Due from Solid Waste Fund		-
30-130-000-005	Due From Liquid Fuels Fund		-
30-130-000-006	Due from Act 209 Fund		-
30-130-000-007	Due from Water Resource Protection Fund		-
30-130-000-008	Due from MA Capital Fund		15,100.00
	Total Accounts Receivable		<u>15,100.00</u>
Other Current Asset			
30-155-000-000	Prepaid Expenses		17,500.00
30-191-000-000	Other Assets		-
	Total Other Current Asset		<u>17,500.00</u>
	Total Assets	\$	301,996.84

LIABILITIES AND FUND BALANCE

Accounts Payable			
30-200-000-000	Accounts Payable		-
30-258-000-000	Accrued Expenses		-
30-258-000-100	Interest Payable - 2019 Bonds		77,083.50
30-261-000-100	General Obligation Bonds - Series of 2019		4,955,000.00
30-261-000-150	Premium on GO Bonds - Series of 2019		247,103.30
30-261-000-160	Accrued Amortization - Series of 2019		(49,420.65)
	Total Accounts Payable		<u>5,229,766.15</u>
Long Term Liabilities			
30-297-000-000	Other Liabilities		-
	Total Long Term Liabilities		<u>-</u>
Other Current Liabilities			
30-230-000-000	Due to General Fund		-
30-230-000-001	Due To Liquid Fuels		-
30-230-000-002	Due to Act 209		-
30-230-000-003	Due to Solid Waste Fund		-
30-230-000-004	Due to Municipal Authority		-
30-230-000-005	Due To Escrow Fund		-
	Total Other Current Liabilities		<u>-</u>
	Total Liabilities	\$	5,229,766.15
Equity			
30-272-000-001	Opening Balance Equity		948,398.39
30-272-000-004	Unrestricted Net Assets		(5,173,139.86)
	Current Period Net Income (Loss)		(703,027.84)
	Total Equity		<u>(4,927,769.31)</u>
	Total Fund Balance	\$	(4,927,769.31)
	Total Liabilities & Fund Balance	\$	301,996.84

Upper Uwchlan Township
Capital Projects Fund
Statement of Revenues and Expenditures
For the Period Ending October 31, 2023

GL Account #	Account Description	2023 YTD Actual	2023 Budget	Over (Under) Budget	Actual as % of Budget
REVENUES					
30-341-000-000	Interest Earnings	\$ 16,122.90	\$ 10,000.00	6,122.90	161%
30-354-000-010	Grant Revenue - County	-	-	-	#DIV/0!
30-354-000-020	Grant Revenue - State	-	100,000.00	(100,000.00)	0%
30-354-000-030	Grant Revenue - Federal	-	-	-	#DIV/0!
30-354-000-040	Grant Revenue - Other	-	5,800.00	(5,800.00)	0%
30-391-000-100	Sale of Fixed Assets	34,381.00	5,000.00	29,381.00	688%
30-392-000-001	Transfer from General Fund	562,867.96	450,000.00	112,867.96	125%
30-392-000-005	Transfer from Solid Waste Fund	-	85,000.00	(85,000.00)	0%
30-392-000-020	Transfer from Act 209 Fund	-	-	-	#DIV/0!
30-392-000-030	Transfer from the Municipal Authority	-	-	-	#DIV/0!
30-393-000-000	Capital Income	118,544.00	-	118,544.00	#DIV/0!
30-393-000-020	Proceeds from Long Term Debt	-	-	-	#DIV/0!
30-393-000-400	Other financing sources	10,000.00	-	10,000.00	#DIV/0!
		<u>741,915.86</u>	<u>655,800.00</u>	<u>86,115.86</u>	<u>113%</u>
	Total Revenues	\$ 741,915.86	\$ 655,800.00	\$ 86,115.86	113%
CAPITAL EXPENSES					
Township Properties					
30-409-000-700	Capital Purchases-General	-	-	-	#DIV/0!
30-409-001-700	Capital Purchases-Executive	-	-	-	#DIV/0!
30-409-002-600	Capital Construction - Township Bldg	-	-	-	#DIV/0!
30-409-002-610	Township Bldg Expansion 2018-2020	-	-	-	#DIV/0!
30-409-002-700	Capital Purchases - Twp Bldg	-	-	-	#DIV/0!
30-409-003-600	Capital Construction - PW Bldg	-	-	-	#DIV/0!
30-409-003-700	Capital Purchases - PW Bldg	7,050.00	-	7,050.00	#DIV/0!
30-409-004-600	Capital Construction - Milford Rd.	-	-	-	#DIV/0!
30-409-004-700	Capital Purchases - Milford Rd.	-	-	-	#DIV/0!
	Total Township	<u>7,050.00</u>	<u>-</u>	<u>7,050.00</u>	<u>#DIV/0!</u>
Police					
30-410-000-700	Capital Purchases- Police	320,496.25	182,840.00	137,656.25	175%
	Future Purchase	-	-	-	#DIV/0!
		<u>320,496.25</u>	<u>182,840.00</u>	<u>137,656.25</u>	<u>175%</u>
Codes					
30-413-000-700	Capital Purchases	-	34,000.00	(34,000.00)	0%
		<u>-</u>	<u>34,000.00</u>	<u>(34,000.00)</u>	<u>0%</u>
Emergency Management					
30-415-000-700	Capital Purchases	-	-	-	#DIV/0!
		<u>-</u>	<u>-</u>	<u>-</u>	<u>#DIV/0!</u>
Public Works					
30-438-000-700	Capital Purchases-Vehicles	-	-	-	#DIV/0!
30-438-000-701	Capital Purchases - Equipment	450,427.64	149,800.00	300,627.64	301%
	Total Public Works	<u>450,427.64</u>	<u>149,800.00</u>	<u>300,627.64</u>	<u>#DIV/0!</u>
Roads					
30-502-434-700	Traffic Signals	136,326.34	-	136,326.34	#DIV/0!
	Little Conestoga Road Crosswalk	-	-	-	#DIV/0!
	Lyndell Road Bridge	-	-	-	#DIV/0!
		<u>136,326.34</u>	<u>-</u>	<u>136,326.34</u>	<u>#DIV/0!</u>

Upper Uwchlan Township
Capital Projects Fund
Statement of Revenues and Expenditures
For the Period Ending October 31, 2023

Parks					
All Parks					
30-454-000-700	Capital Purchases - All Parks	814.37	25,198.00	(24,383.63)	3%
Hickory Park					
30-454-001-600	Capital Construction - Hickory	81,276.69	500,000.00	(418,723.31)	16%
30-454-001-700	Capital Purchases - Hickory	-	-	-	#DIV/0!
Fellowship Fields					
30-454-002-600	Capital Construction - Fellowship	37,718.19	-	37,718.19	#DIV/0!
30-454-002-700	Capital Purchases - Fellowship	10,750.00	-	10,750.00	#DIV/0!
Larkins Field					
30-454-003-600	Capital Construction - Larkins	-	-	-	#DIV/0!
30-454-003-700	Capital Purchases - Larkins	-	-	-	#DIV/0!
Upland Farms					
30-454-004-600	Capital Construction - Upland	232,095.00	200,000.00	32,095.00	116%
30-454-004-610	Fund Raising - Upland	-	-	-	#DIV/0!
30-454-004-700	Capital Purchases - Upland	-	-	-	#DIV/0!
Village of Eagle Pocket Park					
30-506-000-100	Design	-	-	-	#DIV/0!
30-506-000-600	Capital Construction	-	-	-	#DIV/0!
30-506-000-700	Capital Purchases	-	-	-	#DIV/0!
	Total Parks Capital	362,654.25	725,198.00	(362,543.75)	50%
Trails					
30-455-000-650	Grant-Trails/Bridge - Struble Trail	20,000.00	50,000.00	(30,000.00)	40%
30-455-000-651	Phase IV-Pk Rd Trail	-	-	-	#DIV/0!
30-455-000-652	Side Path Project	-	-	-	#DIV/0!
	Total Trails	20,000.00	50,000.00	(30,000.00)	40%
Debt Service					
30-472-000-100	Interest Expense - Series of 2019	154,166.80	185,000.00	(30,833.20)	83%
30-472-000-200	Cost of Issuance - Series of 2019	-	-	-	#DIV/0!
30-472-000-300	Bond Amortization Expense - Series of 2019	(6,177.58)	(12,355.00)	6,177.42	50%
30-500-471-003	Capital Lease - Principal	-	-	-	#DIV/0!
30-500-472-003	Capital Lease - Interest	-	-	-	#DIV/0!
	Total Debt Service	147,989.22	172,645.00	(24,655.78)	86%
Village Concept					
30-506-000-100	Design - Village of Eagle	-	-	-	#DIV/0!
30-506-000-600	Construction - Village of Eagle	-	-	-	#DIV/0!
30-507-000-010	Misc Expenses	-	-	-	#DIV/0!
		-	-	-	#DIV/0!
Total Expenditures before Operating Transfers					
		\$ 1,444,943.70	\$ 1,314,483.00	\$ 130,460.70	110%
Operating Transfers					
30-505-000-010	Transfers to the General Fund	-	-	-	#DIV/0!
30-505-000-020	Transfers to the Solid Waste Fund	-	-	-	#DIV/0!
30-505-000-030	Transfers to the Act 209 Fund	-	-	-	#DIV/0!
	Total Operating Transfers	-	-	-	#DIV/0!
Excess of Revenues over Expenditures and Operating Transfers					
		\$ (703,027.84)	\$ (658,683.00)	\$ (44,344.84)	106.73%

**Upper Uwchlan Township
Developers Escrow Fund
Balance Sheet
As of October 31, 2023**

ASSETS

Cash		
40-100-000-100	Cash - Fulton Bank	\$ 305,010.79
	Total Cash	305,010.79
Other Current Assets		
40-130-000-010	Due from General Fund	(3,201.93)
40-130-000-020	Due from Solid Waste Fund	-
40-130-000-030	Due from Municipal Authority	-
	Total Other Current Assets	(3,201.93)
Total Assets		\$ 301,808.86

LIABILITIES AND FUND BALANCE

Accounts Payable		
40-200-000-000	Accounts Payable	-
	Total Accounts Payable	-
Other Current Liabilities		
40-230-000-010	Due To General Fund	460.00
40-230-000-020	Due to Solid Waste Fund	-
40-230-000-030	Due to Municipal Authority	13,658.07
	<u>Due to Developers:</u>	
40-248-000-001	Toll Brothers	-
40-248-000-004	Columbia Gas Transmission LLC	8,150.24
40-248-000-005	Chester County - Radio Tower	-
40-248-000-006	Executive Land Holdings	-
40-248-000-007	Park Road Townhomes	-
40-248-000-009	Open Community Corp.	(20,197.91)
40-248-000-010	Sunoco Reed Road	4,147.14
40-248-000-011	McHugh	-
40-248-000-012	Marsh Lea	-
40-248-000-013	Eagle Pointe	-
40-248-000-014	Grashof	-
40-248-000-015	McKee Fetters	-
40-248-000-017	Vantage Point Retirement	(7,953.48)
40-248-000-018	CarSense	-
40-248-000-019	Village at Byers	-
40-248-000-020	Milford Rd. Associates	-
40-248-000-021	Townes at Chester Springs	-
40-248-000-022	Eagle Village Parking	-
40-248-000-023	Fish Eye	17,654.23
40-248-000-024	Jankowski	-
40-248-000-025	Eagleview Lot 1C	(925.99)
40-248-000-026	Lot 1B Maintenance Area	775.34
40-248-000-027	122 Oscar Way	-
40-248-000-028	Commercial 5C	-
40-248-000-030	Profound Technologies	-
40-248-000-031	Windsor Baptist Church	4,134.00
40-248-000-032	Eagle Village Parking Expansion	-
40-248-000-033	Chester Springs Crossing	8.81
40-248-000-034	Starbucks @ Eaglepoint Village	-
40-248-000-035	The Preserve at Marsh Creek SD	(24,069.21)
40-248-000-036	McKee Toll Traffic Impact Fee	63.75
40-248-000-500	Gunner Properties Performance	-
40-248-000-038	Enclave at Chester Springs	7,723.34
40-248-000-039	164 Byers Rd QBD	(1,065.52)

Upper Uwchlan Township
Developers Escrow Fund
Balance Sheet
As of October 31, 2023

40-248-000-040	Aurora Greenridge	-
40-248-000-041	Aurora Greenridge	-
40-248-000-042	DeWees 363 Byers Road	-
40-248-000-043	Black Horse Farm	(95.23)
40-248-000-044	Aecom Technology	-
40-248-000-045	11 Senn Drive Parking	350.06
40-248-000-046	Byers Station Parcel 5C Lot 2B	2,789.08
40-248-000-047	461 Font Road	-
40-248-000-048	301 Park Road	4,051.96
40-248-000-049	Eagleview Lot 1A	845.57
40-248-000-050	Eagle Animal Hospital	(138.92)
40-248-000-051	Rockhill Real Estate Enterprises	2,099.09
40-248-000-052	100 Greenridge Road	3,079.84
40-248-001-019	Villages Dedication	21,099.35
40-248-001-032	Gunner Parking Exp Construction	-
40-248-001-033	Crossings Dedication	16.60
40-248-001-035	The Preserve at Marsh Creek Sewer	50,988.50
40-248-001-038	Enclave at Chester Springs site	59,591.37
40-248-002-035	PMC Sewer Phase III	(1,546.27)
40-248-002-038	Enclave Station Blvd Improvements	157,473.15
40-248-003-035	PMC Construction Phase III	(1,358.10)

Total Other Current Liabilities	301,808.86
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40-258-000-000	Accrued Expenses	-
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Total Liabilities	\$ 301,808.86
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Equity

40-279-000-000	Opening Balance Equity	-
	Current Period Net Income (Loss)	-
	Total Equity	-

Total Fund Balance	\$ -
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Total Liabilities & Fund Balance	\$ 301,808.86
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Upper Uwchlan Township
Developers Escrow Fund
Statement of Revenues and Expenditures
For the Period Ended October 31, 2023

GL Account #	Account Description	2022 YTD Actual	2022 Budget	Over (Under) Budget	Actual as % of Budget
40-341-000-000	Interest Income	\$ 3,139.91	\$ -	\$ 3,139.91	-
40-341-000-010	Interest Income - allocated to Developers	(3,139.91)	-	(3,139.91)	-
40-392-000-100	Transfer from General Fund	-	-	-	-
		-	-	-	-
	Total Revenue	-	-	-	-
40-400-000-461	Bank Fees	-	-	-	-
		-	-	-	-
		-	-	-	-
		-	-	-	-
	Total Expenditures	-	-	-	-
	Excess of Revenues over Expenditures	\$ -	\$ -	\$ -	-



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

ENGINEER'S REPORT – UPPER UWCHLAN TOWNSHIP

Date: November 16, 2023

To: Tony Scheivert - Township Manager
Board of Supervisors

From: David Leh, P.E.

The following is an overview of engineering activities for the previous month:

QBD Ventures – Revised plans for this application were reviewed by the Planning Commission at their October 12th meeting where Final Plan Approval was recommended. The Applicant will attend the Board's November 20th meeting requesting same.

Construction continues at the following developments with no significant issues:

- Byers Station (Parcel 6C) (Vantage Point)
- Eagleview (Lot 1C)
- Preserve at Marsh Creek



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

DEVELOPMENT UPDATE – UPPER UWCHLAN TOWNSHIP

Date: November 16, 2023

To: Board of Supervisors

From: David Leh, P.E.

Bold items have been additions since our last report.

100 Greenridge Road (Toll) – The Board granted approval for the Conditional Use for a 64-home subdivision at their October 11th, 2022, meeting. Toll Brothers has now submitted Preliminary Land Development Plans for the project. Consistent with the conditional use approval, 64 homes are proposed. The Planning Commission accepted the plans at their April 13, 2023 meeting. The plans have been reviewed by the Township Consultants and a review letter has been issued. The Zoning Hearing Board's decision regarding the disturbance of Prohibitive Steep Slopes has been appealed.

260 Moore Road – The applicant has submitted a Conditional Use Application for adaptive reuse of an existing barn on this property to a facility which will contain office space and a coffee shop. The project was reviewed by the Planning Commission and consultants. A staff meeting was held with the Applicant on October 19th to discuss the project in general, as well as the consultants' comments. The Applicant has issued an extension for the holding of their Conditional Use Hearing while they further consider their proposal. Based on a May 10th, 2022, e-mail from the applicant's attorney to Gwen Jonik, the applicant is considering various options, and it may be some time before they move forward with an application.

301 Park Road (PJ Reilly) - A preliminary land development plan has been submitted by PJ Reilly Contractors for a new 8,400 SF office and equipment storage facility. The plan was reviewed by the consultants and the Planning Commission at their December 8th meeting. No action was taken. Revised plans were reviewed by The Planning Commission at their April 13, 2023 meeting, no action was taken. The applicant will be making an application to the Zoning Hearing Board for zoning relief prior to returning to the Planning Commission. A hearing was held on August 30, 2023 regarding the requested zoning relief.

Reference: Development Update

File No. 9991080

November 16, 2023

595 Fellowship Road (Spackman)- A two (2) lot Minor Subdivision Application has been submitted for this property. The parcel is bisected by the township line with West Vincent Township and currently contains an existing home. The Applicant prosed to maintain the existing home, which is located in Upper Uwchlan Township, and construct a new home on the newly created lot, which will be located in West Vincent Township. The Board granted Final Approval at their September 19th, 2022, meeting.

Byers Station (Parcel 5C – Lot 2A)- [Enclave at Chester Springs] – This is the 55 Unit Townhouse development being constructed by Toll on Lot 2A of Byers Station. Final paving has been completed. The performance bond was released at the Board of Supervisor's October 16th meeting. The project will not enter the maintenance period until the Station Boulevard crosswalk is completed.

Byers Station (Parcel 5C – Lot 2B)- [Commercial] – An Amended PRD Application has been submitted for the undeveloped commercial portion of the site. The plan proposes a 10,500 SF daycare facility, an 1,820 SF freestanding eating and drinking establishment, and 13,200 SF of additional retail space. The Board granted Amended Final Plan Approval at their September 19, 2022 meeting. Revised plans have been submitted to the consultants to verify all outstanding comments have been satisfactorily addressed.

Byers Station (Lot 6C)- Vantage Point – The Applicant has received Final PRD Approval at the Board of Supervisors April 20th, 2020, meeting for a 36,171 SF, 3 story retirement facility. Construction continues.

Eagleview Lot 1A – Hankin has submitted a Preliminary / Final Land Development Application for a one-story, 60,600 SF Flex Use office / warehouse building to be located along Sierra Drive. The plan was reviewed by the Planning Commission at their March 9th meeting. No action was taken with regard to plan approval; however, the Planning Commission did recommend the granting of several waivers. The Board granted the requested waivers at their March 20, 2023 meeting. Revised land development plans have been submitted and reviewed by the consultants. The Board granted Preliminary / Final Approval to the application at their June 19, 2023 meeting. Revised plans have been submitted for review prior to recording.

Eagleview Lot 1C– This project proposes a 113,000 SF Flex Office building. The Board granted Final Land Development Approval at their November 19th, 2018,

Reference: Development Update

File No. 9991080

November 16, 2023

meeting. Site and building construction had been paused due to loss of tenant but has now once again commenced.

Preserve at Marsh Creek (Fetters Property) - The Board granted Final Land Development Approval at their October 16th, 2017, meeting. Site construction continues in all 3 phases. (i.e.- The entire development) We have received grading permit applications for **259** of the 375 building units to date.

QBD Ventures – This project proposes a two-story 4,400 SF office building on an existing residential parcel along Byers Road just east of Graphite Mine Road. The Board granted Preliminary / Final Approval to the plan for their August 16th, 2010. The Applicant has now submitted an updated plan for re-approval. The plans were reviewed by the Planning Commission at their March 11th, 2021, meeting; however, no action was taken. The Applicant has now obtained their Highway Occupancy Permit from Pa-DOT and submitted revised land development plans to the Township for review. The revised plans were reviewed by the Planning Commission at their September 14th meeting where Preliminary Approval was recommended. Further revised plans were reviewed by the Planning Commission at their October 12th meeting where Final Plan Approval was recommended. The Applicant will attend the Board's November 20th meeting requesting same.

Struble Trail Extension – Chester County has submitted an application to reopen the Conditional Use Hearing as well as land development plans to allow for the continuance of the trail from where it currently terminates to a point on the west side of Dorlan Mill Road. The Planning Commission reviewed the application at their June 13th, 2019, and July 11th, 2019, meetings and recommended Conditional Use Approval as well as Preliminary Land Development approval. The County has submitted revised land development plans which have been reviewed by the consultants. The Planning Commission reviewed the application at their June 8th meeting and recommended conditional use as well as Preliminary / Final Land Development Approval. The Board granted conditional Use and land development approval at their July 17th Meeting. The County has now made application to Pa-DOT for a Highway Occupancy Permit for the trail crossing of Dorlans Mill Road.



UPPER UWCHLAN TOWNSHIP

MEMORANDUM

ADMINISTRATION

TO: The Board of Supervisors

FROM: Kathi McGrath *Kathi*
Administrative Assistant

RE: Building/Codes Department Activity Report

DATE: November 8, 2023

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Attached, please find the Building Department Activity Report for the month of October, 2023.

Attachments:
Activity Report

/km

UPPER UWCHLAN TOWNSHIP
Permit Analysis
2020-2023

	2020				2021				2022				2023			
	# of Permits	Fees	YTD Permits	YTD Fees	# of Permits	Fees	YTD Permits	YTD Fees	# of Permits	Fees	YTD Permits	YTD Fees	# of Permits	Fees	YTD Permits	YTD Fees
Jan	51	\$98,596.00	51	\$98,596.00	94	\$ 87,742.42	94	\$ 87,742.42	83	\$ 88,198.96	83	\$ 88,198.96	39	\$16,560.04	39	\$16,560.04
Feb	44	\$43,487.50	95	\$142,083.50	67	\$ 38,565.98	161	\$ 126,308.40	39	\$ 25,249.00	122	\$113,447.96	58	\$115,689.00	97	\$132,249.04
Mar	53	\$ 54,586.50	148	\$196,670.00	86	\$ 44,724.50	247	\$ 171,032.90	77	\$ 52,822.55	199	\$166,270.51	72	\$ 32,216.00	169	\$ 164,465.04
Apr	28	\$ 4,846.10	176	\$201,516.10	88	\$ 79,069.01	335	\$ 250,101.91	84	\$ 63,858.84	283	\$230,129.35	51	\$ 37,396.20	220	\$ 201,864.24
May	49	\$ 59,079.84	225	\$260,595.94	75	\$ 44,389.44	410	\$ 294,491.35	65	\$ 44,000.00	348	\$274,129.35	82	\$ 38,301.00	302	\$ 240,165.24
Jun	86	\$ 55,369.16	311	\$315,965.10	89	\$ 77,793.00	499	\$ 372,284.35	96	\$ 28,606.00	444	\$302,735.35	66	\$ 26,909.50	368	\$ 267,074.74
Jul	69	\$ 39,866.44	380	\$355,831.54	99	\$131,055.84	598	\$ 503,340.19	68	\$ 37,917.72	512	\$340,653.07	77	\$127,398.14	445	\$ 394,472.88
Aug	76	\$ 78,302.64	456	\$434,134.18	78	\$ 32,545.19	676	\$ 535,885.38	68	\$112,113.82	580	\$452,766.89	65	\$ 68,299.92	510	\$ 462,772.80
Sept	130	\$ 87,003.98	586	\$521,138.16	78	\$ 36,528.88	754	\$ 572,414.26	73	\$ 46,052.92	653	\$498,819.91	52	\$ 20,696.00	562	\$ 483,468.80
Oct	73	\$222,281.54	663	\$743,419.70	72	\$ 40,825.00	826	\$ 613,239.26	54	\$ 42,196.00	707	\$541,015.91	59	\$ 35,511.00	621	\$ 518,979.80
Nov	71	\$ 21,378.92	734	\$764,798.62	58	\$ 41,691.42	884	\$ 654,930.68	45	\$ 21,304.00	752	\$562,319.91				
Dec	59	\$ 27,730.94	793	\$792,529.56	62	\$ 68,824.63	946	\$ 723,755.31	47	\$22,295.00	799	\$584,614.91				



OCTOBER 2023 REPORT UPPER UWCHLAN TOWNSHIP PUBLIC WORKS DEPARTMENT

The following projects were underway since we last met:

Ongoing:

- **Aside from regular routine maintenance, the following work orders were submitted last month.**

Tracking of work orders through Traisr: 139

- **Municipal Authority & PA 1-calls**
 - **83 Work orders completed**
- **Parks**
 - **3 Work orders completed**
- **Public Works**
 - **10 Work orders completed**
- **Solid Waste**
 - **24 Work orders completed**
- **Vehicles and Equipment (All Depts.)**
 - **19 Work orders completed**
- **Road Milling and Paving was completed by Glasgow on October 4, 2023.**
- **Arrows, legends and stop bars were completed by A-1 Traffic Control the first week of October.**
- **Assisted with the E-Waste and Shredding event held at the Public Works Building.**
- **Assisted with the Downingtown Rugby 5K Run.**
- **Replaced pipe crossing on Christine Drive.**

- Poured concrete pad under the bleachers at Fellowship Field.
- Assisted with set-up and worked the Public Works Halloween display during Trunk or Treat.
- Minor maintenance issues were handled at the Township Building.
- Tree trimming for sight distance at intersections and along roadways where trees are hanging into the road.
- Sign replacements at various locations.
- Cleared inlets on multiple roadways throughout the Township.
- Toter swaps and deliveries were done as requested.
- Preventive maintenance, repairs, and Pa State Inspections.
- Serviced Police vehicles.
- PA 1-Calls were responded to as they came in.

Bids:

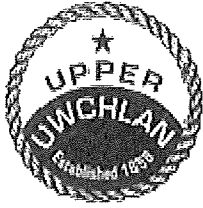
- Second Snow Removal Bid opening was held on October 11, 2023. There were no bidders.

Workforce

- Two summer employees remain on a part-time basis and will be leaving mid November.
- Snow plow drivers from last year have been contacted and paperwork is being updated in preparation to plow for Upper Uwchlan Township this winter.

Respectfully submitted,

**Michael Esterlis
Public Works Director
Upper Uwchlan Township**



UPPER UWCHLAN TOWNSHIP

MOTION

The Board of Supervisors of Upper Uwchlan Township at their November 20, 2023 meeting hereby grants **Preliminary / Final** Land Development Approval to the plan known as QBD Ventures as prepared by D.L. Howell & Associates, Inc., dated December 21, 2020, last revised September 28, 2023 (the "Plans") subject to the following conditions:

1. Prior to the Plans being released for recording, the Plans shall be revised to comply with Gilmore & Associates, Inc. review letter dated September 11, 2023.
2. All Byers Road roadway improvements shall be completed in accordance with the approved PA-DOT Highway Occupancy Permits.
3. A waiver from SALDO Section 162-8.B. is hereby granted to allow this application to be submitted as a Preliminary/Final Application.
4. A waiver from SALDO Section 162-32.F. is hereby granted to permit a 35' curb radius on the southwest corner of the intersection of the proposed driveway and Byers Road.
5. A waiver from SALDO Section 162-55.D.(1) is hereby granted to permit the construction of an inlet, stormwater pipe, paving and part of a retaining wall in alluvial soils to the extent depicted on the Plans.
6. A waiver from SALDO Section 162-57.6(b) is hereby granted to allow a modified Landscape Plan with regard to building façade plantings, parking and loading landscaping, road frontage and tract boundary plantings. The Landscape Plan which is included as sheet 12 of the Plans is approved.
7. A waiver from Stormwater Management Ordinance Sections 152-305.A and 152-306.A is hereby granted to allow Applicant to not provide the required stormwater runoff volume reduction due to high groundwater levels on the property.
8. A waiver from Stormwater Management Ordinance Section 152-311.D is hereby granted to allow the proposed foundation drain to be set less than 18" below the foundation.

9. Applicant shall pay a Traffic Impact Fee in the amount of **\$11,670**. This fee shall be paid prior to a Use and Occupancy Permit being issued.
10. Prior to the issuance of a building permit for the new building, Applicant shall demonstrate to the satisfaction of the Board of Supervisors that the proposed building meets the design standards in Zoning Ordinance Section 200-36.B. The Board may request the Historical Commission's recommendation on the proposed architecture and its compliance with the design standards.

TS/dnl/gaj



UPPER UWCHLAN TOWNSHIP

Planning Commission Meeting

October 12, 2023

7:00 p.m. Meeting

Minutes

Approved

LOCATION: Township Building, 140 Pottstown Pike, Chester Springs PA 19425

Attendees:

Sally Winterton, Chair; Joe Stoyack, Vice-Chair; Chad Adams, Jim Dewees, Stephen Fean, Ravi Mayreddy, Jeff Smith
MaryLou Lowrie, P.E., Gilmore & Associates
Gwen Jonik, Planning Commission Secretary

Absent: David Colajezzi, Vikas Harjani

Sally Winterton called the meeting to order at 7:00 p.m. There were 3 citizens in attendance.

164 Byers Road / QBD Ventures Preliminary-Final Land Development Plan

Dave Gibbons, P.E., Howell Engineering, attended on behalf of the property owner, Peter Rodgers of QBD Ventures, who lives out of state and couldn't be present. Mr. Gibbons called attention to a September 29, 2023 letter from Mr. Rodgers which provided background on the project and responded to the Commission's concerns expressed last month. Mr. Rodgers requested a recommendation for Final Plan Approval.

Mr. Gibbons described the proposed Plan - a 2,200 SF office building, 2-story, with 22 parking spaces provided behind the building, a 2-way driveway to serve the 2 neighbors to the rear of the property, and stormwater management facilities. Public water and sewer are now available. This is the same exact plan and waiver requests that were submitted in 2021. The Plan had been approved in 2010 but the approval has expired. They've had to work with PennDOT regarding the location of the driveway, trying to align with Vantage Point's entrance across Byers Road.

The Landscape Planner provided a September 28, 2023 letter explaining the waiver request for a reduced number of trees, proposing 13 trees instead of 47. The larger number of trees would choke each other out and would interfere with stormwater management. They propose planting an increased number of shrubs, 145 instead of 81, and 169 evergreen groundcover shrubs. Peter Rodgers' letter addressed the architectural elevation concern, stating the architecture will be addressed at the time of building permit submission, when a tenant or office use will be known. There is currently no tenant or buyer.

Discussion included:

1. The property is within the C-1 Village Commercial District;
2. Include a condition that at building permit application submission, the elevation has to be reviewed by the Planning Commission and Historical Commission;
3. Comply with Code Section 200.36.(B)(1);
4. Was an historic impact study done – is the property within 250' of an historic resource?
5. Mr. Rodgers' comment that it was inappropriate to advise him to look at the Village Design Guidelines was not appreciated;
6. The consultants would've commented if an historic impact study was needed;
7. The architecture typically gets finalized when a buyer is ready to build;

8. The motion recommending Final Approval should include granting all the waivers and a recommendation that at finalization of the building architecture, the Owner/Builder's plan be reviewed with the Historical Commission and Planning Commission;

Jeff Smith moved to recommend Approval with the condition that all comments in Gilmore September 11, 2023 letter are addressed, granting all of the waivers, and when the building permit application is submitted, the building department should provide the rendering to the Historical Commission for their review and comment. Mr. Smith amended his motion to the following:

Jeff Smith moved to recommend Final Approval based on Gilmore's September 11, 2023 letter, with all waivers granted, and conditioned on the Historical Commission being part of the architectural design discussion during time of building permit approval. Dave Gibbons added that the Builder will work with the Historical Commission to achieve a compatible design with the adjacent Village. Jim Dewees seconded. Resident Gerry Stein commented that the Commission assumes an historic impact study was done and asked the Commission to find out before voting. The vote was taken and the motion carried with six (6) in favor and one (1) opposed (Winterton).

Meeting Updates

Environmental Advisory Council (EAC). Jeff Smith reported an e-waste and shredding event is this Saturday, October 14; Jeff will have scheduling conflicts on Tuesdays for a while so perhaps someone else should be appointed as liaison to the EAC.

Historical Commission (HC). David Colajezzi was absent. Resident Gerry Stein noted the HC is working on the comprehensive plan update, drafted a Historic Resource Preservation Plan (HRPP), is working on the Village Concept Plan and Village Design Guidelines. Joe Stoyack asked how the hike around the Milford Mills ruins came about. Gerry advised he reached out to Marsh Creek State Park about the ruins and one of the rangers with an interest in Milford Mills periodically conducts walks of the ruins.

Active Transportation Plan (ATP). Stephen Fean reported that he hasn't been able to attend the meetings. Sally Winterton advised a public meeting was held recently to present the draft Plan for walking and biking in the township. It will improve connections and crossings that are prioritized by the committee. Most likely there won't be any more meetings for the ATP.

Sally Winterton would like to add to the list:

D. Village Concept Plan / Village Design Guidelines (VCP/VDG). These groups have been meeting throughout the year and are close to completion. Joe Stoyack noted that in the current Village Concept Plan, there was a recommendation for a service road along the turnpike from Route 100 to Park Road, but it's thought that would congest traffic more and the group will need to take it out as it doesn't make sense; there are many recommendations that are good and need to be finalized.

E. Comprehensive Plan Update (CompPlan). A meeting is scheduled for October 24 to discuss the HRPP, which will be its own Chapter; Joe Stoyack noted a traffic study and an updated Open Space and Environmental Resource Plan will be included.

Approval of Minutes

Jim Dewees moved, seconded by Jeff Smith, to approve as presented the minutes of the September 14, 2023 Planning Commission Meeting. The motion carried with six (6) in favor and one (1) abstention (Fean).

Sally Winterton announced the next scheduled meeting is November 9, 2023 and we'll resume holding the 6:00 Workshop for ordinance review.

Open Session

Sally Winterton noted she attended the Joint Boards & Commissions Workshop this past Tuesday. Chairs from each group provide updates. Byron Nickerson, Chair of the Emergency Management Planning Commission asked Sally to pass along his appreciation to the Planning Commission for the work on the CompPlan., and for emergency services, there was a lot of education happening during the recent fugitive hunt.

Sally Winterton had advised Tony Scheivert that the PC would be resuming ordinance review and will discuss affordable housing. Tony is going to talk with Kristin Camp, Township Solicitor regarding ordinances on the subject. Brief discussion included: affordable housing is a topic of conversation across the County. There's public transportation available in Eagleview and apartments in Uwchlan/Eagleview. The market drives the 'affordability', unless it's government subsidized; affordability isn't a zoning issue – existing housing can be turned into affordability if its subsidized; there's a huge economic impact on the township and schools to provide services.

The Planning Commission would like to invite Neal Fisher of Hankin Group to the November 9 Workshop to discuss affordable housing. Gwen Jonik will contact Mr. Fisher.

Joe Stoyack commented that the Lionville Station Road property sale didn't go through. The developer who presented a sketch plan for a large warehouse backed out.

Gerry Stein asked for confirmation of whether an historic resource impact statement had been submitted for 164 Byers Road. Gwen Jonik will research the matter.

Adjournment

Jim Dewees moved, seconded by Jeff Smith, to adjourn the meeting at 8:19 p.m. All were in favor.

Respectfully submitted,

Gwen A. Jonik
Planning Commission Secretary



September 29, 2023

Upper Uwchlan Township Planning Commission
c/o Gwen Jonik, Township Secretary
140 Pottstown Pike
Chester Springs, PA 19425

Re: QBD Ventures Application for Preliminary/Final Land Development Approval at 164 Byers Road

Dear Commission Members:

QBD Ventures has owned the subject roughly 0.7 acre property since September, 2008. Shortly after acquiring the property, QBD submitted an application for Preliminary/Final Land Development Approval to demolish all of the existing structures on the site and construct a new two story, 2,200 SF building with a full basement thereon utilizing onsite water and sewer systems. On November 5, 2009 the Upper Uwchlan Township Planning Commission recommended approval of such a plan. On August 16, 2010 the Upper Uwchlan Township Board of Supervisors approved our plan, and on April 13, 2011 the Approved Plan was recorded in the Chester County Recorder of Deeds Office.

QBD has been unsuccessful in finding a user for the property since the original plan was approved. We had identified a candidate user who wanted to construct a child day care center on the site, but the lot was too small to enable the proposed facility to comply with all of the Commonwealth's rules and regulations governing such an operation to be complied with.

The passage of time, and the current availability of both public water and public sewer to service the site has required that QBD submit a new application for development on the subject property. Revised plans and an application for Preliminary/Final Land Development Approval to construct essentially exactly what was previously been approved, i.e. a new two story, 2,200 SF building with a full basement (however this time utilizing both the newly available public water and public sewer systems) were prepared and initially submitted to the Township on, or about, January 18, 2021. These plans were initially essentially duplicates of the originally approved application. The current version of these plans has now been updated following reviews and comments made by the Township's various consultants, staff, and Planning Commission to bring them into compliance with all modifications that have been made to the Township's governing ordinances since 2010, and were on the Planning Commission's 9/14/23 meeting agenda for review, and hopefully final approval. I,

**5 Blue Sky Trail
Travelers Rest, SC 29690**

unfortunately no longer reside on Horseshoe Trail in West Vincent Township (having retired and moved to South Carolina in 2015), and hence could not attend that meeting (Alexander Mundy, from D.L. Howell & Associates, Inc., our consulting engineer, attended the Planning Commission's meeting as QBD's representative).

Following are Mr. Mundy's notes made during the subject Planning Commission Meeting:

9-14-23 Planning Commission Meeting (Alex Mundy's notes)

- The Planning Commission recommended approving all requested waivers except the ones for combined preliminary/final approval and the reduction of tree plantings.
- The Planning Commission made a motion to recommend approval of this submission as a preliminary plan only.
- The Planning Commission did not recommend final approval due to the architectural that was provided with the initial submission because they felt that it was not up to the "village" standard.
- The Planning Commission did not recommend approving the requested landscape waiver and wanted to see more trees on the property. Also, the chairperson did not like the placement of the pin oak that was shown adjacent to the driveway out, and would like it moved.
- The Planning Commission wanted us to review the current village guidelines that is in the current ordinance. It was also brought up that a new comprehensive plan is being drafted and set to be put into effect in 2024. They know that we don't have to follow this but they would like us to review the draft plan and possibly follow some of those standards.

Following are my comments and thoughts regarding the Planning Commission's comments and actions:

- 1) Regarding the suggested reduction in trees from what is required: This issue was discussed during the original land development plan's approval process, and it was decided then, that due to the lot's small size, and the retaining wall's location (should not locate new trees close to this wall as their root systems would pose future problems with the wall's stability) additional trees could not be placed on the site. Extensive shrubbery was both then, and now, proposed to give the site a lush appeal. Enclosed with this letter is a letter prepared by our Landscape Architect providing his justification for the requested reduction in the number of trees that should be placed on the site.
- 2) As far as relocating the pin oak tree shown at the driveway exit goes, we have directed our Landscape Architect to make the requested change, with said change shown on the attached revised Landscape Plan.
- 3) Regarding the comment that Final Approval was not granted because the architectural rendering of the proposed building "was not up to the required village standard": During the original land development approval process, the then Planning Commission asked to see some possible renderings showing what the final building on the site could look like, so QBD had several renderings made to show "possibilities". However, all recognized at that time that these were merely "pie-in-the-sky" possibilities, and that in the real world, this is an issue that is to be resolved at the time application is made for a building permit (and will be "negotiated" by, and between, the Township and the Building Permit Applicant at that time (whoever that might be)). This is not an issue to be

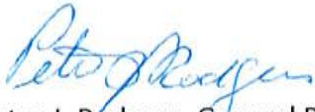
considered, or resolved, at the Land Development Plan Approval Process. Hence, QBD would still like the current plan submission review, and approval process, to be considered to be for a combined Preliminary/Final plan approval.

4) Lastly, and for the same reasons noted in item 3 above, the Planning Commission's request for QBD to review any proposed changes to the current village guidelines that may be included in the new comprehensive plan currently being developed for the township, is really inappropriate, and has nothing to do with the granting of Township Approval of our Proposed Land Development Plans.

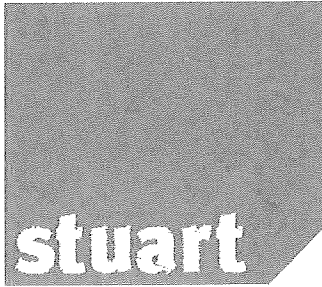
Based upon the above, I would appreciate it if the Planning Commission would reconsider our request for their granting of Preliminary/Final Approval of the Land Development Plans submitted to them at their 9/14/23 meeting as currently revised, i.e. recommend approval of the attached revised Landscape Plan as herewith submitted.

Thanking you for your consideration of the above requests.

QBD Ventures



Peter J. Rodgers, General Partner



LANDSCAPE ARCHITECTS
PLANNERS | DESIGNERS

STUART & ASSOCIATES, LLC.

P.O. Box 62286
King of Prussia, PA 19406
P : 610.337.2100

September 28, 2023

Upper Uwchlan Township
Attn: Planning Commission
140 Pottstown Pike
Chester Springs, PA 19425

RE: **QBD VENTURES – 164 BYERS ROAD – LANDSCAPE WAIVERS
UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PA
PRELIMINARY LAND DEVELOPMENT PLAN, DATED 09-28-2023**

Dear Planning Commission Members,

We are writing to elaborate on our Landscape Plan Waiver requests for the subject project.

We offer the following information with regards to the Waivers requested on Landscape Plans:

In order to provide a Landscape Plan in full compliance with Upper Uwchlan Township Ordinances, we would need to provide an additional 34 trees (18 large canopy shade trees and 16 evergreen trees) on the site. In our professional opinion, there is simply not enough available space to plant the additional 34 trees given the extents of the required parking lot paving, building, stormwater management piping and other underground utilities required to support the development of this parcel. There is also an existing access easement along the western boundary which restricts the planting of trees. We have provided additional shrubs and groundcover plantings where space permitted to compensate for the 34 trees.

Landscape Waiver Summary :

Shrubs required: 81
Shrubs proposed: 145 & 169 evergreen groundcover shrubs

Deciduous trees required: 28
Deciduous trees proposed: 10
Waiver requested for 18 deciduous trees.

Evergreen trees required: 19
Evergreen trees proposed: 3
Waiver requested for 16 evergreen trees.

Please contact our office with any questions.

Sincerely,

Patrick J. Stuart, RLA, MCRP, LLA

October 4, 2023

Mr. Tony Scheivert, Township Manager
Upper Uwchlan Township
140 Pottstown Pike
Chester Springs, PA 19425

RE: QBD Ventures
Preliminary/Final Land Development Plan
Upper Uwchlan

Dear Mr. Scheivert:

This letter is being sent pursuant to Gilmore's review of the above referenced Plans by Howell Engineering dated 12/20/20, last revised 8/4/23 and their subsequent review letter dated 9/11/23.

Listed below are our responses to the concerns identified in the review of the plans. Also, enclosed for your review are copies of the update plan. Where applicable, Howell Engineering has addressed each of these comments indicating what action has been taken to resolve the issue.

III. Subdivision and Land Development

1. Acknowledged. No revision is necessary.
2. Acknowledged. No revision is necessary.
3. Acknowledged. No revision is necessary.
4. Acknowledged. No revision is necessary.

IV. Stormwater Management Ordinance Review

1. Acknowledged. No revision is necessary.
2. Acknowledged. No revision is necessary.
3. Acknowledged. The applicant will provide the agreement under separate cover.

VI. Township Traffic Consultant Comments

(McMahon Associates, Inc.)

1. Acknowledged. The application will provide a fee-in-lieu of to the Township.

VIII. Township Municipal Authority Consultant Comments

(ARRO Consulting, Inc.)

1. The plans have been updated to show the as-constructed conditions that were provided. Additionally, the provided lateral has been added to the plans in the location provided. A note has been added to the plan that the contractor shall field verify the location of the lateral.
2. Acknowledged. The applicant will purchase the required capacity.
3. Acknowledged. The applicant will provide financial security to the Township.

We appreciate your time and consideration.

Sincerely,
Howell Engineering



Dave Gibbons, PE
Senior Engineer



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

September 11, 2023

E-MAIL ONLY

File No. 09-07021T

Mr. Tony Scheivert
Upper Uwchlan Township Manager
140 Pottstown Pike
Chester Springs, PA 19425

Reference: QBD Ventures
Preliminary/Final Land Development Plan
Upper Uwchlan Township, Chester County, PA

Dear Tony:

Gilmore & Associates, Inc. (G&A) is in receipt of the following documents:

- Response Letter from DL Howell dated August 4, 2023.
- Plan set consisting of thirteen (13) sheets titled "QBD Ventures" prepared by D.L. Howell & Associates, Inc. (Howell), dated December 21, 2020, last revised August 4, 2023.

G&A, as well as the other Township Consultants have completed our third review of the above referenced Preliminary/Final Land Development Application for compliance with the applicable sections of the Township's Zoning Ordinance, Stormwater Management Ordinance, and Subdivision and Land Development Ordinance, and wish to submit the following comments for your consideration. The project did receive Final Land Development Approval in August 2010; however, that approval has expired.

Please note that comments with a **(RW)** denotes a requested waiver and may require relief from the Township Ordinances. Comments in *italics* are from our previous review letter, and comments in **bold text** require resolution by the applicant. Previous comments which have been satisfactorily addressed are not repeated herein.

~~~~~ BUILDING ON A FOUNDATION OF EXCELLENCE ~~~~~

184 W. Main Street | Suite 300 | Trappe, PA 19426  
Phone: 610-489-4949 | Fax: 610-489-8447  
[www.gilmore-assoc.com](http://www.gilmore-assoc.com)

Mr. Tony Scheivert  
Upper Uwchlan Township Manager  
Reference: QBD Ventures

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Preliminary/Final Land Development Plan  
Upper Uwchlan Township, Chester County, PA

File No. 09-07021T  
September 11, 2023

## **I. OVERVIEW**

The parcel is approximately 0.7 acres in size and is zoned C-1 (Village Commercial District) and is located approximately 300 feet east of the intersection of Graphite Mine Road and Byers Road. The Applicant is proposing to demolish the existing buildings and construct a 2-story, 4,400 SF office building with and associated parking facilities. The parcel will provide a two-way access via Byers Road. An underground detention basin will be utilized to control the increased runoff from the subject site.

## **II. ZONING**

We have no zoning comments at this time.

## **III. SUBDIVISION & LAND DEVELOPMENT ORDINANCE REVIEW**

1. **(RW)** Section 162-8.B. – *The Applicant has submitted this application as a Preliminary/Final Application. A waiver is required from this section to permit this type of approval.*

*The Applicant has requested a waiver to allow this application to be considered a Preliminary/Final Application. We have no objection to this request.*

2. **(RW)** Section 162-32.F - *A waiver is being requested, and was previously granted, to permit a 35' curb radius on the southwest corner of the intersection of the proposed driveway and Byers Road contingent upon Pa-DOT's concurrence. However, as the land development approval has expired, it is being requested again.*

3. **(RW)** Section 162-55.D.(1) & (2) - *A portion of the southeastern corner of the site contains Glenville Silt Loam, which is classified as a hydric soil and is part of a riparian buffer area. The plans shall indicate this area as a riparian buffer; it is noted that an inlet, a storm pipe, paving, and a portion of the retaining wall are proposed within the riparian buffer. A waiver is being requested, and was previously granted, to permit the construction of a structure in the riparian buffer. However, as the land development approval has expired, it is being requested again.*

Mr. Tony Scheivert  
Upper Uwchlan Township Manager  
Reference: QBD Ventures

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Preliminary/Final Land Development Plan  
Upper Uwchlan Township, Chester County, PA

File No. 09-07021T  
September 11, 2023

4. (RW) Section 162-57.6(b) – A partial waiver is being requested to allow a modified Landscape Plan with regard to building façade plantings, parking and loading landscaping, road frontage and tract boundary plantings.

*We defer to the Planning Commission as to whether the proposed landscaping is sufficient to serve as an adequate buffer.*

#### IV. STORMWATER MANAGEMENT ORDINANCE REVIEW

1. (RW) Section 152-305.A and 152-306.A - A waiver is being requested to not provide the required stormwater runoff volume reduction due to high groundwater levels on the property. The infiltration testing report concluded that an infiltration rate of 0.085 inches per hour should be used for design.

*Due to the poor infiltration rates found on the site, we support the granting of this waiver.*

2. (RW) Section 152-311.D - A waiver is being requested to provide an underdrain that is less than the minimum 18" below the foundation. The underdrain system should be in compliance with this section of the ordinance. The Applicant should verify that the underdrain system will be able to adequately drain and elevations should be provided on the plan which verify the underdrain is a minimum of 18" below the foundation as required under this section.

As proposed, the underdrain will be located approximately 16" below the foundation. We feel the difference between the required separation and that which is provided is de minimis. This coupled with the fact providing the required 18" will not allow for positive drainage away from the building, we support the waiver.

3. Section 152-402.F. – The Applicant shall provide an O&M plan, and agreement.

#### V. GENERAL COMMENTS

No comments at this time.

Mr. Tony Scheivert  
Upper Uwchlan Township Manager  
Reference: QBD Ventures

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Preliminary/Final Land Development Plan  
Upper Uwchlan Township, Chester County, PA

File No. 09-07021T  
September 11, 2023

**VI. TOWNSHIP TRAFFIC CONSULTANT COMMENTS**  
**(McMAHON ASSOCIATES, INC.)**

Based on our review, all of our previous technical comments have been addressed, and we have no further comments. The following is offered for informational purposes only.

Chapter 79-8.C – The proposed redevelopment is located in the Township's Act 209 Transportation Service Area, and as such, this site is subject to the Township's Transportation Impact Fee of \$2,334 per weekday afternoon peak hour trip. Based on the Institute of Transportation Engineers publication Trip Generation, 10th Edition, the proposed 4,400 square feet of office space generates five weekday afternoon peak hour trips. Therefore, the number of trips subject to the Township's Transportation Impact fee is five, and the resultant fee is **\$11,670**.

**VII. TOWNSHIP PLANNING CONSULTANT COMMENTS**  
**(BRANDYWINE CONSERVANCY )**

All outstanding comments have been addressed.

**VIII. TOWNSHIP MUNICIPAL AUTHORITY CONSULTANT COMMENTS**  
**(ARRO CONSULTING, INC.)**

1. The current plan currently shows the sanitary sewer mains within Byers Road in the proposed locations, the as-constructed conditions should be reflected on the plans. Additionally, a sanitary sewer lateral has been provided for this property. The proposed private sanitary sewer drain location should be revised accordingly. The as-constructed plan information will be provided to the applicant's engineer.

Mr. Tony Scheivert  
Upper Uwchlan Township Manager  
Reference: QBD Ventures

Page - 5 -

Preliminary/Final Land Development Plan  
Upper Uwchlan Township, Chester County, PA

File No. 09-07021T  
September 11, 2023

2. We estimate the anticipated sewer usage to be 225 gallons per day (GPD) or one (1) equivalent dwelling unit (EDU). The required capacity will need to be purchased by the applicant. We recommend the Township reserve the right to review water usage in the future and require the purchase of additional sanitary sewer capacity if warranted.
3. The necessary financial security shall be posted with the Township, which shall be in a form and amount acceptable to the Township.

This concludes the third review of the above-referenced plan. We would recommend the plans be revised to address the above referenced comments as any comments raised by the Township Planning Commission or Board of Supervisors.

If you have any questions, please do not hesitate to contact me.

Sincerely,

*David N. Leh*

David N. Leh, P.E.  
Vice President  
Gilmore & Associates, Inc.

cc: Upper Uwchlan Township Planning Commission Members  
Upper Uwchlan Township Board of Supervisors  
Kristin Camp, Esq. – BBM&M LLP (via email only)  
Rob Daniels, ASLA, Brandywine Conservancy (Via e-mail only)  
Christopher J. Williams, P.E., McMahon Assoc., Inc. (Via e-mail only)  
David Schlott, P.E, ARRO Consulting, Inc. (Via e-mail only)  
Peter Rogers, Applicant (Via e-mail only)  
David Gibbons, P.E., D.L. Howell & Associates (Via e-mail only)

requirements for the pitch of roofs and roof materials and colors, requirements for exterior wall materials and requirements for concealing/screening facilities and equipment for heating/air conditioning, trash collection and compaction and other structural elements not in keeping with historical architectural themes.

- We also recommend that the "applicant" submit a written statement along with the design plans demonstrating that the plans are consistent with and promote the purposes and specific standards for the C-1 Village District under Section 200-36.
- HC Comments on Rendering. We reviewed two renderings of the proposed building and have the following preliminary comments:
  - Of the two renderings, the rendering of the building with siding and shutters on the windows (attached) is more in keeping with the Section 200-36(B)(1) general design standard that new construction be designed with either a traditional village architectural character or a contemporary expression of traditional styles and forms, respecting the scale, proportion, roof pitch, character and materials of historic examples in Byers, Eagles and the surrounding area, with the following adjustments:
    - Use siding on the center part of the building too instead of field stone
    - Stone foundation, instead of whatever that material is
    - Reduce the size of the building or make it appear more like a large barn, church or other historically large building
    - Place a door on the side of the building facing Byers Road, from the rendering, we were not sure that there would be a door
  - We reserve judgement on whether the specific architectural design standards of Section 200-36(B)(1)(a), (b), (c) and (d), Section (B)(2) and (B)(3) are met, as well as the other requirements in Section 200-36, pending more information on the actual materials being used, roof pitch, etc. and input from Township consultants.

Please let me know if you have any questions or would like to discuss.

Thanks and stay safe!

Vivian

**From:** [Gwen Jonik](#)  
**To:** [Gwen Jonik](#)  
**Subject:** FW: HC Comments -- 164 Byers Road Proposed Construction  
**Date:** Tuesday, April 27, 2021 10:00:05 AM

---

**From:** McCardell, Vivian S. <vivian.mccardell@morganlewis.com>  
**Sent:** Wednesday, March 31, 2021 3:48 PM  
**To:** Gwen Jonik <GJonik@upperuwchlan-pa.gov>  
**Cc:** J Staub <jordan.e.staub@gmail.com>; Nancy Copp <ngcopp@hotmail.com>; Devdeep Maity <devdeep.maity@gmail.com>; John Brehany <brehanyj@gmail.com>; Aaron Stoyack <aaronstoyack999@gmail.com>  
**Subject:** HC Comments -- 164 Byers Road Proposed Construction

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Gwen,

The HC has looked through the packet on 164 Byers Road that was provided to the Planning Commission and our questions and comments are listed below, along with a summary of our comments on the renderings of the proposed building from our 3/22/2021 meeting.

- Gilmore & Associates, Inc. Report. The report, dated March 8, 2021, from the Township's consultant, Gilmore & Associates, Inc. ("Gilmore") on the proposed plan summarizes Gilmore's and other Township consultants' reviews. Article II of the report covers zoning matters under Chapter 200, Article VIII. C-1 Village District of the Township's Ordinance, but does not address Section 200-36 – Design Standards. Article VII of the report is a summary of the Township Planning Consultants Comments from Brandywine Conservancy and restates the purposes of the C-1 Village District and suggests that the building design plans and elevations be circulated to the HC for review and comment, but doesn't say anything more about the proposed structure. We could find nothing in the report showing that the proposed structure was reviewed under the C-1 Village District Section 200-36 Design Standards. Note note that Section 200-36(B)(2) provides that the burden is on the "applicant" to demonstrate that the submitted architectural designs are consistent with and promote the purposes and standards for the C-1 Village District, but have seen no such demonstration in the materials we reviewed.
- Questions for the Township.
  - Is there a Township consultant who reviews proposed building plans in the C-1 Village District to make sure the buildings comply with the Section 200-36 design standards? While the HC can and will comment on the design of proposed buildings under Section 200-36, we recommend that a Township consultant review and prepare comments on the proposed buildings for the HC's review. For example, Section 200-36 B.(1)(a) has limitations on the length of building facades with certain exceptions and Subsections B.(1)(b), (c) and (d) have





March 4, 2021

Dave Leh, Upper Uwchlan Township Engineer  
184 W. Main Street, Suite 300  
Trappe, PA 19426

**RE: Preliminary/Final Land Development Plan Application:  
QBD Ventures  
Waiver Request Letter**

Dear Mr. Leh:

On behalf of the applicant for the above referenced project we are requesting the following waivers from Upper Uwchlan Township Subdivision and Land Development Ordinance.

1. A Waiver is being requested from Section 162-32.F of the Upper Uwchlan Township Subdivision and Land Development Ordinance to allow a curb radius on the southwest corner of the intersection of the proposed driveway be less than the required 35 feet. We have demonstrated that the radii as proposed will accommodate the largest expected delivery vehicle to the property (a UPS-type truck) and the township's emergency vehicles (fire and ambulance). The small size of the lot makes a 35' radii virtually impossible to implement while still retaining a viable sized building and supporting parking, etc. on the lot. The proposed approximate 2,200 SF building footprint is smaller than most new homes being constructed in the township. The proposed radius of 15' on the western side of the entrance is also needed to not encroach on the adjacent property. Please note this radius is in the same general vicinity of the existing driveway. This curb radius is subject to the approval by PennDOT as it is located within the legal right of way of a State Highway.
2. A Waiver is being requested from Section 162-55.D.1 and Section 162-55.D.2 of the Upper Uwchlan Township Subdivision and Land Development Ordinance to allow an inlet, storm pipe, paving and a portion of a retaining wall within an area classified as Riparian Buffer due to it containing hydric soils, in addition to allowing the removal of an existing maple tree within said area. Vegetation management in the buffer, per the code, is not permitted, however this small portion of the south eastern corner of the lot that contains hydric soil per the soil conservation service's soils map and therefore is considered to be in the riparian buffer zone per section 162-55.D.(1) to (2) of the SALDO. Most of this small area has already been covered by a stoned driveway for many years and does not contribute to any ground water recharge, etc. Due to the small size of the lot, and our desire to accommodate the township's request to respect the proposed ultimate ROW for Byers Road (for when Byers Road is to be expanded to a four lane highway as a collector road per the township zoning ordinance), we have had to place a storm water inlet, some storm water piping, paving and a part of a retaining wall in the area previously used as the stoned driveway and we hereby request a waiver from the requirements of these sections of the SALDO.
3. A Waiver is being requested from Section 152-305.A and Section 152-306 of the Upper Uwchlan Township Stormwater Management Ordinance to not provide the required stormwater runoff volume reduction due to high groundwater levels on the property. The soils on-site are not suitable for infiltration and a lined underground pipe storage system is provided in lieu of a typical infiltration BMP to provide for the necessary peak flow reductions also required by the ordinance.

4. A Waiver is being requested from Section 152-311.D of the Upper Uwchlan Township Stormwater Management Ordinance to provide an underdrain that is less than the minimum 18" below the foundation. Based on the surrounding flat topography and the requirement to discharge the underdrain to a location that will provide proper positive flow away from the foundation, it is necessary to set the underdrain less than 18" below the foundation.
5. During the course of the review when the land development previously was proposed, the Township's Consultants had commented that strict compliance with the landscaping requirements contained in the Township's Subdivision and Land Development Ordinance is not possible without resulting in an over-planted site, i.e. No proper visibility into the site, trees being planted too close to other trees, conflicts between trees and lights, and no consistency with the existing tree plantings in Eagle and existing village landscape patterns. Our landscape consultant strongly agrees with this assessment, and therefore we request a Waiver from strict compliance with the SALDO's landscape requirements such that our landscape architect will prepare a landscaping plan that all parties can agree is proper in scale for the subject property even though it will not be in compliance with all of the township's ordinance's landscaping requirements. The ordinance sections where a partial waiver is being requested to not provide full landscaping is Section 162-57.6(b), and Section 162-57 with regard to building façade plantings, parking and loading landscaping, road frontage and tract boundary plantings.

Thank you for consideration of these Waiver Requests.

Sincerely,  
D.L. HOWELL & ASSOCIATES, INC.



David W. Gibbons, PE  
Senior Engineer



# DLHowell

Civil Engineering & Land Planning  
www.DLHowell.com

January 18, 2021

Mrs. Gwen Jonik, Township Secretary  
Upper Uwchlan Township  
140 Pottstown Pike  
Chester Springs, PA 19425

RE: 164 Byers Road  
Preliminary/Final Plan Submission

Dear Mrs. Jonik:

On behalf of QBD Ventures, DL Howell and Associates, Inc. is submitting for your review the enclosed Preliminary/Final Land Development Plans for the above referenced project. This was a previously approved Land Development that has since expired, and the owner would like to submit again for reapproval. The plans have been updated to show that public water and sewer is now being proposed due to the public utility's availability within Byers Road.

Our resubmission consists of the following:

- Preliminary/Final LD Plans – 12 Copies
- Stormwater Management Report – 3 Copies
- Application with fee – 3 Copies
- Escrow Agreement with fee – 1 Copy
- Act 247 Form with fee – 1 Copy
- DEP Waiver approval – 3 Copies

We appreciate your time and consideration. Should you have any questions or require any additional information, please let me know.

Sincerely,  
D.L.HOWELL & ASSOCIATES, INC.

Dave Gibbons, PE  
Senior Engineer

**RECEIVED**

JAN 19 2021

**UPPER UWCHLAN TWP  
ADMINISTRATIVE OFFICES**

1250 Wright's Lane  
West Chester, PA 19380  
Phone: (610) 918-9002  
Fax: (610) 918-9003



SUBDIVISION / LAND DEVELOPMENT APPLICATION



Preliminary Submittal



Final Submittal

The undersigned hereby applies for review of the Plan submitted herewith and described below:

1. Name of Subdivision / Development: 164 Byers Road
2. Plan Dated: 12/21/20 County Deed Book/Page No. 32-4-56
3. Name of property owner(s): QBD Ventures  
c/o Peter Rodgers, Partner  
Address: 5 Blue Sky Trail, Travelers Rest  
State/Zip: SC, 29690 Phone No.: 864-836-6400 (H) 215-285-8555 (c)  
Email: pete #watkinsrodgers.com
4. Name of Applicant (If other than owner):  
Same as Owner  
Address: \_\_\_\_\_  
State/Zip: \_\_\_\_\_ Phone No.: \_\_\_\_\_  
Email: \_\_\_\_\_
5. Applicant's interest (If other than owner): \_\_\_\_\_
6. Engineer, Architect, Surveyor, or Landscape Architect responsible for Plan.  
DL Howell & Associates, Inc., attn: Dave Gibbons, PE  
Address: 1250 Wrights Lane, West Chester  
State/Zip: PA, 19380 Phone No.: 610-918-9002  
Email: dgibbons@dlhowell.com
7. Total acreage: 0.702 Number of Lots: 1
8. Acreage of adjoining land in same ownership: (If any) n/a
9. Describe Type of Development Planned: \_\_\_\_\_  
Office/Commercial Building

10. This Application shall be accompanied by: the Application Fee as listed below, an aerial image of the property, and the quantity of plans/supporting information as detailed in the Township Code §162-8.B.(1)(b) and/or §162-8.C.(1)(d).

[One-half of the required plan submissions may be of a reduced size, i.e. 11 x 17]

11. List all subdivision and zoning standards or requirements which have not been met and for which a waiver or change is requested.

Section 152-305.A, 152-306, 162-55.D.1, 162-32.F, & 152-311.D

12. The Applicant or his/her agent shall enter into a Subdivision / Land Development Review Escrow Agreement (attached) and place into escrow with the Township at the time of application an amount estimated by the Township to cover all costs of engineering and professional planning reviews (not including County application fee), legal services and other professional services used by the Township in connection with the application.

Signature of Property Owner or Applicant:

By: QBD VENTURES  
Peter J. Rodgers, PARTNER (PETER J. RODGERS)  
Date: 1/11/21

\*Development subject to ACT 209 Impact Fee.

\*Park & Recreation Fee per residence is levied. Contact Township Offices to determine amount.

### SUBDIVISION / LAND DEVELOPMENT APPLICATION FEE

1-2 Lots ..... \$250

3-5 Lots ..... \$500  
Plus \$25 for each Lot over 3

Over 5 Lots ..... \$1000  
Plus \$50 for each Lot over 5

Form revised January 2015

## **MEMORANDUM**

**TO:** Upper Uwchlan Township  
140 Pottstown Pike  
Chester Springs, PA 19425

**FROM:** Sheila E. Fleming, ASLA

**DATE:** November 4, 2009

**RE:** QBD Ventures  
Preliminary/Final Land Development Plan

We have reviewed the set of plans entitled QBD Ventures - Byers Road Property as prepared by DL Howell, dated 09/18/09. The plans were accompanied by a Stormwater Management Report and a preliminary sketch of the proposed building façade. The 0.7-acre property is located on the south side of Byers Road across from the Butler House in the C-1 Village District. It is positioned between the Village of Eagle and the Byers Station Historic District. The building's former use was residential, but the building was condemned by the Township Codes department in 2007. The applicant proposes to demolish three existing structures to construct a new 4,400 square foot 2-story office building and associated parking areas. The proposed use is permitted by right in the C-1 Village District. The following is our review of the application with numbered recommendations.

### **Background**

The property is located in the headwaters of a first order stream of the Pickering Creek which is classified by the State Department of Environmental Protection as High Quality (HQ) stream with trout stocking fishes (TSF) and migratory fishes (MF). The topography is gently sloped towards the north and east. Much of the site appears to drain into stormwater collection facilities along Byers Road or towards the small headwater stream to the east. Three soil types are recorded on the site, including a small area of hydric soils, Glenville Silt Loam, in the southeast corner. The other two soil types are Glenelg located within the first 40 feet along Byers Road and Urban Land (altered soils) on the remainder of the site.

The building structures that exist are listed in the Historic Resource Inventory of Upper Uwchlan Township. They were added in 2007 as part of the new Chester County Atlas

of Historic Resources which identifies resources 50 years and older. Although these structures were not classified, most resources added in 2007 were comprised overwhelmingly of Class II resources. The existing residence has been condemned and is currently not suitable for human habitation. The structures on the site have no apparent historic value. The property is located to the west of the Byers Station Historic District, separated from the Historic District by two driveways.

1. The Historic Commission should review the application for possible negative impact on the Byers Station Historic District.

An existing 20-foot wide access easement within the property follows the western boundary of the property to provide access for a residence on a separate lot to the south. This access will be expanded and utilized for the new building. A driveway on the eastern side of the property will be abandoned. The property is bordered on the east by another flag lot that has a narrow frontage on Byers Road. Several large trees and overgrown shrubs grow around the structures. None of the existing trees have significant value. Many are non-native species such as mulberry or Norway maple, some are in poor condition, and others are softwood species that are not desirable in close proximity to a structure.

### **Planning Context**

The Future Land Use Map in the 2002 Comprehensive Plan shows this property within the Village land use area. In the recently adopted Open Space, Recreation and Environmental Resources Plan, a riparian buffer restoration zone is shown around the existing pond and stream located on the adjacent properties to the south and east, and possibly includes the southeast corner of the site.

The Trail Network Master Plan includes a description of the Byers Village Design Alternatives for sidewalks and trails. It also includes two sections that illustrate alternatives for how sidewalks and street trees should be incorporated into the streetscape along Byers Road. In both alternatives a 5' wide sidewalk is shown. Where there is sufficient right-of-way, the section includes a 3' wide planting strip with street tree and a 5' sidewalk.

### **Subdivision and Land Development Ordinance (SALDO)**

Section 162-55 Natural and Historic Features Conservation, subsection D requires that no land disturbance shall be permitted within riparian buffer areas except for timber harvesting, vegetation management, and customary agricultural practices in accordance with a soil conservation plan. Riparian buffers are defined as any area comprised of one or more of the following: any area within 75 feet of the bank of any stream; any wetlands and any area within 25 feet of any wetland; and any area of hydric soil. The buffer area has been altered and graded in the past. The buffer condition is primarily gravel with tall grasses, weeds, and trees that border the top of the stream bank. It is possible that the riparian buffer extends onto the property.

2. The Site Analysis Plan should indicate any existing streams that are located within 75 feet of the property line, wetlands within 25 feet, hydric soils, and the associated riparian buffer areas on the site.

3. Riparian buffer areas should be replanted with trees to the greatest extent feasible.
4. If disturbance to riparian areas is proposed, the applicant must request a waiver from SALDO section 162-55.D (1) to (3).

Section 162-57 lists landscape design, installation and maintenance standards. The applicant has provided a detailed compliance chart on sheet 12. The proposed landscape appears to be over-planted. For example, street trees are too closely spaced at less than 20 feet, tall evergreen species such as white pine and blue cedar will block views of the building from Byers Road, and a tree is planted 7 feet from the front doorway.

5. Street trees should be spaced approximately 50 feet apart along the proposed sidewalk to satisfy ordinance requirements and to be consistent with existing street tree plantings in Eagle.
6. The building and its landscape should be designed to feature the front of the building and to welcome visitors into the site. Over time, the evergreens that are proposed in the front of the building will screen the building from the street view. To be consistent with village landscape patterns, evergreens should be located at the sides and rear of the property or replaced with smaller shrubs.
7. Riparian buffers should be restored and planted with trees and shrubs.

### **Zoning Ordinance (ZO)**

The purpose of the C-1 Village District is to “preserve the historical development patterns of the villages of Eagle and Byers, and establish standards for new development and coordinated street and landscape improvements and pedestrian amenities, so as to complement the village setting and provide for safe and convenient access”.

Section 200-36 Design Standards for the C-1 Village District subsection A(1) states that historic structures shall be preserved to the greatest degree practicable. Subsection (2) specifies that demolition of a historic structure requires approval by the Township upon the recommendation of the Planning Commission and the Historical Commission.

8. The applicant should obtain a recommendation from the Planning Commission and the Historical Commission to demolish the existing structures prior to final plan approval.

Subsection B provides guidelines for architectural design in the Village District. These guidelines describe a traditional or village architectural character or a contemporary expression of traditional styles and forms. In our opinion the proposed structure is an appropriate scale for the Village District. The architectural elevation shows some building elements that are consistent with village architecture. However, the arched picture window and two-story entrance feature is not compatible with the village vernacular.

9. Consider two alternatives for the front façade:
  - a. replace the arched window with a double window with head, sill, and jambs identical to the double windows on the first floor, eliminate center roof peak, make a continuous gutter across the front of the roof (a cupola could be added above the entrance); or

- b. flatten the building façade, replace the arched window with a double window with a head, sill, and jambs identical to the double windows on the first floor, add a shallow two story portico with columns.
- 10. The building design alternatives should be circulated to the Planning Commission and the Historic Commission for their review and comment.
- 11. The applicant should clarify whether the architectural elevation of the building facade that was provided will face Byers Road and whether an entrance will face Byers Road.

Subsection C describes requirements for pedestrian and vehicular access. Pedestrian access should provide convenient, safe, and direct access between nearby uses in the district and in nearby areas. Section C(2) specifies that the Board of Supervisors may require that trails and/or accessory facilities be constructed which are deemed necessary to implement the community trails system.

- 12. The plan should include a sidewalk along the entire Byers Road frontage. This would be consistent with the Trail Network Master Plan which envisions pedestrian connections between the villages of Eagle and Byers. The Township should require one of two sidewalk alternatives: a 5' wide sidewalk adjacent to the cartway with street trees on the outside of the sidewalk; or, a 3' wide planting strip and street tree adjacent to the cartway with 5' sidewalk on the outside of the right-of-way.
- 13. In order to facilitate pedestrian access, a walkway should be provided from the sidewalk to the building entrance.

Subsection D describes requirements for Streetscape Design. Streetscape landscaping and public pedestrian amenities are required where deemed appropriate by the Township such as trash receptacle, benches, and bike rack.

- 14. The Township may require the applicant to provide pedestrian amenities such as trash receptacles, benches, and bicycle racks, if deemed appropriate by the Township.

### **Stormwater Management**

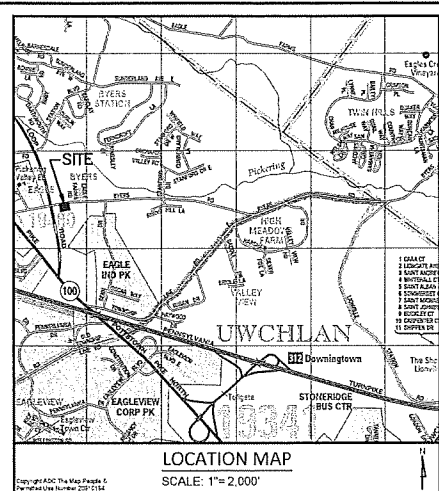
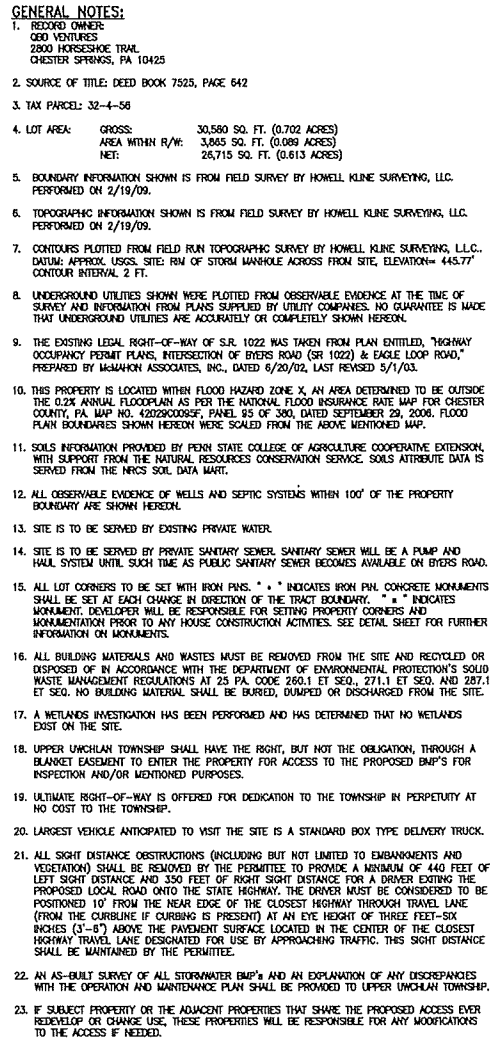
Due to high groundwater levels across the site, opportunities for infiltration are limited. However, the applicant should consider utilizing stormwater BMPs for water quality.

- 15. As stated above, riparian areas should be planted with trees and shrubs. This would help to maximize evapotranspiration.
- 16. The applicant should consider rooftop disconnection by directing roof drain volumes into shallow rain gardens to the west and east of the building. A narrow, linear rain garden could also be designed along the Byers Road right-of-way with an attractive and colorful selection of moisture tolerant perennial flowers and grasses.
- 17. The applicant should consider capture and reuse of rain water. This could include a variety of water storage techniques designed to "capture" rain water, hold it for a period of time, and reuse the water.

*Memorandum to Upper Uwchlan Township*  
*QBD Ventures - Preliminary/Final Plan Review*

We recommend that the applicant provide a revised preliminary/final plan that incorporates the recommendations noted above prior to plan approval. If you have any questions, please contact Sheila Fleming at (610) 388-8317.





DLHowell

Civil Engineering  
Land Planning  
Environmental  
[www.DLHowell.com](http://www.DLHowell.com)

1250 Wrights Lane  
West Chester, PA 19380  
Phone: (610) 918-9002  
Fax: (610) 918-9003

TITLE REPORT NOTES

This survey was performed utilizing a Commitment for Title Insurance prepared by Land America Lawyers, Case Number L31173, Policy Number C70-0060817, effective date September 22, 2008. Name of the Insured is GED Ventures, a PA General Partnership, and the land referred to in this policy is described as 164 Byers Road, Uxton, PA 15460. Schedule B-Section 2 of said Commitment contains the following survey related matters (Item numbers correspond to the Title Commitment numbers.)

- 8) Rights of the public and other interested therein and in the use of that portion of the premises within the bounds of Byers Road (LR 15412). (LR 15412 is of FR 1022 located herein.)
- 9) Rights granted to Philadelphia Electric Company in Macaronian Deep book 65, Page 509, and Macaronian Deep book 172, Page 660. (Documents describes the right to install electric lines immediately outside the legal right-of-way limits of Byers Road. Observance evidence of electric lines and utility poles located within the legal right-of-way limits of Byers Road.)
- 10) Water rights on wet furth in Macaronian Deep book 115, Page 583. (Document describes the right to access and use a well located across UMF 32-4-57.3. Appurtenant location located from reference point 3 show herein, no observance evidence of wet or water line of time of survey.)
- 11) Rights granted to Manufacturers Light and Heat Co., in Macaronian Deep book 117, Page 688. (No observance evidence of pipeline of time of survey.)
- 12) Agreement recorded in Macaronian Deep book 643, Page 214. (Document describes the right to access and use a well located across UMF 32-4-57.3. Appurtenant location located from reference point 3 show herein, no observance evidence of wet or water line of time of survey.)
- 13) Reservations on wet furth in instrument recorded in Macaronian Deep 4-43, Page 30. (Documents describes

| REV. | DATE     | DESCRIPTION                         |
|------|----------|-------------------------------------|
| 1    | 06/07/23 | REMAISD PER TOWNSHIP REVIEW LETTERS |
| 2    | 06/04/23 | REMAISD PER TOWNSHIP REVIEW LETTERS |
| 3    | 06/28/23 | REMAISD PER TOWNSHIP REVIEW LETTERS |
| 4    |          |                                     |
| 5    |          |                                     |
| 6    |          |                                     |
| 7    |          |                                     |
| 8    |          |                                     |
| 9    |          |                                     |
| 10   |          |                                     |
| 11   |          |                                     |
| 12   |          |                                     |

PRELIMINARY/FINAL  
SITE ANALYSIS & IMPACT PLAN

CLIENT: QBD VENTURES  
PROJECT: BYERS ROAD PROPERTY  
LOCATION: 164 BYERS ROAD  
UPPER UWHIGLAN TOWNSHIP,

|             |                                    |
|-------------|------------------------------------|
| DATE        | 12/21/20                           |
| SOUND       | 1"=20'                             |
| DRAWN BY    | AM                                 |
| CHECKED BY  | DWG                                |
| PROJECT NO. | 2146                               |
| CAD FILE    | 02 SITE ANALYSIS & IMPACT PLAN.dwg |
| PLOTTER:    | 08/28/23                           |
| DRAWING NO. | C02.01                             |
| SHEET       | 02 of 13                           |

|  |                     |  |                             |  |                       |  |                        |  |                      |  |                          |
|--|---------------------|--|-----------------------------|--|-----------------------|--|------------------------|--|----------------------|--|--------------------------|
|  | EX. PROPERTY LINE   |  | EXISTING CONTOUR            |  | PROP. LIGHT POLE      |  | PROP. ELEC. LINE       |  | PROP. STORM INLET    |  | PROP. WATER LINE         |
|  | PROP. PROPERTY LINE |  | PROPOSED CONTOUR            |  | EX. FENCE             |  | EX. UTILITY POLE       |  | PROP. STORM INLET ID |  | PROP. WATER LATERAL      |
|  | EX. RIGHT-OF-WAY    |  | X 123.00 EXIST'G SPOT ELEV. |  | EX. MAIL BOX          |  | PROP. UTILITY POLE     |  |                      |  | PROP. FIRE WATER LINE    |
|  | PROP. RIGHT-OF-WAY  |  | X 123.00 NEW SPOT ELEV.     |  | EX. SIGN              |  | EX. GUY ANCHOR         |  |                      |  | EX. WATER VALVE          |
|  | EX. MONUMENT        |  | GEB2 SOILS TYPE             |  | PROP. SIGN            |  | EX. GAS LINE           |  |                      |  | PROP. WATER VALVE        |
|  | PROP. MONUMENT      |  | SOILS LINE                  |  | EXIST. PARKING SPACES |  | G PROP. GAS LINE       |  | S                    |  | EX. HYDRANT              |
|  | EX. IRON PIPE       |  | EX. CONC. CURB              |  | PROP. PARKING SPACES  |  | EX. GAS VALVE          |  | S                    |  | PROP. SAN. SEWER LINE    |
|  | PROP. IRON PIPE     |  | PROP. CONC. CURB            |  | TO BE REMOVED         |  | G.V. VALVE             |  | L                    |  | PROP. SAN. SEWER LATERAL |
|  | EX. EASEMENT        |  | EX. EDGE OF PAVING          |  | EX. TELE. LINE        |  | EX. STORM SEWER LINE   |  | UH 1                 |  | PROP. SANITARY WH. ID    |
|  | PROP. EASEMENT      |  | PROP. EDGE OF PAVING        |  | T PROP. TELE. LINE    |  | PROP. STORM SEWER LINE |  | W                    |  | EX. WATER LINE           |
|  | EX. WETLANDS        |  | EX. LIGHT POLE              |  | E EX. ELEC. LINE      |  | EX. STORM INLET        |  | 1                    |  | TITLE REPORT NOTE        |

[illegible]

# LEGEND

- EX. PROPERTY LINE
- PROP. PROPERTY LINE
- EX. RIGHT-OF-WAY
- PROP. RIGHT-OF-WAY
- EX. MONUMENT
- PROP. MONUMENT
- EX. IRON PIPE
- PROP. IRON PIPE
- EX. EASEMENT
- PROP. EASEMENT
- EX. WETLANDS
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEV.
- NEW SPOT ELEV.
- SOILS TYPE
- SEWER LINE
- EX. CONC. CURB
- PROP. CONC. CURB
- EX. EDGE OF PAVING
- PROP. EDGE OF PAVING
- EX. LIGHT POLE
- PROP. LIGHT POLE
- EX. FENCE
- EX. MAIL BOX
- EX. SIGN
- PROP. SIGN
- EXIST. PARKING SPACES
- PROP. PARKING SPACES
- TO BE REMOVED
- EX. TELE. LINE
- PROP. TELE. LINE
- EX. ELEC. LINE
- PROP. ELEC. LINE
- EX. UTILITY POLE
- PROP. UTILITY POLE
- EX. GUY ANCHOR
- EX. GAS LINE
- PROP. GAS LINE
- EX. GAS VALVE
- PROP. GAS VALVE
- EX. STORM SEWER LINE
- PROP. STORM SEWER LINE
- EX. STORM INLET
- PROP. STORM INLET
- EX. STORM INLET ID
- PROP. STORM INLET ID
- PROP. SEEPAGE BED
- EX. SANITARY SEWER LINE
- PROP. SAN. SEWER LINE
- EX. SAN. SEWER LATERAL
- PROP. SAN. SEWER LATERAL
- PROP. SANITARY MH. ID
- EX. WATER LINE
- PROP. WATER LINE
- EX. WATER LATERAL
- PROP. FIRE WATER LINE
- EX. WATER VALVE
- PROP. WATER VALVE
- EX. HYDRANT
- PROP. HYDRANT
- EX. MANHOLE
- PROP. MANHOLE

CALL BEFORE YOU DIG!  
PENNSYLVANIA LAW REQUIRES  
3 WORKING DAYS NOTICE FOR  
CONSTRUCTION PHASE AND 10 WORKING  
DAYS IN DESIGN STAGE-STOP CALL.  
Pennsylvania One Call System, Inc.



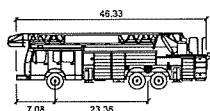
ONE CALL NOTE  
NO SCALE

ACT 287 SERIAL NUMBER 20092592101  
D. L. Howell & Associates, Inc. does not guarantee the  
accuracy of the locations for existing subsurface utility  
lines, structures, etc. shown on the plans, nor does D. L.  
Howell & Assoc., Inc. guarantee that all subsurface utility  
lines, structures, etc. are shown.

Contractor shall verify the location and elevations of all  
subsurface utility lines, structures, etc. before the start of  
work, by calling the Pennsylvania One Call System  
at 1-800-242-1776.

## UTILITIES NOTIFIED

BUCKEYE PIPELINE COMPANY  
CONCAST CABLE COMMUNICATIONS, INC.  
PECO ENERGY  
VERIZON PENNSYLVANIA, INC.  
UPPER UNICHLAN TOWNSHIP  
UPPER UNICHLAN MUNICIPAL AUTHORITY



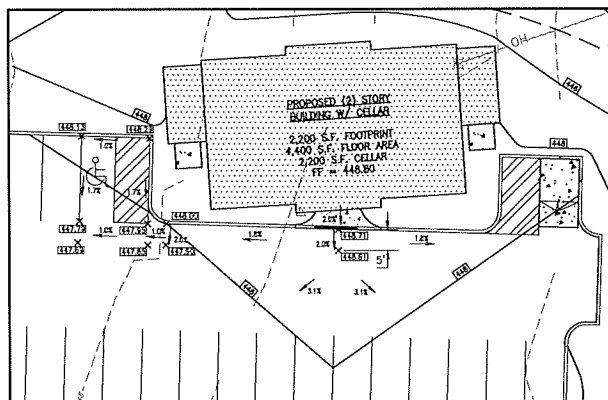
Fire Truck (Ladder) feet  
Width : 9.89  
Track : 9.89  
Lock to Lock Time : 3.0  
Steering Angle : 36.2

# GENERAL NOTES:

- PRIOR TO STARTING CONSTRUCTION, ALL UTILITY SERVICES IN THE AREA SHALL BE LOCATED AND MEASURES TAKEN TO PROTECT THE EXISTING FACILITIES. ANY DAMAGE TO EXISTING FACILITIES SHALL BE IMMEDIATELY REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT ALL PERSONS VEHICLES AND BUILDINGS WITHIN THE CONSTRUCTION AREAS FROM INJURY AND DAMAGE DURING THE COURSE OF WORK.
- CONSTRUCTION SHALL BE LOCATED, AND MEASURES TAKEN TO PROTECT THE EXISTING FACILITIES IN ACCORDANCE WITH PENNSYLVANIA ACT 38. ANY DAMAGE TO EXISTING FACILITIES RESULTING FROM THE NEGLIGENCE OF THE CONTRACTOR SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED AT THE CONTRACTOR'S EXPENSE.
- LOCATION OF EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM FIELD SURVEY AND EXISTING RECORDS. COMPLETENESS AND ACCURACY OF EXISTING UTILITY INFORMATION IS NOT GUARANTEED. PRIOR TO THE START OF ANY CONSTRUCTION, THE CONTRACTOR SHALL ACCURATELY FIELD MEASURE LOCATION AND ELEVATION OF EXISTING UTILITIES AT POINTS OF CONNECTION AND POTENTIAL CONFLICT. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND ENGINEER OF ANY DEVIATION FROM INFORMATION SHOWN ON THESE PLANS.
- ALL SITE IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE LOCAL, COUNTY, STATE AND FEDERAL STATUTES AND REGULATIONS.
- ALL TRENCHING, SHORING AND EXCAVATING OPERATIONS SHALL BE PERFORMED IN COMPLIANCE WITH THE REQUIREMENTS OF THE U.S. DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA).
- SCALED DIMENSIONS FROM THIS PLAN SHALL NOT BE USED FOR CONSTRUCTION WITHOUT CONFIRMATION FROM D.L. HOWELL & ASSOCIATES, INC.
- IF ANY UNSUITABLE SOIL IS ENCOUNTERED DURING EXCAVATION, THE CONTRACTOR SHALL REMOVE IT AND REPLACE IT WITH COMPACTED STRUCTURAL MATERIAL.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE LOCAL AUTHORITY OR GOVERNING AGENCY OF THE BEGINNING DATE OF CONSTRUCTION AND TO ENSURE THAT NO WORK IS PERFORMED WITHOUT THE REQUIRED PERMITS AND INSPECTIONS BY THE LOCAL AUTHORITY OR GOVERNING AGENCY.
- IF CONDITIONS IN THE FIELD DIFFER FROM THOSE SHOWN ON THE PLAN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED TRAFFIC CONTROL, SHEETING, SHORING AND BARRICADE OF OPEN EXCAVATIONS.
- ALL MATERIALS AND METHODS OF CONSTRUCTION FOR STORMWATER FACILITIES AND SEEDING AND MULCHING SHALL CONFORM TO PENNDOT FORM 408 SPECIFICATIONS, 1994.
- ALL INLETS, MANHOLES AND ASSEMBLIES SHALL BE PRECAST CONCRETE.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR AND HAVE COMPLETE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, SAFETY PRECAUTIONS, AND PROGRAMS IN CONNECTION WITH THE WORK AND FOR COORDINATION OF ALL PORTIONS OF THE WORK UNDER CONTRACT.
- CONTRACTOR SHALL REVIEW VARIOUS PHASES OF WORK WITH THE OWNER TO DETERMINE WHETHER ANY PHASE WILL CONFLICT WITH THE OWNER'S DAILY OPERATIONS. WHERE CONFLICT IS APPARENT THE CONTRACTOR SHALL COORDINATE WITH THE OWNER THE WORK TO BE PERFORMED SO AS TO BE THE LEAST DISRUPTIVE.
- ALL INLETS SHALL BE CONSTRUCTED FLUSH WITH THE GROUND COURSE.
- ALL CURBS, CONCRETE OR PAVING TO BE REMOVED SHALL BE SAW CUT FIRST TO ENSURE A CLEAN SEPARATION FROM EXISTING MATERIAL.
- ANY PAVING DAMAGED DURING CONSTRUCTION ACTIVITIES SHALL BE REMOVED TO SUBGRADE AND REPLACED WITH THE FULL PAVING SECTION.
- WHERE ALL NEW BITUMINOUS PAVING MEETS EXISTING BITUMINOUS PAVING A HOT BITUMINOUS SEALANT SHALL BE POURED ALONG THE SAW CUT JOINT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER REMOVAL, REPLACEMENT, AND MAINTENANCE OF ALL EXISTING LANDSCAPING DURING CONSTRUCTION. THIS INCLUDES PROPERLY STORING MATERIAL TO BE REUSED, PRUNING WHERE REQUIRED AND PROTECTING EXISTING ROOT STRUCTURES OF TREES WHERE CONSTRUCTION OCCURS WITHIN THE DRP LINE.
- IF GROUNDWATER OR BEDROCK IS ENCOUNTERED DURING THE INSTALLATION OF THE ON-LOT PIPE STORAGE FACILITY STOP WORK AND CONTACT THE TOWNSHIP AND DESIGN ENGINEER FOR AN ALTERNATE LOCATION OR NEW DESIGN.
- IN ANY AREA SUBJECT TO VEHICULAR ACTIVITY DURING CONSTRUCTION, A 3 FOOT MINIMUM COVER SHALL BE MAINTAINED FOR ALL UNDERGROUND UTILITIES EXCEPT STORM SEWERS.

## STORM SEWER NOTES:

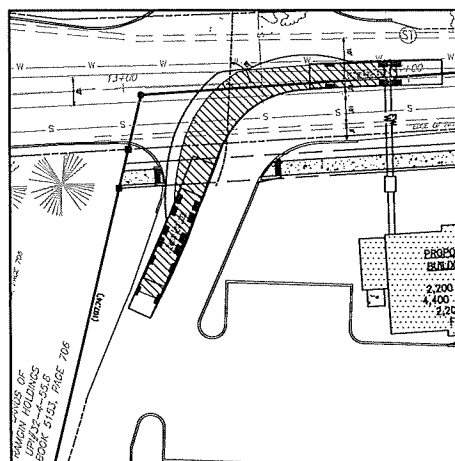
- ALL STORM SEWERS SHALL BE CONSTRUCTED PER PENNSYLVANIA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AS OUTLINED IN PUBLICATION 408 DESIGN MANUAL, PART 2, HIGHWAY DESIGN AND STANDARDS FOR ROADWAY CONSTRUCTION, R-2 SERIES UNLESS OTHERWISE INDICATED BY TOWNSHIP ORDINANCE.
- INLETS, MANHOLES, COVERS AND FRAMES SHALL CONFORM TO PENNSYLVANIA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.
- DURING CONSTRUCTION ALL STORMWATER CONVEYANCE PIPING SHALL MAINTAIN A MINIMUM OF 12 INCHES OF COVER AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.



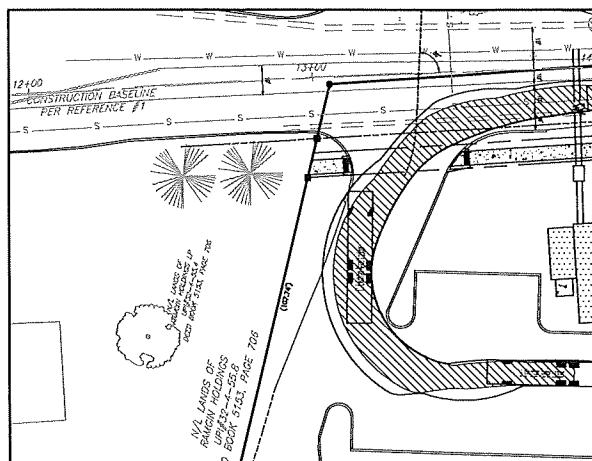
## HANDICAPPED ACCESS DETAIL

SCALE: 1"=20'

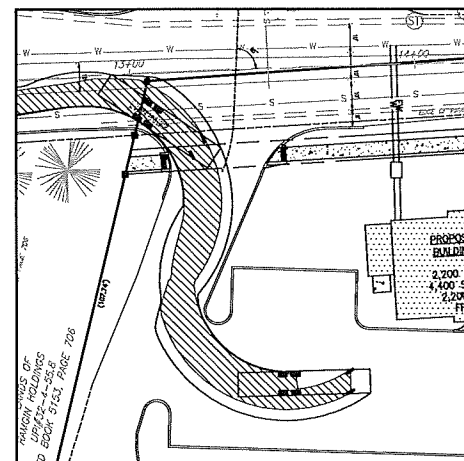
GRAPHIC SCALE  
1 inch = 20 feet



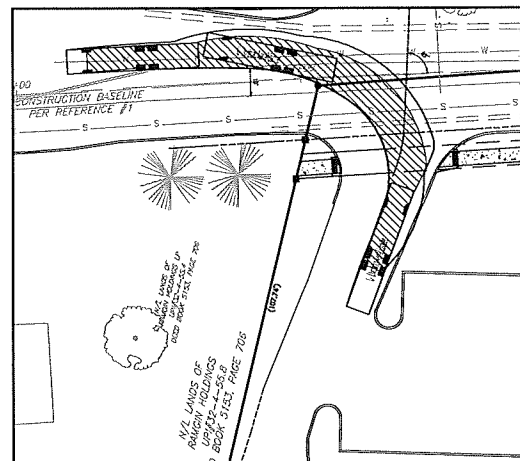
ENTERING SITE FROM EAST



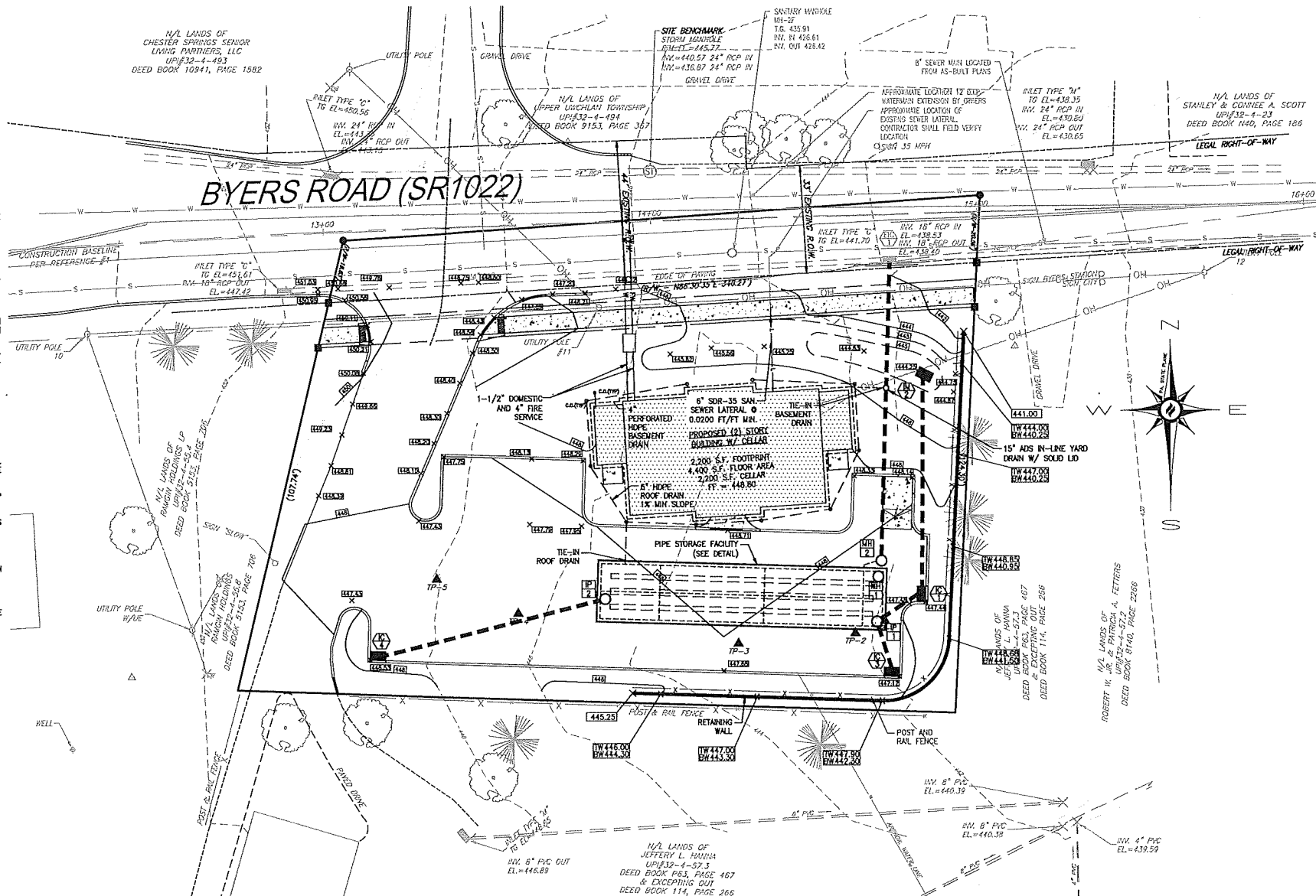
ENTERING SITE FROM WEST



EXITING SITE HEADED EAST



EXITING SITE HEADED WEST



## IMPROVEMENT CONSTRUCTION PLAN

SCALE: 1"=20'

GRAPHIC SCALE  
1 inch = 20 feet

## TRUCK TURNING PLANS

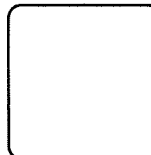
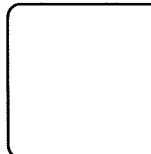
SCALE: 1"=30'



DL Howell

Civil Engineering  
Land Planning  
Environmental  
www.DLHowell.com

1250 Wrights Lane  
West Chester, PA 19380  
Phone: (610) 918-9002  
Fax: (610) 918-9003

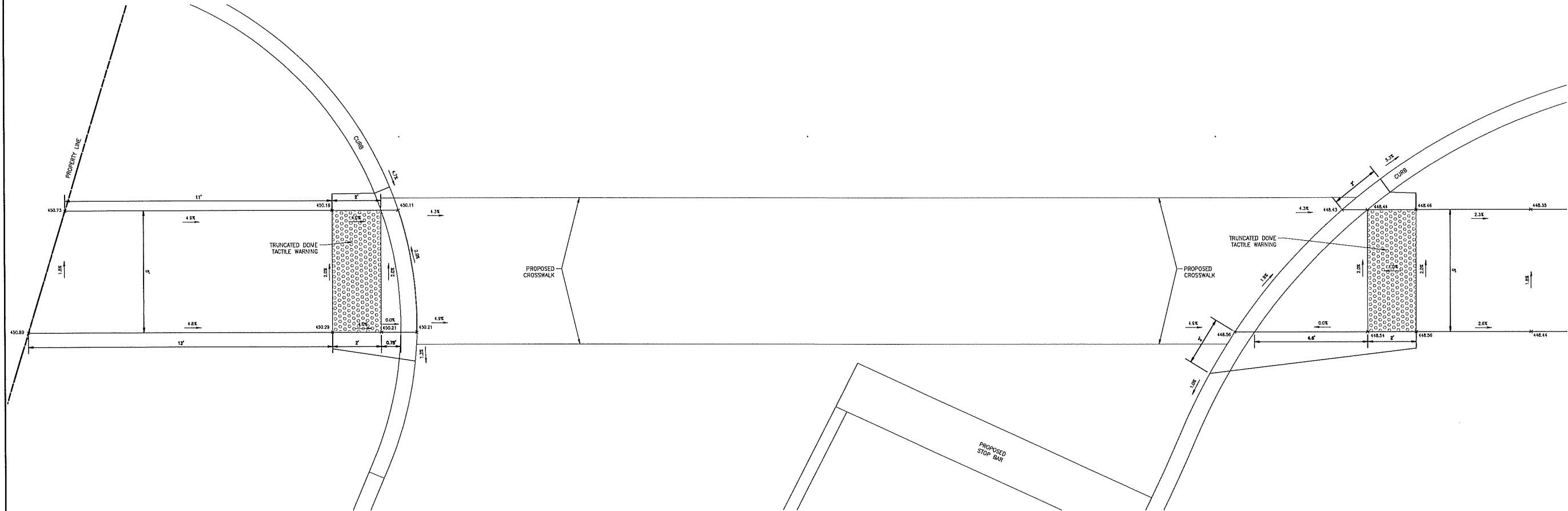


| REV | DATE     | DESCRIPTION                         |
|-----|----------|-------------------------------------|
| 1   | 08/17/23 | REVISED PER TOWNSHIP REVIEW LETTERS |
| 2   | 08/04/23 | REVISED PER TOWNSHIP REVIEW LETTERS |
| 3   | 08/28/23 | REVISED PER TOWNSHIP REVIEW LETTERS |
| 4   |          |                                     |
| 5   |          |                                     |
| 6   |          |                                     |
| 7   |          |                                     |
| 8   |          |                                     |

PRELIMINARY/FINAL  
IMPROVEMENT CONSTRUCTION PLAN

CLIENT: QBD VENTURES  
PROJECT: BYERS ROAD PROPERTY  
LOCATION: 164 BYERS ROAD  
UPPER UNICHLAN TOWNSHIP, CHESTER COUNTY, PA

|             |          |
|-------------|----------|
| DATE        | 12/21/20 |
| SCALE       | AS SHOWN |
| DRAWN BY    | AN       |
| CHECKED BY  | DWG      |
| PROJECT NO. | 2146     |
| DATE FILED  | 09/28/23 |
| DRAWING NO. | C03.01   |
| SHEET       | 03 of 13 |



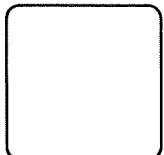
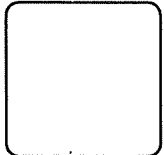
**SIDEWALK ADA PLAN**  
 SCALE: 1" = 2'



**DLHowell**

Civil Engineering  
 Land Planning  
 Environmental  
[www.DLHowell.com](http://www.DLHowell.com)

1250 Wrights Lane  
 West Chester, PA 19380  
 Phone: (610) 918-9002  
 Fax: (610) 918-9003

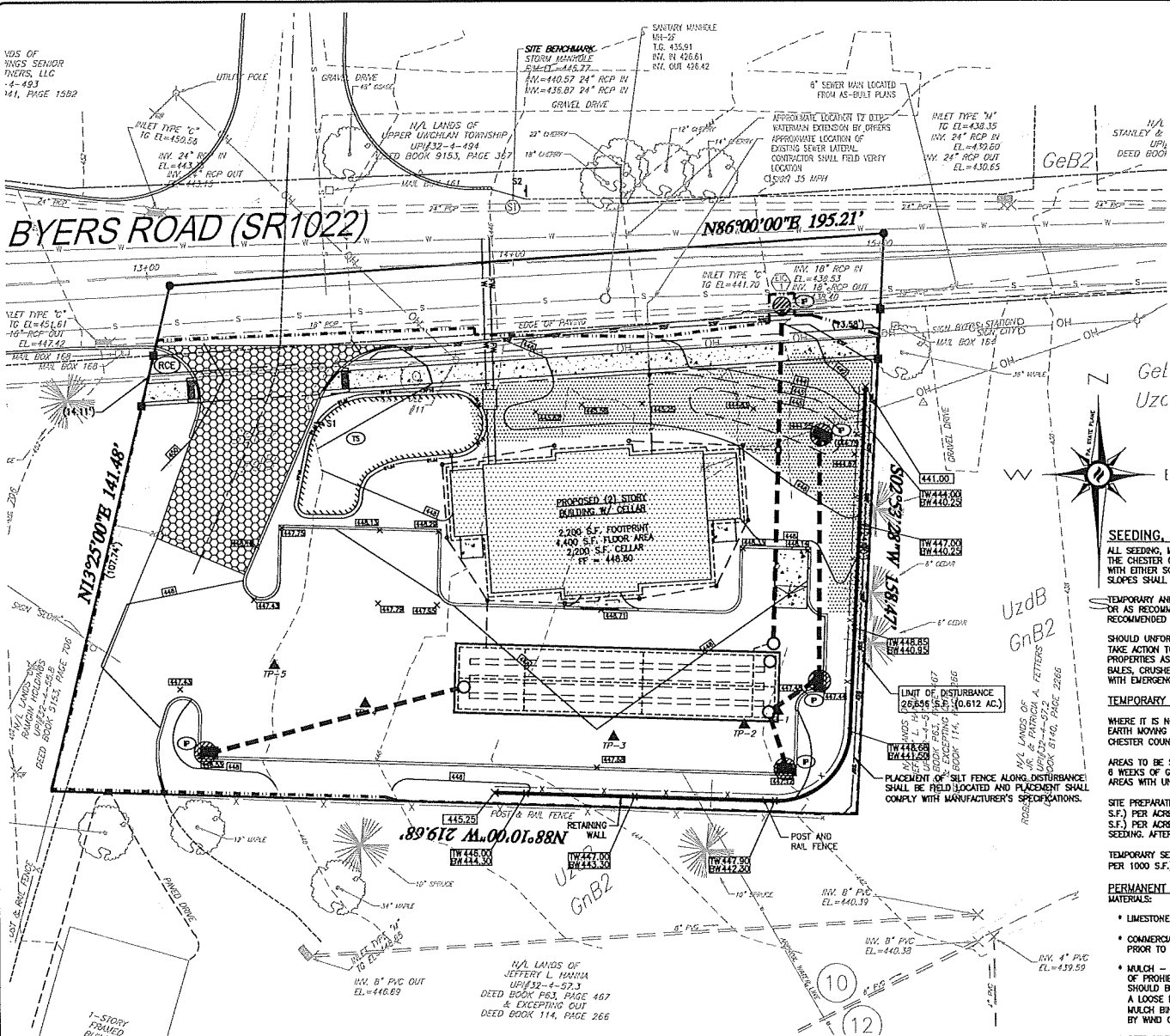


| REV. | DATE     | DESCRIPTION                         |
|------|----------|-------------------------------------|
| 1    | 06/01/23 | REVISED PER TOWNSHIP REVIEW LETTERS |
| 2    | 06/04/23 | REVISED PER TOWNSHIP REVIEW LETTERS |
| 3    | 06/28/23 | REVISED PER TOWNSHIP REVIEW LETTERS |
| 4    |          |                                     |
| 5    |          |                                     |
| 6    |          |                                     |
| 7    |          |                                     |
| 8    |          |                                     |

|                                             |  |
|---------------------------------------------|--|
| PRELIMINARY/FINAL                           |  |
| SIDEWALK ADA PLAN                           |  |
| CLIENT: QBD VENTURES                        |  |
| PROJECT: BYERS ROAD PROPERTY                |  |
| LOCATION: 164 BYERS ROAD                    |  |
| UPPER UNIOHLAN TOWNSHIP, CHESTER COUNTY, PA |  |

|                                               |          |
|-----------------------------------------------|----------|
| DATE:                                         | 12/21/20 |
| SCALE:                                        | 1"=2'    |
| DRAWN BY:                                     | AM       |
| CHECKED BY:                                   | DWG      |
| PROJECT NO.:                                  | 2146     |
| CD FILED AT IMPROVEMENT CONSTRUCTION PLANNING |          |
| PLOTTED:                                      | 09/28/23 |
| DRAWING NO.:                                  | C03.02   |
| SHEET                                         | 04 of 13 |

VDS OF  
WINGS SENIOR  
TRUCKS, LLC  
4-493  
141, PAGE 1582



#### SEEDING, MULCHING AND SODDING

ALL SEEDING, MULCHING AND SODDING SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE CHESTER COUNTY CONSERVATION DISTRICT. ALL SLOPES STEEPER THAN 3:1 MUST BE STABILIZED WITH EITHER SOO OR PERMANENT SEEDING AND MULCH ANCHORED IN PLACE WITH JUTE NETTING. NO SLOPES SHALL BE STEEPER THAN 2H:1V.

TEMPORARY AND PERMANENT SEEDING SHALL BE IN ACCORDANCE WITH THE PENN STATE AGRONOMY GUIDE OR AS RECOMMENDED BELOW. DURING NON-GERMINATING PERIODS APPLY MULCH AT THE RATES RECOMMENDED BELOW.

SHOULD UNFORESEEN EROSION CONDITIONS DEVELOP DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE ACTION TO REMEDY SUCH CONDITIONS AND TO PREVENT DAMAGE TO ADJACENT PROPERTIES AS A RESULT OF INCREASED EROSION. STOCKPILES OF WOOD CHIPS, HAY BALES, CRUSHED STONE AND/OR OTHER MULCHES SHALL BE HELD IN READINESS TO DEAL IMMEDIATELY WITH EMERGENCY PROBLEMS OF EROSION.

#### TEMPORARY SEEDING SPECIFICATIONS

WHERE IT IS NOT POSSIBLE TO PERMANENTLY STABILIZE A DISTURBED AREA IMMEDIATELY AFTER THE FINAL EARTH MOVING HAS BEEN COMPLETED, TEMPORARY SEEDING SHALL BE DONE IN ACCORDANCE WITH THE CHESTER COUNTY CONSERVATION DISTRICT, THE EAS MANUAL AND/OR THE PENN STATE AGRONOMY GUIDE.

AREAS TO BE STABILIZED MUST BE SEEDING/PLANTED IN SUFFICIENT TIME TO GERMINATE, AT LEAST 4 TO 6 WEEKS OF GROWTH PRIOR TO HARD FROSTS. AFTER SEEDING IS COMPLETE, MULCH THE SEEDED AREAS WITH UNROTTED SMALL GRAIN STRAW AT A RATE OF 3 TONS PER ACRE.

SITE PREPARATION: APPLY 4 TONS AGRICULTURAL GRADE LIMESTONE (EQUIVALENT TO 190 LBS. PER 1000 S.F.) PER ACRE PLUS 10-20-10 FERTILIZER AT A RATE 930 LBS. (EQUIVALENT TO 25 LBS. PER 1000 S.F.) PER ACRE AND WORK IN WHERE POSSIBLE. SECURE A SOIL TEST BEFORE MAKING A PERMANENT SEEDING. AFTER SEEDING, MULCH WITH STRAW AT A RATE OF 3.0 TONS PER ACRE.

TEMPORARY SEED MIXTURE: APPLY ANNUAL RYE GRASS AT 40 PLS (LBS/ACRE) (EQUIVALENT TO 1 LBS. PER 1000 S.F.) MINIMUM GERMINATION PERCENTAGE - 85%

#### PERMANENT SEEDING SPECIFICATIONS

MATERIALS:

- LIMESTONE - RAK, GROUND AGRICULTURAL LIMESTONE CONTAINING MORE THAN 90% CARBONATES.
- COMMERCIAL FERTILIZER (10-20-10) - USE 500 LBS. TO THE ACRE MIXED INTO THE SEEDBED PRIOR TO SEEDING, OR MIXED IN WITH THE SEED IF HYDROSEEDING.

- MULCH - CLEAN OAT OR STRAW SHALL BE FREE FROM MATURE SEED-BEARING STALKS OR ROOTS OF PROHIBITED OR NOxious WEEDS. APPLY AT A RATE OF 3.0 TONS PER ACRE. THE MULCH SHOULD BE STABILIZED UNTIL THE VEGETATIVE COVER IS ESTABLISHED. SPREAD MULCH UNIFORMLY IN A LOOSE LAYER 1/2" TO 1" DEEP. MULCH ANCHORING (MULCH NETTING, PEGS AND TWINE, LIQUID MULCH BINDER) SHALL BE ACCOMPLISHED IMMEDIATELY AFTER MULCH PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER.

- SEED MIXTURE - SHALL BE A GUARANTEED STATEMENT OF ANALYSIS.

#### PERMANENT SEEDING SPECIFICATIONS

LAWN AND MOWED AREAS: (PLS = PURE LIVE SEED PERCENTAGE) MIN. GERMINATION %'S

|                                                   |                                                            |                                                                       |                   |
|---------------------------------------------------|------------------------------------------------------------|-----------------------------------------------------------------------|-------------------|
| A. KENTUCKY BLUEGRASS PERENNIAL RYEGRASS REDTOP   | 30 PLS (LBS/ACRE)<br>20 PLS (LBS/ACRE)<br>3 PLS (LBS/ACRE) | 12 OZ. PER 1,000 S.F.<br>8 OZ. PER 1,000 S.F.<br>2 OZ. PER 1,000 S.F. | 75%<br>85%<br>90% |
| B. PENNLAWN-FINE FESCUE PERENNIAL RYEGRASS REDTOP | 40 PLS (LBS/ACRE)<br>20 PLS (LBS/ACRE)<br>3 PLS (LBS/ACRE) | 16 OZ. PER 1,000 S.F.<br>8 OZ. PER 1,000 S.F.<br>2 OZ. PER 1,000 S.F. | 85%<br>85%<br>90% |

SLOPES OR UN-MOWED AREAS:

|                                 |                                        |                                                |            |
|---------------------------------|----------------------------------------|------------------------------------------------|------------|
| C. CROWNWEED PERENNIAL RYEGRASS | 25 PLS (LBS/ACRE)<br>25 PLS (LBS/ACRE) | 10 OZ. PER 1,000 S.F.<br>10 OZ. PER 1,000 S.F. | 85%<br>85% |
|---------------------------------|----------------------------------------|------------------------------------------------|------------|

AREAS TO BE STABILIZED MUST BE SEEDING/PLANTED IN SUFFICIENT TIME TO GERMINATE, AT LEAST 4 TO 6 WEEKS OF GROWTH PRIOR TO HARD FROSTS. AFTER SEEDING IS COMPLETE, MULCH THE SEEDED AREAS WITH UNROTTED SMALL GRAIN STRAW AT A RATE OF 3 TONS PER ACRE.

PERMANENT SEEDING SHALL ONLY OCCUR DURING THE DATES LISTED ABOVE. IF AREAS ARE PREPARED FOR SEEDING AT OTHER TIMES, THEN THE PREPARED SEEDBED SHALL BE HEAVILY MULCHED WITH CLEAN UNROTTED SMALL GRAIN STRAW AT A RATE OF 3 TONS PER ACRES. THE MULCH SHALL REMAIN IN PLACE UNTIL SEEDING DATES ARE APPROPRIATE. THE MULCH SHALL BE REMOVED, THE AREA SHALL BE DRESSED, SEEDING AND REMULCHED AS DESCRIBED ABOVE.

#### MAINTENANCE

MAINTENANCE OF EROSION AND SEDIMENTATION CONTROL DEVICES WILL CONSIST OF WEEKLY INSPECTIONS OF EACH DEVICE TO DETERMINE HOW WELL THE SOIL STABILIZATION MEASURES ARE WORKING. ALL FACILITIES WILL BE INSPECTED AFTER EVERY STORM TO DETERMINE THEIR DURABILITY TO WITHSTAND DRIVING RAIN AND EROSION. ALL LOCAL REGULATIONS SHALL BE COMPLIED WITH. ALL DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION EQUIPMENT SHALL BE REPAIRED BEFORE THE END OF EACH WORKING DAY.

THE FOLLOWING MAINTENANCE PROCEDURES SHALL APPLY:

- ANY SEEDING OR SOODED AREAS THAT HAVE BECOME STRIPPED OF VEGETATION SHALL BE REESTABLISHED WITH APPROPRIATE STABILIZATION MATERIALS. THIS PROCEDURE SHALL BE REPEATED AFTER EVERY STABLE STORM UNTIL NO MORE SIGNS OF EROSION ARE EVIDENT.
- AT MONTHLY INTERVALS, THEREAFTER, INSPECTIONS AND NECESSARY CLEANING WILL BE PERFORMED.
- ANY FILTER FABRIC FENCE, WHICH HAS BEEN UNDERMINED OR OVERTOPPED, MUST BE IMMEDIATELY REPLACED WITH A ROCK FILTER OUTLET.
- INFLOW AND OUTFLOW POINTS INTO THE INFILTRATION SYSTEM SHOULD KEEP CLEAR OF LEAVES AND OTHER DEBRIS. ANY LEAVES OR DEBRIS WILL NEGATIVELY IMPACT THE PERFORMANCE OF THESE SYSTEMS. ALL DOWNSPUTS AND OVERFLOW PIPES SHOULD BE KEPT IN GOOD WORKING ORDER.

| STATION | SOIL NAME                                                              | DEPTH TO SUBSIDIARY WATER TABLE | DEPTH TO BEDROCK | SATURATION FOR WATER GRADING | RESTRAINT TO FLOW | SATURATION FOR ROAD GRADE | SATURATION FOR ROAD FILL | SATURATION AS SOURCE FOR TOPSOIL | SATURATION AS SOURCE FOR SAND & GRAVEL | CHARACTERISTICS THAT AFFECT VERTICAL DRAINAGE | CHARACTERISTICS THAT AFFECT HORIZONTAL DRAINAGE | CHARACTERISTICS THAT AFFECT SATURATION FOR |
|---------|------------------------------------------------------------------------|---------------------------------|------------------|------------------------------|-------------------|---------------------------|--------------------------|----------------------------------|----------------------------------------|-----------------------------------------------|-------------------------------------------------|--------------------------------------------|
| GWB2    | GREENFIELD CHANNERY SILT CLAY, 3 TO 8 PERCENT SLOPES, MODERATELY BROOD | 3 FT. +                         | 3 TO 5 FT.       | GOOD                         | FAIR              | FAIR TO GOOD              | FAIR TO GOOD             | GOOD                             | UNSATURABLE                            | SEASONAL, HIGH WATER TABLE                    | CLAY/SH                                         | FLUCTUATING WATER TABLE                    |
| GWB3    | GREENFIELD SILT CLAY, 3 TO 8 PERCENT SLOPES, MODERATELY BROOD          | 1-1 1/2 FT.                     | 3 TO 6 FT.       | FAIR                         | POOR              | POOR TO FAIR              | POOR                     | GOOD                             | UNSATURABLE                            | SEASONAL, HIGH WATER TABLE                    | CLAY/SH                                         | FLUCTUATING WATER TABLE                    |
| UWB3    | UPPER UNCHLAN SANDY SILT CLAY, 0 TO 8 PERCENT SLOPES                   | 3 FT. +                         | 3 TO 5 FT.       | GOOD                         | FAIR              | FAIR TO GOOD              | FAIR TO GOOD             | GOOD                             | UNSATURABLE                            | SEASONAL, HIGH WATER TABLE                    | CLAY/SH                                         | FLUCTUATING WATER TABLE                    |

#### UTILITY LINE TRENCH EXCAVATION NOTES:

- LIMIT ADVANCED CLEARING AND GRUBBING OPERATIONS TO A DISTANCE EQUAL TO TWO TIMES THE LENGTH OF PIPE INSTALLATION THAT CAN BE COMPLETED IN ONE DAY.
- WORK CREWS AND EQUIPMENT FOR TRENCHING, PLACEMENT OF PIPE, PILING CONSTRUCTION AND BACKFILLING WILL BE SELF CONTAINED AND SEPARATE FROM CLEARING AND GRUBBING, SITE RESTORATION, AND STABILIZATION OPERATIONS.
- ALL SOIL EXCAVATED FROM THE TRENCH WILL BE PLACED ON THE UPHILL SIDE OF THE TRENCH.
- LIMIT FINAL TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT, PILING INSTALLATION AND BACKFILLING THAT CAN BE COMPLETED THE SAME DAY.
- WATER WHICH ACCUMULATES IN THE OPEN TRENCH WILL BE COMPLETELY REMOVED BY PUMPING BEFORE PIPE PLACEMENT AND/OR BACKFILLING BEGINS. WATER REMOVED FROM THE TRENCH SHALL BE PUMPED THROUGH A FILTRATION DEVICE.
- ON THE DAY FOLLOWING PIPE PLACEMENT AND TRENCH BACKFILLING THE DISTURBED AREA WILL BE GRADED TO FINAL CONTOURS AND IMMEDIATELY STABILIZED.

#### EROSION AND SEDIMENTATION CONTROL NARRATIVE

THE PURPOSE OF THIS NARRATIVE AND THE EROSION CONTROL ASPECTS OF THE PLANS ARE TO PREVENT THE ACCELERATED EROSION OF EXPOSED SITE SOILS DURING CONSTRUCTION AND TO RETAIN ON SITE ALL SEDIMENT PRODUCED BY CONSTRUCTION ACTIVITIES. THIS WILL BE ACCOMPLISHED BY STRICT ADHERENCE TO THE FOLLOWING NOTES, SEQUENCE OF CONSTRUCTION, AND EROSION AND SEDIMENT CONTROL DETAILS SHOWN ON THE PLAN.

#### EROSION AND SEDIMENTATION CONTROL GENERAL NOTES

- A COPY OF THESE EROSION AND SEDIMENTATION CONTROL PLANS MUST BE POSTED AT THE CONSTRUCTION SITE IN ACCORDANCE WITH STATE LAW.
- THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIAL AND WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1 ET SEQ., 271.1 ET SEQ. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP, OR DISCHARGE ANY BUILDING MATERIAL OR WASTES AT THE SITE.
- SHOULD UNFORESEEN EROSION CONDITIONS DEVELOP DURING CONSTRUCTION, THE CONTRACTOR MUST TAKE ACTION TO REMEDY SUCH CONDITIONS AND TO PREVENT DAMAGE TO ADJACENT PROPERTIES AS A RESULT OF INCREASED EROSION. STOCKPILES OF WOOD CHIPS, HAY BALES, CRUSHED STONE AND OTHER MULCHES SHOULD BE HELD IN READINESS TO DEAL IMMEDIATELY WITH EMERGENCY PROBLEMS OF EROSION.
- SHOULD ANY MEASURES CONTAINED WITHIN THIS PLAN PROVE INCAPABLE OF ADEQUATELY REMOVING SEDIMENT FROM ON-SITE FLOWS PRIOR TO DISCHARGE OR OF STABILIZING THE SURFACES INVOLVED, ADDITIONAL MEASURES MUST BE IMMEDIATELY IMPLEMENTED BY THE CONTRACTOR TO ELIMINATE SUCH PROBLEMS.
- THE CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF APPROPRIATE EROSION CONTROL AND REGULATION. ALL SLOPES STEEPER THAN 3:1 MUST BE STABILIZED WITH EITHER SOO OR PERMANENT SEEDING AND MULCH ANCHORED IN PLACE WITH JUTE NETTING. NO SLOPES SHALL BE STEEPER THAN 2H:1V.
- LIMITS OF DISTURBANCE MUST BE CLEARLY MARKED IN THE FIELD PRIOR TO ANY DISTURBANCE. ANY CHANGE OR ENLARGEMENT ONTO THESE AREAS MUST BE APPROVED BY THE TOWNSHIP ENGINEER. ANY CHANGE TO THE EARTH DISTURBANCE MAP OR SEDIMENT CONTROL PLAN MUST BE DOCUMENTED IN AN INSPECTION LOG KEPT FOR THE PURPOSES OF THE COMPLIANCE ACTIONS AND THE DATE, TIME AND NAME OF THE PERSON CONDUCTING THE INSPECTION. THE INSPECTION LOG WILL BE KEPT ON SITE AT ALL TIMES AND MADE AVAILABLE TO THE DISTRICT UPON REQUEST.
- ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, REMULCHING, RESEEDING, AND RESETTING MUST BE PERFORMED IMMEDIATELY. IF EROSION AND SEDIMENTATION BMP'S FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMP'S OR MODIFICATIONS OF THOSE INSTALLED WILL BE NEEDED.
- WHERE BMP'S ARE FOUND TO FAIL TO ALLEVATE EROSION OR SEDIMENT POLLUTION THE PERMITTEE OR CO-PERMITTEE SHALL FOLLOW THE FOLLOWING INFORMATION:
  - A. THE LOCATION & SEVERITY OF THE BMP'S FAILURE AND ANY POLLUTION EVENTS.
  - B. ALL STEPS TAKEN TO REDUCE, ELIMINATE & PREVENT THE REOCCURRENCE OF THE NON-COMPLIANCE.
  - C. THE TIME TAKEN TO CORRECT THE NONCOMPLIANCE, INCLUDING THE EXACT DATES WHEN THE ACTIVITY WILL RETURN TO COMPLIANCE.
- UPON COMPLETION OR TEMPORARY CESSATION OF THE EARTH DISTURBANCE ACTIVITY, OR ANY STATE THEREOF, THE PROJECT SHALL BE IMMEDIATELY STABILIZED WITH THE APPROPRIATE TEMPORARY OR PERMANENT STABILIZATION. ALL AREAS REQUIRING INTERIM OR FINAL STABILIZATION MUST BE ADDRESSED WITH IMMEDIATE STABILIZATION OF DISTURBANCE. AREAS UTILIZING VEGETATIVE STABILIZATION MUST BE SEEDING / PLANTED AND MULCHED IN SUFFICIENT TIME TO GERMINATE BY OCTOBER 15 OF EACH YEAR. SEEDING WILL BE ACCOMPLISHED THROUGH THE USE OF HYDROSEEDING TECHNIQUES OR CONVENTIONAL SEEDING AND MULCHING AT A RATE OF 3.0 TONS PER ACRE AS RECOMMENDED IN THE PENN STATE AGRONOMY GUIDE.
- AFTER FINAL STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMP'S MUST BE REMOVED. AREAS DISTURBED DURING REMOVAL OF THE BMP'S MUST BE STABILIZED IMMEDIATELY.
- SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/2 ABOVE GROUND HEIGHTS OF SILT FENCING.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR THE PROPER CONSTRUCTION, STABILIZATION, AND MAINTENANCE OF ALL EROSION AND SEDIMENTATION CONTROLS AND RELATED ITEMS INCLUDED WITH THIS PLAN.
- THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIAL AND WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1 ET SEQ., 271.1 ET SEQ. THE CONTRACTOR SHALL NOT BURY, DUMP, OR DISCHARGE ANY BUILDING MATERIAL WASTES AT SITE.
- EROSION AND SEDIMENTATION CONTROL INSPECTIONS SHALL BE PERFORMED ON A WEEKLY BASIS AND AFTER EVERY RAIN EVENT.
- ALL SLOPES STEEPER THAN 3:1 MUST UTILIZE EROSION CONTROL BLANKET (CURLX BLANKET OR APPROVED EQUIV.).
- IF UNSUITABLE MATERIAL IS ENCOUNTERED DURING CONSTRUCTION, A GEOTECHNICAL ENGINEER SHOULD BE ONSITE FOR RESOLUTIONS TO THE UNSUITABLE SOIL.
- TEMPORARY TOPSOIL STOCKPILE HEIGHTS MUST NOT EXCEED 35 FEET, AND SLOPES MUST BE 2:1 OR FLATTER.
- BEFORE INITIATING ANY REVISION TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS WHICH MAY AFFECT THE EFFECTIVENESS OF THE APPROVED E & S CONTROL PLAN, THE OPERATOR MUST RECEIVE APPROVAL OF THE REVISIONS FROM THE TOWNSHIP ENGINEER. THE OPERATOR SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
- ALL PUMPING OF SEDIMENT LADEN WATER OR POTENTIALLY SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG DISCHARGING OVER NON-DISTURBED AREAS.
- THE OPERATOR SHALL ASSURE THAT AN EROSION AND SEDIMENT CONTROL PLAN HAS BEEN PREPARED, APPROVED BY THE CHESTER COUNTY CONSERVATION DISTRICT, AND IS BEING IMPLEMENTED AND MAINTAINED FOR ALL SOIL AND/OR ROCK SPOIL AND BORROW AREAS, REGARDLESS OF THEIR LOCATIONS.
- AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSISTENCE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE, THE OPERATOR SHALL STABILIZE ANY AREAS DISTURBED BY THE ACTIVITIES DURING NON-GERMINATING PERIODS. IF THE OPERATOR HAS SPECIFIED RATES, DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY VEGETATIVE STABILIZATION. DISTURBED AREAS WHICH ARE AT FINISHED GRADE AND WHICH WILL NOT BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.
- IF THE CONTRACTOR ENCOUNTERS HIGH WATER TABLE, SHALLOW BEDROCK, OR SOIL INSTABILITY DURING SITE CONSTRUCTION, THE DESIGN ENGINEER OR THE ON-SITE GEOTECHNICAL ENGINEER MUST BE CONTACTED IMMEDIATELY FOR CORRECTIVE MEASURES.
- IF THE SITE CONSTRUCTION YIELDS A NET CUT RESULTING IN EXCESS SOIL BEING REMOVED FROM THE SITE THE SOIL MUST BE TRANSPORTED TO A SITE WITH A VALID NPDES PERMIT.

#### CONSTRUCTION SEQUENCE NOTES:

- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE CONSTRUCTION SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.
- THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIAL AND WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1 ET SEQ., AND 287.1 ET SEQ. THE CONTRACTOR SHALL NOT BURY, DUMP, OR DISCHARGE ANY BUILDING MATERIAL WASTES AT THE SITE.

#### CONSTRUCTION SEQUENCE

- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.
- A PRE-CONSTRUCTION MEETING SHALL BE HELD AT THE SITE AT LEAST SEVEN (7) DAYS PRIOR TO THE BEGINNING OF ANY WORK. PRESENT AT THE MEETING SHALL BE THE TOWNSHIP ENGINEER, THE DESIGN ENGINEER, THE SITE CONTRACTOR AND THE DEVELOPER.
- STAKE THE LIMIT OF DISTURBANCE PRIOR TO ANY CLEARING OR EARTH MOVING ACTIVITIES BEGIN.
- INSTALL SILT FENCE AS SHOWN ON THE PLANS OR AS DIRECTED BY THE TOWNSHIP ENGINEER.
- INSTALL ROCK CONSTRUCTION ENTRANCE AND ADD INLET PROTECTION OVER EXISTING STORM INLETS AS REQUIRED.
- REMOVE EXISTING ASPHALT, EXISTING BUILDINGS, AND EXISTING UTILITY LINES OTHER THAN WATER LINE WHICH WILL BE REUSED, AND CLEAR DEBRIS. MATERIAL SHALL BE DISPOSED OF PROPERLY.
- CLEAR AND GRUB AS NECESSARY.
- REMOVE TOPSOIL. PLACE TOPSOIL IN AREAS INDICATED ON THE PLAN. SURROUND STOCKPILE WITH SILT FENCE AFTER COMPLETION AND SEED AND MULCH WITH TEMPORARY SEED MIX. STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET AND SIDE SLOPES SHALL BE 2:1 OR FLATTER.
- ROUGH GRADE SITE AND INSTALL RETAINING WALLS. BEGIN CONSTRUCTION OF RETAINING WALL AS FILL IS PLACED IN THE AREA OF THE PARKING LOT. THE RETAINING WALL MUST BE CONSTRUCTED IN "STEPS" AS FILL IS PLACED TO AVOID DISTURBANCE TO THE DOWNHILL SIDE OF THE WALL. THE WALL WILL NEAR COMPLETION AS THE LOWER END OF THE SITE IS BROUGHT UP TO ROUGH GRADE CONDITION.
- CONSTRUCT PIPE STORAGE FACILITIES.

- EXCAVATE PIPE STORAGE FACILITY TO FINAL ELEVATION. STANDING WATER OR EXCESSIVE MOISTURE SHALL NOT BE PUMPED FROM EXCAVATION AREA. STONES OR ROCKS OVER 3/8-INCH DIAMETER SHALL NOT BE PERMITTED IN THE TOP 6-INCHES OF SOIL SUB-GRADE.
- EXCAVATED BED BASE CONTAINING UNDER-DRAIN SYSTEM SHALL BE LINED (ON ALL SIDES) WITH GEOTEXTILE FABRIC TO PREVENT SEDIMENT, SOIL, ETC. FROM ENTERING THE UNDER-DRAIN SYSTEM. THE CONTRACTOR SHALL BE RESPONSIBLE TO PLACE BACKFILL MATERIAL WITHOUT DAMAGING FABRIC. IF DAMAGE OCCURS, IT SHALL BE REPLACED PRIOR TO BACKFILLING. IN THE EVENT THAT MULTIPLE SECTIONS OF FABRIC ARE REQUIRED TO LINE THE BASE AND WHEN THE ENTIRE BASE HAS BEEN WRAPPED WITH ONE FULL CONTINUOUS LAYER, THE GEOTEXTILE FABRIC MUST HAVE A FINISHED OVERLAP OF 1-FOOT.
- INSTALL PIPE AS SPECIFIED ON THE DESIGN DRAWINGS. INSTALL INLETS AS NECESSARY. IMMEDIATELY SEAL OFF INLETS WITH MARINE GRADE PLYWOOD AND A WATER TIGHT SEAL AS WELL AS INSTALL INLET PROTECTION TO PREVENT SEDIMENT LADEN WATER FROM ENTERING THE PIPE STORAGE FACILITY. SEDIMENT MUST BE REMOVED FROM STORM WATER INLET PROTECTION AFTER EACH RUNOFF EVENT. BACKFILL THE BED WITH CLEAN STRUCTURAL FILL TO SPECIFIED TOP OF BED ELEVATION. INSTALLATION OF THE FILL SHALL BE CHECKED BY THE DESIGN OR SITE ENGINEER PRIOR TO INSTALLATION INTO THE BMP TO ENSURE THAT IT IS CLEAN STRUCTURAL FILL.
- IF INSPECTION INDICATES THAT SOIL/SEDIMENT HAS ENTERED THE BED, APPROPRIATE MEASURES TO REMEDY THE CONTAMINATED BED SHOULD BE TAKEN, SUCH AS: CLEANING THE SOIL OR SEDIMENT FROM THE FABRIC, STONE, OR BED, AND/OR REPLACEMENT OF THE STONE OR FABRIC.
- INSTALL STORM SEWERS AND INLETS WITH INLET PROTECTION AS SHOWN ON THE PLAN.
- BEGIN CONSTRUCTION OF BUILDING.
- INSTALL UNDERGROUND UTILITIES TO THE PROPOSED BUILDINGS.
- FINE GRADE THE PARKING AREAS AND INSTALL CONCRETE CURBS AS SHOWN AND BACKFILL ON THE PLAN.
- BACKFILL CURBS AND IMMEDIATELY STABILIZE WITH MULCH AND PERMANENT SEED MIX.
- INSTALL CONCRETE SIDEWALKS AND PADS.
- SEED AND MULCH ALL DISTURBED AREAS WITH PERMANENT SEED MIX. LANDSCAPE PER THE LANDSCAPE PLAN. SEE LANDSCAPE RESTORATION CONSTRUCTION SEQUENCE FOR INFORMATION REGARDING SOIL AMENDMENTS.
- UPON FINAL STABILIZATION & PRIOR TO REMOVAL OF EROSION & SEDIMENTATION CONTROL MEASURES, THE SITE SHALL BE INSPECTED BY UPPER UNCHLAN TOWNSHIP. AFTER A PERMANENT VEGETATIVE COVER HAS BEEN ESTABLISHED OVER ALL DISTURBED AREAS (70% STABILIZATION), REMOVE THE EROSION AND SEDIMENTATION CONTROLS INCLUDING INLET PROTECTION, SEED AND MULCH THE DISTURBED AREAS WITH PERMANENT SEED MIX.
- PAVE THE ENTIRE PARKING AREA WITH WEARING COURSE AND SEAL BETWEEN CONCRETE CURBING AND ASPHALT PAVING WITH HOT BITUMINOUS SEALANT.

#### THE PENNSYLVANIA TITLE 25, CHAPTER 93 CLASSIFICATION FOR THE RECEIVING WATERS OF THE COMMONWEALTH

NOTE: THIS PROJECT IS IN A SPECIFICALLY PROTECTED HIGH QUALITY OR EXCEPTIONAL VALUE WATERSHED; EXTREME CARE SHOULD BE EXERCISED IN ALL DISTURBANCE ACTIVITIES TO PREVENT DEGRADATION TO THE WATERS OF THE COMMONWEALTH.

BECAUSE THIS PROJECT IS IN A SPECIFICALLY PROTECTED HIGH QUALITY OR EXCEPTIONAL VALUE WATERSHED, UPON COMPLETION OR TEMPORARY CESSATION OF EARTH DISTURBANCE ACTIVITIES, THE PROJECT SITE MUST BE IMMEDIATELY STABILIZED WITH THE APPROPRIATE TEMPORARY OR PERMANENT STABILIZATION.

| STATION | SOIL NAME                                                              | DEPTH TO SUBSIDIARY WATER TABLE | DEPTH TO BEDROCK | SATURATION FOR WATER GRADING | RESTRAINT TO FLOW | SATURATION FOR ROAD GRADE | SATURATION FOR ROAD FILL | SATURATION AS SOURCE FOR TOPSOIL | SATURATION AS SOURCE FOR SAND & GRAVEL | CHARACTERISTICS THAT AFFECT VERTICAL DRAINAGE | CHARACTERISTICS THAT AFFECT HORIZONTAL DRAINAGE | CHARACTERISTICS THAT AFFECT SATURATION FOR |
|---------|------------------------------------------------------------------------|---------------------------------|------------------|------------------------------|-------------------|---------------------------|--------------------------|----------------------------------|----------------------------------------|-----------------------------------------------|-------------------------------------------------|--------------------------------------------|
| GWB2    | GREENFIELD CHANNERY SILT CLAY, 3 TO 8 PERCENT SLOPES, MODERATELY BROOD | 3 FT. +                         | 3 TO 5 FT.       | GOOD                         | FAIR              | FAIR TO GOOD              | FAIR TO GOOD             | GOOD                             | UNSATURABLE                            | SEASONAL, HIGH WATER TABLE                    | CLAY/SH                                         | FLUCTUATING WATER TABLE                    |
| GWB3    | GREENFIELD SILT CLAY, 3 TO 8 PERCENT SLOPES, MODERATELY BROOD          | 1-1 1/2 FT.                     | 3 TO 6 FT.       | FAIR                         | POOR              | POOR TO FAIR              | POOR                     | GOOD                             | UNSATURABLE                            | SEASONAL, HIGH WATER TABLE                    | CLAY/SH                                         | FLUCTUATING WATER TABLE                    |
| UWB3    | UPPER UNCHLAN SANDY SILT CLAY, 0 TO 8 PERCENT SLOPES                   | 3 FT. +                         | 3 TO 5 FT.       | GOOD                         | FAIR              | FAIR TO GOOD              | FAIR TO GOOD             | GOOD                             | UNSATURABLE                            | SEASONAL, HIGH WATER TABLE                    | CLAY/SH                                         | FLUCTUATING WATER TABLE                    |

#### EROSION CONTROL LEGEND

- FF1B 10' SILT FENCE
- SSF SUPER SILT FENCE
- TS TOPSOIL STOCKPILE
- IP INLET PROTECTION
- RCE STABILIZED ROCK CONSTRUCTION ENTRANCE
- CURLX BLANKET
- EX. PROPERTY LINE
- PROP. PROPERTY LINE
- EX. RIGHT-OF-WAY
- PROP. RIGHT-OF-WAY
- EX. EASEMENT
- PROP. EASEMENT
- EX. WETLANDS
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEV.
- NEW SPOT ELEV.
- EX. CONG. CURB
- PROP. CONG. CURB
- EX. EDGE OF PAVING
- PROP. EDGE OF PAVING
- EX. LIGHT POLE
- PROP. LIGHT POLE
- EX. FENCE
- EX. UTILITY POLE
- EX. UTILITY POLE
- EX. GAS LINE
- EX. GAS VALVE
- EX. GAS VALVE
- EX. STORM SEWER LINE
- EX. STORM SEWER LINE
- EX. ELEC. LINE
- EX. ELEC. LINE
- PROP. STORM INLET
- PROP. STORM INLET ID
- PROP. SEEPAGE BED
- EX. SANITARY SEWER LINE
- PROP. SAN. SEWER LINE
- PROP. SAN. SEWER LATERAL
- PROP. SANITARY MH ID
- EX. WATER LINE
- PROP. WATER LINE
- PROP. WATER LATERAL
- PROP. FIRE WATER LINE
- EX. HYDRANT
- EX. HYDRANT
- EX. MANHOLE
- PROP. MANHOLE

#### CALL BEFORE YOU DIG!

PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE-STOP CALL.

Pennsylvania One Call System, Inc.

1-800-242-1776

#### ONE CALL NOTE

NO SCALE

#### LEGEND

#### ACT 287 SERIAL NUMBER 20082592101

D. L. Howell & Associates, Inc. does not guarantee the accuracy of the locations for existing subsurface utility lines, structures, etc. shown on the plans, nor does D. L. Howell & Associates, Inc. guarantee that all subsurface utility lines, structures, etc. are shown.

Contractor shall verify the location and elevations of all subsurface utility lines, structures, etc. before the start of work, by calling the Pennsylvania One Call System at 1-800-242-1776.

#### UTILITIES NOTICED

BUCKEYE PIPELINE COMPANY  
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PECO ENERGY  
VERIZON PENNSYLVANIA, INC.  
UPPER UNCHLAN TOWNSHIP  
UPPER UNCHLAN MUNICIPAL AUTHORITY

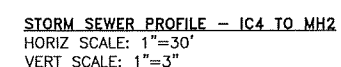
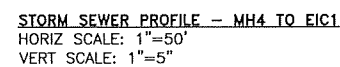
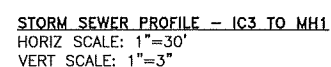
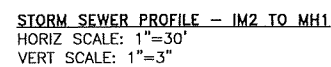
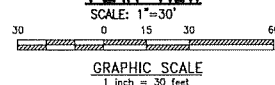


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Phone: (610) 918-9002  
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| NO. | REVISION                            | DATE     |
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| 1   | ISSUED FOR PERMIT                   | 09/28/23 |
| 2   | REVISED PER TOWNSHIP REVIEW LETTERS | 09/28/23 |
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**LEGEND**

|  |                     |  |                      |  |                       |  |                        |  |                      |  |                                |
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|  | EX. PROPERTY LINE   |  | EXISTING CONTOUR     |  | PROP. LIGHT POLE      |  | PROP. ELEG. LINE       |  | PROP. STORM INLET    |  | PROP. WATER LINE               |
|  | PROP. PROPERTY LINE |  | PROPOSED CONTOUR     |  | EX. FENCE             |  | EX. UTILITY POLE       |  | PROP. STORM INLET ID |  | PROP. WATER LATERAL            |
|  | EX. RIGHT-OF-WAY    |  | EXISTING SPOT ELEV.  |  | EX. MAIL BOX          |  | PROP. UTILITY POLE     |  |                      |  | PROP. FIRE WATER LINE          |
|  | PROP. RIGHT-OF-WAY  |  | NEW SPOT ELEV.       |  | EX. SIGN              |  | EX. GUY ANCHOR         |  |                      |  | EX. WATER VALVE                |
|  | EX. MONUMENT        |  | SOILS PIPE           |  | PROP. SIGN            |  | EX. GAS LINE           |  |                      |  | PROP. WATER VALVE              |
|  | PROP. MONUMENT      |  | SOILS LINE           |  | EXIST. PARKING SPACES |  | PROP. GAS LINE         |  |                      |  | EX. HYDRANT                    |
|  | EX. IRON PIPE       |  | EX. CONC. CURB       |  | PROP. PARKING SPACES  |  | EX. GAS VALVE          |  |                      |  | PROP. HYDRANT                  |
|  | PROP. IRON PIPE     |  | PROP. CONC. CURB     |  | TO BE REMOVED         |  | EX. GAS VALVE          |  |                      |  | EX. MANHOLE                    |
|  | EX. EASEMENT        |  | EX. EDGE OF PAVING   |  | EX. TELE. LINE        |  | EX. STORM SEWER LINE   |  |                      |  | PROP. MANHOLE                  |
|  | PROP. EASEMENT      |  | PROP. EDGE OF PAVING |  | PROP. TELE. LINE      |  | PROP. STORM SEWER LINE |  |                      |  | 15% - 25% PRECAUTIONARY SLOPES |
|  | EX. WETLANDS        |  | EX. LIGHT POLE       |  | EX. ELEG. LINE        |  | EX. STORM INLET        |  |                      |  | 25%+ PROHIBITIVE STEEP SLOPES  |

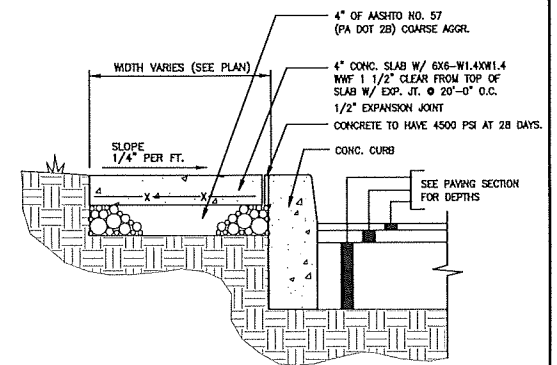
1250 Wrights Lane  
West Chester, PA 19380  
Phone: (610) 918-9002  
Fax: (610) 918-9003

|   |                                     |
|---|-------------------------------------|
| 8 |                                     |
| 7 |                                     |
| 6 |                                     |
| 5 |                                     |
| 4 | REVISED PER TOWNSHIP REVIEW LETTERS |
| 3 | 06/20/23                            |
| 2 | REVISED PER TOWNSHIP REVIEW LETTERS |
| 1 | 06/04/23                            |
|   | REVISED PER TOWNSHIP REVIEW LETTERS |
|   | 06/01/23                            |

PRELIMINARY/FINAL  
PROFILE SHEET

CLIENT: QBD VENTURES  
PROJECT: BYERS ROAD PROPERTY  
LOCATION: 164 BYERS ROAD  
TOWNSHIP: CLIFTON COUNTY, PA

|              |                      |
|--------------|----------------------|
| DATE:        | 12/21/20             |
| SCALE:       | AS SHOWN             |
| DRAWN BY:    | AM                   |
| CHECKED BY:  | DWG                  |
| PROJECT NO.: | 2146                 |
| CAD FILE:    | 05 PROFILE SHEET.dwg |
| PLOTTED:     | 09/28/23             |
| DRAWING NO.: | C05.01               |
| SHEET        | 06 of 13             |



- A. 1-1/2" ID-2 WEARING COURSE
- B. 2 1/2" ID-2 BINDER COURSE
- C. 6" 3A MODIFIED STONE

1. ALL MATERIALS & WORK TO CONFORM TO PennDot FORM 408 SPECIFICATIONS, LATEST EDITION.
2. CONCRETE TO HAVE 3750 P.S.I. AT 28 DAYS.

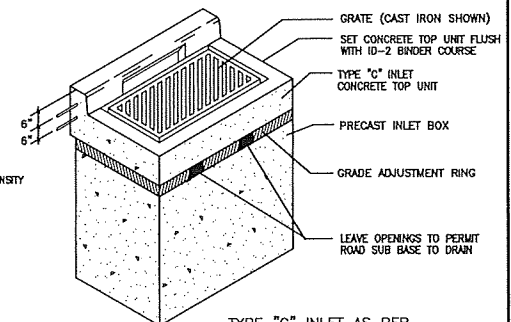
A 3D perspective diagram of a rectangular concrete inlet structure. The top surface is a flat concrete slab with a rectangular grate in the center. The grate has a grid pattern. Below the grate is a precast inlet box, which is a hollow rectangular structure. The box has a thick base and side walls. The bottom of the box is perforated with small circular holes. A ring is shown around the bottom edge of the box, just above the base. The entire structure is shown in a cutaway view to reveal the internal components.

Labels with leader lines pointing to the diagram:

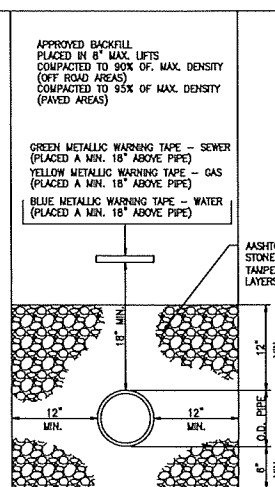
- GRATE (CAST FROM SHOWN)
- SET CONCRETE TOP UNIT FLUSH WITH ID-2 BINDER COURSE
- TYPE "M" INLET CONCRETE TOP UNIT
- PRECAST INLET BOX
- GRADE ADJUSTMENT RING
- LEAVE OPENINGS TO PERMIT ROAD SUB BASE TO DRAIN

TYPE "M" INLET AS PER

TYPE 'M' INLET  
SCALE: NOT TO SCALE



TYPE 'C' INLET  
SCALE: NOT TO SCALE



**DOWNSPOUT CONNECTION DETAIL**  
NO SCALE

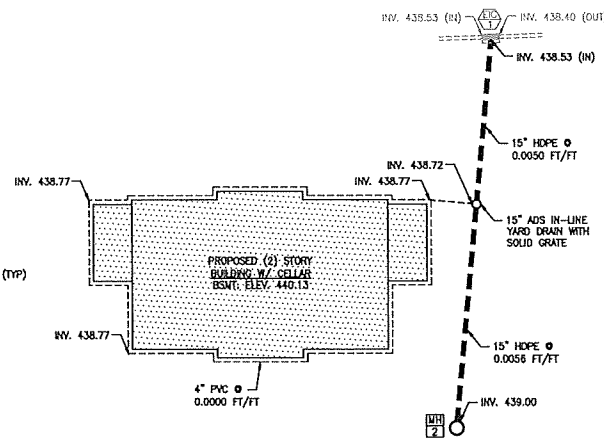
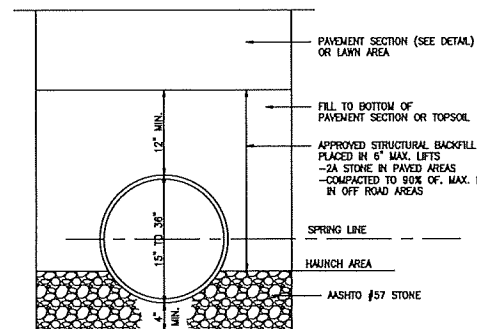
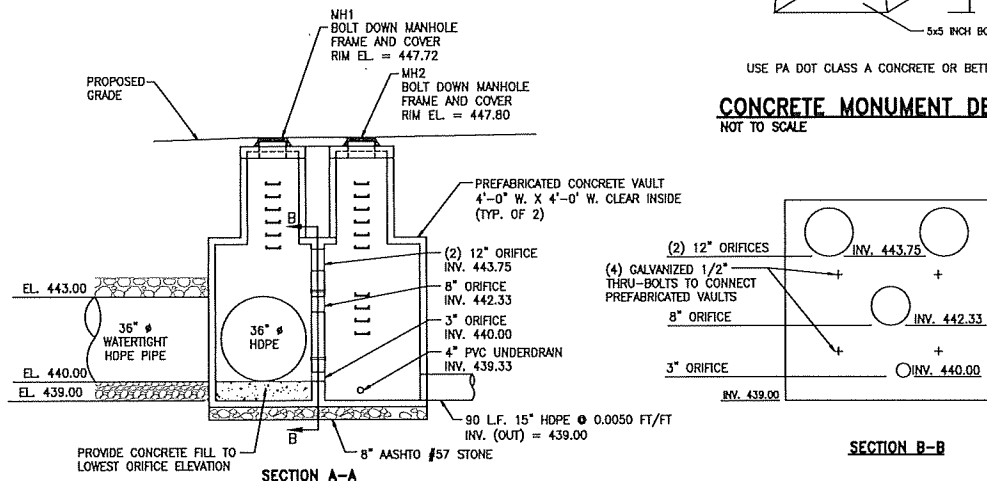


Diagram of a tapered concrete column with the following specifications:

- Top opening: 4x4 INCH TOP (MIN)
- Bottom opening: 5x5 INCH BOTTOM (MIN)
- Height: 36"
- Reinforcement: 1/2" REINFORCING BAR 30 INCHES LONG

**CONCRETE MONUMENT DETAIL**  
NOT TO SCALE



SECTION B-B

OPERATION AND MAINTENANCE:

1. INDIVIDUAL LOCAL LOCATIONS MAY BE REVISED IN THE FIELD TO SAVE INDIVIDUAL TREES.
2. ANY FILL TO OCCUR DOWNHILL OF THE SEEPAGE BEDS SHALL BE COMPACTED TO A 95% MAX. DENSITY
3. INFLOW AND OUTFLOW POINTS OF THE STORMWATER SYSTEM SHOULD BE KEPT CLEAR OF LEAVES AND OTHER DEBRIS. ANY LEAVES OR DEBRIS WILL NEGATIVELY IMPACT THE PERFORMANCE OF THESE SYSTEMS. ALL DOWNSPOUTS AND OVERFLOW PIPES SHOULD BE KEPT IN GOOD WORKING ORDER.



UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENTATION BMP'S MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENTATION BMP'S AFTER EACH RAINFALL EVENT. INSPECTIONS ON A BASIC DAILY BASIS MUST BE DOCUMENTED IN AN INSPECTION LOG KEPT FOR THIS PURPOSE. THE COMPLIANCE ACTIONS AND THE DATE, TIME, AND NAME OF THE PERSON CONDUCTING THE INSPECTIONS MUST BE DOCUMENTED. ALL BMP'S WILL BE KEPT IN THE BEST CONDITION AND MADE AVAILABLE TO THE DISTRICT UPON REQUEST. PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING MAINTENANCE OF ALL EROSION CONTROL MEASURES, GRADING, RESEEDING, AND RENETTING MUST BE PERFORMED IMMEDIATELY. EROSION AND SEDIMENTATION BMP'S FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMP'S OR MODIFICATIONS OF THOSE INSTALLED WILL BE NEEDED, WHERE BMP'S ARE FOUND TO BE DEFECTIVE. THE PERMITTEE SHALL BE RESPONSIBLE FOR THE PERMITS AND CO-PERMITTEE SHALL INCLUDE THE FOLLOWING INFORMATION:

THE LOCATION AND SEVERITY OF THE BMP'S FAILURE AND ANY POLLUTION EVENTS.  
ALL STEPS TAKEN TO REDUCE, ELIMINATE AND PREVENT THE RECURRENCE OF THE NON-COMPLIANCE.  
THE TIME FRAME TO CORRECT THE NON-COMPLIANCE, INCLUDING THE EXACT DATES WHEN THE ACTIVITY WILL RETURN TO COMPLIANCE.

[illegible]

INSPECTION: UNDERGROUND BMP SYSTEMS, INLETS, AND PIPING SHALL BE INSPECTED QUARTERLY AND AFTER RAINFALL EVENTS (1") BY THE OWNER. INSPECTION ITEMS SHALL INCLUDE THE CONDITION OF THE INSPECTION PORTS AND ANY VISIBLE CONNECTIONS, SEDIMENT ACCUMULATION OR STANDING WATER IN THE INLET AND ANY SETTLING OR BREAKOUTS ALONG THE LENGTH OF THE SYSTEM. INSPECT INLETS FOR BLOCKAGE. ACCUMULATED RUNOFF WITHIN THE STORAGE SYSTEM FROM ALL STORM EVENTS SHOULD BE DISSIPATED WITHIN 72 HOURS.









**MAINTENANCE:** DURING THE REGULAR INSPECTIONS AT THE INTERVAL NOTED ABOVE, THE OWNER SHALL REMOVE ANY ACCUMULATED SEDIMENT AND DEBRIS FROM INLET. SHOULD THE INSPECTION REVEAL ANY NECESSARY REPAIR AND DANGEROUS SINKING, SIGNIFICANT SETTLEMENT HAS OCCURRED, AND THE COLLECTED RUNOFF DOES NOT DETERIORATE, CONSULT THE TOWNSHIP AND THE ENGINEER OF RECORD FOR APPROPRIATE RENOVATION MEASURES. ANY ISSUES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE TOWNSHIP ENGINEER WITH APPROPRIATE REMEDIATION BEING IMPLEMENTED WITHIN 60 DAYS.

1. COMPACTION IS TO BE MINIMIZED IN THE AREAS DESIGNATED FOR THE UNDERGROUND SYSTEM.
2. BED FILTER FABRIC AND STONE SHOULD BE KEPT CLEAN OF SOIL/SEDIMENT THROUGH THE INSTALLATION PROCESS. IF INSPECTION INDICATES THAT SOIL/SEDIMENT HAS ENTERED THE BED, APPROPRIATE MEASURES (I.E. CLEANING THE SOIL/SEDIMENT FROM THE FABRIC, STONE, ETC. AND OR REPLACEMENT OF THE FABRIC AND STONE) SHOULD BE TAKEN.
3. ALL STONE FOR THE CONSTRUCTION OF THE INFILTRATION BED SHOULD BE UNIFORMLY GRADED AND CLEAN WASHED AGGREGATE.
4. THE BOTTOM OF THE BED SHALL BE UNOBTURSTURED OR UNCOMPACTED SUBGRADE.
5. THE BOTTOM OF THE BED SHALL BE SCAFFERIFIED PRIOR TO PLACEMENT OF THE AGGREGATE.

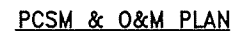
GcB2 - GLENELG CHANNERY SILT LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED  
GcB2 - GLENVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED  
UrbD - URBAN LAND-UDORNTMENTS, SCHIST AND GNEISS COMPLEX, 0 TO 8 PERCENT SLOPES

\*THE PENNSYLVANIA TITLE 25, CHAPTER 93 CLASSIFICATION FOR THE RECEIVING WATERS OF THE COMMONWEALTH

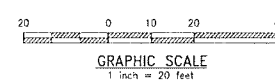
|                |        |                        |
|----------------|--------|------------------------|
| LIGHT POLE     | —E—    | PROP. ELEC. LINE       |
| EX             | —O—    | EX. UTILITY POLE       |
| BOOK           | —O—    | PROP. UTILITY POLE     |
|                | —O—    | EX. UTILITY POLE       |
| IGN            | —G—    | EX. GAS LINE           |
| MARKING SPACES | —G—    | PROP. GAS LINE         |
| MARKING SPACES | —G—    | EX. GAS VALVE          |
| EMOVED         | —G.V.— | PROP. GAS VALVE        |
| LINE           | —S.S.— | EX. STORM SEWER LINE   |
| E. LINE        | —S.S.— | PROP. STORM SEWER LINE |
| E. LINE        | —S.S.— | EX. STORM W/LET        |

|                                                                                      |                          |
|--------------------------------------------------------------------------------------|--------------------------|
|  | PROP. STORM INLET        |
|  | PROP. STORM INLET ID     |
|  | PROP. SEEPAGE BED        |
|  | EX. SANITARY SEWER LINE  |
|  | PROP. SAN. SEWER LINE    |
|  | PROP. SAN. SEWER LATERAL |
|  | PROP. SANITARY MH. ID    |
|  | EX. WATER LINE           |

|      |                               |
|------|-------------------------------|
| —W—  | PROP. WATER LINE              |
| —WL— | PROP. WATER LATERAL           |
| —FW— | PROP. FIRE WATER LINE         |
| W.V. | EX. WATER VALVE               |
| W.V. | PROP. WATER VALVE             |
| H.V. | EX. HYDRANT                   |
| F.H. | PROP. HYDRANT                 |
| ○    | EX. MANHOLE                   |
| ○    | PROP. MANHOLE                 |
|      | 15%—25% PRECAUTIONARY SLOPES  |
|      | 25%+ PROHIBITIVE STEEP SLOPES |



SCALE: 1"=20'



I, DAVID W. GIBBONS, ON THIS DATE 10/05/23, HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THE SWM SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE UPPER UCHLAN TOWNSHIP ORDINANCE NO. 2013-05, STORMWATER MANAGEMENT ORDINANCE.

DAVID W. GIBBONS, P.E.

LICENSE NUMBER PE 076444

I HEREBY ACKNOWLEDGE THAT ANY REVISION TO THE APPROVED SWM SITE PLAN SHALL BE SUBMITTED TO AND APPROVED BY THE MUNICIPALITY, AND THAT A REVISED EROSION AND SEDIMENT CONTROL PLAN SHALL BE SUBMITTED TO, AND APPROVED BY THE CONSERVATION DISTRICT OR MUNICIPALITY (AS APPLICABLE) FOR A DETERMINATION OF ADEQUACY PRIOR TO CONSTRUCTION OF THE REVISED FEATURES.

\_\_\_\_\_  
(SIGNATURE) (DATE)

I \_\_\_\_\_ (PROPERTY OWNER), ACKNOWLEDGE THAT THE STORMWATER MANAGEMENT BMP'S ARE PERMANENT FIXTURES THAT CAN BE ALTERED OR REMOVED ONLY AFTER APPROVAL BY UPPER UNCLIAN TOWNSHIP.

(SIGNATURE) \_\_\_\_\_ (DATE) \_\_\_\_\_

REFERENCE THE STORMWATER MANAGEMENT REPORT PREPARED FOR 164 BYERS ROAD, AS PREPARED BY DL HOWELL, DATED DECEMBER 21, 2020 AND LAST REVISED SEPTEMBER 14, 2021, FOR STORMWATER MANAGEMENT CALCULATIONS ASSOCIATED WITH THIS PROJECT. PLEASE NOTE THAT THE STORMWATER MANAGEMENT FACILITY HAS BEEN DESIGNED FOR THE TOTAL IMPERVIOUS COVERAGE PROPOSED ON THIS PLAN.

[illegible]

(SIGN) \_\_\_\_\_ (PRINT) \_\_\_\_\_ (DATE) \_\_\_\_\_  
PROPERTY OWNER

(SIGNATURE) \_\_\_\_\_ (DATE) \_\_\_\_\_

**CALL BEFORE YOU DIG!**  
PENNSYLVANIA LAW REQUIRES  
3 WORKING DAYS NOTICE FOR  
INSTRUCTION PHASE AND 10 WORKING  
DAYS IN DESIGN STAGE—STOP CALL

Pennsylvania One Call System, Inc

1-800-242-1776










ONE CALL NOTE  
NO SCALE

ACT 287 SERIAL NUMBER 20092592101  
D. L. Howell & Associates, Inc. does not guarantee the accuracy of the locations for existing subsurface utility lines, structures, etc. shown on the plans, nor does D. L. Howell & Assoc., Inc. guarantee that all subsurface utility lines, structures, etc. are shown.

Contractor shall verify the location and elevations of all subsurface utility lines, structures, etc. before the start of work, by calling the Pennsylvania One Call System at 1-800-242-1776.

BUCKEYE PIPELINE COMPANY  
COMCAST CABLE COMMUNICATIONS, LLC  
PECO ENERGY  
VERIZON PENNSYLVANIA, INC.  
UPPER UWCHLAN TOWNSHIP  
UPPER UWCHLAN MUNICIPAL AUTHORITY

| LEGEND               |       |                       |
|----------------------|-------|-----------------------|
| EXISTING CONTOUR     | □     | PROP. LIGHT POLE      |
| PROPOSED CONTOUR     | —X—   | EX. FENCE             |
| EXISTING 100' ELEV.  | (10)  | EX. MAIL BOX          |
| NEW SPOT ELEV.       | —     | EX. SIGN              |
| SOILS TYPE           | T     | PROP. SIGN            |
| ROCKS LINE           | (4)   | EXIST. PARKING SPACES |
| EX. ROAD, CURB       | (5)   | PROP. PARKING SPACES  |
| PROP. CONC. CURB     | (10R) | TO BE REMOVED         |
| EX. EDGE OF PAVING   | —F—   | EX. TELE. LINE        |
| PROP. EDGE OF PAVING | —T—   | PROP. TELE. LINE      |
| EX. LIGHT POLE       | —E—   | EX. ELEC. POLE        |

|                                                                                     |                     |
|-------------------------------------------------------------------------------------|---------------------|
|  | EX. PROPERTY LINE   |
|  | PROP. PROPERTY LINE |
|  | EX. RIGHT-OF-WAY    |
|  | PROP. RIGHT-OF-WAY  |
|  | EX. MONUMENT        |
|  | PROP. MONUMENT      |
|  | EX. IRON PIPE       |
|  | PROP. IRON PIPE     |
|  | EX. EASEMENT        |
|  | PROP. EASEMENT      |
|  | EX. WETLANDS        |

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|      |          |                                     |  |
|------|----------|-------------------------------------|--|
| 6    |          |                                     |  |
| 7    |          |                                     |  |
| 6    |          |                                     |  |
| 5    |          |                                     |  |
| 4    |          |                                     |  |
| 3    | 09/28/23 | REVISED PER TOWNSHIP REVIEW LETTERS |  |
| 2    | 08/04/23 | REVISED PER TOWNSHIP REVIEW LETTERS |  |
| 1    | 06/01/23 | REVISED PER TOWNSHIP REVIEW LETTERS |  |
| REV. | DATE     | DESCRIPTION                         |  |

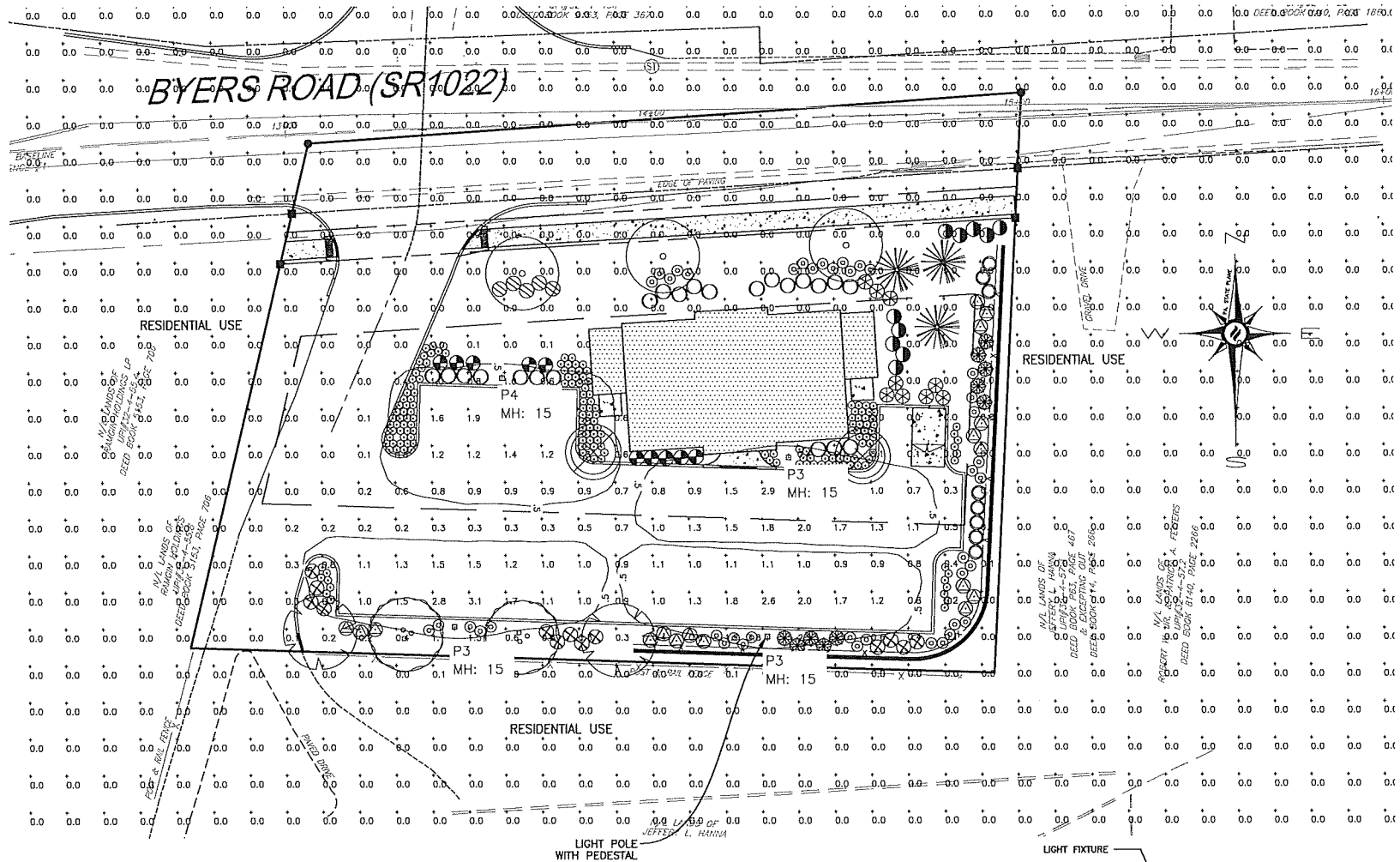
PRELIMINARY/FINAL  
PCSM & O&M PLAN

CLIENT: QBD VENTURES  
PROJECT: BYERS ROAD PROPERTY  
LOCATION: 164 BYERS ROAD  
UPPER UWHOLAN TOWNSHIP,

|              |                     |
|--------------|---------------------|
| DATE:        | 12/21/20            |
| SCALE:       | 1"=20'              |
| DRAWN BY:    | AM                  |
| CHECKED BY:  | DWG                 |
| PROJECT NO.: | 2146                |
| CAD FILE:    | 08 POSTION PLAN.dwg |
| PLOTTED:     | 09/28/23            |
| DRAWING NO.: | C07.01              |
| SHEET        | 09 of 13            |

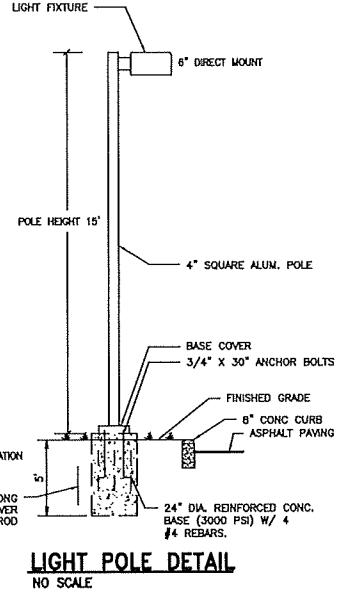
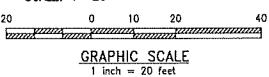
| Luminaire Schedule |     |       |       |                                        |            |             |            |                 |                   |                    |  |
|--------------------|-----|-------|-------|----------------------------------------|------------|-------------|------------|-----------------|-------------------|--------------------|--|
| Symbol             | Qty | Label | LLF   | Description                            | Lum. Watts | Lum. Lumens | BUG Rating | Mounting Height | Arrangement Watts | Arrangement Lumens |  |
| □                  | 1   | P4    | 0.900 | NLS - NV-1-T4-16L-1-30K8-UNV-XX-XX-HSS | 56         | 3539        | B0-U0-G1   | 15              | 56                | 3539               |  |
| □                  | 3   | P3    | 0.900 | NLS - NV-1-T3-16L-1-30K8-UNV-XX-XX-HSS | 56         | 3522        | B0-U0-G1   | 15              | 56                | 3522               |  |

| Calculation Summary |             |       |      |     |     |         |         |         |        |        |
|---------------------|-------------|-------|------|-----|-----|---------|---------|---------|--------|--------|
| Label               | CalcType    | Units | Avg  | Max | Min | Avg/Min | Max/Min | Grid Z  | PtSpCt | PtSpTb |
| East Vertical Calc  | Illuminance | Fc    | 0.01 | 0.0 | 0.0 | N.A.    | N.A.    | 0 to 10 | 5      | 5      |
| South Vertical Calc | Illuminance | Fc    | 0.03 | 0.1 | 0.0 | N.A.    | N.A.    | 0 to 10 | 5      | 5      |
| West Vertical Calc  | Illuminance | Fc    | 0.01 | 0.0 | 0.0 | N.A.    | N.A.    | 10 to 0 | 5      | 5      |
| Parking Lot         | Illuminance | Fc    | 1.21 | 3.7 | 0.2 | 6.05    | 18.50   |         |        |        |

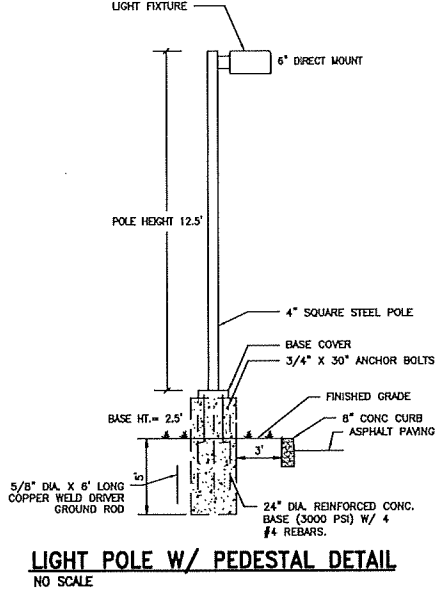


### LIGHTING PLAN

SCALE: 1"=20'



LIGHT POLE DETAIL  
NO SCALE



LIGHT POLE W/ PEDESTAL DETAIL  
NO SCALE

|                                                                                                                                                                                                                                                           |                                                                                                                                                                                                                                              |                                                                                                                                                                                                                                                  |                                                                                                                                                                                                        |                                                                                                                                                                                                                              |                                                                                                                                                                                                                 |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p>EX. PROPERTY LINE</p> <p>PROP. PROPERTY LINE</p> <p>EX. RIGHT-OF-WAY</p> <p>PROP. RIGHT-OF-WAY</p> <p>EX. MONUMENT</p> <p>PROP. MONUMENT</p> <p>EX. IRON PIPE</p> <p>PROP. IRON PIPE</p> <p>EX. EASEMENT</p> <p>PROP. EASEMENT</p> <p>EX. WETLANDS</p> | <p>EXISTING CONTOUR</p> <p>PROPOSED CONTOUR</p> <p>EXISTING SPOT ELEV.</p> <p>NEW SPOT ELEV.</p> <p>SOILS TYPE</p> <p>EX. CONC. CURB</p> <p>PROP. CONC. CURB</p> <p>EX. EDGE OF PAVING</p> <p>PROP. EDGE OF PAVING</p> <p>EX. LIGHT POLE</p> | <p>PROP. LIGHT POLE</p> <p>EX. FENCE</p> <p>EX. MAIL BOX</p> <p>EX. SIGN</p> <p>PROP. SIGN</p> <p>EXIST. PARKING SPACES</p> <p>PROP. PARKING SPACES</p> <p>TO BE REMOVED</p> <p>EX. TELE. LINE</p> <p>PROP. TELE. LINE</p> <p>EX. ELEC. LINE</p> | <p>PROP. ELEC. LINE</p> <p>EX. UTILITY POLE</p> <p>PROP. UTILITY POLE</p> <p>EX. GAS VALVE</p> <p>PROP. GAS VALVE</p> <p>EX. STORM SEWER LINE</p> <p>PROP. STORM SEWER LINE</p> <p>EX. STORM INLET</p> | <p>PROP. STORM INLET</p> <p>PROP. STORM INLET ID</p> <p>PROP. SEEPAGE BED</p> <p>EX. SANITARY SEWER LINE</p> <p>PROP. SAN. SEWER LINE</p> <p>PROP. SAN. SEWER LATERAL</p> <p>PROP. SANITARY MH. ID</p> <p>EX. WATER LINE</p> | <p>PROP. WATER LINE</p> <p>PROP. WATER LATERAL</p> <p>PROP. FIRE WATER LINE</p> <p>EX. WATER VALVE</p> <p>PROP. WATER VALVE</p> <p>EX. HYDRANT</p> <p>PROP. HYDRANT</p> <p>EX. MANHOLE</p> <p>PROP. MANHOLE</p> |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

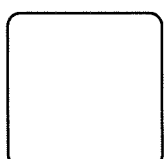
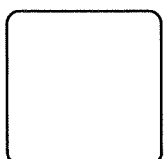
- GENERAL NOTES:**
- POST APPROVAL ALTERATIONS TO LIGHTING PLANS OR INTENDED SUBSTITUTIONS FOR APPROVED LIGHTING EQUIPMENT SHALL BE SUBMITTED TO THE TOWNSHIP FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
  - THE TOWNSHIP RESERVES THE RIGHT TO CONDUCT POST-INSTALLATION NIGHTTIME INSPECTIONS TO VERIFY COMPLIANCE WITH COMMITMENTS MADE ON THE APPROVED PLAN, AND IF APPROPRIATE, TO REQUIRE REMEDIAL ACTION AT NO EXPENSE TO THE TOWNSHIP.
  - NON-SECURITY LIGHTING FIXTURES SHALL BE EXTINGUISHED ONE HOUR AFTER CLOSE OF BUSINESS OR 11:00 P.M., WHICHEVER IS EARLIER. THE LIGHTING FIXTURES WILL BE CONTROLLED BY PHOTOCELL AND TIMER.
  - SECURITY LIGHTING LIGHT LEVELS ARE TO BE REDUCED TO 25% BETWEEN 11:00 P.M. AND DAWN. HOWEVER, AT THIS TIME, NO SECURITY LIGHTING IS PROPOSED.
  - A PROGRAMMABLE TIMER WITH DAYLIGHT SENSING TIME PROGRAMMABILITY, WITH BATTERY BACK-UP, SHALL BE UTILIZED TO AUTOMATICALLY CONTROL THE NON-SECURITY LIGHTS.
  - ALL EXTERIOR LIGHTING, INCLUDING BUT NOT LIMITED TO THAT FOR THE ILLUMINATION OF FLAG, SOFFIT, CANOPY, SIGN, FACADE, BUILDING ENTRANCE, AND WALKWAY SHALL COMPLY WITH SLD SECTION 162.58D.
  - ALL LIGHT POLES ADJACENT TO PARKING AREAS AND/OR DRIVEWAYS SHALL BE INSTALLED THREE (3) FEET FROM THE BACK OF THE CURB.



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1250 Wrights Lane  
West Chester, PA 19380  
Phone: (610) 918-9002  
Fax: (610) 918-9003



| NO. | DATE     | DESCRIPTION                         |
|-----|----------|-------------------------------------|
| 1   | 09/07/23 | REVISED PER TOWNSHIP REVIEW LETTERS |
| 2   | 09/04/23 | REVISED PER TOWNSHIP REVIEW LETTERS |
| 3   | 09/28/23 | REVISED PER TOWNSHIP REVIEW LETTERS |
| 4   |          |                                     |
| 5   |          |                                     |
| 6   |          |                                     |
| 7   |          |                                     |
| 8   |          |                                     |

PRELIMINARY/FINAL  
**LIGHTING PLAN**  
CLIENT: QBD VENTURES  
PROJECT: BYERS ROAD PROPERTY  
LOCATION: 164 BYERS ROAD  
UPPER UWHCLAN TOWNSHIP, CHESTER COUNTY, PA

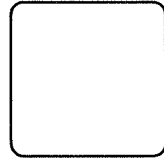
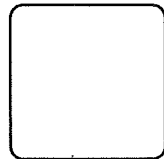
|             |          |
|-------------|----------|
| DATE        | 12/21/20 |
| SCALE       | 1"=20'   |
| DRAWN BY    | AM       |
| CHECKED BY  | DMG      |
| PROJECT NO. | 2146     |
| DATE        | 09/28/23 |
| DRAWING NO. | C08.01   |
| SHEET       | 10 of 13 |



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Environmental  
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1250 Wrights Lane  
West Chester, PA 19380  
Phone: (610) 918-9902  
Fax: (610) 918-9903



| DATE     | DESCRIPTION                          |
|----------|--------------------------------------|
| 08/28/23 | REVISION PER TOWNSHIP REVIEW LETTERS |
| 09/07/23 | REVISION PER TOWNSHIP REVIEW LETTERS |
| 09/07/23 | DATE                                 |

PRELIMINARY/FINAL  
LIGHTING SPECIFICATIONS PLAN  
CLIENT: QBD VENTURES  
PROJECT: BYERS ROAD PROPERTY  
LOCATION: 164 BYERS ROAD  
UPPER MERIDIAN TOWNSHIP, CHESTER COUNTY, PA

|                       |          |
|-----------------------|----------|
| DATE                  | 12/21/20 |
| SCALE                 | AS SHOWN |
| DRAWN BY              | AM       |
| CHECKED BY            | DWG      |
| PROJECT NO.           | 2146     |
| DATE OF LIGHTING PLAN | 09/28/23 |
| PROJECT NO.           | C08.02   |
| SHEET                 | 11 of 13 |

Submitted By: Penn Lighting Associates  
Job Name: Byers Road Property - Pison  
Catalog Number: NV-1-T4-16L-1-30K8-UNV-XX-XX-  
HSS  
Type: P4  
P4  
P4

**PRODUCT SPECIFICATIONS**

**GENERAL**

- **ARCHITECTURAL SWEEP ARM (ASA)**  
• Cast Aluminum Finish (AA1024)  
• Mounting Arm Length: 16.5" (415mm)  
• Mounting Arm Width: 14.75" (375mm)  
• Mounting Arm Thickness: 1.25" (32mm)

**OPTICAL CONFIGURATIONS**

Pattern: FSP-8, FSP-20, FSP-40, FSP-60, FSP-80, FSP-100, FSP-120, FSP-140, FSP-160, FSP-180, FSP-200, FSP-220, FSP-240, FSP-260, FSP-280, FSP-300, FSP-320, FSP-340, FSP-360, FSP-380, FSP-400, FSP-420, FSP-440, FSP-460, FSP-480, FSP-500, FSP-520, FSP-540, FSP-560, FSP-580, FSP-600, FSP-620, FSP-640, FSP-660, FSP-680, FSP-700, FSP-720, FSP-740, FSP-760, FSP-780, FSP-800, FSP-820, FSP-840, FSP-860, FSP-880, FSP-900, FSP-920, FSP-940, FSP-960, FSP-980, FSP-1000, FSP-1020, FSP-1040, FSP-1060, FSP-1080, FSP-1100, FSP-1120, FSP-1140, FSP-1160, FSP-1180, FSP-1200, FSP-1220, FSP-1240, FSP-1260, FSP-1280, FSP-1300, FSP-1320, FSP-1340, FSP-1360, FSP-1380, FSP-1400, FSP-1420, FSP-1440, FSP-1460, FSP-1480, FSP-1500, FSP-1520, FSP-1540, FSP-1560, FSP-1580, FSP-1600, FSP-1620, FSP-1640, FSP-1660, FSP-1680, FSP-1700, FSP-1720, FSP-1740, FSP-1760, FSP-1780, FSP-1800, FSP-1820, FSP-1840, FSP-1860, FSP-1880, FSP-1900, FSP-1920, FSP-1940, FSP-1960, FSP-1980, FSP-2000, FSP-2020, FSP-2040, FSP-2060, FSP-2080, FSP-2100, FSP-2120, FSP-2140, FSP-2160, FSP-2180, FSP-2200, FSP-2220, FSP-2240, FSP-2260, FSP-2280, FSP-2300, FSP-2320, FSP-2340, FSP-2360, FSP-2380, FSP-2400, FSP-2420, FSP-2440, FSP-2460, FSP-2480, FSP-2500, FSP-2520, FSP-2540, FSP-2560, FSP-2580, FSP-2600, FSP-2620, FSP-2640, FSP-2660, FSP-2680, FSP-2700, FSP-2720, FSP-2740, FSP-2760, FSP-2780, FSP-2800, FSP-2820, FSP-2840, FSP-2860, FSP-2880, FSP-2900, FSP-2920, FSP-2940, FSP-2960, FSP-2980, FSP-3000, FSP-3020, FSP-3040, FSP-3060, FSP-3080, FSP-3100, FSP-3120, FSP-3140, FSP-3160, FSP-3180, FSP-3200, FSP-3220, FSP-3240, FSP-3260, FSP-3280, FSP-3300, FSP-3320, FSP-3340, FSP-3360, FSP-3380, FSP-3400, FSP-3420, FSP-3440, FSP-3460, FSP-3480, FSP-3500, FSP-3520, FSP-3540, FSP-3560, FSP-3580, FSP-3600, FSP-3620, FSP-3640, FSP-3660, FSP-3680, FSP-3700, FSP-3720, FSP-3740, FSP-3760, FSP-3780, FSP-3800, FSP-3820, FSP-3840, FSP-3860, FSP-3880, FSP-3900, FSP-3920, FSP-3940, FSP-3960, FSP-3980, FSP-4000, FSP-4020, FSP-4040, FSP-4060, FSP-4080, FSP-4100, FSP-4120, FSP-4140, FSP-4160, FSP-4180, FSP-4200, FSP-4220, FSP-4240, FSP-4260, FSP-4280, FSP-4300, FSP-4320, FSP-4340, FSP-4360, FSP-4380, FSP-4400, FSP-4420, FSP-4440, FSP-4460, FSP-4480, FSP-4500, FSP-4520, FSP-4540, FSP-4560, FSP-4580, FSP-4600, FSP-4620, FSP-4640, FSP-4660, FSP-4680, FSP-4700, FSP-4720, FSP-4740, FSP-4760, FSP-4780, FSP-4800, FSP-4820, FSP-4840, FSP-4860, FSP-4880, FSP-4900, FSP-4920, FSP-4940, FSP-4960, FSP-4980, FSP-5000, FSP-5020, FSP-5040, FSP-5060, FSP-5080, FSP-5100, FSP-5120, FSP-5140, FSP-5160, FSP-5180, FSP-5200, FSP-5220, FSP-5240, FSP-5260, FSP-5280, FSP-5300, FSP-5320, FSP-5340, FSP-5360, FSP-5380, FSP-5400, FSP-5420, FSP-5440, FSP-5460, FSP-5480, FSP-5500, FSP-5520, FSP-5540, FSP-5560, FSP-5580, FSP-5600, FSP-5620, FSP-5640, FSP-5660, FSP-5680, FSP-5700, FSP-5720, FSP-5740, FSP-5760, FSP-5780, FSP-5800, FSP-5820, FSP-5840, FSP-5860, FSP-5880, FSP-5900, FSP-5920, FSP-5940, FSP-5960, FSP-5980, FSP-6000, FSP-6020, FSP-6040, FSP-6060, 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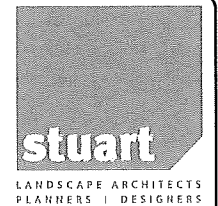
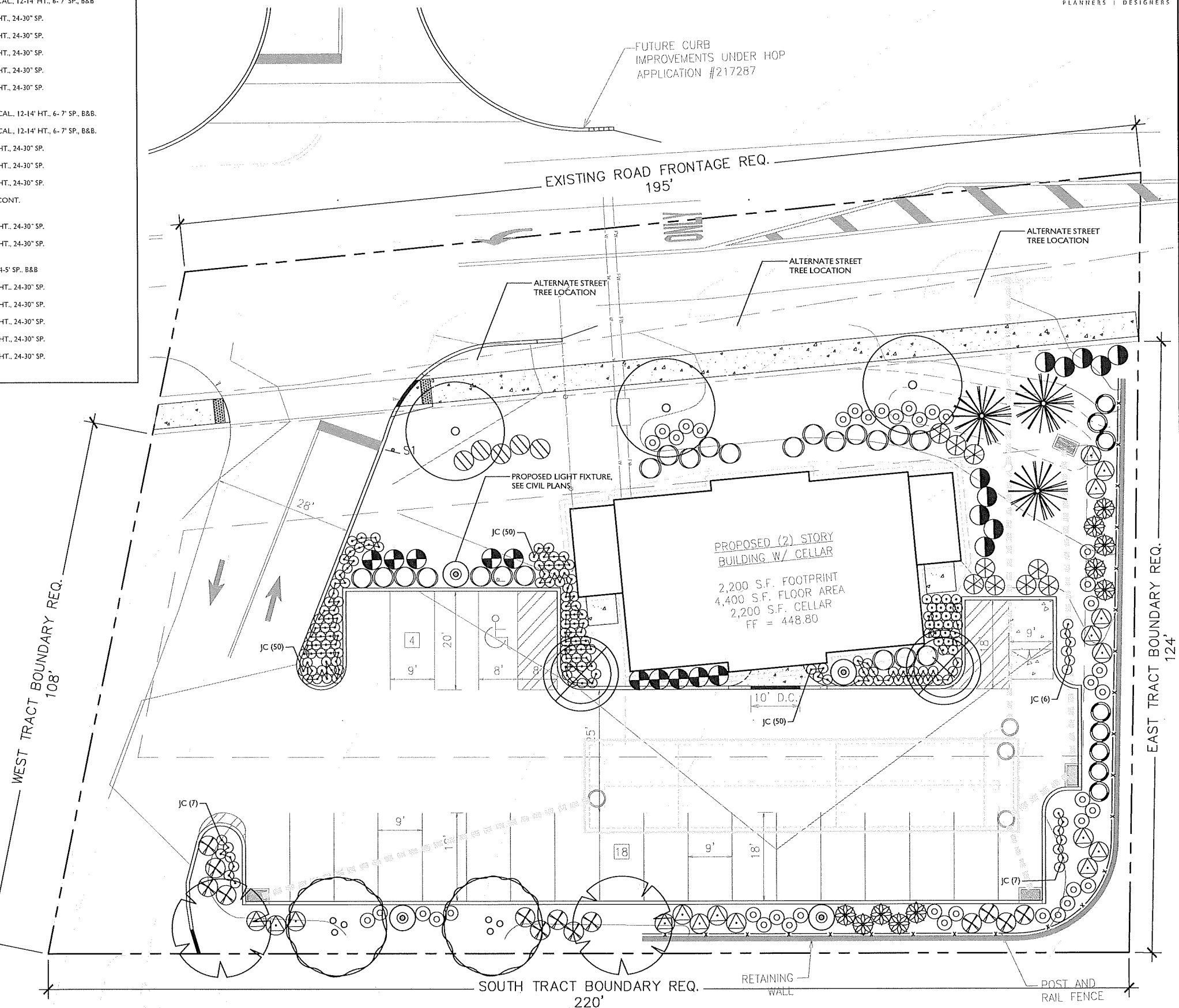
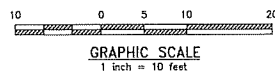
| QTY                                                                                                | SYMBOL | SCIENTIFIC NAME                  | COMMON NAME                    | SIZE                                        | NOTES |
|----------------------------------------------------------------------------------------------------|--------|----------------------------------|--------------------------------|---------------------------------------------|-------|
| <b>SECTION 162-57 LANDSCAPE DESIGN STANDARDS (SALDO)</b>                                           |        |                                  |                                |                                             |       |
| <b>(LANDSCAPE DESIGN STANDARDS)</b>                                                                |        |                                  |                                |                                             |       |
| <b>STREET TREES</b>                                                                                |        |                                  |                                |                                             |       |
| 3                                                                                                  |        | QUERCUS PALUSTRIS                | PIN OAK                        | 3- 3.5" CAL., 14- 16" HT., SPACING AS SHOWN |       |
|                                                                                                    |        | (PLEASE NOTE ALTERNATE LOCATION) |                                |                                             |       |
| <b>(MINIMUM PLANTING STANDARDS)</b>                                                                |        |                                  |                                |                                             |       |
| <b>BUILDING AREA LANDSCAPING</b>                                                                   |        |                                  |                                |                                             |       |
| 2                                                                                                  |        | PRUNUS SUBHIRTELLA 'AUTUMNALIS   | AUTUMN FLOWERING CHERRY        | 3- 3.5" CAL., 12-14" HT., 6- 7' SP., B&B    |       |
| 5                                                                                                  |        | ILEX VERTICILLATA                | WINTERBERRY HOLLY              | 24-30" HT., 24-30" SP.                      |       |
| 3                                                                                                  |        | CLETHRA ALNIFOLIA 'HUMMINGBIRD'  | HUMMINGBIRD SUMMERSWEET        | 24-30" HT., 24-30" SP.                      |       |
| 5                                                                                                  |        | CEPHALOTAXUS HARRINGTONIA        | JAPANESE PLUM YEW              | 24-30" HT., 24-30" SP.                      |       |
| 14                                                                                                 |        | HYPERICUM CALYCINUM 'SUNBURST'   | ST. JOHN'S WORT                | 24-30" HT., 24-30" SP.                      |       |
| 15                                                                                                 |        | ILEX GLABRA 'SHAMROCK'           | DWARF SHAMROCK INKBERRY        | 24-30" HT., 24-30" SP.                      |       |
| <b>PARKING &amp; LOADING AREA LANDSCAPING, &amp; PARKING LOT SCREEN &amp; INTERIOR SHADE TREES</b> |        |                                  |                                |                                             |       |
| 3                                                                                                  |        | QUERCUS PHELLOS                  | WILLOW OAK                     | 3- 3.5" CAL., 12-14" HT., 6- 7' SP., B&B.   |       |
| 2                                                                                                  |        | TILIA CORDATA 'GREENSPIRE'       | GREENSPIRE LINDEN              | 3- 3.5" CAL., 12-14" HT., 6- 7' SP., B&B.   |       |
| 6                                                                                                  |        | CLETHRA ALNIFOLIA 'HUMMINGBIRD'  | HUMMINGBIRD SUMMERSWEET        | 24-30" HT., 24-30" SP.                      |       |
| 5                                                                                                  |        | CEPHALOTAXUS HARRINGTONIA        | JAPANESE PLUM YEW              | 24-30" HT., 24-30" SP.                      |       |
| 7                                                                                                  |        | ILEX GLABRA 'SHAMROCK'           | DWARF SHAMROCK INKBERRY        | 24-30" HT., 24-30" SP.                      |       |
| 169                                                                                                |        | JUNIPERUS CONFERTA               | SHORE JUNIPER                  | 1 GAL. CONT.                                |       |
| <b>EXISTING ROAD FRONTAGE REQUIREMENT</b>                                                          |        |                                  |                                |                                             |       |
| 5                                                                                                  |        | ILEX x MESERVEAE 'CHINA GIRL'    | CHINA GIRL HOLLY               | 24-30" HT., 24-30" SP.                      |       |
| 5                                                                                                  |        | ILEX VERTICILLATA                | WINTERBERRY HOLLY              | 24-30" HT., 24-30" SP.                      |       |
| <b>TRACT BOUNDARY REQUIREMENT</b>                                                                  |        |                                  |                                |                                             |       |
| 3                                                                                                  |        | CRYPTOMERIA JAPONICA 'RADICANS'  | JAPANESE CEDAR                 | 6' HT., 4-5' SP., B&B                       |       |
| 8                                                                                                  |        | CORNUS SERICEA                   | RED TWIG DOGWOOD               | 24-30" HT., 24-30" SP.                      |       |
| 27                                                                                                 |        | HYPERICUM CALYCINUM 'SUNBURST'   | ST. JOHN'S WORT                | 24-30" HT., 24-30" SP.                      |       |
| 10                                                                                                 |        | ITEA VIRGINICA 'LITTLE HENRY'    | LITTLE HENRY SWEETSPIRE        | 24-30" HT., 24-30" SP.                      |       |
| 13                                                                                                 |        | MYRICA PENSYLVANICA              | NORTHERN BAYBERRY              | 24-30" HT., 24-30" SP.                      |       |
| 17                                                                                                 |        | VIBURNUM TRILOBUM 'COMPACTUM'    | COMPACT AMERICAN CRANBERRYBUSH | 24-30" HT., 24-30" SP.                      |       |
| 10,000 SF.                                                                                         |        | SEEDED LAWN AREA                 |                                |                                             |       |

NOTES:  
1. ALL DISTURBED AREAS ARE TO BE FINE GRADED, RAKED AND SEEDED.  
2. CONTRACTOR IS TO VERIFY SEEDING QUANTITY PRIOR TO BID.

PROPOSED LIGHT FIXTURE,  
SEE CIVIL PLANS.


1. ALL LINES AND GRADE WORK NOT PRESENTLY ESTABLISHED AT THE SITE SHALL BE LAID OUT BY A REGISTERED LAND SURVEYOR OR PROFESSIONAL CIVIL ENGINEER EMPLOYED BY THE CONTRACTOR IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
2. THIS PLAN TO BE USED FOR LANDSCAPING AND SITE IMPROVEMENT PURPOSED ONLY.
3. PLANS CREATED FROM DRAWINGS FROM D.L. HOWELL & ASSOCIATES, INC. ENGINEERING DATED, 02/16/2023.
4. LOCATION OF ALL UNDERGROUND UTILITIES SHALL BE VERIFIED AND MARKED IN THE FIELD, PRIOR TO ANY DIGGING OPERATIONS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING EXISTING TREES AND PLANT MATERIAL WITHIN THE AREA OF PROPOSED IMPROVEMENTS.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF ALL DEBRIS OFF-SITE, CLEAN-UP OF ALL PAVED AREAS (ROADWAYS, SIDEWALKS, ETC.) AND RESTORATION OF ALL DISTURBED LAWN AREAS.
7. CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR ANY DAMAGE TO UNDERGROUND UTILITIES DAMAGED.
8. CONTRACTOR SHALL PROVIDE SCREENED PLANTING SOIL WHERE PLANTING IS TO OCCUR. 36" DEPTH, 6" DEPTH AT LAWN AREAS.
9. FOLLOWING COMPLETION OF ALL PLANTING INSTALLATION WORK, THE CONTRACTOR SHALL BE REQUIRED TO RESTORE ALL DISTURBED LAWN AREAS.
10. NO TREE SHALL BE PLANTED CLOSER THAN 10 FEET FROM AN UNDERGROUND UTILITY.
11. ALL LINES ARE PARALLEL OR PERPENDICULAR UNLESS SHOWN OTHERWISE.
12. VERIFY LAYOUT OF ALL PROPOSED WORK TO EXISTING CONDITIONS. REPORT DISCREPANCIES BEFORE ANY CLEARING OR EXCAVATION IS DONE.
13. PROVIDE STAKED LAYOUT ON SITE FOR OWNER AND LANDSCAPE ARCHITECT'S REVIEW PRIOR TO COMMENCING WORK.
14. ALL DIMENSIONS SHOWN ARE TO FACE OF MATERIALS, UNLESS SHOWN OTHERWISE.
15. PLEASE NOTE, CLIENT DID NOT RETAIN STUART AND ASSOCIATES, LLC. TO PROVIDE LONG TERM MAINTENANCE SPECIFICATIONS FOR THE LANDSCAPE MATERIAL.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING PA ONE CALL AND LOCATING ALL UNDERGROUND UTILITIES BEFORE ANY DIGGING OR PLANT REMOVAL OCCURS.
17. CONTRACTOR SHALL INSTALL SILT FENCE IN ANY AREAS WHERE SOIL MAY RUN OFF INTO PARKING AREAS OR INTO EXISTING INLETS.
18. FOLLOWING THE COMPLETION, THE EXISTING VEGETATION WILL BE INSPECTED FOR HEALTH AND QUALITY, AND IF NOT DEEMED IN GOOD CONDITION, REPLACED WITH THE EQUIVALENT COMPENSATORY PLANTINGS.
19. V.I.F. = VERIFY IN FIELD.

1. SEE PLANTING SCHEDULES AND CHARTS L9.00



**DLHowell**  
Civil Engineering  
Land Planning  
Environmental  
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1250 Wrights Lane  
West Chester, PA 19380  
Phone: (610) 918-9002  
Fax: (610) 918-9003

























| REV. | DATE       | DESCRIPTION                   |
|------|------------|-------------------------------|
| 8    | 05/28/2023 | REVISED PER TWP COMMENTS      |
| 7    | 08/04/2023 | REVISED PER TWP REVIEW LETTER |
| 6    | 03/03/2023 | REVISED PER TWP REVIEW LETTER |
| 5    | 03/03/2023 | REVISED PER TWP REVIEW LETTER |
| 4    | 03/17/2023 | REVISED PER TWP REVIEW LETTER |
| 3    |            |                               |
| 2    |            |                               |
| 1    |            |                               |

PRELIMINARY  
LANDSCAPE PLAN

CLIENT: QBD VENTURES  
PROJECT: BYERS ROAD PROPERTY  
LOCATION: 164 BYERS ROAD, UPPER UNCHLAN TOWNSHIP  
CHESTER COUNTY, PA

|              |                  |
|--------------|------------------|
| DATE:        | 12/21/2021       |
| SCALE:       | 1"=10'           |
| DRAWN BY:    | KKM              |
| CHECKED BY:  | PJS              |
| PROJECT NO.: | 2146             |
| CAD FILE:    | GD WORKS 1/2.dwg |
| PLOTTED:     | 09/28/2023       |
| DRAWING NO.: | C09.01           |
| SHEET        | 12 of 13         |

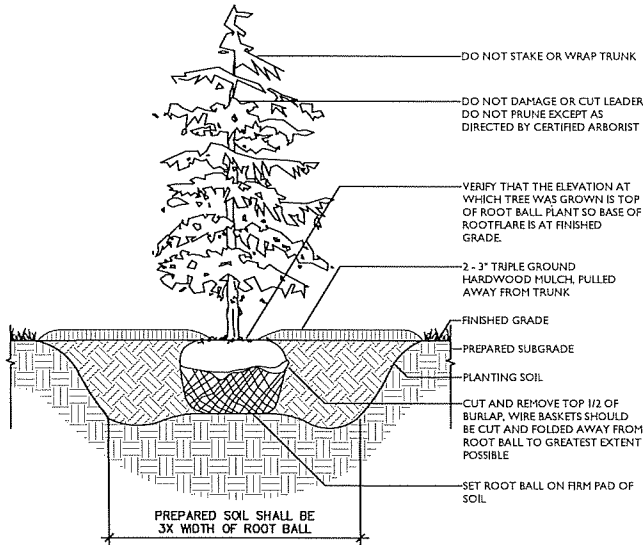
# PLANTING SCHEDULE

| QTY                                                                                       | SYMBOL                                                                            | SCIENTIFIC NAME                         | COMMON NAME                    | SIZE                                        | NOTES |
|-------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------|-----------------------------------------|--------------------------------|---------------------------------------------|-------|
| <b>SECTION 162-57. LANDSCAPE DESIGN STANDARDS (SALDO)</b><br>(LANDSCAPE DESIGN STANDARDS) |                                                                                   |                                         |                                |                                             |       |
| STREET TREES                                                                              |                                                                                   |                                         |                                |                                             |       |
| 3                                                                                         |  | <i>QUERCUS PALUSTRIS</i>                | PIN OAK                        | 3- 3.5" CAL., 14- 16' HT., SPACING AS SHOWN |       |
|                                                                                           |  | (PLEASE NOTE ALTERNATE LOCATION)        |                                |                                             |       |
| (MINIMUM PLANTING STANDARDS)                                                              |                                                                                   |                                         |                                |                                             |       |
| BUILDING AREA LANDSCAPING                                                                 |                                                                                   |                                         |                                |                                             |       |
| 2                                                                                         |  | <i>PRUNUS SUBHIRTELLA 'AUTUMNALIS'</i>  | AUTUMN FLOWERING CHERRY        | 3- 3.5" CAL., 12-14' HT., 6- 7' SP., B&B    |       |
| 5                                                                                         |  | <i>ILEX VERTICILLATA</i>                | WINTERBERRY HOLLY              | 24-30" HT., 24-30" SP.                      |       |
| 3                                                                                         |  | <i>CLETHERA ALNIFOLIA 'HUMMINGBIRD'</i> | HUMMINGBIRD SUMMERSWEET        | 24-30" HT., 24-30" SP.                      |       |
| 5                                                                                         |  | <i>CEPHALOTAXUS HARRINGTONIA</i>        | JAPANESE PLUM YEW              | 24-30" HT., 24-30" SP.                      |       |
| 14                                                                                        |  | <i>HYPERICUM CALYGINUM 'SUNBURST'</i>   | ST. JOHNS WORT                 | 24-30" HT., 24-30" SP.                      |       |
| 15                                                                                        |  | <i>ILEX GLABRA 'SHAMROCK'</i>           | DWARF SHAMROCK INKBERRY        | 24-30" HT., 24-30" SP.                      |       |
| PARKING & LOADING AREA LANDSCAPING, & PARKING LOT SCREEN & INTERIOR SHADE TREES           |                                                                                   |                                         |                                |                                             |       |
| 3                                                                                         |  | <i>QUERCUS PHELLOS</i>                  | WILLOW OAK                     | 3- 3.5" CAL., 12-14' HT., 6- 7' SP., B&B.   |       |
| 2                                                                                         |  | <i>TILIA CORDATA 'GREENSPIRE'</i>       | GREENSPIRE LINDEN              | 3- 3.5" CAL., 12-14' HT., 6- 7' SP., B&B.   |       |
| 6                                                                                         |  | <i>CLETHERA ALNIFOLIA 'HUMMINGBIRD'</i> | HUMMINGBIRD SUMMERSWEET        | 24-30" HT., 24-30" SP.                      |       |
| 5                                                                                         |  | <i>CEPHALOTAXUS HARRINGTONIA</i>        | JAPANESE PLUM YEW              | 24-30" HT., 24-30" SP.                      |       |
| 7                                                                                         |  | <i>ILEX GLABRA 'SHAMROCK'</i>           | DWARF SHAMROCK INKBERRY        | 24-30" HT., 24-30" SP.                      |       |
| 169                                                                                       |  | <i>JUNIPERUS CONFERTA</i>               | SHORE JUNIPER                  | 1 GAL CONT.                                 |       |
| EXISTING ROAD FRONTAGE REQUIREMENT                                                        |                                                                                   |                                         |                                |                                             |       |
| 5                                                                                         |  | <i>ILEX x MESERVEAE 'CHINA GIRL'</i>    | CHINA GIRL HOLLY               | 24-30" HT., 24-30" SP.                      |       |
| 5                                                                                         |  | <i>ILEX VERTICILLATA</i>                | WINTERBERRY HOLLY              | 24-30" HT., 24-30" SP.                      |       |
| TRACT BOUNDARY REQUIREMENT                                                                |                                                                                   |                                         |                                |                                             |       |
| 3                                                                                         |  | <i>CRYPTOMERIA JAPONICA 'RADICANS'</i>  | JAPANESE CEDAR                 | 8' HT., 4-5' SP., B&B                       |       |
| 8                                                                                         |  | <i>CORNUS SERICEA</i>                   | RED TWIG DOGWOOD               | 24-30" HT., 24-30" SP.                      |       |
| 27                                                                                        |  | <i>HYPERICUM CALYGINUM 'SUNBURST'</i>   | ST. JOHNS WORT                 | 24-30" HT., 24-30" SP.                      |       |
| 10                                                                                        |  | <i>ITEA VIRGINICA 'LITTLE HENRY'</i>    | LITTLE HENRY SWEETPIRE         | 24-30" HT., 24-30" SP.                      |       |
| 13                                                                                        |  | <i>MYRICA PENNSYLVANICA</i>             | NORTHERN BAYBERRY              | 24-30" HT., 24-30" SP.                      |       |
| 17                                                                                        |  | <i>VIBURNUM TRIOBUM 'COMPACTUM'</i>     | COMPACT AMERICAN CRANBERRYBUSH | 24-30" HT., 24-30" SP.                      |       |
| 10,000 SF.                                                                                |                                                                                   | SEEDDED LAWN AREA                       |                                |                                             |       |

NOTES:  
1. ALL DISTURBED AREAS ARE TO BE FINE GRADED, RAKED AND SEEDDED.  
2. CONTRACTOR IS TO VERIFY SEEDING QUANTITY PRIOR TO BID.

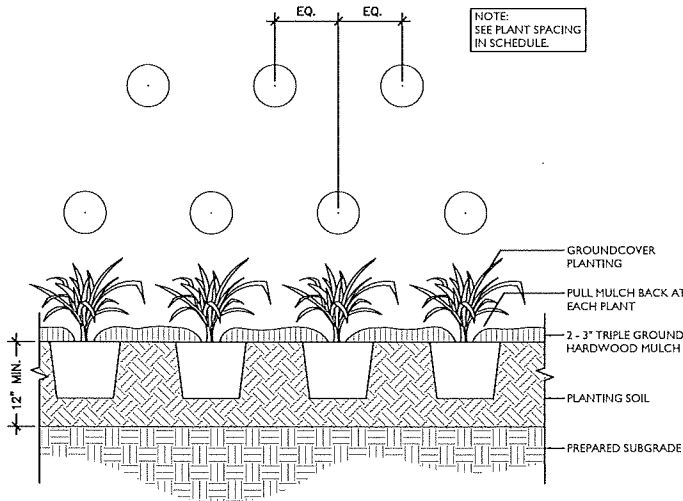
## GENERAL PLANTING NOTES:

- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR 18 MONTHS.
- ALL PLANT MATERIAL SHALL BE OF SPECIMEN QUALITY.
- ALL PLANT MATERIAL SHALL BE LAID OUT IN FIELD BY LANDSCAPE ARCHITECT. (NOTE: NO SHRUBS SHALL BE PLANTED UNTIL ALL TREE PLANTING IS COMPLETED.)
- ALL PLANT MATERIAL SHALL BE THOROUGHLY WATERED DURING INSTALLATION AND THROUGHOUT THE GUARANTEE PERIOD.
- ALL PLANT MATERIAL SHALL BE WATERED BY CONTRACTOR AT LEAST THREE (3) TIMES IN ABSENCE OF NATURAL RAINFALL OR UNTIL THE END OF THE GUARANTEE PERIOD.
- ALL TREES SHALL BE PROVIDED WITH A 3" DEEP SAUCER, CONSISTING OF SHREDDED OAK BARK MULCH.
- ALL PLANT MATERIALS SHALL BE IN ACCORDANCE WITH THE AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z60.1-2004). PLANT ACCORDING TO ANSI A300 PART 6.
- CONTRACTOR SHALL PROVIDE LANDSCAPE ARCHITECT WITH NURSERY SOURCE OF ALL PLANT MATERIAL. LANDSCAPE ARCHITECT SHALL PERFORM A SITE VISIT TO INSPECT NURSERY SOURCE PRIOR TO DELIVERY OF ANY PLANT MATERIAL.
- ALL TREES AND SHRUBS DELIVERED TO THE SITE SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING. ALL TREES AND SHRUBS SHALL HAVE WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF BOTANICAL AND COMMON NAME.
- ALL PLANT SUBSTITUTIONS MUST BE APPROVED BY THE TOWNSHIP.
- ANY PLANT MATERIAL EXHIBITING SIGNS OF DISEASE, INSECTS, EGGS, LARVAE AND DEFECTS SUCH AS KNOTS, SUN-SCALD, INJURIES, ABRASIONS OR DISFIGUREMENT SHALL BE REJECTED.
- ALL PROPOSED SHRUBS SHALL BE PLANTED IN CONTINUOUS MULCHED BEDS, CONSISTING OF 3" OF OAK BARK MULCH.
- SCARIFY THE SUBGRADE AND SIDES OF THE PLANTING HOLE WHEN PLANTING IN CLAY SOILS (MORE THAN 15% CLAY).
- LIFT AND SET THE TREE BY ROOTBALL ONLY. DO NOT LIFT USING THE TREE TRUNK AND DO NOT USE TREE TRUNK AS A LEVER.
- SET THE TOP OF THE ROOTBALL LEVEL WITH THE SOIL SURFACE OR SLIGHTLY HIGHER IF THE SOIL IS PRONE TO SETTLING.
- AFTER THE TREE IS SET IN PLACE, REMOVE BURLAP, WIRE AND STRAPS FROM AT LEAST THE UPPER 1/2 OF THE ROOTBALL.
- PRUNING SHALL BE LIMITED TO DEAD, DISEASED, OR BROKEN LIMBS ONLY AND SHALL BE IN ACCORDANCE WITH THE ANSI A300 SPECIFICATIONS. IF ADDITIONAL PRUNING IS NECESSARY, IT SHALL BE DONE BY A CERTIFIED ARBORIST.
- REMOVE ANY TRUNK WRAP REMAINING AT TIME OF PLANTING. NO WRAPS SHALL BE PLACED ON TRUNK.
- DO NOT REMOVE TREE IDENTIFICATION TAGS UNTIL THE LANDSCAPE ARCHITECT HAS CONFIRMED CORRECT SPECIES MATCHES THE PROJECT PLANTING SCHEDULE.
- LANDSCAPING MATERIALS SHALL BE FIELD ADJUSTED DURING INSTALLATION TO AVOID CONFLICT BETWEEN THE LIGHT FIXTURES, UTILITIES, AND TREE CANOPIES.

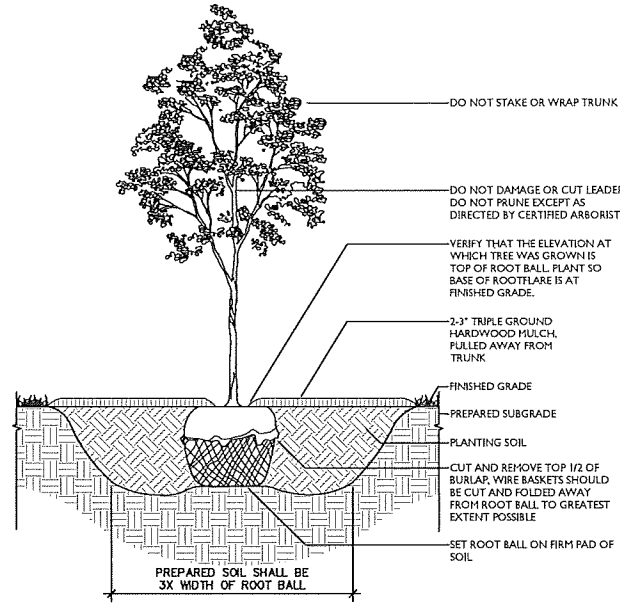


NOTES:  
1. TO AVOID SETTLING, DO NOT DIG THE HOLE DEEPER THAN THE ROOT BALL DEPTH.  
2. SCARIFY THE SUBGRADE AND SIDES OF THE PLANTING HOLE WHEN PLANTING IN CLAY SOILS.

**4 EVERGREEN TREE PLANTING DETAIL, TYP.**  
SCALE : 1/2" = 1'-0"



**3 GROUND COVER PLANTING DETAIL, TYP.**  
SCALE : 1" = 1'-0"



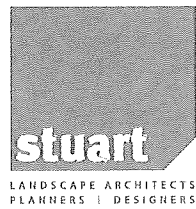
NOTES:  
1. TO AVOID SETTLING, DO NOT DIG THE HOLE DEEPER THAN THE ROOT BALL DEPTH.  
2. SCARIFY THE SUBGRADE AND SIDES OF THE PLANTING HOLE WHEN PLANTING IN CLAY SOILS.

**1 TREE PLANTING DETAIL, TYP.**  
SCALE : 1/2" = 1'-0"

## UPPER UWCHLAN TOWNSHIP - TOWNSHIP LANDSCAPING REQUIREMENTS

DISTRICT : C1 : VILLAGE COMMERCIAL DISTRICT

| CODE LANGUAGE                                                                                                          | REQUIRED          | PROPOSED                                                       |
|------------------------------------------------------------------------------------------------------------------------|-------------------|----------------------------------------------------------------|
| <b>* 162-57. LANDSCAPE DESIGN, INSTALLATION, AND MAINTENANCE STANDARDS (SALDO)</b>                                     |                   |                                                                |
| (C) LANDSCAPE DESIGN STANDARDS                                                                                         |                   |                                                                |
| 6(b). STREET TREES SPACING SHALL BE NO GREATER THAN 50 FEET. ROAD FRONTAGE = 195 FT. /50' = 4 STREET TREES             | 4 DECIDUOUS TREES | 3* (WAIVER REQ.)                                               |
| 7(c). THE INTERIOR OF A PARKING LOT SHALL HAVE 1 SHADE TREE FOR EVERY 5 PARKING SPACES. 22 SPACES /5 = 4.4 SHADE TREES | 5 DECIDUOUS TREES | SATISFIED BY PARKING & LOADING LANDSCAPING REQUIREMENT (BELOW) |
| (D) MINIMUM PLANTING STANDARDS                                                                                         |                   |                                                                |
| PER 1,000 SF OF GROSS BUILDING AREA - 2,200 SF                                                                         |                   |                                                                |
| 2 - (3-3.5" CAL. MIN.) DECIDUOUS TREE /1,000 SF<br>2,200 SF / 1,000 SF = 2.2<br>2.2 x 2 = 4.4 DECIDUOUS TREES          | 5 DECIDUOUS TREES | 2* (WAIVER REQ.)                                               |
| 1 - (8' HT/ MIN.) EVERGREEN TREE /1,000 SF<br>2,200 SF / 1,000 SF = 2.2<br>2.2 x 1 = 2.2 EVERGREEN TREES               | 3 EVERGREEN TREES | 0* (WAIVER REQ.)                                               |
| 8 - (24-30" HT.) SHRUBS /1,000 SF<br>2,200 SF / 1,000 SF = 2.2<br>2.2 x 8 = 17.6 SHRUBS                                | 18 SHRUBS         | 42 SHRUBS                                                      |
| PER 2,000 SF OF PARKING OR LOADING AREA - 8,370 SF                                                                     |                   |                                                                |
| 1 - DECIDUOUS TREE /2,000 SF<br>8,370 SF / 2,000 SF = 4.2<br>4.2 x 1 = 4.2 DECIDUOUS TREES                             | 5 DECIDUOUS TREES | 5 DECIDUOUS TREES                                              |
| 1 - EVERGREEN TREE /2,000 SF<br>8,370 SF / 2,000 SF = 4.2<br>4.2 x 1 = 4.2 EVERGREEN TREES                             | 5 EVERGREEN TREES | 0* (WAIVER REQ.)                                               |
| 4 - SHRUBS /2,000 SF<br>8,370 SF / 2,000 SF = 4.2<br>4.2 x 4 = 16.8 SHRUBS                                             | 17 SHRUBS         | 18 SHRUBS AND 20 GROUND COVER PLANTINGS                        |
| PER 100 LF OF NEW AND EXISTING ROAD FRONTAGE                                                                           |                   |                                                                |
| EXISTING ROAD FRONTAGE 195 LF                                                                                          |                   |                                                                |
| 2 - DECIDUOUS TREE /100 LF<br>195 LF / 100 LF = 1.9<br>1.9 x 2 = 3.8 DECIDUOUS TREES                                   | 4 DECIDUOUS TREES | 0* (WAIVER REQ.)                                               |
| 1 - EVERGREEN TREE /100 LF<br>195 LF / 100 LF = 1.9<br>1.9 x 1 = 1.9 EVERGREEN                                         | 2 EVERGREEN TREES | 0* (WAIVER REQ.)                                               |
| 5 - SHRUBS /100 LF<br>195 LF / 100 LF = 1.9<br>1.9 x 5 = 9.5 SHRUBS                                                    | 10 SHRUBS         | 10 SHRUBS                                                      |
| PER 100 LF OF EXISTING TRACT BOUNDARY - 452 LF                                                                         |                   |                                                                |
| 1 - DECIDUOUS TREE /100 LF<br>452 LF / 100 LF = 4.5<br>4.5 x 1 = 4.5 DECIDUOUS TREES                                   | 5 DECIDUOUS TREES | 0* (WAIVER REQ.)                                               |
| 2 - EVERGREEN TREE /100 LF<br>452 LF / 100 LF = 4.5<br>4.5 x 2 = 9 EVERGREEN TREES                                     | 9 EVERGREEN TREES | 3* (WAIVER REQ.)                                               |
| 8 - SHRUBS /100 LF<br>452 LF / 100 LF = 4.5<br>4.5 x 8 = 36 SHRUBS                                                     | 36 SHRUBS         | 75 SHRUBS                                                      |



LANDSCAPE ARCHITECTS  
PLANNERS | DESIGNERS



DLHowell

Civil Engineering  
Land Planning  
Environmental  
www.DLHowell.com

1250 Wrights Lane  
West Chester, PA 19380  
Phone: (610) 918-9002  
Fax: (610) 918-9003



| REV. | DATE       | DESCRIPTION                   |
|------|------------|-------------------------------|
| 1    | 05/17/2023 | REVISED PER TWP REVIEW LETTER |
| 2    | 05/03/2023 | REVISED PER TWP REVIEW LETTER |
| 3    | 05/04/2023 | REVISED PER TWP REVIEW LETTER |
| 4    | 05/26/2023 | REVISED PER TWP COMMENTS      |

PRELIMINARY  
LANDSCAPE DETAILS  
CLIENT: OBD VENTURES  
PROJECT: BYERS ROAD PROPERTY  
LOCATION: 164 BYERS ROAD, UPPER UWCHLAN TOWNSHIP  
CHESTER COUNTY, PA

|              |                |
|--------------|----------------|
| DATE:        | 12/21/2021     |
| SCALE:       | VARIES         |
| DRAWN BY:    | KRM            |
| CHECKED BY:  | PJS            |
| PROJECT NO.: | 2146           |
| CAD FILE:    | OBD WPA012.dwg |
| PLOTTED:     | 09/28/2023     |
| DRAWING NO.: | C09.02         |
| SHEET        | 13 of 13       |



**UPPER UWCHLAN TOWNSHIP**  
**CHESTER COUNTY, PENNSYLVANIA**  
**ORDINANCE \_\_\_\_\_**

**AN ORDINANCE OF THE TOWNSHIP OF UPPER UWCHLAN, CHESTER COUNTY, PENNSYLVANIA, AMENDING CHAPTER 176 OF THE UPPER UWCHLAN TOWNSHIP CODE TITLED "VEHICLES AND TRAFFIC" TO AMEND SECTION 176-6 TITLED "PARKING, STOPPING AND STANDING RESTRICTIONS" TO PROHIBIT PARKING ON CERTAIN STREETS NEAR MARSH CREEK STATE PARK; TO AMEND THE PENALTY PROVISIONS AND TO AUTHORIZE THE TOWNSHIP POLICE DEPARTMENT TO TOW VEHICLES PARKED IN VIOLATION OF THE PROVISIONS OF CHAPTER 176.**

**NOW THEREFORE, BE IT ENACTED AND ORDAINED** by the Board of Supervisors of Upper Uwchlan Township that Chapter 176 of the Upper Uwchlan Township Code, titled "Vehicles and Traffic", shall be amended as follows:

**SECTION 1.** The existing parking restrictions that are contained in Section 176-6.A, titled, "Parking, Stopping and Standing Restrictions" shall be renumbered Section 176-6.A(1).

**SECTION 2.** Section 176-6, titled, "Parking, Stopping and Standing Restrictions" shall be amended to add a new subparagraph A.(2) which shall read as follows:

"A.(2). There shall be no stopping, standing or parking between the hours of 9:00 a.m. and 9:00 p.m. on Saturdays, Sundays, and Federal government holidays between the dates of April 15 until October 15 on the following roads:

- (1) Heron Hill Drive
- (2) Watercroft Circle
- (3) Stephen Lane
- (4) Laura Lane

Residents who provide to the Township proof of residency in a dwelling on one of the streets listed above may be issued a parking permit to park on the roads during the times referenced above.

**SECTION 3.** Section 176-6.I shall be amended as follows:

"I. When the penalty imposed for the violation of this section is not voluntarily paid to Upper Uwchlan Township, the Township shall initiate enforcement proceedings before a Magisterial District Justice in the same manner provided for the enforcement of summary offenses under the Pennsylvania Rules of Criminal Procedure. A violator found guilty shall be subject to a fine of not more than \$600, plus costs of prosecution. In default of payment thereof, the

defendant may be sentenced to imprisonment for a term of not more than 30 days. The continuation of such violation for each successive day shall constitute a separate offense, and the person or persons allowing or permitting the continuation of a violation may be punished as provided above for each separate offense. All fines and penalties collected for violation of this chapter shall be paid to the Township Treasurer.”

**SECTION 4.** A new Section 176-6.J shall be added and provide as follows:

“**§176-6.J.** In addition to the penalties imposed pursuant to this section, the Upper Uwchlan Township Police Department may tow vehicles that are parked in violation of any provisions in this chapter.”

**SECTION 5. Severability.** If any sentence, clause, section, or part of this Ordinance is for any reason found to be unconstitutional, illegal, or invalid, such unconstitutionality, illegality or invalidity shall not affect or impair any of the remaining provisions, sentences, clauses, sections, or parts hereof. It is hereby declared as the intent of the Board of Supervisors that this Ordinance would have been adopted had such unconstitutional, illegal, or invalid sentence, clause, section, or part thereof not been included herein.

**SECTION 6. Repealer.** All ordinances or parts of ordinances conflicting with any provision of this Ordinance are hereby repealed insofar as the same affects this Ordinance.

**SECTION 7. Effective Date.** This Ordinance shall become effective five (5) days following the enactment as by law provided.

**ENACTED AND ORDAINED** this \_\_\_\_ day of \_\_\_\_\_, 2023.

**ATTEST:**

**UPPER UWCHLAN TOWNSHIP  
BOARD OF SUPERVISORS**

\_\_\_\_\_  
Gwen A. Jonik, Secretary

\_\_\_\_\_  
Sandra M. D’Amico, Chair

\_\_\_\_\_  
Jennifer F. Baxter, Vice-Chair

\_\_\_\_\_  
Andrew P. Durkin, Member

## **AGREEMENT**

Upper Uwchlan Township Resolution # \_\_\_\_\_

THIS AGREEMENT, entered this \_\_\_\_\_ day of \_\_\_\_\_ 2023, by and between the UPPER UWCHLAN TOWNSHIP, a political subdivision created and existing under the laws of the Commonwealth of Pennsylvania, located at 140 Pottstown Pike, Chester Springs, Chester County, Pennsylvania, 19425 (hereinafter "Township") and KRATZENBERG & ASSOCIATES, INC. d/b/a KEYSTONE COLLECTIONS GROUP (hereinafter "Collector") located at 546 Wendel Road, Irwin, Westmoreland County, Pennsylvania, 15642.

WHEREAS, the Commonwealth of Pennsylvania authorizes municipalities to levy, assess and collect a real estate tax and a fire hydrant fee;

WHEREAS, the Township, by ordinance or resolution has officially designated Collector as its deputy tax collector for the exclusive collection of current real estate taxes and fire hydrant fees;

NOW, THEREFORE, the parties hereto, intending to be legally bound hereby, mutually promise, covenant and agree as follows:

### ***1. Designation of Deputy Tax Collector***

The Township does hereby designate Collector as its deputy tax collector to bill and collect current real estate taxes owed to the Township during the term period detailed below.

### ***2. Term***

From February 2, 2024 continuing thereafter for a period of at least three (3) years, Collector shall render tax collection services, for and on behalf of the Township in connection with the exclusive collection of all current taxes and fees enumerated in the preamble of this Agreement and levied by the Township pursuant to applicable Pennsylvania law, statute, ordinance or resolution and all regulations promulgated thereunder. This Agreement shall automatically renew for additional three (3) year terms unless and until either of the parties hereto shall terminate this Agreement as of any anniversary date by

sending to the other party a written notice of termination at least ninety (90) days prior to any such anniversary date.

### ***3. Collector's Services and Compensation***

Collector shall provide tax collection services to the Township and, in turn, the Township agrees to compensate Collector for such services, as follows:

(A) Collector shall, upon execution of this Agreement, render its collection services to, for and on behalf of the Township. Collector's services shall include, but not necessarily be limited to, preparation and mailing current real estate bills/notices/forms, containing fire hydrant fees where applicable, and collection and remittance of such taxes and fees to Township, preparation of any necessary reports to Township and/or the Pennsylvania Department of Community and Economic Development.

(B) The compensation rates herein shall be the below-noted rates:

|                          |                                                                                                                                                       |
|--------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------|
| Current Real Estate Tax  | -\$1.50 per tax duplicate, plus actual postage<br>-\$0.50 per reminder notice, plus actual postage                                                    |
| Current Fire Hydrant Fee | -\$0.50 per additional line item<br>-Reminder Notice at \$0.50 per piece, plus actual postage when parcel not included in real estate reminder notice |

(C) Collector agrees to prepare and print the current real estate tax bills, which shall include the fire hydrant fee where applicable, based upon printing information and data to be provided and updated annually by the Chester County assessor and the Township. Collector further agrees to provide the forms, envelopes, or other printed matter necessary to collect these taxes. Collector also agrees to:

- (i.) Convert the tax files from the existing source that maintains the information to Collector's own files on an annual basis;
- (ii.) Maintain the tax files on a regular basis based upon account adjustment dates provided by the Chester County assessor or Township, including but not limited to periodic updating to reflect exonerations, new assessments and millage increases or decreases;

- (iii.) Post and remit payments pursuant to Section 5 below, and report the taxes collected on a monthly basis;
- (iv.) Provide "Tax Certification" service. This service will be provided to the requesting party for Collector's usual and customary rate of \$25.00, said fees to be retained by Collector;
- (v.) Forward to the delinquent real estate tax collector all accounts which are delinquent and unpaid in a timely manner as set forth by law;
- (vi.) Report to the Township on a monthly basis the tax collection detail including account number, payment date, receipt number and amount of tax collected in accordance with the remittance of taxes collected as set forth above. Further, Collector shall include detail of all commissions, fees or costs retained from collections; and
- (vii.) Collector will comply with all current and future laws relating to the collection of the specific taxes enumerating in the Preamble to this Agreement.

(E) If the scope of services is to be expanded by request of the Township to include additional tasks or services not originally contemplated by this Agreement, Collector reserves the right to negotiate additional reasonable compensation for such services. Any such additional tasks or services and compensation therefor shall be set forth in an addendum to this Agreement signed by the parties.

#### **4. *Reasonable Cooperation***

(A) Township shall provide such tax data, assistance and cooperation as are reasonably required by Collector to obtain all tax records and related data and other information and data as may be reasonably required by Collector to fulfill its obligations hereunder. Specifically, Township agrees to provide data in standard electronic format identifying parcels which are subject Township's fire hydrant fee. Said data is to contain all relevant information normally provided in real estate tax data, including, but not limited to, property owner(s), subject property address, mailing address, parcel identification number, etc.

(B) Collector agrees to make available to any accountant, firm of accountants or auditor appointed by the taxing jurisdiction, the relevant books and records relating to the collection of Township's taxes by Collector and procedures relating to such collection, and agrees to be present and to participate in such audit at Collector's headquarters, provided that such audit shall be performed at a mutually

convenient time.

(C) Any surety bonding required under this Agreement shall be provided by the Township. Collector shall cooperate fully with the Township in its application for such required surety bonding.

#### ***5. Transfer of Collected Tax Revenues, Reporting and Statement for Services Rendered***

Collector shall remit current real estate tax collections and fire hydrant fees to Township's bank account(s) at least two (2) times a week and interim collections at least once a week via electronic automated clearing house (ACH) transfer. On or about the 20<sup>th</sup> day of the month, Collector shall remit to Township a detail report of all current taxes and fees collected by Collector for the prior month, along with Collector's written statement as to the respective fees or costs due or withheld by Collector hereunder.

#### ***6. Cross Indemnification***

Collector does hereby indemnify Township and hold it harmless from any damages, costs, or expenses that directly result from acts or omissions of Collector, its employees, its servants or its agents. Likewise, Township does hereby indemnify Collector and hold it harmless from any damages, costs, or expenses that result from any challenge to the validity of any ordinance or resolution of Township or which result from any erroneous information provided to Collector, or from acts or omissions of Township or other municipal employees, officials or agents, past and present.

#### ***7. Generally Accepted Collection Guidelines***

The parties understand and agree that:

(A) Incorporated by reference into this agreement are all of the Tax Ordinances and/or Resolutions and other pertinent materials relating to the same as adopted from time to time by the Township.

(B) Concurrently with the execution hereof, the Township will deliver to Collector a copy of the following:

- i. Ordinance and/or resolution of Township authorizing the levy and assessment of real estate tax and fire hydrant fee;

#### 8. *Severability*

If any covenant or provision of this Agreement is held by a court of competent jurisdiction to be invalid, void or unenforceable, the remainder of the provisions shall remain in full force and effect and shall in no way be affected, impaired or invalidated.

#### 9. *Controlling Law*

This agreement shall be deemed to have been made under and shall be governed by the laws of the Commonwealth of Pennsylvania. This agreement represents the entire agreement between the parties and any modifications of same must be in writing to be valid.

#### 10. *Agreement Survival*

This Agreement shall inure to the benefit of and be binding upon the respective parties hereto and their respective successors and assigns.

#### 11. *Commencement*

This Agreement shall become effective upon execution.

IN WITNESS WHEREOF, the parties hereto have hereunto set their hands and seals the day and year first above written.

ATTEST:

UPPER UWCHLAN TOWNSHIP BOARD OF SUPERVISORS

\_\_\_\_\_  
Gwen A. Jonik  
Township Secretary

By: \_\_\_\_\_(SEAL)

Sandra M. D'Amico, Chair

\_\_\_\_\_  
Jennifer F. Baxter, Vice-Chair

\_\_\_\_\_  
Andrew P. Durkin, Member

ATTEST:

KRATZENBERG & ASSOCIATES, INC.  
d/b/a KEYSTONE COLLECTIONS GROUP

By: \_\_\_\_\_(SEAL)

Corporate Officer

## Gwen Jonik

---

**Subject:** FW: Traffic Study Scope - Graphite Mine Rd/Pottstown Pk Road Swap - Upper Uwchlan Twp

---

**From:** Chris Williams <[cwilliams@bowman.com](mailto:cwilliams@bowman.com)>

**Sent:** Thursday, November 9, 2023 7:27 AM

**To:** Tony Scheivert <[tscheivert@upperuwchlan-pa.gov](mailto:tscheivert@upperuwchlan-pa.gov)>

**Cc:** Steve Giampaolo <[sgiampaolo@bowman.com](mailto:sgiampaolo@bowman.com)>; Jeff Gehman <[jgehman@bowman.com](mailto:jgehman@bowman.com)>

**Subject:** Traffic Study Scope - Graphite Mine Rd/Pottstown Pk Road Swap - Upper Uwchlan Twp

Tony,

Based on the recent PennDOT meeting and based on the recent feedback from Paul Lutz where he is asking us to study multiple traffic diversion scenarios to Graphite Mine Road and for multiple future years, below is our estimated scope. PennDOT did not specifically ask that we study the interior intersections of Graphite Mine Road with Station Blvd and with Byers Road, but I really believe we need to study those intersections too. If we are assuming an increase in traffic to Graphite Mine Road with the redesignation of Route 100, then we need to be sure that we are not creating a throughput issue at these two intersections also. Plus I think PennDOT will eventually end up asking that we study those intersections also. So with all of this, the scope is more than perhaps we originally thought, but I believe it is the right scope based on what PennDOT is looking for. The fee estimate for this work is \$14,000.

If you can give us the go ahead this week, we can likely get the traffic counts completed next week. I would like to do counts before Thanksgiving and the start of the holiday season.

1. Conduct traffic counts during the weekday morning (7-9 AM) and weekday afternoon (4-6 PM) peak periods at the following intersections:
  - a. Graphite Mine Road/Route 100 (North)
  - b. Graphite Mine Road and Station Boulevard
  - c. Graphite Mine Road and Byers Road
  - d. Graphite Mine Road/Route 100 (South)
2. Complete detailed capacity/level-of-service and queuing analysis at the four intersections under the following conditions:
  - a. Existing conditions
  - b. 2028 and 2033 conditions without diversions or capacity improvements
  - c. 2028 and 2033 conditions with diversions and no capacity improvements
  - d. 2028 and 2033 conditions with diversions and capacity improvements
3. Prepare a summary of our findings in tabular form, including graphical exhibits of any recommended improvements.

Let me know if you have any questions.

Thanks,  
Chris

Please update your records to reflect my updated email address: [cwilliams@bowman.com](mailto:cwilliams@bowman.com)

Christopher J. Williams, P.E.  
Vice President & Regional Manager - Mid-Atlantic  
McMahon, a Bowman company  
O: (610) 594-9995 | D: (484) 872-2274  
bowman.com | mcmahonassociates.com