



UPPER UWCHLAN TOWNSHIP  
PLANNING COMMISSION  
AGENDA

**October 12, 2023**  
**7:00 p.m.**

**LOCATION**

Upper Uwchlan Township Building, 140 Pottstown Pike, Chester Springs PA 19425

- I. 7:00 PM Meeting Call To Order
- II. 164 Byers Road / QBD Ventures Preliminary / Final Land Development Plan  
Review updated plan and consider recommending Final Plan Approval
- III. Meeting Updates ~ Reports
  - A. Environmental Advisory Council (EAC)
  - B. Historical Commission (HC)
  - C. Active Transportation Plan (ATP)
- IV. Approval of Minutes: September 14, 2023 Meeting minutes
- V. Next Meeting Date: November 9, 2023 7:00 p.m.
- VI. Open Session
- VII. Adjournment

October 4, 2023

Mr. Tony Scheivert, Township Manager  
Upper Uwchlan Township  
140 Pottstown Pike  
Chester Springs, PA 19425

RE: QBD Ventures  
Preliminary/Final Land Development Plan  
Upper Uwchlan

Dear Mr. Scheivert:

This letter is being sent pursuant to Gilmore's review of the above referenced Plans by Howell Engineering dated 12/20/20, last revised 8/4/23 and their subsequent review letter dated 9/11/23.

Listed below are our responses to the concerns identified in the review of the plans. Also, enclosed for your review are copies of the update plan. Where applicable, Howell Engineering has addressed each of these comments indicating what action has been taken to resolve the issue.

**III. Subdivision and Land Development**

1. Acknowledged. No revision is necessary.
2. Acknowledged. No revision is necessary.
3. Acknowledged. No revision is necessary.
4. Acknowledged. No revision is necessary.

**IV. Stormwater Management Ordinance Review**

1. Acknowledged. No revision is necessary.
2. Acknowledged. No revision is necessary.
3. Acknowledged. The applicant will provide the agreement under separate cover.

**VI. Township Traffic Consultant Comments**

(McMahon Associates, Inc.)

1. Acknowledged. The application will provide a fee-in-lieu of to the Township.

**VIII. Township Municipal Authority Consultant Comments**

(ARRO Consulting, Inc.)

1. The plans have been updated to show the as-constructed conditions that were provided. Additionally, the provided lateral has been added to the plans in the location provided. A note has been added to the plan that the contractor shall field verify the location of the lateral.
2. Acknowledged. The applicant will purchase the required capacity.
3. Acknowledged. The applicant will provide financial security to the Township.

We appreciate your time and consideration.

Sincerely,  
Howell Engineering

Dave Gibbons, PE  
Senior Engineer



LANDSCAPE ARCHITECTS  
PLANNERS | DESIGNERS

STUART & ASSOCIATES, LLC.  
P.O. Box 62286  
King of Prussia, PA 19406  
P : 610.337.2100

September 28, 2023

Upper Uwchlan Township  
Attn: Planning Commission  
140 Pottstown Pike  
Chester Springs, PA 19425

**RE: QBD VENTURES – 164 BYERS ROAD – LANDSCAPE WAIVERS  
UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PA  
PRELIMINARY LAND DEVELOPMENT PLAN, DATED 09-28-2023**

Dear Planning Commission Members,

We are writing to elaborate on our Landscape Plan Waiver requests for the subject project.

We offer the following information with regards to the Waivers requested on Landscape Plans:

In order to provide a Landscape Plan in full compliance with Upper Uwchlan Township Ordinances, we would need to provide an additional 34 trees (18 large canopy shade trees and 16 evergreen trees) on the site. In our professional opinion, there is simply not enough available space to plant the additional 34 trees given the extents of the required parking lot paving, building, stormwater management piping and other underground utilities required to support the development of this parcel. There is also an existing access easement along the western boundary which restricts the planting of trees. We have provided additional shrubs and groundcover plantings where space permitted to compensate for the 34 trees.

Landscape Waiver Summary :

Shrubs required: 81  
Shrubs proposed: 145 & 169 evergreen groundcover shrubs

Deciduous trees required: 28  
Deciduous trees proposed: 10  
**Waiver requested for 18 deciduous trees.**

Evergreen trees required: 19  
Evergreen trees proposed: 3  
**Waiver requested for 16 evergreen trees.**

Please contact our office with any questions.

Sincerely,

Patrick J. Stuart, RLA, MCRP, LLA



September 29, 2023

Upper Uwchlan Township Planning Commission  
c/o Gwen Jonik, Township Secretary  
140 Pottstown Pike  
Chester Springs, PA 19425

Re: QBD Ventures Application for Preliminary/Final Land Development Approval at 164 Byers Road

Dear Commission Members:

QBD Ventures has owned the subject roughly 0.7 acre property since September, 2008. Shortly after acquiring the property, QBD submitted an application for Preliminary/Final Land Development Approval to demolish all of the existing structures on the site and construct a new two story, 2,200 SF building with a full basement thereon utilizing onsite water and sewer systems. On November 5, 2009 the Upper Uwchlan Township Planning Commission recommended approval of such a plan. On August 16, 2010 the Upper Uwchlan Township Board of Supervisors approved our plan, and on April 13, 2011 the Approved Plan was recorded in the Chester County Recorder of Deeds Office.

QBD has been unsuccessful in finding a user for the property since the original plan was approved. We had identified a candidate user who wanted to construct a child day care center on the site, but the lot was too small to enable the proposed facility to comply with all of the Commonwealth's rules and regulations governing such an operation to be complied with.

The passage of time, and the current availability of both public water and public sewer to service the site has required that QBD submit a new application for development on the subject property. Revised plans and an application for Preliminary/Final Land Development Approval to construct essentially exactly what was previously been approved, i.e. a new two story, 2,200 SF building with a full basement (however this time utilizing both the newly available public water and public sewer systems) were prepared and initially submitted to the Township on, or about, January 18, 2021. These plans were initially essentially duplicates of the originally approved application. The current version of these plans has now been updated following reviews and comments made by the Township's various consultants, staff, and Planning Commission to bring them into compliance with all modifications that have been made to the Township's governing ordinances since 2010, and were on the Planning Commission's 9/14/23 meeting agenda for review, and hopefully final approval. I,

5 Blue Sky Trail  
Travelers Rest, SC 29690

unfortunately no longer reside on Horseshoe Trail in West Vincent Township (having retired and moved to South Carolina in 2015), and hence could not attend that meeting (Alexander Mundy, from D.L. Howell & Associates, Inc., our consulting engineer, attended the Planning Commission's meeting as QBD's representative).

Following are Mr. Mundy's notes made during the subject Planning Commission Meeting:

#### 9-14-23 Planning Commission Meeting (Alex Mundy's notes)

- The Planning Commission recommended approving all requested waivers except the ones for combined preliminary/final approval and the reduction of tree plantings.
- The Planning Commission made a motion to recommend approval of this submission as a preliminary plan only.
- The Planning Commission did not recommend final approval due to the architectural that was provided with the initial submission because they felt that it was not up to the "village" standard.
- The Planning Commission did not recommend approving the requested landscape waiver and wanted to see more trees on the property. Also, the chairperson did not like the placement of the pin oak that was shown adjacent to the driveway out, and would like it moved.
- The Planning Commission wanted us to review the current village guidelines that is in the current ordinance. It was also brought up that a new comprehensive plan is being drafted and set to be put into effect in 2024. They know that we don't have to follow this but they would like us to review the draft plan and possibly follow some of those standards.

Following are my comments and thoughts regarding the Planning Commission's comments and actions:

- 1) Regarding the suggested reduction in trees from what is required: This issue was discussed during the original land development plan's approval process, and it was decided then, that due to the lot's small size, and the retaining wall's location (should not locate new trees close to this wall as their root systems would pose future problems with the wall's stability) additional trees could not be placed on the site. Extensive shrubbery was both then, and now, proposed to give the site a lush appeal. Enclosed with this letter is a letter prepared by our Landscape Architect providing his justification for the requested reduction in the number of trees that should be placed on the site.
- 2) As far as relocating the pin oak tree shown at the driveway exit goes, we have directed our Landscape Architect to make the requested change, with said change shown on the attached revised Landscape Plan.
- 3) Regarding the comment that Final Approval was not granted because the architectural rendering of the proposed building "was not up to the required village standard": During the original land development approval process, the then Planning Commission asked to see some possible renderings showing what the final building on the site could look like, so QBD had several renderings made to show "possibilities". However, all recognized at that time that these were merely "pie-in-the-sky" possibilities, and that in the real world, this is an issue that is to be resolved at the time application is made for a building permit (and will be "negotiated" by, and between, the Township and the Building Permit Applicant at that time (whoever that might be)). This is not an issue to be

considered, or resolved, at the Land Development Plan Approval Process. Hence, QBD would still like the current plan submission review, and approval process, to be considered to be for a combined Preliminary/Final plan approval.

4) Lastly, and for the same reasons noted in item 3 above, the Planning Commission's request for QBD to review any proposed changes to the current village guidelines that may be included in the new comprehensive plan currently being developed for the township, is really inappropriate, and has nothing to do with the granting of Township Approval of our Proposed Land Development Plans.

Based upon the above, I would appreciate it if the Planning Commission would reconsider our request for their granting of Preliminary/Final Approval of the Land Development Plans submitted to them at their 9/14/23 meeting as currently revised, i.e. recommend approval of the attached revised Landscape Plan as herewith submitted.

Thanking you for your consideration of the above requests.

QBD Ventures



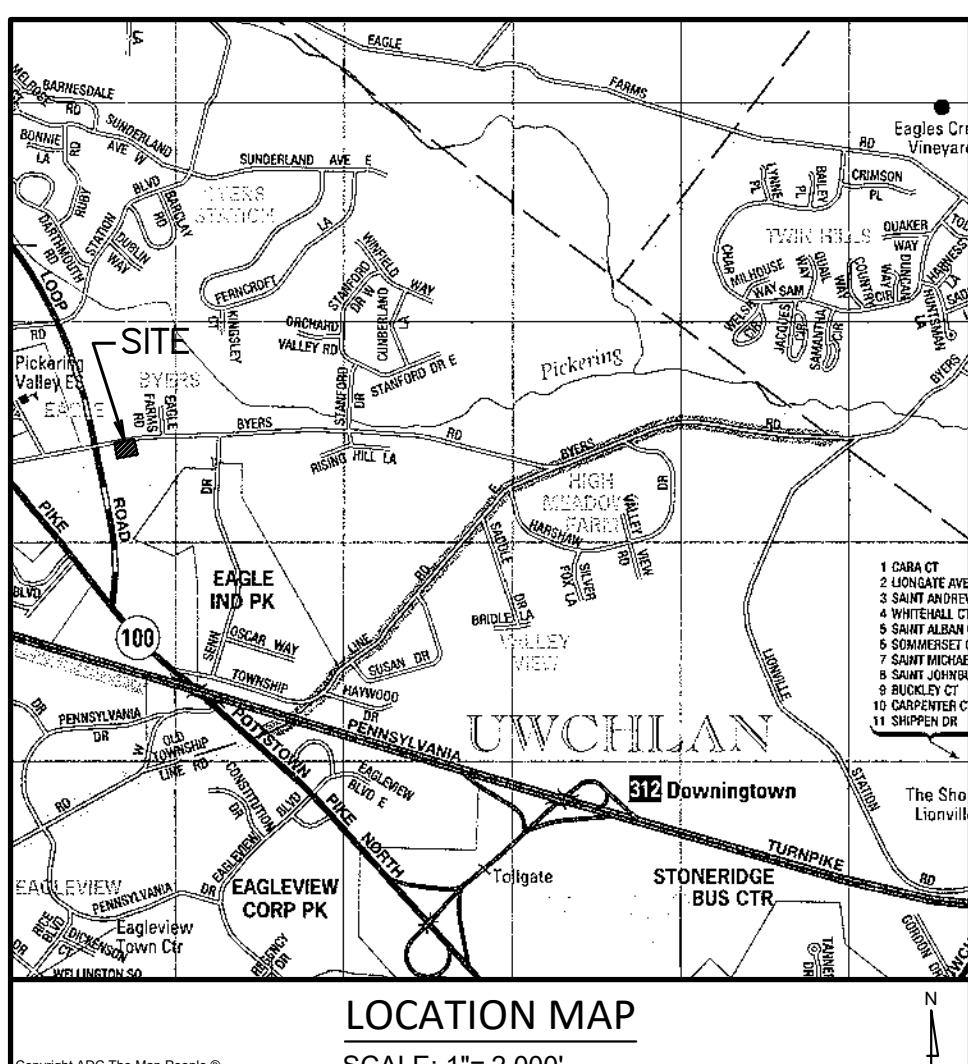
Peter J. Rodgers, General Partner





**DLHowell**  
Civil Engineering  
Land Planning  
Environmental  
www.DLHowell.com

1250 Wrights Lane  
West Chester, PA 19380  
Phone: (610) 918-9002  
Fax: (610) 918-9003



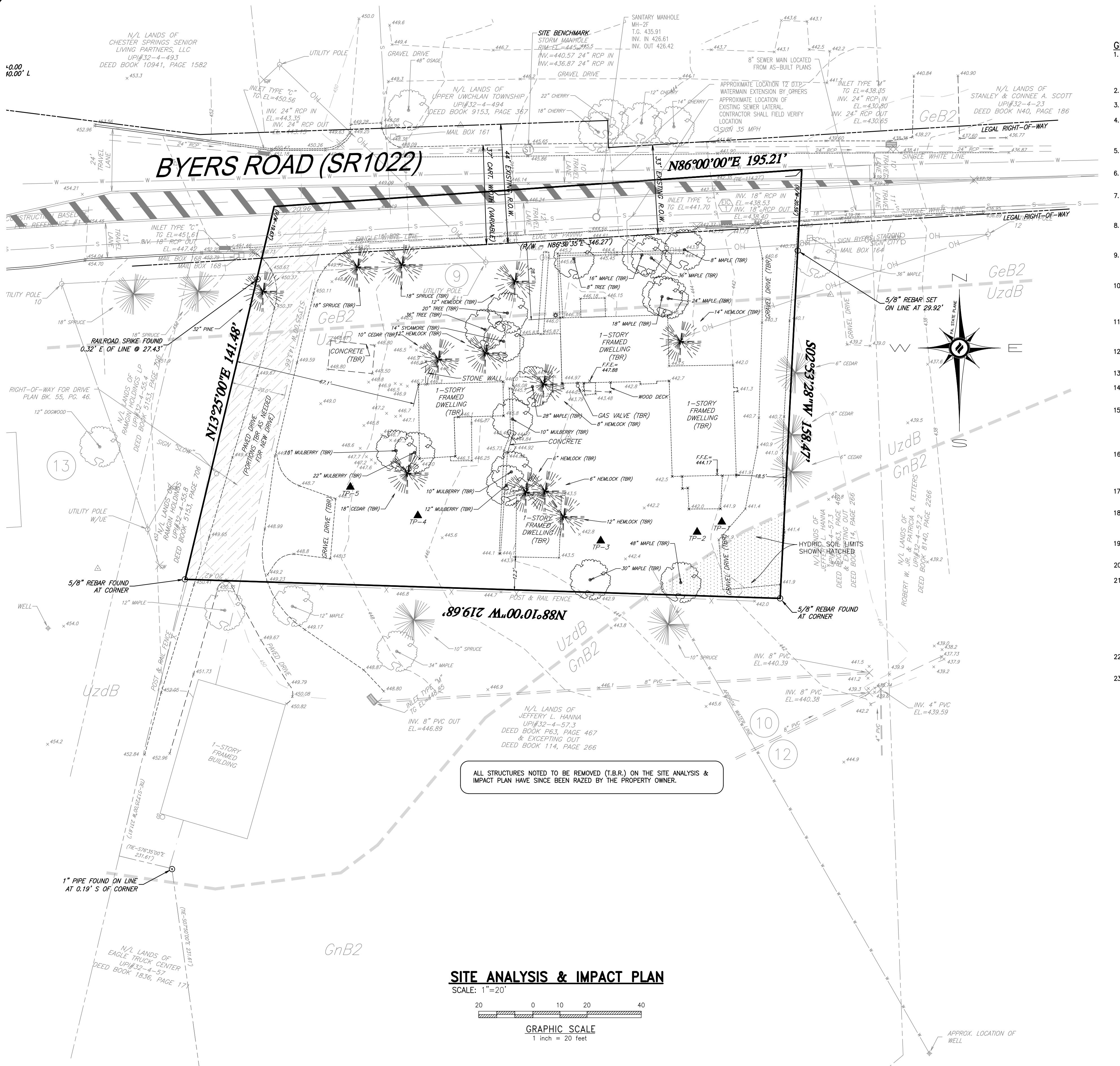
LOCATION MAP

SCALE: 1"=2,000'

TITLE REPORT NOTES

This survey was performed utilizing a Commitment for Title Insurance prepared by Land America Lawyers, Case Number 210173, Policy Number C70-0000817, effective date September 22, 2008. Name of the insured is QBD Ventures, a PA General Partnership, and the land referred to in this policy is described as 164 Byers Road, Uwchilan, PA 19480. Schedule B-Section 2 of said commitment contains the following survey related matters (item numbers correspond to the Title Commitment numbers):

- 8) Rights of the public and other entitled thereto in and to the use of that portion of the premises within the bounds of Byers Road (L.R. 15142). (Right-of-way of SR 1022 plotted herein.)
- 9) Rights granted to Philadelphia Electric Company in Miscellaneous Deed Book 86, Page 509, and Miscellaneous Deed Book 173, Page 663. (Documents describes the right to install electric utility immediately outside the legal Right-of-Way limits of Byers Road. Observable evidence of electric lines and utility poles located along Byers Road are shown herein.)
- 10) Water rights as set forth in Miscellaneous Deed Book 643, Page 583. (Document describes the right to access and use a well located across UPH 32-4-57-3. Approximate location scaled from reference plan #3 show herein, no observable evidence of well or water line at time of survey.)
- 11) Rights granted to Manufacturers Light and Heat Co., in Miscellaneous Deed Book 117, Page 88. (No observable evidence of pipeline at time of survey.)
- 12) Agreement recorded in Miscellaneous Deed Book 643, Page 214. (Document describes the right to access and use a well located across UPH 32-4-57-3. Approximate location scaled from reference plan #3 show herein, no observable evidence of well or water line at time of survey.)
- 13) Reservations as set forth in Instrument recorded in Deed Book E-43, Page 50. (Documents describes a 20' wide access easement for UPH 32-4-57-3 and UPH 32-4-57, plotted herein.)



**SITE ANALYSIS & IMPACT PLAN**

SCALE: 1"=20'

20 0 20 40  
GRAPHIC SCALE  
1 inch = 20 feet

**LEGEND**

EX. PROPERTY LINE	— 242 — EXISTING CONTOUR	— 242 — PROPOSED CONTOUR	— 242 — EXISTING SPOT ELEV.	— 242 — NEW SPOT ELEV.	— 242 — GEB2	— 242 — SOILS TYPE	— 242 — EX. MONUMENT	— 242 — PROP. PROPERTY LINE	— 242 — PROP. RIGHT-OF-WAY	— 242 — PROP. MONUMENT	— 242 — PROP. IRON PIPE	— 242 — PROP. CONC. CURB	— 242 — PROP. CONC. CURB	— 242 — PROP. EASEMENT	— 242 — PROP. EASEMENT	— 242 — EX. WETLANDS
— 242 — EX. PROPERTY LINE	— 242 — EXISTING CONTOUR	— 242 — PROPOSED CONTOUR	— 242 — EXISTING SPOT ELEV.	— 242 — NEW SPOT ELEV.	— 242 — GEB2	— 242 — SOILS TYPE	— 242 — EX. MONUMENT	— 242 — PROP. PROPERTY LINE	— 242 — PROP. RIGHT-OF-WAY	— 242 — PROP. MONUMENT	— 242 — PROP. IRON PIPE	— 242 — PROP. CONC. CURB	— 242 — PROP. CONC. CURB	— 242 — PROP. EASEMENT	— 242 — PROP. EASEMENT	— 242 — EX. WETLANDS
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— 242 — EX. PROPERTY LINE

— 242 — EXISTING CONTOUR

— 242 — PRO



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**LEGEND**

- EX. PROPERTY LINE
- PROP. PROPERTY LINE
- EX. RIGHT-OF-WAY
- PROP. RIGHT-OF-WAY
- EX. MONUMENT
- PROP. MONUMENT
- EX. IRON PIPE
- PROP. IRON PIPE
- EX. EASEMENT
- PROP. EASEMENT
- EX. WETLANDS
- 242
- EXISTING CONTOUR
- PROPOSED CONTOUR
- X 123.00 EXISTING SPOT ELEV.
- X 123.00 NEW SPOT ELEV.
- GEB2 SOILS TYPE
- SOILS LINE
- EX. CONC. CURB
- PROP. CONC. CURB
- EX. EDGE OF PAVING
- PROP. EDGE OF PAVING
- EX. LIGHT POLE
- PROP. LIGHT POLE
- EX. FENCE
- EX. MAIL BOX
- EX. SIGN
- PROP. SIGN
- EXIST. PARKING SPACES
- PROP. PARKING SPACES
- (TBR) — TO BE REMOVED
- EX. TELE. LINE
- E PROP. ELEC. LINE
- EX. UTILITY POLE
- O PROP. UTILITY POLE
- GUY ANCHOR
- EX. GAS LINE
- C PROP. GAS LINE
- EX. GAS VALVE
- G.V.100 PROP. GAS VALVE
- G.V.200 PROP. GAS VALVE
- EX. STORM SEWER LINE
- PROP. STORM SEWER LINE
- EX. STORM INLET
- PROP. STORM INLET
- EX. SEEPAGE BED
- S PROP. SAN. SEWER LINE
- L PROP. SAN. SEWER LATERAL
- MH 1 PROP. SANITARY MH. ID
- W PROP. WATER LINE
- WL PROP. WATER LATERAL
- FW PROP. FIRE WATER LINE
- EX. WATER VALVE
- W.V.100 PROP. WATER VALVE
- W.V.200 PROP. WATER VALVE
- F.H.100 EX. HYDRANT
- F.H.200 PROP. HYDRANT
- O PROP. MANHOLE
- O PROP. MANHOLE

**GENERAL NOTES:**

1. PRIOR TO STARTING CONSTRUCTION, ALL UTILITY SERVICES IN THE AREA SHALL BE LOCATED AND MEASURES TAKEN TO PROTECT THE EXISTING FACILITIES. ANY DAMAGE TO EXISTING FACILITIES SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
2. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT ALL PERSONS, VEHICLES AND BUILDINGS WITHIN THE CONSTRUCTION AREAS FROM INJURY AND DAMAGE DURING THE COURSE OF WORK.
3. CONSTRUCTION SHALL BE LOCATED AND MEASURES TAKEN TO PROTECT THE EXISTING FACILITIES IN ACCORDANCE WITH PENNSYLVANIA ACT 38. ANY DAMAGE TO EXISTING FACILITIES RESULTING FROM THE NEGLIGENCE OF THE CONTRACTOR SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED AT THE CONTRACTOR'S EXPENSE.
4. LOCATION OF EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM FIELD SURVEY AND EXISTING RECORDS. COMPLETENESS AND ACCURACY OF EXISTING UTILITY INFORMATION IS NOT GUARANTEED. PRIOR TO THE START OF ANY CONSTRUCTION, THE CONTRACTOR SHALL ACCURATELY FIELD MEASURE LOCATION AND ELEVATION OF EXISTING UTILITIES AT POINTS OF CONNECTION AND POTENTIAL CONFLICT. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND ENGINEER OF ANY DEVIATION FROM INFORMATION SHOWN ON THESE PLANS.
5. ALL SITE IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE LOCAL, COUNTY, STATE AND FEDERAL STATUTES AND REGULATIONS.
6. ALL TRENCHING, SHORING AND EXCAVATING OPERATIONS SHALL BE PERFORMED IN COMPLIANCE WITH THE REQUIREMENTS OF THE U.S. DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA).
7. SCALED DIMENSIONS FROM THIS PLAN SHALL NOT BE USED FOR CONSTRUCTION WITHOUT CONFIRMATION FROM D.L. HOWELL & ASSOCIATES, INC.
8. IF ANY UNSUITABLE SOIL IS ENCOUNTERED DURING EXCAVATION, THE CONTRACTOR SHALL REMOVE IT AND REPLACE IT WITH COMPACTED STRUCTURAL MATERIAL.
9. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE LOCAL AUTHORITY OR GOVERNING AGENCY OF THE BEGINNING DATE OF CONSTRUCTION AND TO ENSURE THAT NO WORK IS PERFORMED WITHOUT THE REQUIRED PERMITS AND INSPECTIONS BY THE LOCAL AUTHORITY OR GOVERNING AGENCY.
10. IF CONDITIONS IN THE FIELD DIFFER FROM THOSE SHOWN ON THE PLAN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED TRAFFIC CONTROL, SHEETING, SHORING AND BARRICADING OF OPEN EXCAVATIONS.
12. ALL MATERIALS AND METHODS OF CONSTRUCTION FOR STORMWATER FACILITIES AND SEEDING AND MULCHING SHALL CONFORM TO PENNDOT FORM 408 SPECIFICATIONS, 1994.
13. ALL INLETS, MANHOLES AND ASSEMBLIES SHALL BE PRECAST CONCRETE.
14. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR AND HAVE COMPLETE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, SAFETY PRECAUTIONS, AND PROGRAMS IN CONNECTION WITH THE WORK AND FOR COORDINATION OF ALL PORTIONS OF THE WORK UNDER CONTRACT.
15. CONTRACTOR SHALL REVIEW VARIOUS PHASES OF WORK WITH THE OWNER TO DETERMINE WHETHER ANY PHASE WILL CONFLICT WITH THE OWNERS DAILY OPERATIONS. WHERE CONFLICT IS APPARENT THE CONTRACTOR SHALL COORDINATE WITH THE OWNER THE WORK TO BE PERFORMED SO AS TO BE THE LEAST DISRUPTIVE.
16. ALL INLETS SHALL BE CONSTRUCTED FLUSH WITH THE BINDER COURSE.
17. ALL CURBING, CONCRETE OR PAVING TO BE REMOVED SHALL BE CUT FIRST TO ENSURE A CLEAN SEPARATION FROM EXISTING MATERIAL.
18. ANY PAVING DAMAGED DURING CONSTRUCTION ACTIVITIES SHALL BE REMOVED TO SUBGRADE AND REPLACED WITH THE FULL PAVING SECTION.
19. WHERE ALL NEW BITUMINOUS PAVING MEETS EXISTING BITUMINOUS HOT BITUMINOUS SEALANT SHALL BE Poured ALONG THE SAW CUT JOINT.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER REMOVAL, REPLACEMENT, AND MAINTENANCE OF ALL EXISTING LANDSCAPING DURING CONSTRUCTION. THIS INCLUDES PROPERLY STORING MATERIAL TO BE REUSED, PRUNING WHERE REQUIRED AND PROTECTING EXISTING ROOT STRUCTURES OF TREES WHERE CONSTRUCTION OCCURS WITHIN THE DRIP LINE.
21. IF GROUNDWATER OR BEDROCK IS ENCOUNTERED DURING THE INSTALLATION OF THE ON-LOT PIPE STORAGE FACILITY STOP WORK AND CONTACT THE TOWNSHIP AND DESIGN ENGINEER FOR AN ALTERNATE LOCATION OR NEW DESIGN.
22. IN ANY AREA SUBJECT TO VEHICULAR ACTIVITY DURING CONSTRUCTION, A 3 FOOT MINIMUM COVER SHALL BE MAINTAINED FOR ALL UNDERGROUND UTILITIES EXCEPT STORM SEWERS.

**STORM SEWER NOTES:**

1. ALL STORM SEWERS SHALL BE CONSTRUCTED PER PENNSYLVANIA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AS OUTLINED IN PUBLICATION 408 DESIGN MANUAL, PART 2, HIGHWAY DESIGN AND STANDARDS FOR ROADWAY CONSTRUCTION, RC-SERIES UNLESS OTHERWISE dictated BY TOWNSHIP ORDINANCE.
2. INLETS, MANHOLES, COVERS AND FRAMES SHALL CONFORM TO PENNSYLVANIA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.
3. DURING CONSTRUCTION ALL STORMWATER CONVEYANCE PIPING SHALL MAINTAIN A MINIMUM OF 12 INCHES OF COVER AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS.

**CALL BEFORE YOU DIG!**  
Pennsylvania Law requires  
3 working days notice for  
construction phase and 10 working  
days in design stage-stop call

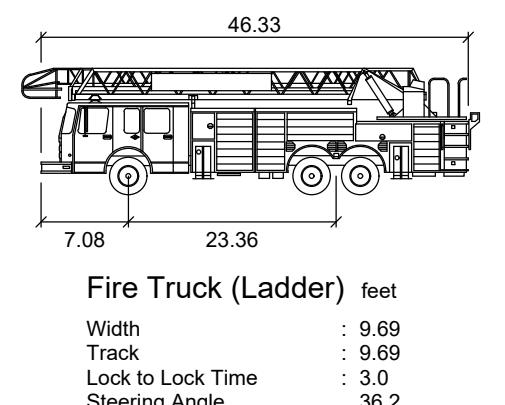
Pennsylvania One Call System, Inc  
1-800-242-1776

**ONE CALL NOTE**  
NO SCALE

ACT 287 SERIAL NUMBER: 20092502101  
D. L. Howell & Associates, Inc. does not guarantee the  
accuracy of the locations for existing subsurface utility  
lines, structures, etc. shown on the plans, nor does D. L.  
Howell & Assoc., Inc. guarantee that all subsurface utility  
lines, structures, etc. are shown.

Contractor shall verify the location and elevations of all  
subsurface utility lines, structures, etc. before the start  
of work, by calling the Pennsylvania One Call System  
at 1-800-242-1776.

**UTILITIES NOTIFIED**  
BUCKEYE PIPELINE COMPANY  
COMCAST CABLE COMMUNICATIONS, INC.  
PECO ENERGY  
VERIZON PENNSYLVANIA, INC.  
UPPER UWCHLAN TOWNSHIP  
UPPER UWCHLAN MUNICIPAL AUTHORITY



Fire Truck (Ladder) feet  
Width : 9.69  
Track : 9.69  
Lock to Lock Time : 3.0  
Steering Angle : 36.2

**HANDICAPPED ACCESS DETAIL**

SCALE: 1"-20'  
GRAPHIC SCALE  
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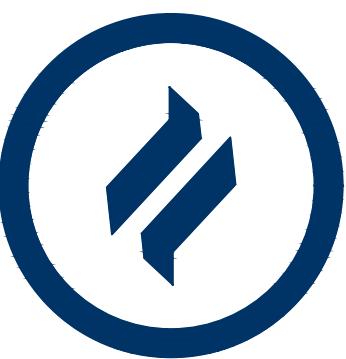
GRAPHIC SCALE  
1 inch = 20 feet

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GRAPHIC SCALE  
1 inch = 20 feet

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GRAPHIC SCALE  
1 inch = 20 feet



# DLHowell

Civil Engineering  
Land Planning  
Environmental  
[www.DLHowell.com](http://www.DLHowell.com)

1250 Wrights Lane  
West Chester, PA 19380  
Phone: (610) 918-9002  
Fax: (610) 918-9003



# SIDEWALK ADA PLAN

**SCALE: 1" = 2'**

# PRELIMINARY/FINAL SIDEWALK ADA PLAN

DATE:	12/21/20
SCALE:	1"=2'
DRAWN BY:	AM
CHECKED BY:	DWG
PROJECT NO.:	2146
CAD FILE:	03 IMPROVEMENT CONSTRUCTION PLAN.dwg
PLOTTED:	09/28/23
DRAWING NO.:	C03.02
SHEET	04 OF 13

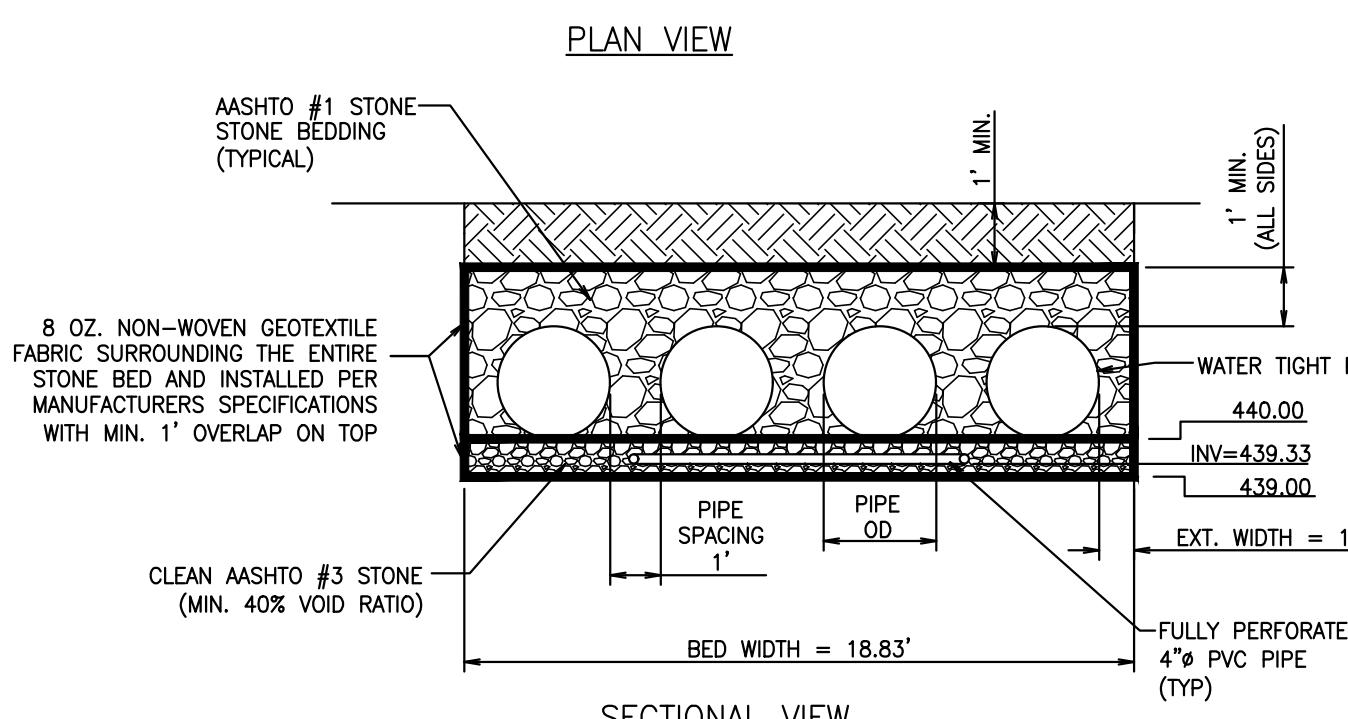
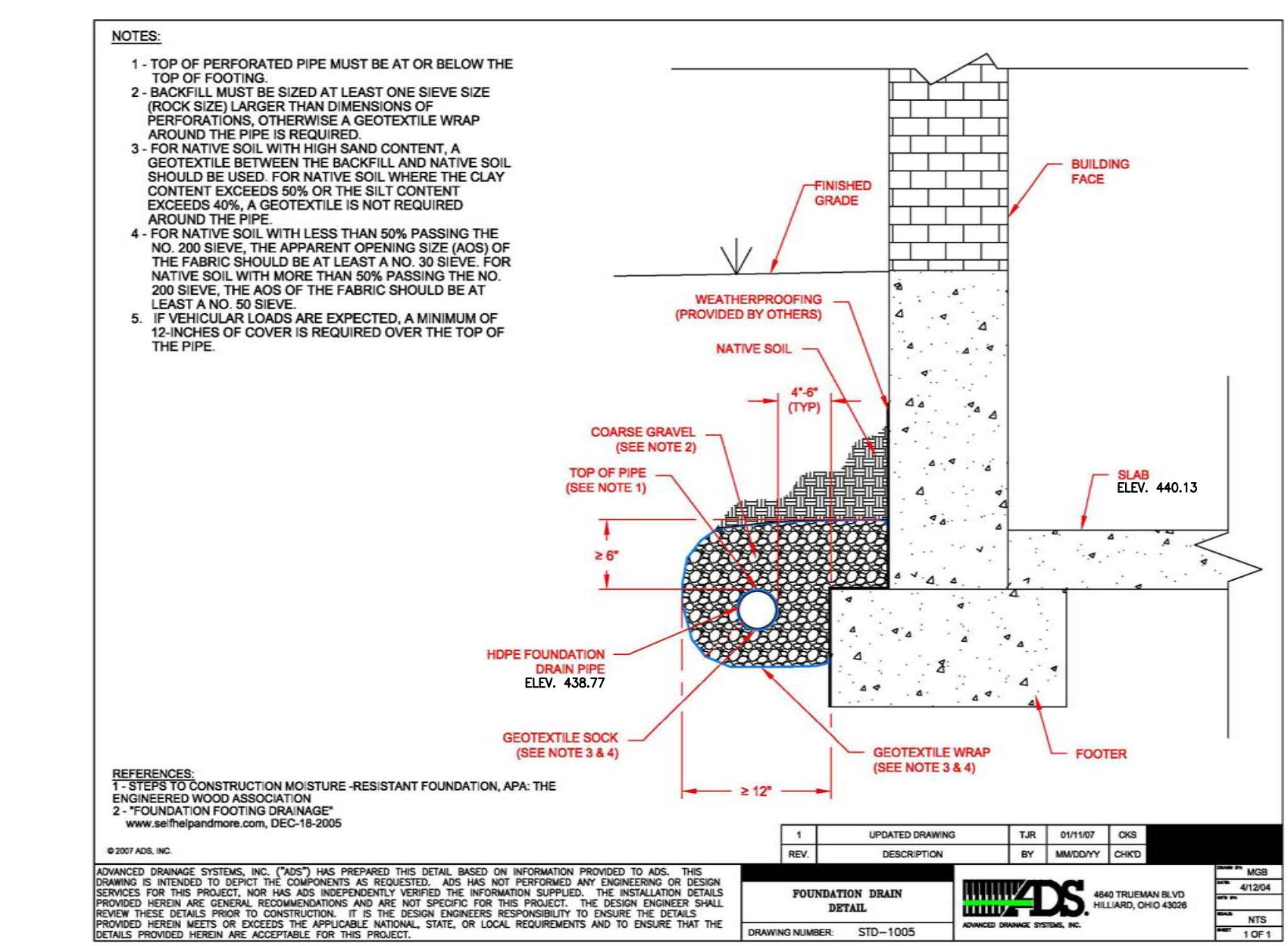
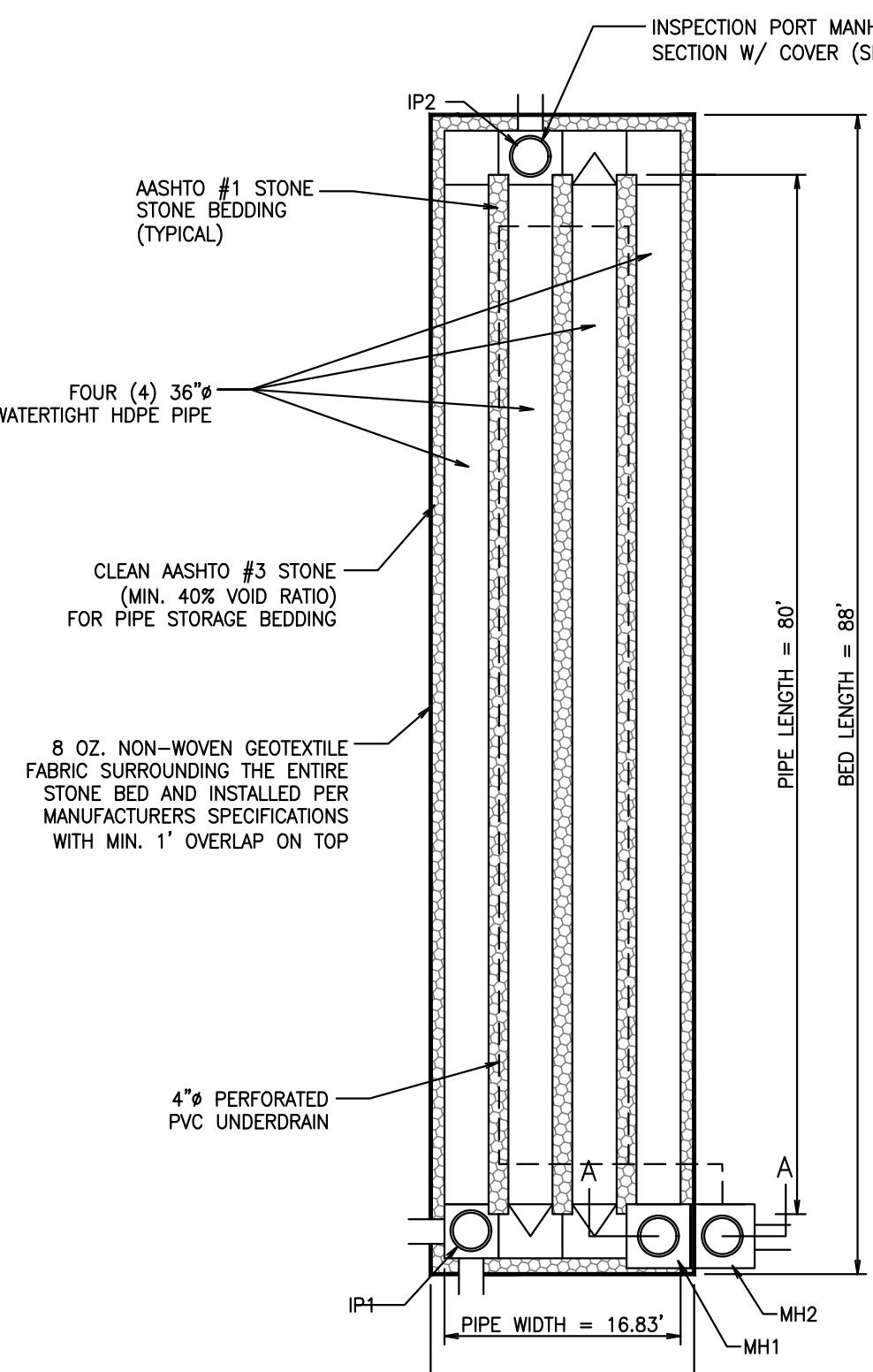






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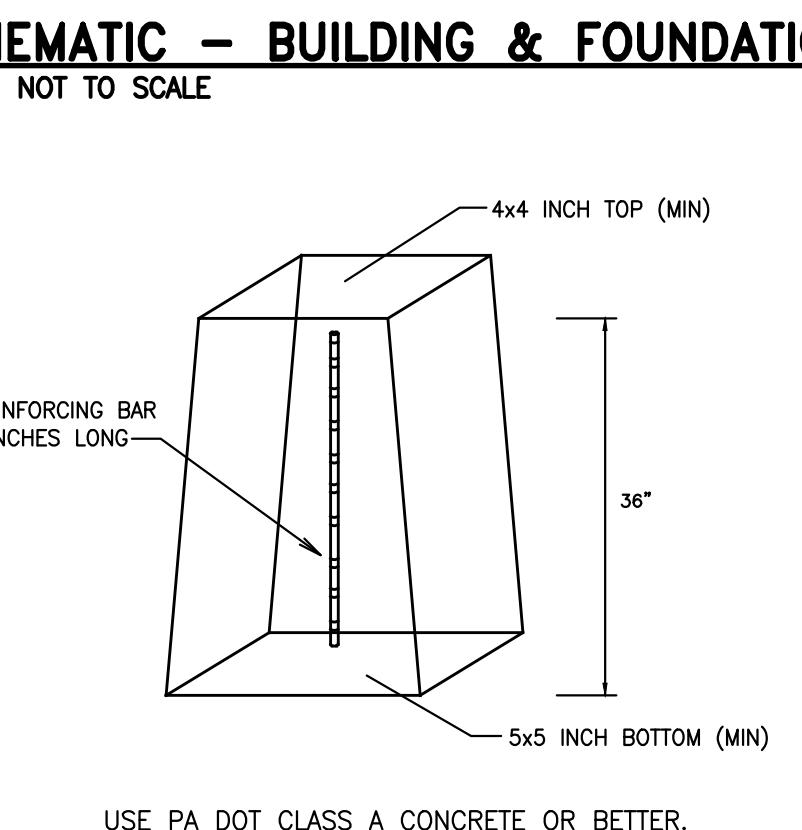
1250 Wrights Lane  
West Chester, PA 19380  
Phone: (610) 918-9002  
Fax: (610) 918-9003



### PROPOSED PIPE STORAGE DETAIL

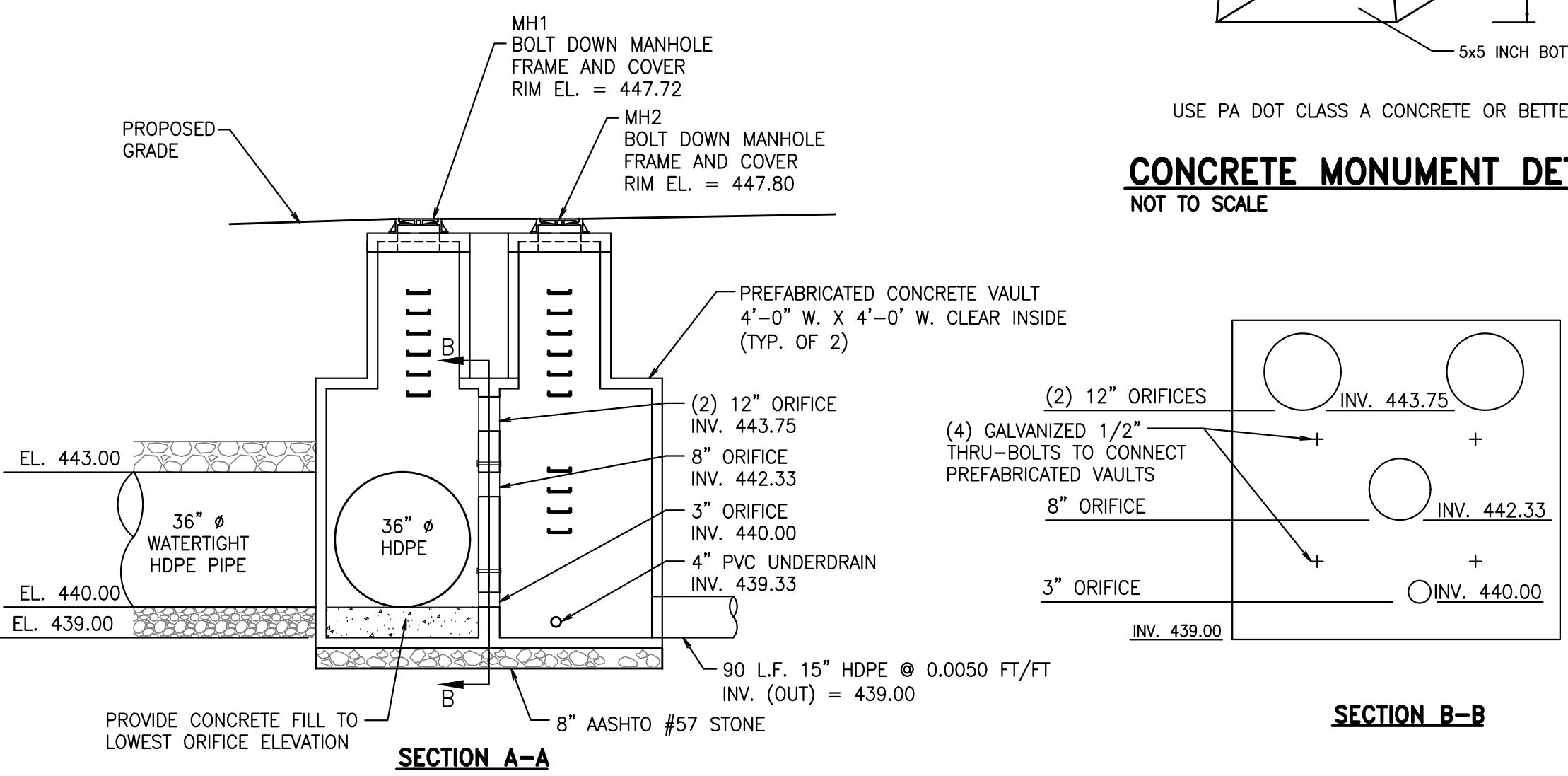
SCALE: NOT TO SCALE

NOTES:  
1. PIPE BEDDING MATERIAL SHALL BE PER MANUFACTURER'S SPECIFICATION.  
2. HAUNCH MATERIAL SHALL BE PER MANUFACTURER'S SPECIFICATION.  
3. GEOTEXTILE FABRIC SHALL CONFORM TO PENNDOT 408 SPECIFICATIONS - SECTION 212 GEOTEXTILES OR LATEST ADDENDA.



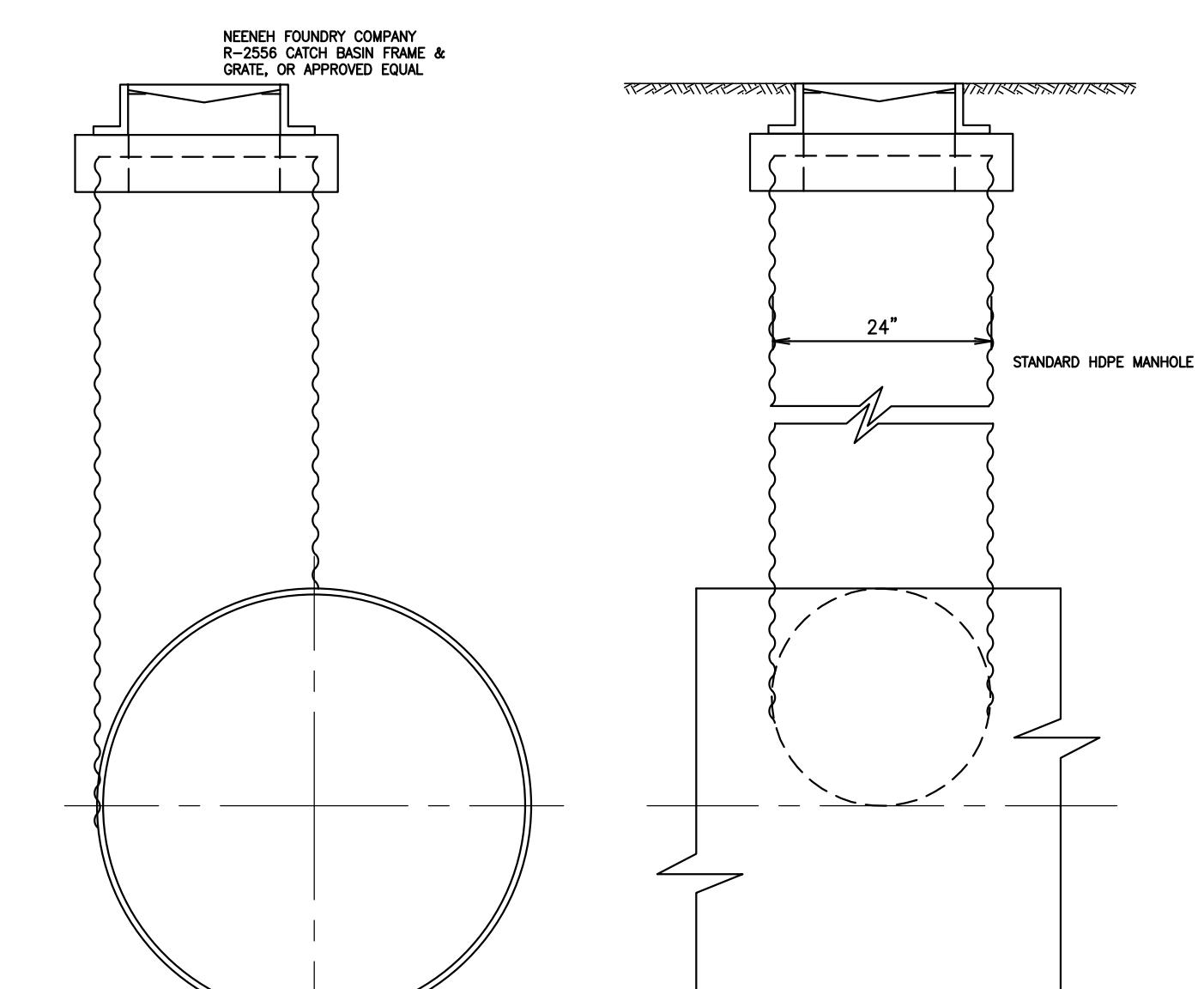
### CONCRETE MONUMENT DETAIL

NOT TO SCALE



### OUTLET STRUCTURE & PIPE STORAGE DETAIL

SCALE: NOT TO SCALE

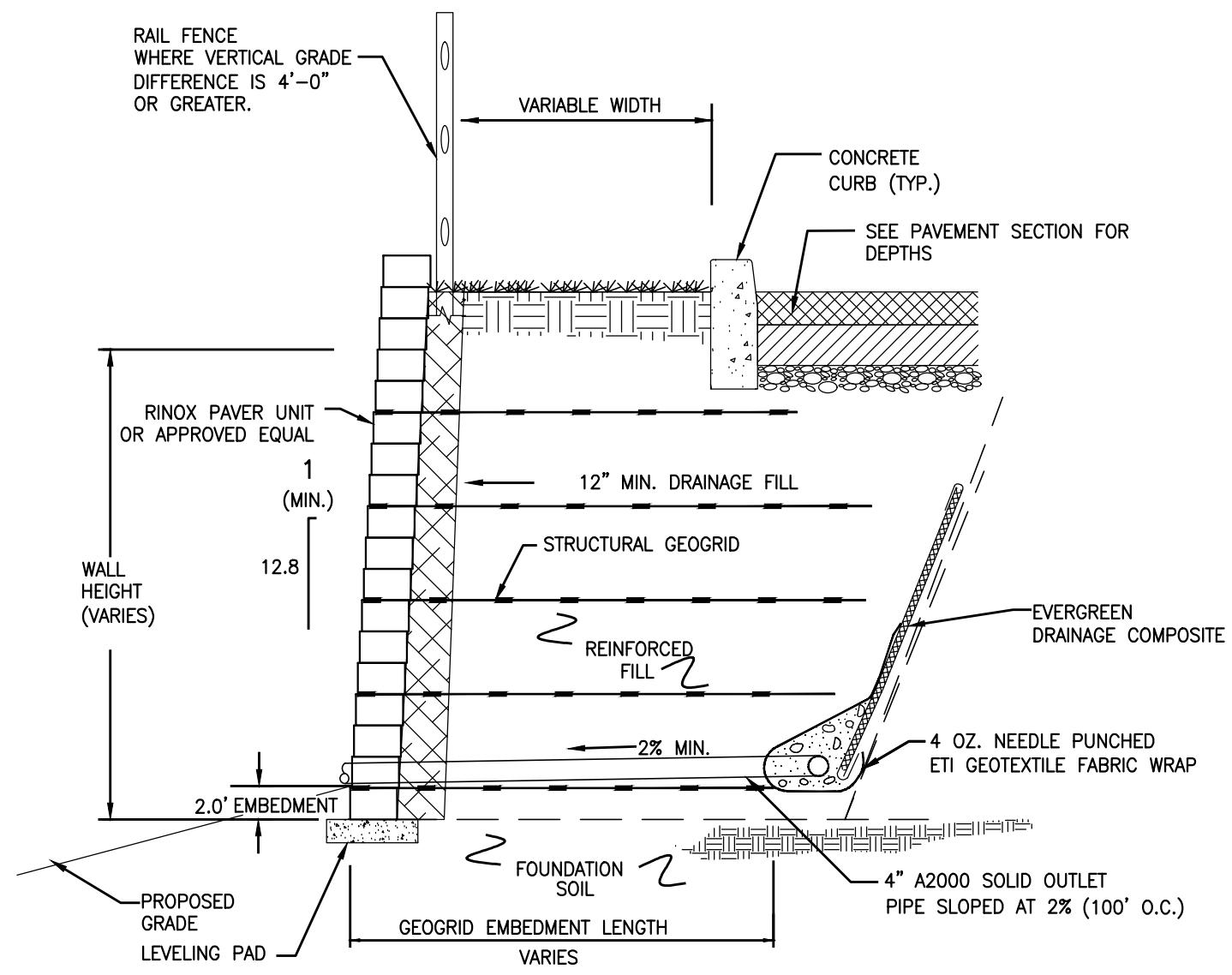


### INSPECTION PORT FOR PIPE STORAGE STRUCTURES (TYP.)

SCALE: NOT TO SCALE

#### OPERATION AND MAINTENANCE:

1. INDIVIDUAL LATERAL LOCATIONS MAY BE REVISED IN THE FIELD TO SAVE INDIVIDUAL TREES.
2. ANY FILL TO OCCUR DOWNHILL OF THE SEEPAGE BEDS SHALL BE COMPACTED TO A 95% MAX. DENSITY.
3. INFLOW AND OUTFLOW POINTS OF THE STORMWATER SYSTEM SHOULD BE KEPT CLEAR OF LEAVES AND OTHER DEBRIS. ANY LEAVES OR DEBRIS WILL NEGATIVELY IMPACT THE PERFORMANCE OF THESE SYSTEMS. ALL DOWNSPOUTS AND OVERFLOW PIPES SHOULD BE KEPT IN GOOD WORKING ORDER.

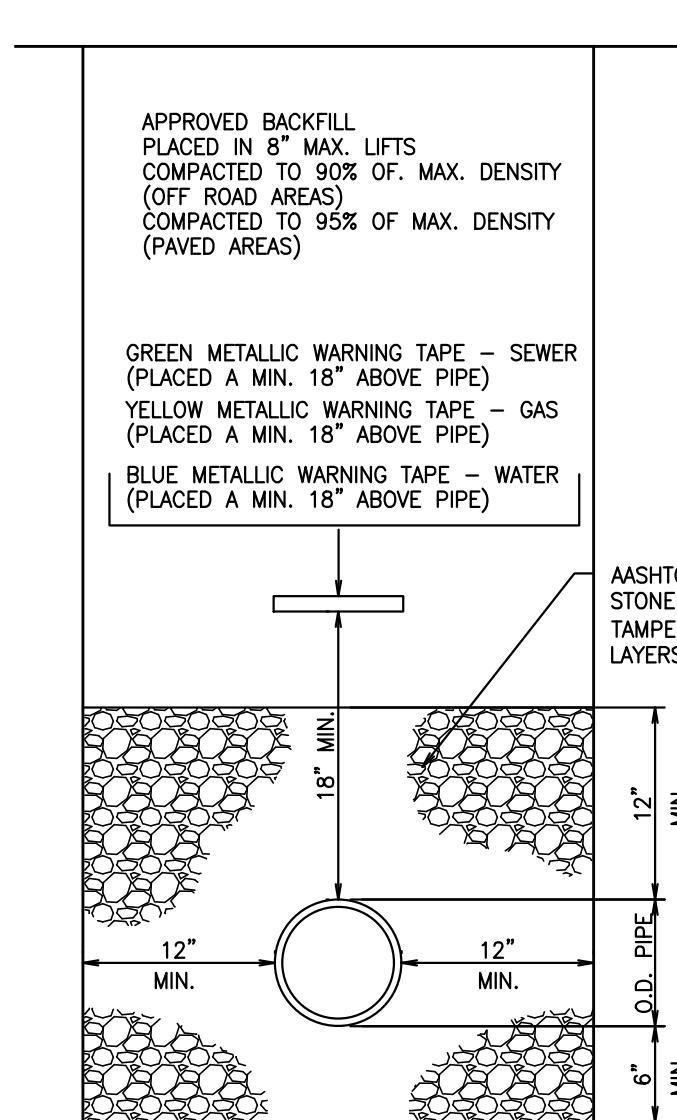


THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR THE CONCRETE BLOCK RETAINING WALL TO THE TOWNSHIP FOR APPROVAL PRIOR TO WALL INSTALLATION.

### (ACTUAL WALL DESIGN BY OTHERS)

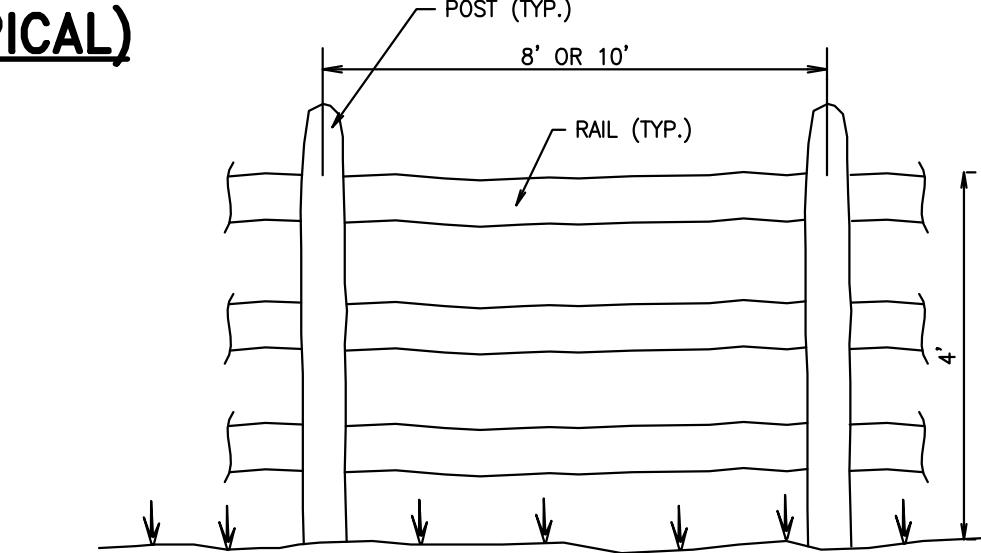
### RETAINING WALL DETAIL (TYPICAL)

NO SCALE



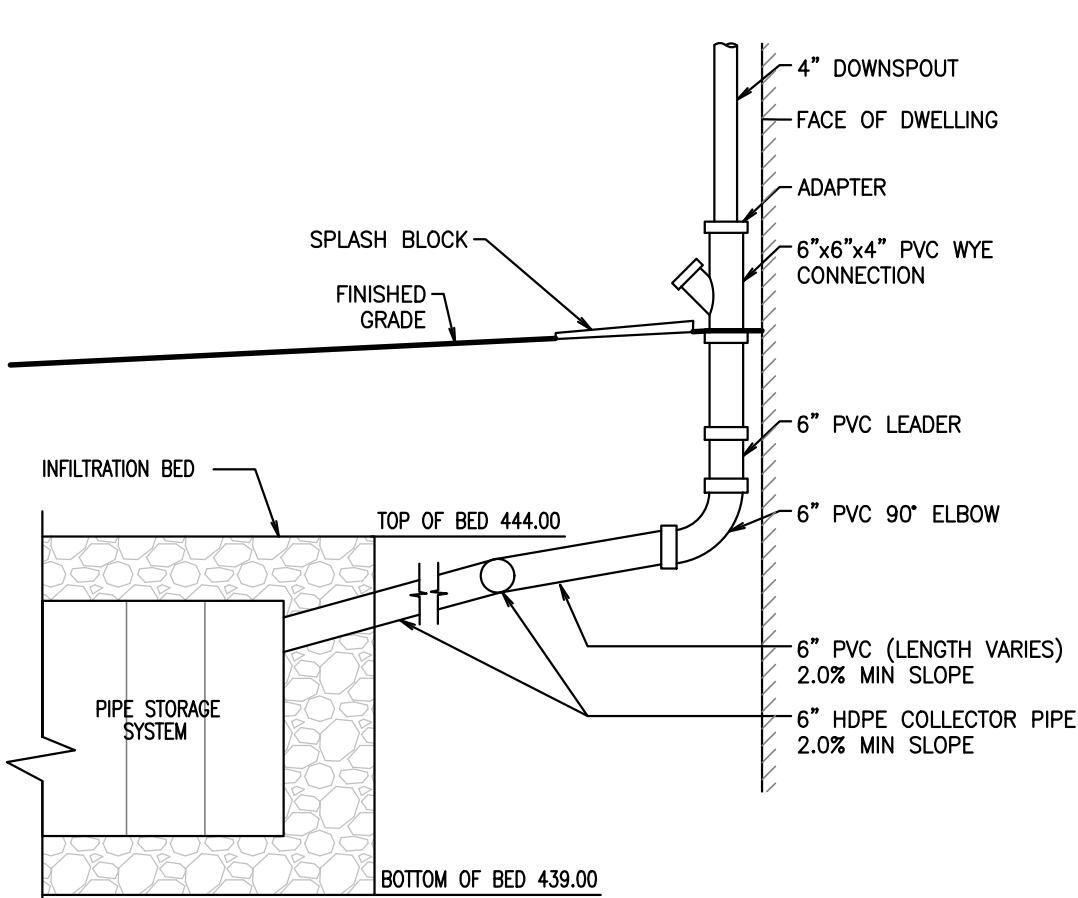
### TYPICAL UTILITY TRENCH DETAIL

SCALE: NOT TO SCALE



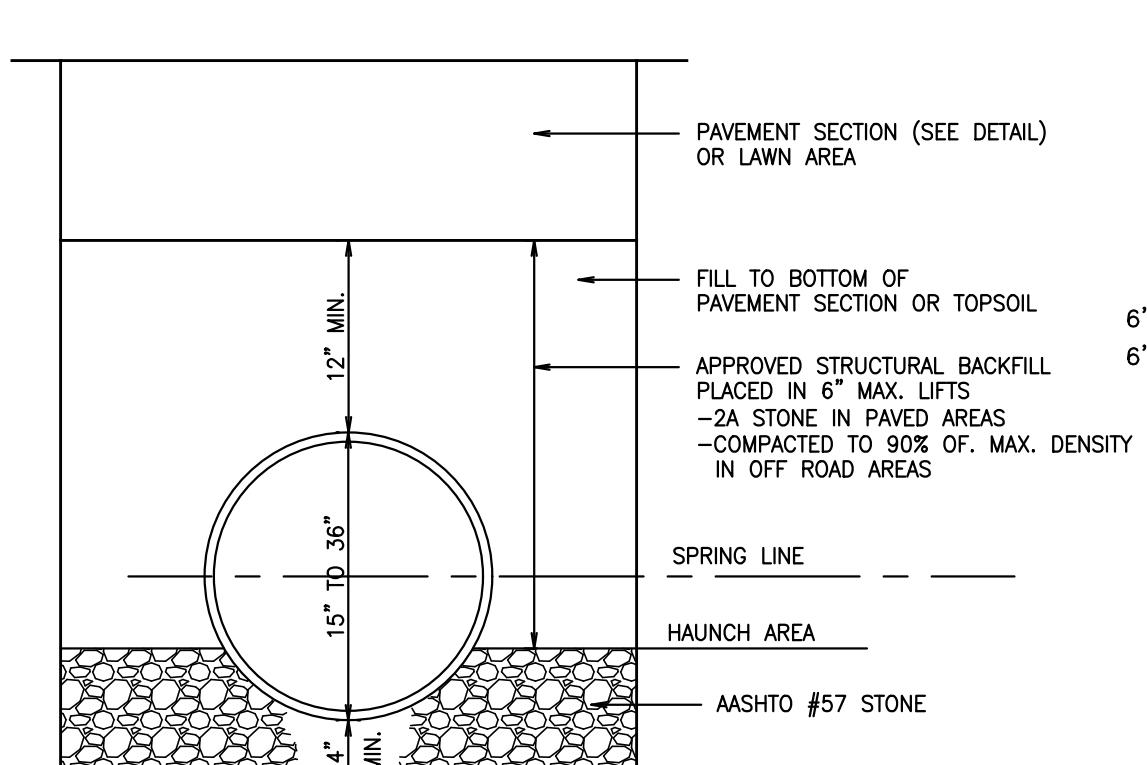
### POST & RAIL FENCE

SCALE: NOT TO SCALE



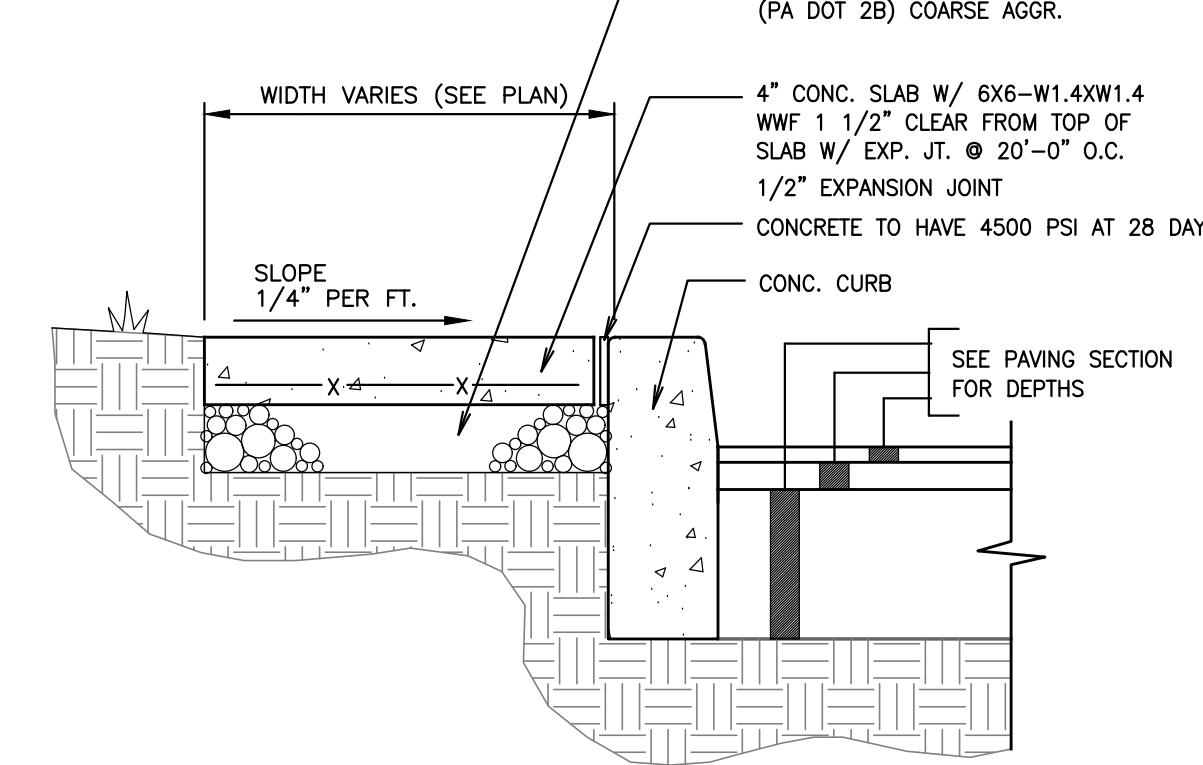
### DOWNSPOUT CONNECTION DETAIL

NO SCALE



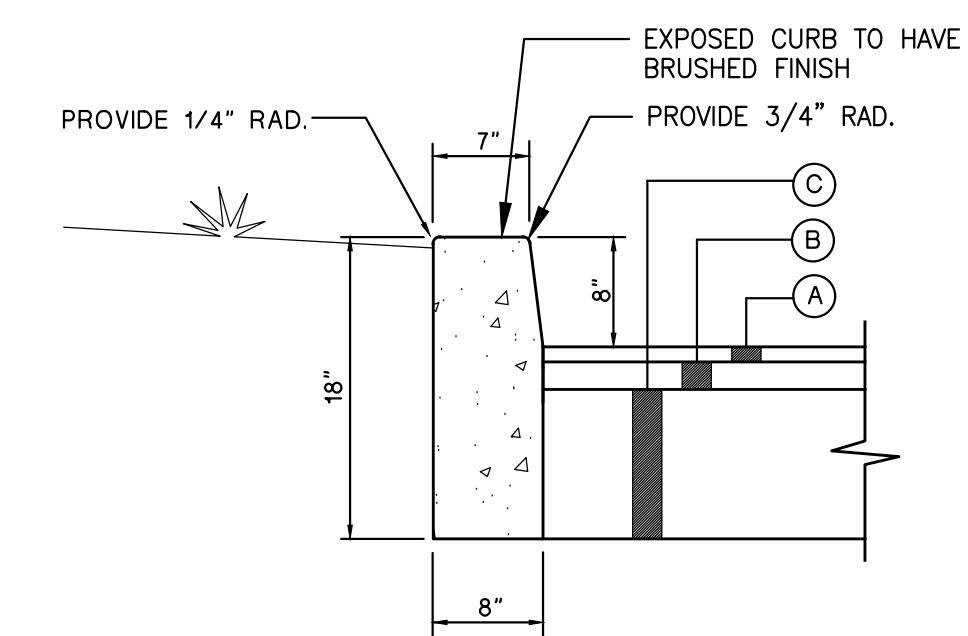
### HDPE STORM PIPE TRENCH DETAIL

SCALE: NOT TO SCALE



### TYPICAL SIDEWALK DETAIL

SCALE: NOT TO SCALE



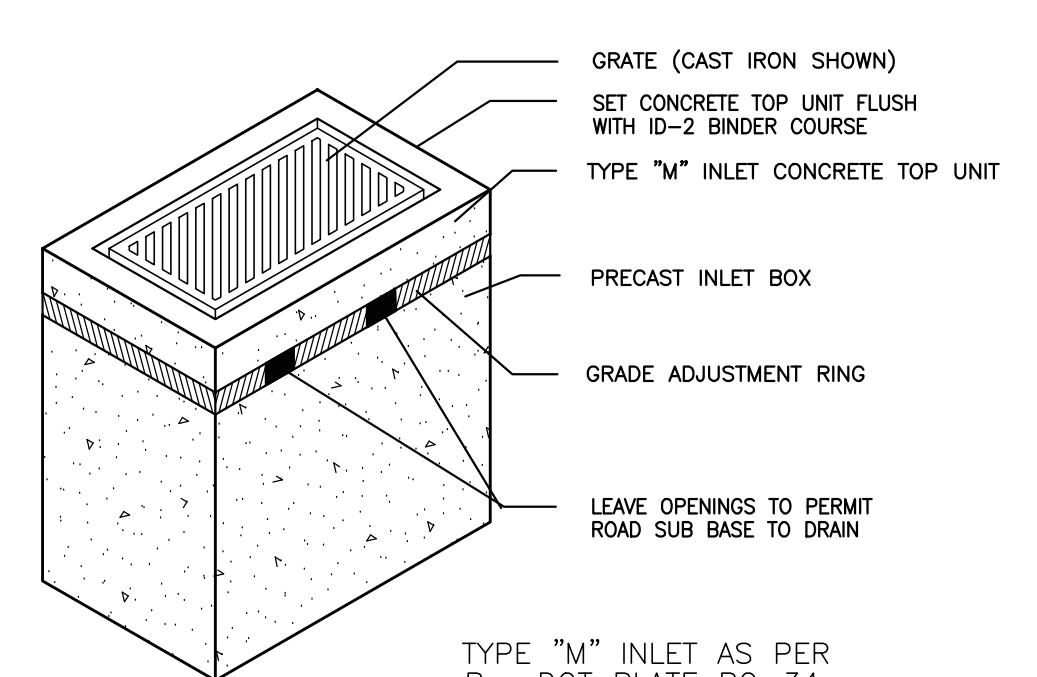
### TYPICAL PAVING SECTION

- A. 1-1/2" ID-2 WEARING COURSE
- B. 2 1/2" ID-2 BINDER COURSE
- C. 6" 3A MODIFIED STONE

NOTES:  
1. ALL MATERIALS & WORK TO CONFORM TO PennDot FORM 408 SPECIFICATIONS. LATEST EDITION.  
2. CONCRETE TO HAVE 3750 P.S.I. AT 28 DAYS.

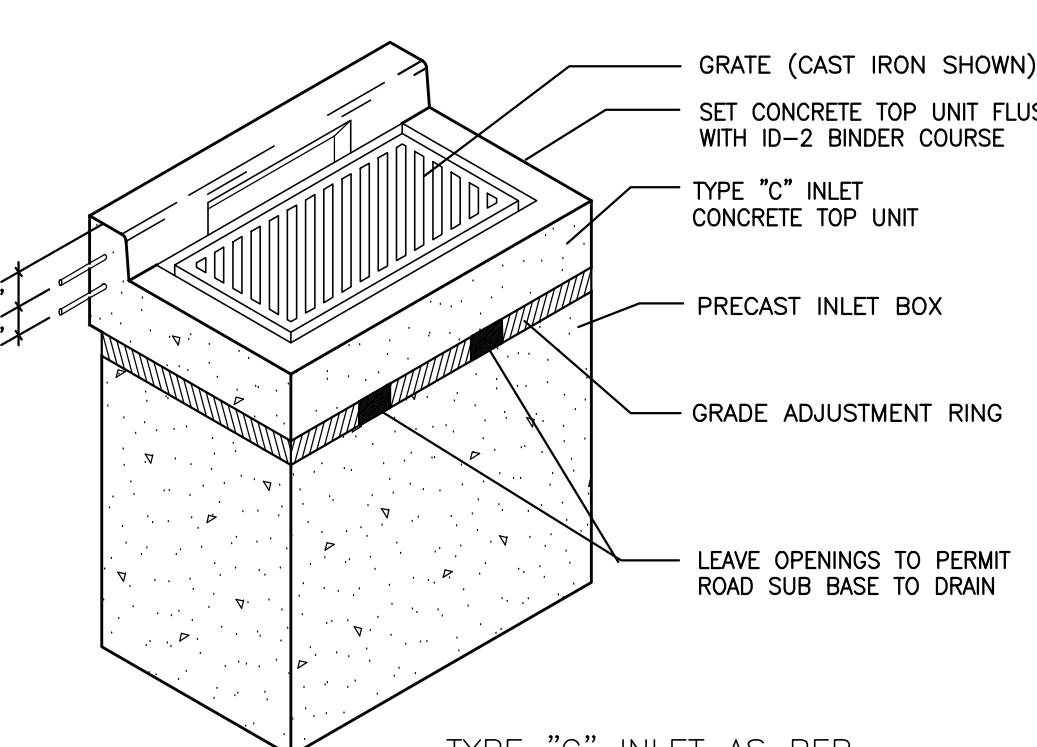
### 8" CURBING & PAVING SECTION

SCALE: NOT TO SCALE



### TYPE 'M' INLET

SCALE: NOT TO SCALE



### TYPE 'C' INLET

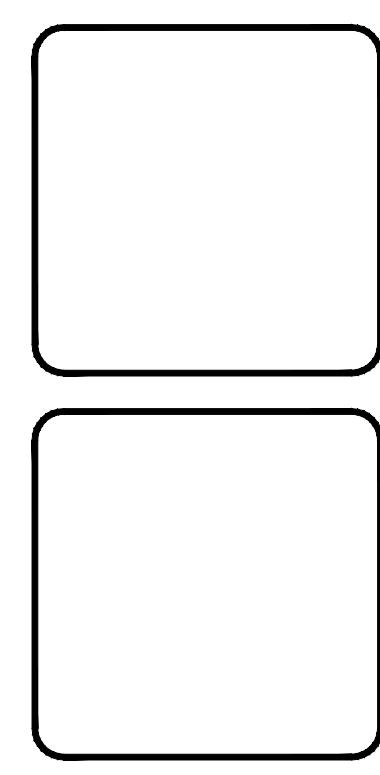
SCALE: NOT TO SCALE

DATE	12/21/20	REvised PER TOWNSHIP REVIEW LETTERS
SCALE	AS SHOWN	REvised PER TOWNSHIP REVIEW LETTERS
DRAWN BY	AM	REvised PER TOWNSHIP REVIEW LETTERS
CHECKED BY	DWG	REvised PER TOWNSHIP REVIEW LETTERS
PROJECT NO.	2146	REvised PER TOWNSHIP REVIEW LETTERS
CAD FILE	06 DETAIL SHEET.dwg	REvised PER TOWNSHIP REVIEW LETTERS
PLOTTED	09/28/23	REvised PER TOWNSHIP REVIEW LETTERS
DRAWING NO.	C06.01	REvised PER TOWNSHIP REVIEW LETTERS
REF.		REvised PER TOWNSHIP REVIEW LETTERS

PRELIMINARY/FINAL DETAIL SHEET	
CLIENT:	QBD VENTURES
PROJECT:	164 BYERS ROAD PROPERTY
LOCATION:	UPPER UHCLAN TOWNSHIP, CHESTER COUNTY, PA
REF.	

DATE	12/21/20	REvised PER TOWNSHIP REVIEW LETTERS
SCALE	AS SHOWN	REvised PER TOWNSHIP REVIEW LETTERS
DRAWN BY	AM	REvised PER TOWNSHIP REVIEW LETTERS
CHECKED BY	DWG	REvised PER TOWNSHIP REVIEW LETTERS
PROJECT NO.	2146	REvised PER TOWNSHIP REVIEW LETTERS
CAD FILE	06 DETAIL SHEET.dwg	REvised PER TOWNSHIP REVIEW LETTERS
PLOTTED	09/28/23	REvised PER TOWNSHIP REVIEW LETTERS
DRAWING NO.	C06.01	REvised PER TOWNSHIP REVIEW LETTERS
REF.		REvised PER TOWNSHIP REVIEW LETTERS





PRELIMINARY/FINAL	PCSM & O&M PLAN
7	4
6	3
5	2
4	1
3	09/26/23 REVISED PER TOWNSHIP REVIEW LETTERS
2	08/04/23 REVISED PER TOWNSHIP REVIEW LETTERS
1	06/01/23 REVISED PER TOWNSHIP REVIEW LETTERS
REVIS.	DATE

CLIENT: QBD VENTURES	PROJECT: 164 BYERS ROAD PROPERTY	LOCATION: UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PA

DATE: 12/21/20	SCALE: 1"=20'
DRAWN BY: AM	
CHECKED BY: DWG	
PROJECT NO: 2146	
CAD FILE: 03_PCSM_Plan.dwg	
PLotted: 09/28/23	
DRAWING NO: C07.01	
Sheet: 09 OF 13	

#### BMP GENERAL NOTE

UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENTATION BMP'S MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENTATION BMP'S AFTER EACH RUNOFF EVENT AND ON A QUARTERLY BASIS. ALL SITE INSPECTIONS MUST DOCUMENT THE INSPECTION LOG. KEPT FOR THIS PURPOSE, THE COMPLIANCE ACTIONS AND THE DATE, TIME AND NAME OF THE PERSON CONDUCTING THE INSPECTION, THE INSPECTION LOCATION, THE ACTIVITIES CONDUCTED, THE DATE AND TIME OF THE INSPECTION, THE PERSON REQUIRED TO PREVENTATIVE MAINTENANCE, THE DISTRICT ENGINEER, THE PERMITTING AUTHORITY, THE PERMIT NUMBER, THE PERMIT TYPE, INCLUDING "CLEAN OUT", REPAIR, REPLACEMENT, REGRADED, REMULCHING, RESEEDING, AND RENETTING MUST BE PERFORMED IMMEDIATELY. IF EROSION AND SEDIMENTATION BMP'S FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMP'S OR REPAIRS TO THE BMP'S MUST BE MADE AS SOON AS POSSIBLE. IF THE ACTIVITIES FAIL TO AVOID EROSION OR SEDIMENTATION POLLUTION, THE PERMITTEE OR CO-PERMITTEE SHALL INCLUDE THE FOLLOWING INFORMATION:

THE LOCATION AND SEVERITY OF THE BMP'S FAILURE AND ANY POLLUTION EVENTS.

ALL STEPS TAKEN TO REDUCE, ELIMINATE AND PREVENT THE RECURRENT OF THE NON-COMPLIANCE.

THE TIME FRAME TO CORRECT THE NON-COMPLIANCE, INCLUDING THE ACTIVITIES WHEN THE ACTIVITY WILL RETURN TO COMPLIANCE.

#### GENERAL PCSM NOTES:

- AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUPPORTING PERENNIAL VEGETATION. OTHER STABILIZATION MEASURES AFTER EARTH DISTURBANCE ACTIVITIES CEASE, THE OPERATOR SHALL STABILIZE ANY AREA DISTURBED BY THE ACTIVITIES. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE SPECIFIED RATES. DISTURBED AREAS WHICH DO NOT HAVE A PERENNIAL VEGETATIVE COVER SHALL BE RE-STABILIZED WITHIN 1 YEAR. MULCH MUST BE APPLIED IN ACCORDANCE WITH THE TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS. DISTURBED AREAS WHICH ARE AT FINISHED GRADE OR WHICH WILL NOT BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.
- IF THE CONTRACTOR ENCOUNTERS HIGH WATER TABLE, SHALLOW BEDROCK, SINKHOLES OR SOIL INSTABILITY DURING SITE CONSTRUCTION, THE DESIGN ENGINEER OR THE ON-SITE GEOTECHNICAL ENGINEER MUST BE CONTACTED IMMEDIATELY FOR CORRECTIVE MEASURES.
- IF GROUNDWATER OR BEDROCK IS ENCOUNTERED DURING THE INSTALLATION OF THE BMP'S STOP WORK AND CONTACT THE TOWNSHIP AND DESIGN ENGINEER FOR AN ALTERNATE STORMWATER BMP LOCATION OR NEW DESIGN.
- THE EROSION AND SEDIMENTATION CONTROL PLAN HAS BEEN DESIGNED IN AN EFFORT TO MINIMIZE THE EXTENT AND DURATION OF EARTH DISTURBANCE, WHILE PROTECTING THE EXISTING DRAINAGE FEATURES AND VEGETATION. THE EROSION AND SEDIMENTATION CONTROL PLAN HAS BEEN DEVELOPED AS TO MINIMIZE SOIL COMPACTION, LAND CLEARING, AND IMPERVIOUS AREAS.
- THE DESIGN WILL PRESERVE THE INTEGRITY OF STREAM CHANNELS AND MAINTAIN AND PROTECT THE PHYSICAL, BIOLOGICAL AND CHEMICAL QUALITIES OF THE DOWNSTREAM WATERSHED.
- THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIAL AND WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 2001, SEQ. 271, SEQ. 272, AND 287.1 FT. SEQ. THE CONTRACTOR SHALL NOT ALLEGedly BURY, DUMP, OR DISCHARGE ANY BUILDING MATERIAL OR WASTES AT THE SITE.
- IF ANY UNFAVORABLE CONDITIONS ARE ENCOUNTERED DURING THE INSTALLATION OF THE BMP'S (I.E. GROUNDWATER AND/OR BEDROCK, ETC.), THE OWNER/ENGINEER SHOULD BE NOTIFIED AND THE PROPOSED SYSTEM SHOULD BE RELOCATED TO A MORE SUITABLE LOCATION ON THE PROPERTY.
- NO PERSON SHALL MODIFY, REMOVE, FILL, LANDSCAPE, ALTER, OR IMPAIR THE EFFECTIVENESS OF ANY STORMWATER BMP'S, CONVEYANCES, FACILITIES, AREAS, OR STRUCTURES UNLESS THE ACTIVITY IS PART OF AN APPROVED MAINTENANCE PROGRAM, WITHOUT THE WRITTEN APPROVAL OF THE MUNICIPALITY.
- NO PERSON SHALL PLACE ANY STRUCTURE, FILL, LANDSCAPING, ADDITIONAL VEGETATION, YARD WASTE, BRUSH CUTTINGS, OR OTHER WASTE OR DEBRIS INTO A BMP OR CONVEYANCE, OR WITHIN A STORMWATER EASEMENT, THAT WOULD LIMIT OR ALTER THE FUNCTIONING OF THE STORMWATER BMP OR CONVEYANCE, WITHOUT THE WRITTEN APPROVAL OF THE MUNICIPALITY.
- AN AS-BUILT SURVEY OF ALL STORMWATER BMP'S AND AN EXPLANATION OF ANY DISCREPANCIES WITH THE OPERATION AND MAINTENANCE PLAN SHALL BE PROVIDED TO UPPER UWCHLAN TOWNSHIP.
- REPRESENTATIVES OF UPPER UWCHLAN TOWNSHIP OR OTHER GOVERNMENTAL AUTHORITIES SHALL HAVE PERMISSION TO GAIN ACCESS TO THE STORMWATER MANAGEMENT FACILITY THROUGH THE BLANKET EASEMENT OVER THE PROPERTY TO PERFORM INSPECTIONS, MAINTENANCE AND REPAIRS OF THE SYSTEM, AS NECESSARY.

#### INFILTRATION FACILITY MAINTENANCE AND OPERATION:

INSPECTION: UNDERGROUND BMP SYSTEMS, INLETS, AND PIPING SHALL BE INSPECTED QUARTERLY, AND AFTER PANALLOUS, BY THE OWNER. THE OWNERS INSPECTION ITEMS SHALL INCLUDE THE CONDITION OF THE INSPECTION PORTS AND ANY VISIBLE CONNECTIONS, SEDIMENT ACCUMULATION OR STANDING WATER IN THE TANK, AND ANY SETTLING OR BREAKOUTS ALONG THE LENGTH OF THE TANK. INSPECT INLETS FOR BLOCKAGE ACCUMULATED DUST AND WITHIN THE STORAGE SYSTEM FROM ALL STORM EVENTS SHOULD BE DISPRESSED WITHIN 72 HOURS.

MAINTENANCE: DURING THE REGULAR INSPECTIONS AT THE INTERVAL NOTED ABOVE, THE OWNER SHALL REMOVE ANY ACCUMULATED SEDIMENT AND DEBRIS FROM THE UNCOATED PIPE LININGS. IF NECESSARY, REPAIR OR REPLACE DAMAGED PIPING. IF SIGNIFICANT SETTLEMENT HAS OCCURRED, AND THE COLLECTED RUNOFF DOES NOT DETERWATER, CONSULT THE TOWNSHIP AND THE ENGINEER OF RECORD FOR APPROPRIATE RENOVATION MEASURES. ANY ISSUES WITH THE SYSTEM SHOULD BE BROUGHT TO THE ATTENTION OF THE TOWNSHIP ENGINEER WITH APPROPRIATE REMEDIATION BEING IMPLEMENTED WITHIN 60 DAYS.

#### STORMWATER BMP NOTES:

- COMPACTATION IS TO BE MINIMIZED IN THE AREAS DESIGNATED FOR THE UNDERGROUND SYSTEM.
- BED FILTER FABRIC AND STONE SHOULD BE KEPT CLEAN OF SOIL/SEDIMENT DURING THE INSTALLATION PROCESS. IF INSPECTION INDICATES THAT SOIL/SEDIMENT HAS ENTERED THE BED, APPROPRIATE MEASURES (I.E. CLEANING THE SOIL/SEDIMENT FROM THE FABRIC, STONE, ETC. AND OR REPLACEMENT OF THE FABRIC AND STONE) SHOULD BE ADDRESSED.
- ALL STONE FOR THE CONSTRUCTION OF THE INFILTRATION BED SHOULD BE UNIFORMLY GRADED AND CLEAN WASHED AGGREGATE.
- THE BOTTOM OF THE BED SHALL BE UNDISTURBED OR UNCOMPACTED SUBGRADE.
- THE BOTTOM OF THE BED SHALL BE SCARIFIED PRIOR TO PLACEMENT OF THE AGGREGATE.

#### SOIL TYPE(S)

ACT 287 SERIAL NUMBER 20092592101  
D. L. Howell & Associates, Inc. does not guarantee the accuracy of the locations for existing subsurface utility lines, structures, etc. shown on the plans, nor does D. L. Howell & Assoc., Inc. guarantee that all subsurface utility lines, structures, etc. are shown.

Contractor shall verify the location and elevations of all subsurface utility lines, structures, etc. before the start of work, by calling the Pennsylvania One Call System at 1-800-242-1776.

#### UTILITIES NOTIFIED

BUCKEYE PIPELINE COMPANY  
COMCAST CABLE COMMUNICATIONS, INC.  
PECO ENERGY  
VERIZON PENNSYLVANIA, INC.  
UPPER UWCHLAN TOWNSHIP  
UPPER UWCHLAN MUNICIPAL AUTHORITY

#### LEGEND

EX. PROPERTY LINE	— 242	EXISTING CONTOUR	— O	PROPS. LIGHT POLE	— E	PROPS. ELEC. LINE	— W	PROPS. WATER LINE
PROP. PROPERTY LINE	X 123.00	PROPOSED CONTOUR	X 1242	EX. FENCE	O	PROPS. UTILITY POLE	WL	PROPS. WATER LATERAL
EX. RIGHT-OF-WAY	X 123.00	EXISTING SPOT ELEV.	X 123.00	EX. MAIL BOX	O	PROPS. UTILITY POLE	FW	PROPS. FIRE WATER LINE
PROP. RIGHT-OF-WAY	X 123.00	NEW SPOT ELEV.	X 123.00	EX. SIGN	O	PROPS. UTILITY POLE	WV	EX. WATER VALVE
EX. MONUMENT		SOILS TYPE	O	PROPS. SIGN	G	EX. GAS LINE	WV, WO	PROPS. WATER VALVE
PROP. MONUMENT		SOILS LINE	O	EXIST. PARKING SPACES	G	EX. GAS LINE	FH	EX. HYDRANT
EX. IRON PIPE		FX. CONC. CURB	O	PROPS. PARKING SPACES	G, WO	PROPS. GAS VALVE	FH, WO	PROPS. HYDRANT
PROP. IRON PIPE		EX. EDGE OF PAVING	O	(TBR)	T	PROPS. SAN. SEWER LINE	FH, WO	EX. MANHOLE
EX. EASEMENT		PROP. EDGE OF PAVING	O	TO BE REMOVED	T	PROPS. SAN. SEWER LATERAL	O	PROPS. MANHOLE
PROP. EASEMENT		EX. LIGHT POLE	O		E	PROPS. STORM SEWER LINE	MH	15%~25% PRECAUTIONARY SLOPES
EX. WETLANDS						EX. STORM INLET	1	25%+ PROHIBITIVE STEEP SLOPES

#### RECEIVING SURFACE WATERS - 102.8(f)(5)

\*THE PENNSYLVANIA TITLE 25, CHAPTER 93 CLASSIFICATION FOR THE RECEIVING WATERS OF THE COMMONWEALTH  
UNNAMED TRIBUTARY (LT) TO PICKERING CREEK IN THE PICKERING CREEK WATERSHED: A HIGH QUALITY-TROUT STOCKING FISHERY (HQ-TSF) WATER COURSE

#### CALL BEFORE YOU DIG!

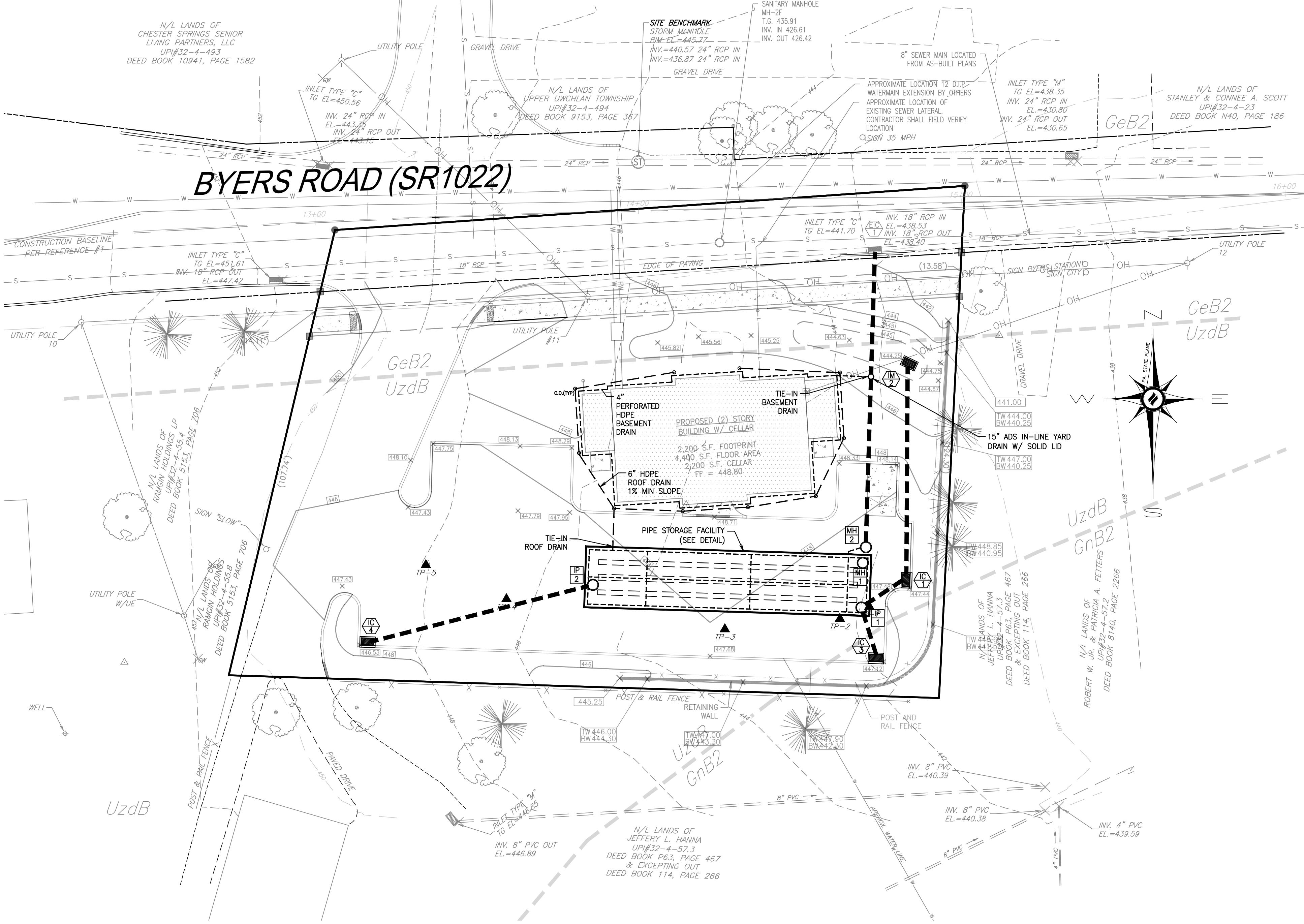
PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE-STOP CALL

Pennsylvania One Call System, Inc

1-800-242-1776

#### ONE CALL NOTE

NO SCALE

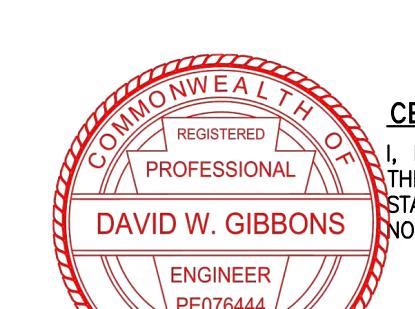


#### PCSM & O&M PLAN

SCALE: 1"=20'

GRAPHIC SCALE

1 inch = 20 feet



#### CERTIFICATE OF ACCURACY - ENGINEER

I, DAVID W. GIBBONS, ON THIS DATE 10/05/23, HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THE SWM SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE UPPER UWCHLAN TOWNSHIP ORDINANCE NO. 2013-05, STORMWATER MANAGEMENT ORDINANCE.

DAVID W. GIBBONS, P.E.  
LICENSE NUMBER PE 076444

DAVID W. GIBBONS, P.E.  
LICENSE NUMBER PE 076444

DAVID W. GIBBONS, P.E.  
LICENSE NUMBER PE 076444

#### STORMWATER NOTE:

RECEIVED THE STORMWATER MANAGEMENT REPORT PREPARED FOR 164 BYERS ROAD, AS PREPARED BY DL HOWELL, DATED DECEMBER 21, 2020 AND LAST REVISED SEPTEMBER 28, 2023 FOR STORMWATER CALCULATIONS ASSOCIATED WITH THIS PROJECT. PLEASE NOTE THAT THE STORMWATER MANAGEMENT FACILITY HAS BEEN DESIGNED FOR THE TOTAL IMPERVIOUS COVERAGE PROPOSED ON THIS PLAN.

#### STORMWATER MANAGEMENT OPERATION & MAINTENANCE STATEMENT

UNDER AND SUBJECT, NEVERTHELESS, TO THE FOLLOWING CONDITIONS AND RESTRICTIONS: PRIOR TO THE CONSTRUCTION OF A BUILDING OR ANY OTHER EARTHMOVING ACTIVITIES, THE PROPERTY OWNER SHALL CONSTRUCT THE STORMWATER MANAGEMENT FACILITY AS PREPARED BY DL HOWELL & ASSOCIATES, INC. DATED DECEMBER 21, 2020 AND LAST REVISED SEPTEMBER 28, 2023 AND APPROVED BY UPPER UWCHLAN TOWNSHIP; THEREAFTER, THE PROPERTY OWNER, HIS HEIRS, EXECUTORS, ADMINISTRATORS, SUCCESSORS, AND ASSIGNEES ("OWNER") AT HIS OR HER SOLE COST OF EXPENSE, SHALL OPERATE, MAINTAIN, AND ENFORCE THE STORMWATER MANAGEMENT FACILITY IN ACCORDANCE WITH SAID ORDINANCE AS THEY WERE DESIGNED. THAT THE FACILITIES SHALL AT ALL TIMES CONTINUE TO OPERATE AND FUNCTION IN THE SAME MANNER AND CAPACITY AS THEY WERE DESIGNED. THAT THE PROPERTY OWNER SHALL NOT ALTER, REMOVE, OR DESTROY THE STORMWATER MANAGEMENT FACILITY, OR RESTORE AS REQUIRED, AND THE COSTS THEREOF SHALL BE ASSESSED TO THE OWNER. THE PROPERTY OWNER SHALL NOT REMOVE THE STORMWATER MANAGEMENT FACILITY, AND HAS AGREED TO MAINTAIN THE STORMWATER MANAGEMENT FACILITY FOR THE DURATION OF THE STORMWATER MANAGEMENT PERIOD. THAT THE OWNER FAILS TO CORRECT OR REPAIR THE ITEMS LISTED IN THE NOTICE FROM THE TOWNSHIP PRIOR TO THE IDENTIFIED DEADLINE, THEN AND ONLY THEN MAY THE TOWNSHIP EXERCISE THIS RIGHT.

(SIGN) (PRINT) (DATE)

PROPERTY OWNER

(SIGN) (PRINT) (DATE)

PROPERTY OWNER



# DLHowell

Civil Engineering  
Land Planning  
Environmental  
[www.DLHowell.com](http://www.DLHowell.com)

1250 Wrights Lane  
West Chester, PA 19380  
Phone: (610) 918-9002  
Fax: (610) 918-9003

Luminaire Schedule										
Symbol	Qty	Label	LLF	Description	Lum. Watts	Lum. Lumens	BUG Rating	Mounting Height	Arrangement Watts	Arrangement Luminaire Lumens
	1	P4	0.900	NLS - NV-1-T4-16L-1-30K8-UNV-XX-XX-HSS	56	3539	B0-U0-G1	15	56	3539
	3	P3	0.900	NLS - NV-1-T3-16L-1-30K8-UNV-XX-XX-HSS	56	3522	B0-U0-G1	15	56	3522

Calculation Summary											
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Grid Z	PtSpcLr	PtSpcTb	
East Vertical Calc	Illuminance	Fc	0.01	0.0	0.0	N.A.	N.A.	0 to 10	5	5	
South Vertical Calc	Illuminance	Fc	0.03	0.1	0.0	N.A.	N.A.	0 to 10	5	5	
West Vertical Calc	Illuminance	Fc	0.01	0.0	0.0	N.A.	N.A.	10 to 0	5	5	
Parking Lot	Illuminance	Fc	1.21	3.7	0.2	6.05	18.50				

## GENERAL NOTES:

POST APPROVAL ALTERATIONS TO LIGHTING PLANS OR INTENDED SUBSTITUTIONS FOR APPROVED LIGHTING EQUIPMENT SHALL BE SUBMITTED TO THE TOWNSHIP FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

THE TOWNSHIP RESERVES THE RIGHT TO CONDUCT POST-INSTALLATION NIGHTTIME INSPECTIONS TO VERIFY COMPLIANCE WITH COMMITMENTS MADE ON THE APPROVED PLAN, AND IF APPROPRIATE, TO REQUIRE REMEDIAL ACTION AT NO EXPENSE TO THE TOWNSHIP.

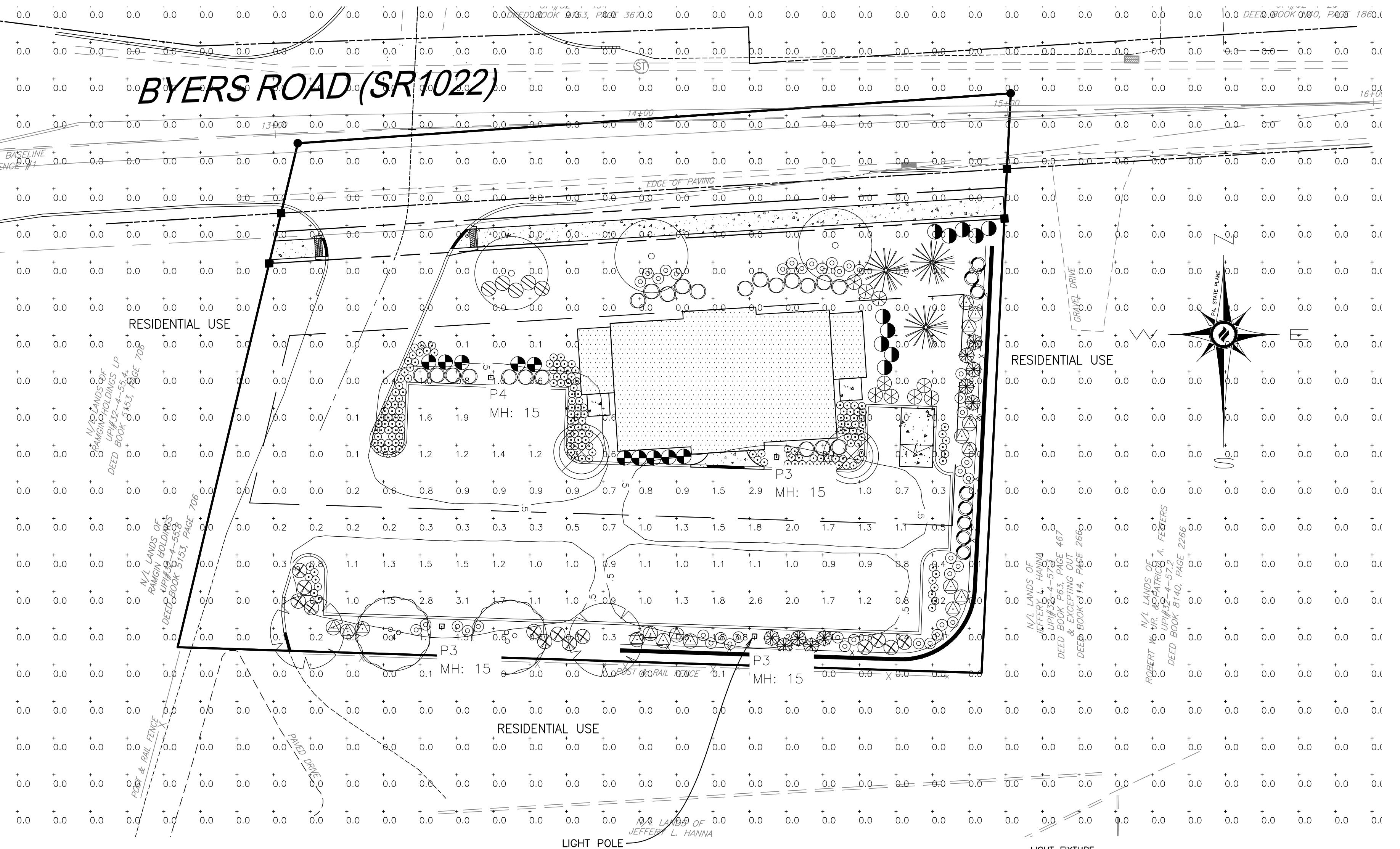
NON-SECURITY LIGHTING FIXTURES SHALL BE EXTINGUISHED ONE HOUR AFTER CLOSE OF BUSINESS OR 11:00 P.M., WHICHEVER IS EARLIER. THE LIGHTING FIXTURES WILL BE CONTROLLED BY PHOTOCELL AND TIMER.

SECURITY LIGHTING LIGHT LEVELS ARE TO BE REDUCED TO 25% BETWEEN 11:00 P.M. AND DAWN. HOWEVER, AT THIS TIME, NO SECURITY LIGHTING IS PROPOSED.

A PROGRAMMABLE TIMER WITH DAYLIGHT SAVINGS TIME PROGRAMMABILITY, WITH BATTERY BACK-UP, SHALL BE UTILIZED TO AUTOMATICALLY CONTROL THE NON-SECURITY LIGHTS.

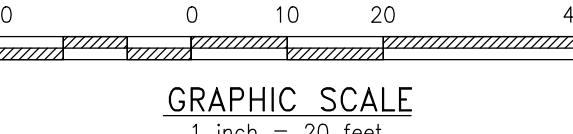
ALL EXTERIOR LIGHTING, INCLUDING BUT NOT LIMITED TO THAT FOR THE ILLUMINATION OF FLAG, SOFFIT, CANOPY, SIGN, FAÇADE, BUILDING ENTRANCE, AND WALKWAY SHALL COMPLY WITH SLD0 SECTION 162.58.D..

ALL LIGHT POLES ADJACENT TO PARKING AREAS AND/OR DRIVEWAYS SHALL BE INSTALLED THREE (3) FEET FROM THE BACK OF THE CURB.

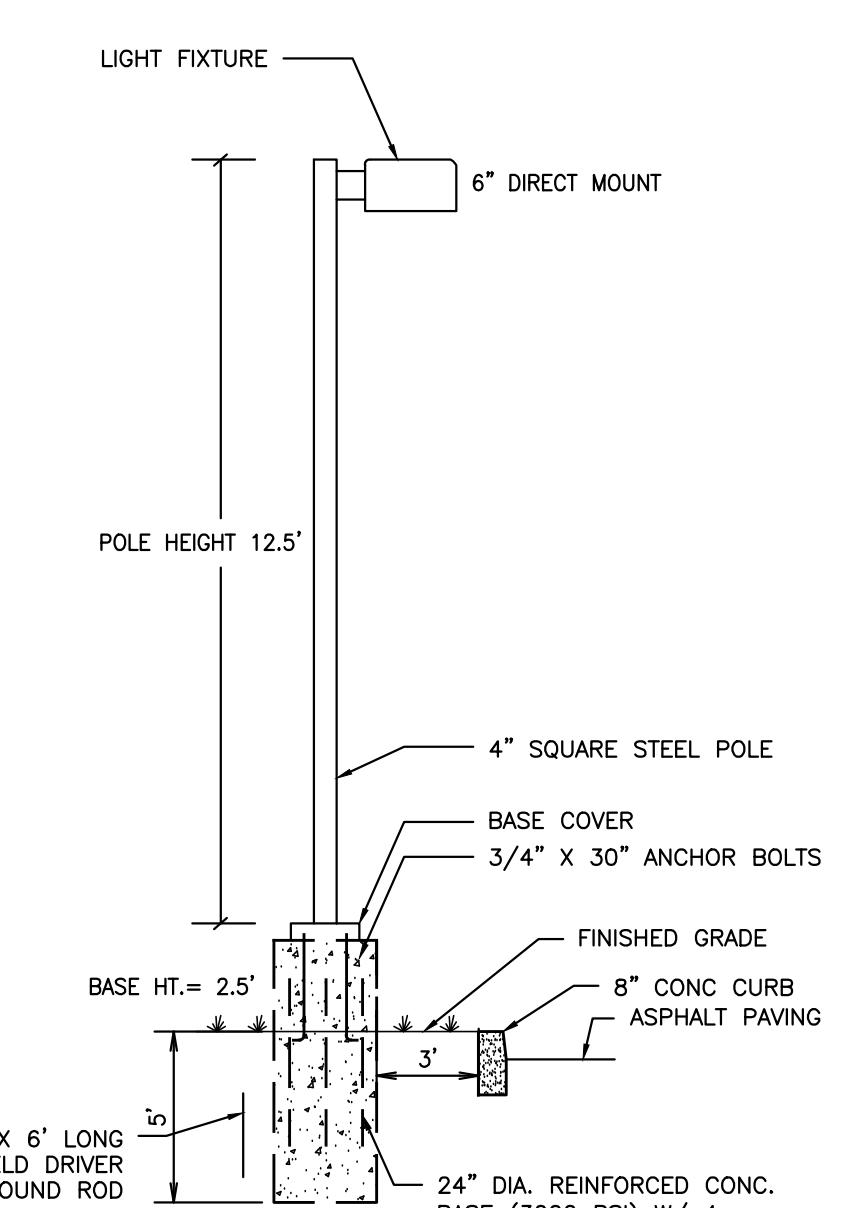
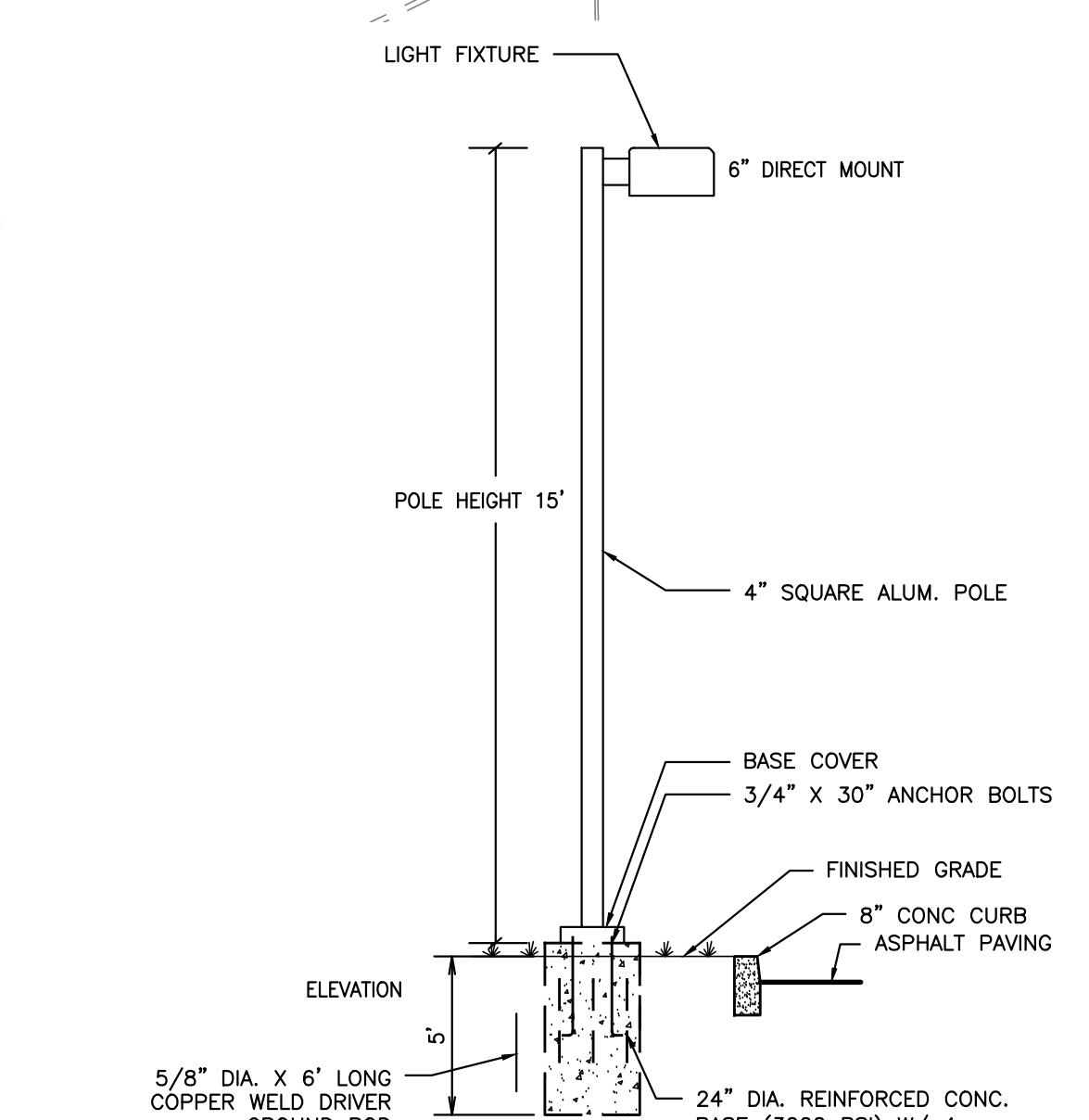


## **LIGHTING PLAN**

SCALE: 1"=20'



GRAPHIC SCALE



## LIGHT POLE DETAIL

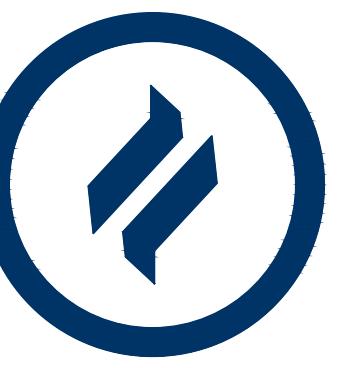
## NO SCALE

## LIGHT POLE W/ PEDESTAL DETAIL

## LIGHT NO SCALE

# PRELIMINARY/FINAL LIGHTING PLAN

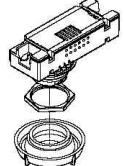
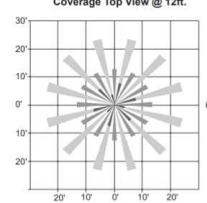
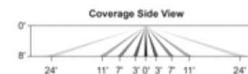
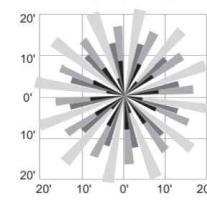
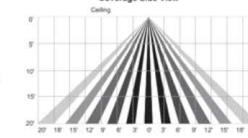
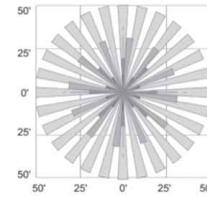
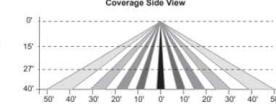
DATE:	12/21/20
SCALE:	1"=20'
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CHECKED BY:	DWG
PROJECT NO.:	2146
CAD FILE:	09 LIGHTING PLAN.dwg
PLOTTED:	09/28/23
DRAWING NO.:	C08.01
SHEET	10 OF 13



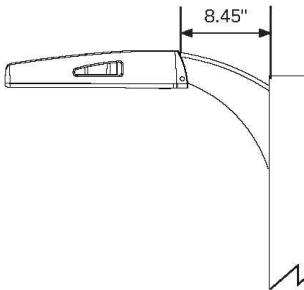
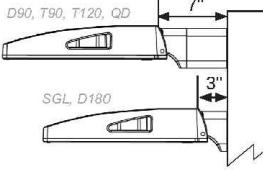
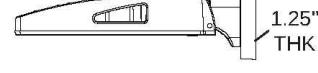
Submitted by Penn Lighting Associates	<b>Job Name:</b> Byers Road Property - Precon	<b>Catalog Number:</b> NV-1-T4-16L-1-30K8-UNV-XX-XX-HSS Notes:	<b>Type:</b> <b>P4</b> PENN23-22629																																																																													
<div style="display: flex; align-items: center;"> <div style="flex: 1;">  <p><b>NLS</b> LIGHTING</p> </div> <div style="flex: 1; text-align: right;"> <b>NV-1</b> </div> </div> <div style="display: flex; justify-content: space-between;"> <div style="flex: 1;"> <p><b>FORM AND FUNCTION</b></p> <ul style="list-style-type: none"> <li>• Sleek, low profile housing</li> <li>• Spec grade performance</li> <li>• Engineered for optimum thermal management</li> <li>• Low depreciation rate</li> <li>• Reduces energy consumption and costs up to 65%</li> <li>• Exceeds IES foot candle levels utilizing the least number of poles and fixtures per project</li> <li>• Optical system designed for:           <ul style="list-style-type: none"> <li>- Parking Lots</li> <li>- Auto Dealerships</li> <li>- General Area Lighting</li> </ul> </li> </ul> <p><b>CONSTRUCTION</b></p> <ul style="list-style-type: none"> <li>• Die Cast Aluminum</li> <li>• External cooling fins</li> <li>• Corrosion resistant external hardware</li> <li>• One-piece silicone gasket ensures IP-65 seal for electronics compartment</li> <li>• One-piece Optics Plate™ mounting silicone Micro Optics</li> <li>• Two-piece silicone Micro Optic system ensures IP-67 level seal around each PCB</li> <li>• Grade 2 Clear Anodized Optics Plate™ standard</li> </ul> <p><b>FINISH</b></p> <ul style="list-style-type: none"> <li>• 3-5 mils electrostatic powder coat</li> <li>• NLS standard high-quality finishes prevent corrosion, protects against extreme environmental conditions</li> </ul> <p><b>WARRANTY</b></p> <p>Five-year limited warranty for drivers and LEDs.</p> </div> <div style="flex: 1; text-align: center;">  <p>AREA, SITE &amp; ROADWAY</p> </div> </div>																																																																																
<div style="text-align: center;"> <p><b>LED WATTAGE CHART</b></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th></th> <th>16L</th> <th>32L</th> <th>48L</th> <th>64L</th> </tr> </thead> <tbody> <tr> <td>350 milliamps</td> <td>18w</td> <td>-</td> <td>-</td> <td>-</td> </tr> <tr> <td>530 milliamps</td> <td>28w</td> <td>-</td> <td>-</td> <td>-</td> </tr> <tr> <td>700 milliamps</td> <td>36w</td> <td>71w</td> <td>104w</td> <td>138w</td> </tr> <tr> <td>1050 milliamps</td> <td>56w</td> <td>108w</td> <td>158w</td> <td>205w</td> </tr> </tbody> </table> </div>					16L	32L	48L	64L	350 milliamps	18w	-	-	-	530 milliamps	28w	-	-	-	700 milliamps	36w	71w	104w	138w	1050 milliamps	56w	108w	158w	205w																																																				
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| REV.12.01.22 | | | |

Submitted by Penn Lighting Associates	<b>Job Name:</b> Byers Road Property - Precon	<b>Catalog Number:</b> NV-1-T4-16L-1-30K8-UNV-XX-XX-HSS Notes:	<b>Type:</b> P4 PENN23-226269
<b>PRODUCT SPECIFICATIONS</b>			
<p><b>ELECTRICAL</b></p> <ul style="list-style-type: none"> <li>• 120-277 Volts (UNV) or 347-480 Volts (HV)</li> <li>• 0-10V dimming driver</li> <li>• Driver power factor at maximum load is ≥ 95, THD maximum load is 15%</li> <li>• LED Drivers Ambient Temp. Min. is -40°C and Ambient Temp. Max. ranges from 50°C to 55°C and, in some cases, even higher. Consult the factory for re-validation by providing the fixture catalog string before quoting and specifying it.</li> <li>• All internal wiring UL certified for 600 VAC and 105°C</li> <li>• All drivers, controls, and sensors housed in enclosed IP65 compartment</li> <li>• CRI 70, 80 or 90</li> <li>• Color temperatures: 2700K, 3000K, 3500K, 4000K, 5000K</li> <li>• Surge Protection: 20kVA supplied as standard.</li> </ul> <p><b>CONSTRUCTION</b></p> <ul style="list-style-type: none"> <li>• Die Cast Aluminum</li> <li>• External cooling fins</li> <li>• Corrosion resistant external hardware</li> <li>• One-piece silicone gasket ensures IP65 seal for electronics compartment</li> <li>• One-piece Optics Plate™ mounting silicone Micro Optics</li> <li>• Two-piece silicone Micro Optic system ensures IP67 level seal around each PCB</li> <li>• Grade 2 Clear Anodized Optics Plate™ standard</li> </ul> <p><b>OPTIONS</b></p> <ul style="list-style-type: none"> <li>• BIRD SPIKES (BS) - Offers a practical and humane deterrent for larger bird species and provides a cost-effective long-term solution to nuisance bird infestations and protects your property.</li> <li>• MARINE GRADE FINISH (MGF) - A multi-step process creating protective finishing coat against harsh environments. Chemically washed in a 5 stage cleaning system. Pre-baked, Powder coated 3-5 mils of Zinc Rich Super Durable Polyester Primer. Oven Baked. Finished Powder Coating of Super Durable Polyester Powder Coat 3-5 mil thickness.</li> <li>• OPTIC PLATE PAINTED TO MATCH FIXTURE (OPP) - Optic plate is clear anodized as standard. The optic plate can be powder coated to match the finish of the fixture.</li> <li>• QUICK MOUNT BRACKET (QMB) - Optional Cast Aluminum Bracket designed for quick mounting on Direct Square or Round Poles. Cleat mounts directly to pole for easily hung fixtures. Has a 2"x4" Drill Pattern.</li> <li>• RETROFIT MOUNT BRACKET - Optional Cast Aluminum Bracket designed for quick mounting on Direct Square or Round Poles. Cleat mount directly to pole for easily hung fixtures. Drill Pattern is adjustable from 2"x4" to 2"x6".</li> <li>• ROUND POLE ADAPTER (RPA) - When using round poles, specify Round Pole Adapter (RPA). Specify RPA4 when installing on 3"-4" round poles, and RPA5 when installing on 5"-6" round poles.</li> <li>• ROTATED OPTICS (ROL) (ROP) - Rotated optics are designed for perimeter lighting for auto dealerships.</li> <li>• SHIELDS (HSS, AHS) - House Side Shield (HSS) is designed for full property line cut-off. Automotive House Side Shield (AHS) is a single-sided shield allowing partial cut-off on either side or front of luminaire.</li> <li>• BLACK HARDWARE (BH) - Optional black, zinc coated steel hardware.</li> <li>• BLACK OPTIC FRAME (BOF) - Optional black optic frame. Standard is white.</li> </ul>			
<p><b>CONTROL OPTIONS</b></p> <ul style="list-style-type: none"> <li>• FSP-211 (FSP-X) - Passive infrared (PIR) sensor providing multi-level control based on motion/daylight contribution.</li> <li>• All control parameters adjustable via wireless configuration remote storing and transmitting sensor profiles.</li> <li>• FSP-20 mounting heights 9-20 feet</li> <li>• FSP-40 mounting heights 21-40 feet.</li> <li>• Includes 5 dimming event cycles, 0-10V dimming with motion sensing, re-programmable in the field.</li> <li>• FSIR-100 commissioning remote is required to change sensor settings. Please contact factory for ordering.</li> </ul> <p>• Controls Agnostics: Please contact factory for your preferred controls option</p> <ul style="list-style-type: none"> <li>• NEMA 7-PIN RECEPTACLE (PE7) – An ANSI C136.41-2013 receptacle provides electrical and mechanical interconnection between photo control cell and luminaire. Dimming receptacle available two or four dimming contacts supports 0-10 VDC dimming methods or Digital Addressable Lighting Interface (DALI), providing reliable power interconnect.</li> <li>• PHOTOCELL + RECEPTACLE (PCR) – 7-Pin Receptacle and Electronic Twist Lock Photocell for dusk to dawn operation.</li> <li>• RECEPTACLE + SHORTING CAP (PER) – 7-Pin Receptacle and Shorting Cap.</li> </ul> <p><b>FINISH</b></p> <ul style="list-style-type: none"> <li>• 3-5 mils electrostatic powder coat.</li> <li>• NLS Light's standard high-quality finishes prevent corrosion protects against and extreme environmental conditions</li> </ul> <p><b>WARRANTY</b></p> <p>Five-year limited warranty for drivers and LEDs.</p> <p><b>OPTICS</b></p> <p>Silicone optics high thermal stability and light output provide higher powered LEDs with minimized lumen depreciation. UV stability with scratch resistance increases exterior application durability. Silicone optics do not yellow, crack or brittle over time</p> <p><b>LISTINGS</b></p> <ul style="list-style-type: none"> <li>• Certified to UL 1598</li> <li>• UL 8750</li> <li>• CSA C22.2 No. 250.0</li> <li>• DesignLights Consortium® (DLC)</li> <li>• DesignLights Consortium Premium® (DLC-P)</li> <li>• IP65/ IP67 Rated</li> <li>• 3G Vibration Rated per ANSI C136.31-2010</li> <li>• IDA Dark Sky Approved</li> <li>• IK10 Rated</li> </ul>			
 <p>The information and specifications on this document are subject to change without any notification. All values are design, nominal, typical or prorated values when measured under internal and external laboratory conditions.</p>			
<b>NLS</b> LIGHTING	701 Kingshill Place, Carson, CA 90745 Call Us Today (310) 341-2037	<a href="http://nlsighting.com">nlsighting.com</a>	

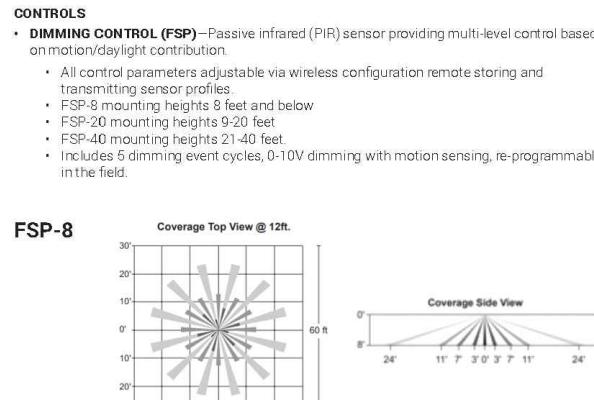
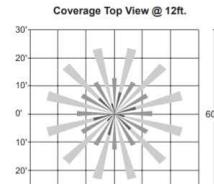
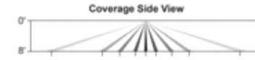
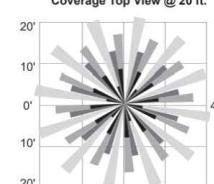
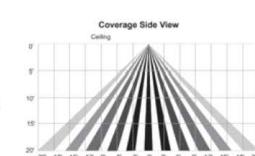
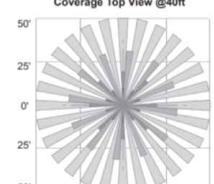
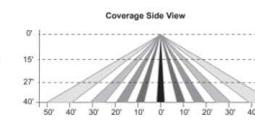
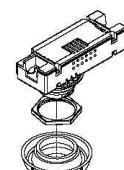
Submitted by Penn Lighting Associates	<b>Penn Lighting</b> ASSOCIATES	<b>Job Name:</b> Byers Road Property - Precon	<b>Catalog Number:</b> NV-1-T4-16L1-1-30K8-UNV-XX-XX-HSS Notes:	Type: PENN23-226
<b>PRODUCT SPECIFICATIONS</b>				
<b>CONTROLS</b>				
<ul style="list-style-type: none"> <li>• <b>DIMMING CONTROL (FSP)</b>—Passive infrared (PIR) sensor providing multi-level control based on motion/daylight contribution.           <ul style="list-style-type: none"> <li>• All control parameters adjustable via wireless configuration remote storing and transmitting sensor profiles.</li> <li>• FSP-8 mounting heights 8 feet and below</li> <li>• FSP-20 mounting heights 9-20 feet</li> <li>• FSP-40 mounting heights 21-40 feet</li> <li>• Includes 5 dimming event cycles, 0-10V dimming with motion sensing, re-programmable in the field.</li> </ul> </li> </ul>				
<p><b>FSP-8</b></p> <p><b>Coverage Top View @ 12ft.</b></p>  <p><b>Coverage Side View</b></p>  <p><b>FSP-20</b></p> <p><b>Coverage Top View @ 20 ft.</b></p>  <p><b>Coverage Side View</b></p>  <p><b>FSP-40</b></p> <p><b>Coverage Top View @ 40ft</b></p>  <p><b>Coverage Side View</b></p> 				
<p><b>NLS</b> LIGHTING</p> <p>701 Kingshill Place, Carson, CA 90746 Call Us Today (310) 341-2037</p> <p><b>nlsighting</b></p>				
Submitted On: Jul 31, 2023				
3/11				

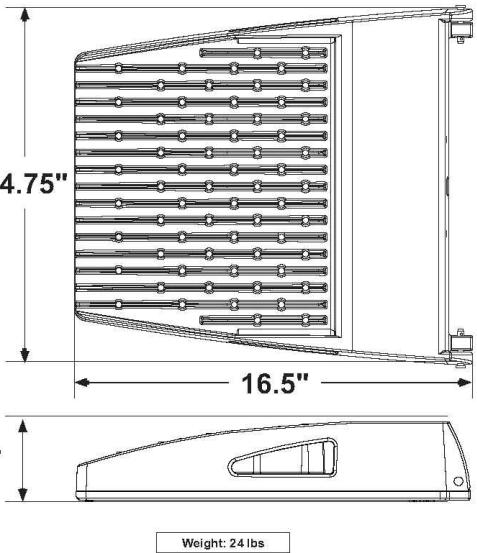
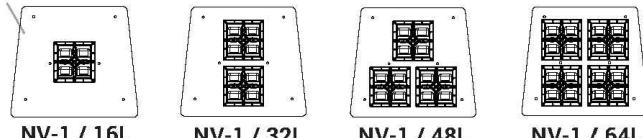
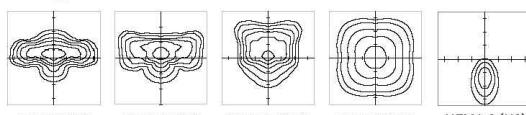
Submitted by Penn Lighting Associates	<b>Penn Lighting ASSOCIATES</b>	<b>Job Name:</b> Byers Road Property - Precon	<b>Catalog Number:</b> NV-1-T4-16L-1-30K8-UNV-XX-XX-HSS Notes:
<b>PRODUCT SPECIFICATIONS</b>			
Weight: 24 lbs			
<b>OPTICAL CONFIGURATIONS</b> Rotatable Optics (ROR) Rotated Right, (ROL) Rotated Left options available. Optics field and factory rotatable.			
(OPP)			
<b>* OPTIC PLATE PAINTED TO MATCH FIXTURE FINISH (OPP)</b> – Optic Plate standard clear anodized, Grade 2. When (OPP) specified finish will match fixture finish.			
<b>OPTICS</b> Silicone optics high photothermal stability and light output provides higher powered LEDs with minimized lumen depreciation LED life. UV and thermal stability with scratch resistance increases exterior application durability.			
• IES Types			
<b>NLS</b> LIGHTING 701 Kingshill Place, Carson, CA 90746 Call Us Today (310) 341-2037			

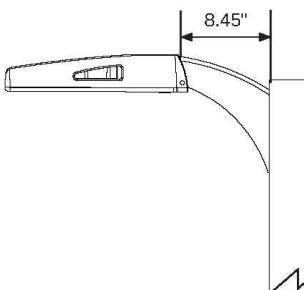
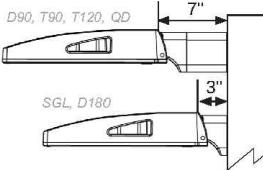
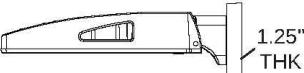
<b>P4</b> 269	Submitted by Penn Lighting Associates <b>Penn Lighting</b> ASSOCIATES	<b>Job Name:</b> Byers Road Property - Precon	<b>Catalog Number:</b> NV-1-T4-16L-1-30K8-UNV-XX-XX-HSS Notes: PENN23-226269																																			
<h2>MOUNTING OPTIONS</h2>																																						
<p><b>ARCHITECTURAL SWEEP ARM (ASA)</b>        Cast Sweep Arm includes (as standard) Internal Quick Mount Bracket.</p>																																						
																																						
<p><b>DIRECT POLE (DP)</b>        Standard mounting arm is extruded aluminum in lengths of 3" and 7".  <i>*Arm lengths may vary depending on configuration</i></p>																																						
																																						
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NV-1	3"	7"	3"	7"	7"	7"	7"																															
<p><b>WALL MOUNT (WM)</b>        Cast Aluminum Plate for direct wall mount, 3" extruded aluminum arm mounts directly to a cast wall mount box.</p>																																						
																																						
<p><b>EPA</b></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>EPA</th> <th>SGL</th> <th>D90</th> <th>D180</th> <th>T90</th> <th>T120</th> <th>QD</th> </tr> </thead> <tbody> <tr> <td>NV-1-DP3</td> <td>0.46</td> <td></td> <td>0.92</td> <td></td> <td></td> <td></td> </tr> <tr> <td>NV-1-DP7</td> <td></td> <td>1.14</td> <td>1.05</td> <td>1.34</td> <td>1.37</td> <td>1.34</td> </tr> <tr> <td>NV-1-KM</td> <td>0.54</td> <td>N/A</td> <td>1.08</td> <td>N/A</td> <td>N/A</td> <td>N/A</td> </tr> <tr> <td>NV-1-ASA</td> <td>0.75</td> <td>1.29</td> <td>1.50</td> <td>1.99</td> <td>2.05</td> <td>1.99</td> </tr> </tbody> </table>				EPA	SGL	D90	D180	T90	T120	QD	NV-1-DP3	0.46		0.92				NV-1-DP7		1.14	1.05	1.34	1.37	1.34	NV-1-KM	0.54	N/A	1.08	N/A	N/A	N/A	NV-1-ASA	0.75	1.29	1.50	1.99	2.05	1.99
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<p><b>MOUNTING CONFIGURATION</b></p> <div style="display: flex; justify-content: space-around; align-items: center;"> <span>Single (SGL)</span> <span>Double (D-180)</span> <span>Double (D-90)</span> <span>Triple (T-120)</span> <span>Triple (T-90)</span> <span>Quad (QD)</span> </div>																																						
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 <b>Penn Lighting</b> ASSOCIATES		<b>Job Name:</b> Byers Road Property - Precon																											
		<b>NV-1</b> AREA, SITE & ROADWAY																											
<b>FORM AND FUNCTION</b> <ul style="list-style-type: none"> <li>• Sleek, low profile housing</li> <li>• Spec grade performance</li> <li>• Engineered for optimum thermal management</li> <li>• Low depreciation rate</li> <li>• Reduces energy consumption and costs up to 65%</li> <li>• Exceeds IES foot candle levels utilizing the least number of poles and fixtures per project</li> <li>• Optical system designed for:           <ul style="list-style-type: none"> <li>- Parking Lots</li> <li>- Auto Dealerships</li> <li>- General Area Lighting</li> </ul> </li> </ul>																													
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<b>LED WATTAGE CHART</b> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th></th> <th>16L</th> <th>32L</th> <th>48L</th> <th>64L</th> </tr> </thead> <tbody> <tr> <td>350 milliamps</td> <td>18w</td> <td>-</td> <td>-</td> <td>-</td> </tr> <tr> <td>530 milliamps</td> <td>29w</td> <td>-</td> <td>-</td> <td>-</td> </tr> <tr> <td>700 milliamps</td> <td>36w</td> <td>71w</td> <td>104w</td> <td>139w</td> </tr> <tr> <td>1050 milliamps</td> <td>50w</td> <td>108w</td> <td>158w</td> <td>205w</td> </tr> </tbody> </table>						16L	32L	48L	64L	350 milliamps	18w	-	-	-	530 milliamps	29w	-	-	-	700 milliamps	36w	71w	104w	139w	1050 milliamps	50w	108w	158w	205w
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Project Name:		Type:																											
Cat#	Light Dist.	# of LEDs	Milliamps	Kelvin	Volts	Mounting	Color	Options																					
NV-1 (NV-1)	Type 2 (T2)	16 (16L)	350 (35)	2700K, 70 CRI (27K7)①	120-277 (UNV)	Architectural Sweep Arm (ASA)	Bronze Textured (BRZ)	Bird Spike Kit (BS) Marine Grade Filter (MGF) Optic Plate Painted to Match Fixture (OPP) Name 7 Pin Receptacle (P7)																					
	Type 3 (T3)	32 (32L)	530 (53)	2700K, 80 CRI (27K8)②	347-480 (HV)	Direct Pole 3" Arm Single, D180 (DPS3)③	White Textured (WHT)	Photocell + Receptacle (PCR) Receptacle + Shorting Cap (PCR)																					
	Type 4 (T4)	48 (48L)	700 (7)	3000K, 70 CRI (30K7)④	D180, 090, 190, T120, Quad (DPS7)⑤	Smooth White Gloss (SWT)	FSP-211 with Motion Sensor (FSP-211)⑥ 9'-20' Heights (FSP-40)⑦ 21'-40' Heights																						
	Type 5 (T5)	64 (64L)	1050 (1)	3000K, 80 CRI (30K8)⑧	Knuckle Mount (KM)	Silver (SVR)	Quick Mount Bracket (QMB) Recessed Mount Bracket (RMB)																						
	Nema 2 24" Narrow Beam (N2)			3500K, 80 CRI (35K8)⑨	Wall Mount (WM)	Black Textured (BLK)	Round Pole Adapter 5'-10' (RPA4) Round Pole Adapter 5'-6' Pole (RPA5)																						
	Nema 3 30" Narrow Beam (N3)			4000K, 70 CRI (40K7)⑩	Trunnion Mount (TM)⑪	Smooth Black Gloss (SBK)	Rotated Optic Left (ROL) Rotated Optic Right (ROR)																						
				4000K, 80 CRI (40K8)⑫	Tennis Arm (TA)	Graphite Textured (GPH)	Automotive House Side Shield (AHS)																						
				5000K, 70 CRI (50K7)⑬	Mast Arm (MA)	Grey Textured (GRY)	House Side Shield (HSS)⑭																						
				5000K, 80 CRI (50K8)⑮		Custom (CS)	Black Hardware (BH) Black Optic Frame (BOF)																						
<b>Notes:</b> <ul style="list-style-type: none"> <li>① Consult Factory for Lead Time. Consult Factory for 90 CRI Requests.</li> <li>② For Round Pole Specify RPA4 or RPA5</li> <li>③ Standard finish is stainless steel. Can be painted to match fixture.</li> <li>④ Universal Voltage 120-277</li> <li>⑤ HSS not applicable with Nema 2 and Nema 3 Optics</li> <li>⑥ 3000K or lower must be selected to meet International Dark-Sky Association certification.</li> </ul>																													
REV.12.01.22																													
1 / 11																													
Index Page																													

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<b>PRODUCT SPECIFICATIONS</b>				
<p><b>ELECTRICAL</b></p> <ul style="list-style-type: none"> <li>• 120-277 Volts (UNV) or 347-480 Volts (HV)</li> <li>• 0-10V dimming driver</li> <li>• Driver power factor at maximum load is ≥ .95, THD maximum load is 15%</li> <li>• LED Drivers Ambient Temp. Min is -40°C and Ambient Temp. Max ranges from 50°C to 55°C and, in some cases, even higher. Consult the factory for re-validation by providing the fixture catalog string before quoting and specifying it.</li> <li>• All internal wiring UL certified for 600 VAC and 105°C</li> <li>• All drivers, controls, and sensors housed in enclosed IP65 compartment</li> <li>• CRI 80, 80 or 90</li> <li>• Color temperatures: 2700K, 3000K, 3500K, 4000K, 5000K</li> <li>• Surge Protection: 20kVA supplied as standard.</li> </ul> <p><b>CONSTRUCTION</b></p> <ul style="list-style-type: none"> <li>• Die Cast Aluminum</li> <li>• External cooling fins</li> <li>• Corrosion resistant external hardware</li> <li>• One-piece silicone gasket ensures IP65 seal for electronics compartment</li> <li>• One-piece Optics Plate™ mounting silicone Micro Optics</li> <li>• Two-piece silicone Micro Optic system ensures IP67 level seal around each PCB</li> <li>• Grade 2 Clear Anodized Optics Plate™ standard</li> </ul> <p><b>OPTIONS</b></p> <ul style="list-style-type: none"> <li>• BIRD SPIKES (BS) - Offers a practical and humane deterrent for larger bird species and provides a cost-effective long-term solution to nuisance bird infestations and protects your property.</li> <li>• MARINE GRADE FINISH (MGF) - A multi-step process creating protective finishing coat against harsh environments. Chemically washed in a 5 stage cleaning system. Pre-baked. Powder coated 3-5 mils of Zinc Rich Super Durable Polyester Primer. Oven Baked. Finished Powder Coating of Super Durable Polyester Powder Coat 3-5 mil thickness.</li> <li>• OPTIC PLATE PAINTED TO MATCH FIXTURE (OPP) - Optic plate is clear anodized as standard. The optic plate can be powder coated to match the finish of the fixture.</li> <li>• QUICK MOUNT BRACKET (QMB) - Optional Cast Aluminum Bracket designed for quick mounting on Direct Square or Round Poles. Cleat mounts directly to pole for easily hung fixtures. Has a 2"x4" Drill Pattern.</li> <li>• RETROFIT MOUNT BRACKET - Optional Cast Aluminum Bracket designed for quick mounting on Direct Square or Round Poles. Cleat mounts directly to pole for easily hung fixtures. Drill Pattern is adjustable from 2"x4" to 2"x6".</li> <li>• ROUND POLE ADAPTER (RPA) - When using round poles, specify Round Pole Adapter (RPA). Specify RPA4 when installing on 3"-4" round poles, and RPA5 when installing on 5"-6" round poles.</li> <li>• ROTATED OPTICS (ROL) (ROR) - Rotated optics are designed for perimeter lighting for auto dealerships.</li> <li>• SHIELDS (HSS, AHS) - House Side Shield (HSS) is designed for full property line cut-off. Automotive House Side Shield (AHS) is a single-sided shield allowing partial cut-off on either side or front of luminaire.</li> <li>• BLACK HARDWARE (BH) - Optional black, zinc coated steel hardware.</li> <li>• BLACK OPTIC FRAME (BOF) - Optional black optic frame. Standard is white.</li> </ul>				
<p><b>CONTROL OPTIONS</b></p> <ul style="list-style-type: none"> <li>• FSP-21 (FSP-X) - Passive infrared (PIR) sensor providing multi-level control based on motion/daylight contribution.</li> <li>• All control parameters adjustable via wireless configuration remote storing and transmitting sensor profiles.</li> <li>• FSP-20 mounting heights 9-20 feet</li> <li>• FSP-40 mounting heights 21-40 feet.</li> <li>• Includes 6 dimming event cycles, 0-10V dimming with motion sensing, re-programmable in the field.</li> <li>• FSIR-100 commissioning remote is required to change sensor settings. Please contact factory for ordering.</li> </ul> <p>• Controls Agnostics: Please contact factory for your preferred controls option.</p> <ul style="list-style-type: none"> <li>• NEMA 7-PIN RECEPTACLE (PE7) - An ANSI C136.41-2013 receptacle provides electrical and mechanical interconnection between photo control cell and luminaire. Dimming receptacle available two or four dimming contacts supports 0-10 VDC dimming methods or Digital Addressable Lighting Interface (DALI), providing reliable power interconnect.</li> <li>• PHOTOCELL + RECEPTACLE (PCR) - 7-Pin Receptacle and Electronic Twist Lock Photocell for dusk to dawn operation.</li> <li>• RECEPTACLE + SHORTING CAP (PER) - 7-Pin Receptacle and Shorting Cap.</li> </ul> <p><b>FINISH</b></p> <ul style="list-style-type: none"> <li>• 3-5 mils electrostatic powder coat.</li> <li>• NLS Light's standard high-quality finishes prevent corrosion protects against and extreme environmental conditions</li> </ul> <p><b>WARRANTY</b></p> <p>Five-year limited warranty for drivers and LEDs.</p> <p><b>OPTICS</b></p> <p>Silicone optics high thermal stability and light output provide higher powered LEDs with minimized lumen depreciation. UV stability with scratch resistance increases exterior application durability. Silicone optics do not yellow, crack or brittle over time.</p> <p><b>LISTINGS</b></p> <ul style="list-style-type: none"> <li>• Certified to UL 1598</li> <li>• UL 8750</li> <li>• CSA C22.2 No. 250.0</li> <li>• DesignLights Consortium® (DLC)</li> <li>• DesignLights Consortium Premium® (DLCP)</li> <li>• IP65/ IP67 Rated</li> <li>• 3G Vibration Rated per ANSI C136.31-2010</li> <li>• IDA Dark Sky Approved</li> <li>• IK10 Rated</li> </ul>				
<p>The information and specifications on this document are subject to change without any notification. All values are design, nominal, typical or prorated values when measured under internal and external laboratory conditions.</p>				
           				
<p>701 Kingshill Place, Carson, CA 90746 Call Us Today (310) 341-2037</p>				
<p><a href="http://nlslighting.com">nlslighting.com</a></p>				

Submitted by Penn Lighting Associates	<b>Penn Lighting</b> ASSOCIATES	<b>Job Name:</b> Byers Road Property - Precon	<b>Catalog Number:</b> NV-1-T3-16L-1-30K8-UNV-XX-XX-HSS <b>Notes:</b>	<b>Type:</b> PENN23-226
<b>PRODUCT SPECIFICATIONS</b>				
<b>CONTROLS</b> <ul style="list-style-type: none"> <li>• <b>DIMMING CONTROL (FSP)</b>—Passive infrared (PIR) sensor providing multi-level control based on motion/daylight contribution.           <ul style="list-style-type: none"> <li>• All control parameters adjustable via wireless configuration remote storing and transmitting sensor profiles</li> <li>• FSP-8 mounting heights 8 feet and below</li> <li>• FSP-20 mounting heights 9-20 feet</li> <li>• FSP-40 mounting heights 21-40 feet</li> <li>• Includes 5 dimming event cycles, 0-10V dimming with motion sensing, re-programmable in the field.</li> </ul> </li> </ul>				
				
<b>FSP-8</b> <b>Coverage Top View @ 12ft.</b>  <b>Coverage Side View</b> 				
<b>FSP-20</b> <b>Coverage Top View @ 20 ft.</b>  <b>Coverage Side View</b> 				
<b>FSP-40</b> <b>Coverage Top View @40ft</b>  <b>Coverage Side View</b> 				
				
<b>NLS</b> LIGHTING <p>701 Kingshill Place, Carson, CA 90746 Call Us Today (310) 341-2037</p>				
<small>Submitted On: Jul 31, 2023</small>				

Submitted by Penn Lighting Associates	<b>Penn Lighting</b> ASSOCIATES	<b>Job Name:</b> Byers Road Property - Precon	<b>Catalog Number:</b> NV-1-T3-16L-1-30K8-UNV-XX-XX-HSS Notes:
<b>PRODUCT SPECIFICATIONS</b>			
			
Weight: 24 lbs			
<b>OPTICAL CONFIGURATIONS</b> Rotatable Optics (ROR) Rotated Right, (ROL) Rotated Left options available. Optics field and factory rotatable.			
(OPP)  <b>NV-1 / 16L      NV-1 / 32L      NV-1 / 48L      NV-1 / 64L</b>			
<b>* OPTIC PLATE PAINTED TO MATCH FIXTURE FINISH (OPP)</b> – Optic Plate standard clear anodized, Grade 2. When (OPP) specified finish will match fixture finish.			
<b>OPTICS</b> Silicone optics high photothermal stability and light output provides higher powered LEDs with minimized lumen depreciation LED life. UV and thermal stability with scratch resistance increases exterior application durability.			
<ul style="list-style-type: none"> <li>• IES Types</li> </ul>  <b>TYPE II (T2)      TYPE III (T3)      TYPE IV (T4)      TYPE V (T5)      NEMA 3 (N3)</b>			
<b>NLS</b> <b>LIGHTING</b> 701 Kingshill Place, Carson, CA 90746 Call Us Today (310) 341-2037			

<b>P3</b> 269	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 20%; padding: 2px;">Submitted by Penn Lighting Associates</td> <td style="width: 40%; padding: 2px;">Job Name: Byers Road Property - Precon</td> <td style="width: 20%; padding: 2px;">Catalog Number: NV-1-T3-16L-1-30K8-UNV-XX-XX-HSS</td> <td style="width: 20%; padding: 2px;">Type: PENN23-226269</td> </tr> <tr> <td colspan="2" style="padding: 2px;">Penn Lighting ASSOCIATES</td> <td colspan="2" style="padding: 2px;">Notes:</td> </tr> </table> <div style="border: 1px solid black; padding: 10px; margin-top: 10px;"> <h3 style="text-align: center; margin: 0;">MOUNTING OPTIONS</h3> <div style="margin-top: 20px;"> <p><b>ARCHITECTURAL SWEEP ARM (ASA)</b> Cast Sweep Arm includes (as standard) Internal Quick Mount Bracket.</p>  </div> <hr style="margin: 10px 0;"/> <div style="margin-top: 20px;"> <p><b>DIRECT POLE (DP)</b> Standard mounting arm is extruded aluminum in lengths of 3" and 7". <i>*Arm lengths may vary depending on configuration</i></p> <div style="display: flex; justify-content: space-around; align-items: flex-end;"> <div style="text-align: center;"> <p><b>DPX ARM LENGTH</b></p> <table border="1" style="margin: 5px auto; border-collapse: collapse; width: fit-content;"> <tr> <th style="padding: 2px;">DPX ARM LENGTH</th> <th style="padding: 2px;">SGL</th> <th style="padding: 2px;">D90</th> <th style="padding: 2px;">D180</th> <th style="padding: 2px;">D180</th> <th style="padding: 2px;">T90</th> <th style="padding: 2px;">T120</th> <th style="padding: 2px;">QD</th> </tr> <tr> <td style="padding: 2px;">NV-1</td> <td style="padding: 2px;">3"</td> <td style="padding: 2px;">7"</td> <td style="padding: 2px;">3"</td> <td style="padding: 2px;">7"</td> <td style="padding: 2px;">7"</td> <td style="padding: 2px;">7"</td> <td style="padding: 2px;">7"</td> </tr> </table> </div> <div style="text-align: center;">  </div> </div> <hr style="margin: 10px 0;"/> <div style="margin-top: 20px;"> <p><b>WALL MOUNT (WM)</b> Cast Aluminum Plate for direct wall mount. 3" extruded aluminum arm mounts directly to a cast wall mount box.</p>  </div> <hr style="margin: 10px 0;"/> <div style="display: flex; justify-content: space-between;"> <div style="width: 45%;"> <p><b>EPA</b></p> <table border="1" style="margin: 5px auto; border-collapse: collapse; width: fit-content;"> <tr> <th style="padding: 2px;">EPA</th> <th style="padding: 2px;">SGL</th> <th style="padding: 2px;">D90</th> <th style="padding: 2px;">D180</th> <th style="padding: 2px;">T90</th> <th style="padding: 2px;">T120</th> <th style="padding: 2px;">QD</th> </tr> <tr> <td style="padding: 2px;">NV-1-DP3</td> <td style="padding: 2px;">0.46</td> <td style="padding: 2px;">0.92</td> <td style="padding: 2px;"></td> <td style="padding: 2px;"></td> <td style="padding: 2px;"></td> <td style="padding: 2px;"></td> </tr> <tr> <td style="padding: 2px;">NV-1-DP7</td> <td style="padding: 2px;">1.14</td> <td style="padding: 2px;">1.05</td> <td style="padding: 2px;">1.34</td> <td style="padding: 2px;">1.37</td> <td style="padding: 2px;">1.34</td> <td style="padding: 2px;"></td> </tr> <tr> <td style="padding: 2px;">NV-1-KM</td> <td style="padding: 2px;">0.54</td> <td style="padding: 2px;">N/A</td> <td style="padding: 2px;">1.08</td> <td style="padding: 2px;">N/A</td> <td style="padding: 2px;">N/A</td> <td style="padding: 2px;">N/A</td> </tr> <tr> <td style="padding: 2px;">NV-1-ASA</td> <td style="padding: 2px;">0.75</td> <td style="padding: 2px;">1.29</td> <td style="padding: 2px;">1.50</td> <td style="padding: 2px;">1.99</td> <td style="padding: 2px;">2.05</td> <td style="padding: 2px;">1.99</td> </tr> </table> </div> <div style="width: 50%;"> <p><b>MOUNTING CONFIGURATION</b></p> <table border="1" style="margin: 5px auto; border-collapse: collapse; width: fit-content;"> <tr> <td style="padding: 2px;">Single (SGL)</td> <td style="padding: 2px;">Double (D-90)</td> <td style="padding: 2px;">Double (D-180)</td> <td style="padding: 2px;">Triple (T-90)</td> <td style="padding: 2px;">Triple (T-180)</td> <td style="padding: 2px;">Quad (QD)</td> </tr> </table> </div> </div> </div> </div>	Submitted by Penn Lighting Associates	Job Name: Byers Road Property - Precon	Catalog Number: NV-1-T3-16L-1-30K8-UNV-XX-XX-HSS	Type: PENN23-226269	Penn Lighting ASSOCIATES		Notes:		DPX ARM LENGTH	SGL	D90	D180	D180	T90	T120	QD	NV-1	3"	7"	3"	7"	7"	7"	7"	EPA	SGL	D90	D180	T90	T120	QD	NV-1-DP3	0.46	0.92					NV-1-DP7	1.14	1.05	1.34	1.37	1.34		NV-1-KM	0.54	N/A	1.08	N/A	N/A	N/A	NV-1-ASA	0.75	1.29	1.50	1.99	2.05	1.99	Single (SGL)	Double (D-90)	Double (D-180)	Triple (T-90)	Triple (T-180)	Quad (QD)	<b>P3</b> 269
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QTY	SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE	NOTES
<u>SECTION 162-57. LANDSCAPE DESIGN STANDARDS (SALDO)</u>					
(LANDSCAPE DESIGN STANDARDS)					
STREET TREES					
3	•	<i>QUERCUS PALUSTRIS</i>	PIN OAK	3- 3.5" CAL., 14- 16' HT., SPACING AS SHOWN	
	•	(PLEASE NOTE ALTERNATE LOCATION)			
(MINIMUM PLANTING STANDARDS)					
BUILDING AREA LANDSCAPING					
2	✗	<i>PRUNUS SUBHIRTILLA 'AUTUMNALIS</i>	AUTUMN FLOWERING CHERRY	3- 3.5" CAL., 12-14' HT., 6- 7' SP., B&B	
5	●	<i>ILEX VERTICILLATA</i>	WINTERBERRY HOLLY	24-30" HT., 24-30" SP.	
3	●	<i>CLETHERA ALNIFOLIA 'HUMMINGBIRD'</i>	HUMMINGBIRD SUMMERSWEET	24-30" HT., 24-30" SP.	
5	●	<i>CEPHALOTAXUS HARRINGTONIA</i>	JAPANESE PLUM YEW	24-30" HT., 24-30" SP.	
14	○	<i>HYPERICUM CALYCINUM 'SUNBURST'</i>	ST. JOHNS WORT	24-30" HT., 24-30" SP.	
15	○	<i>ILEX GLABRA 'SHAMROCK'</i>	DWARF SHAMROCK INKBERRY	24-30" HT., 24-30" SP.	
PARKING & LOADING AREA LANDSCAPING, & PARKING LOT SCREEN & INTERIOR SHADE TREES					
3	○	<i>QUERCUS PHELLOS</i>	WILLOW OAK	3- 3.5" CAL., 12-14' HT., 6- 7' SP., B&B.	
2	○	<i>TELLIA CORDATA 'GREENSPIRE'</i>	GREENSPIRE LINDEN	3- 3.5" CAL., 12-14' HT., 6- 7' SP., B&B.	
6	●	<i>CLETHERA ALNIFOLIA 'HUMMINGBIRD'</i>	HUMMINGBIRD SUMMERSWEET	24-30" HT., 24-30" SP.	
5	●	<i>CEPHALOTAXUS HARRINGTONIA</i>	JAPANESE PLUM YEW	24-30" HT., 24-30" SP.	
7	○	<i>ILEX GLABRA 'SHAMROCK'</i>	DWARF SHAMROCK INKBERRY	24-30" HT., 24-30" SP.	
169	○	<i>JUNIPERUS CONFERTA</i>	SHORE JUNIPER	1 GAL CONT.	
EXISTING ROAD FRONTAGE REQUIREMENT					
5	✗	<i>ILEX x MESERVEAE 'CHINA GIRL'</i>	CHINA GIRL HOLLY	24-30" HT., 24-30" SP.	
5	●	<i>ILEX VERTICILLATA</i>	WINTERBERRY HOLLY	24-30" HT., 24-30" SP.	
TRACT BOUNDARY REQUIREMENT					
3	●	<i>CRYPTOMERIA JAPONICA 'RADICANS'</i>	JAPANESE CEDAR	8' HT., 4-5' SP., B&B	
8	○	<i>CORNUS SERICEA</i>	RED TWIG DOGWOOD	24-30" HT., 24-30" SP.	
27	○	<i>HYPERICUM CALYCINUM 'SUNBURST'</i>	ST. JOHNS WORT	24-30" HT., 24-30" SP.	
10	●	<i>ITEA VIRGINICA 'LITTLE HENRY'</i>	LITTLE HENRY SWEETSPIRE	24-30" HT., 24-30" SP.	
13	✗	<i>MYRICA PENNSYLVANICA</i>	NORTHERN BAYBERRY	24-30" HT., 24-30" SP.	
17	○	<i>VIBURNUM TRILOBUM 'COMPACTUM'</i>	COMPACT AMERICAN CRANBERRYBUSH	24-30" HT., 24-30" SP.	
10,000 SF. SEDED LAWN AREA					

NOTES:  
1. ALL DISTURBED AREAS ARE TO BE FINE GRADED, RAKED AND SEEDED.  
2. CONTRACTOR IS TO VERIFY SEEDING QUANTITY PRIOR TO BID.

## LEGEND

PROPOSED LIGHT FIXTURE,  
SEE CIVIL PLANS.

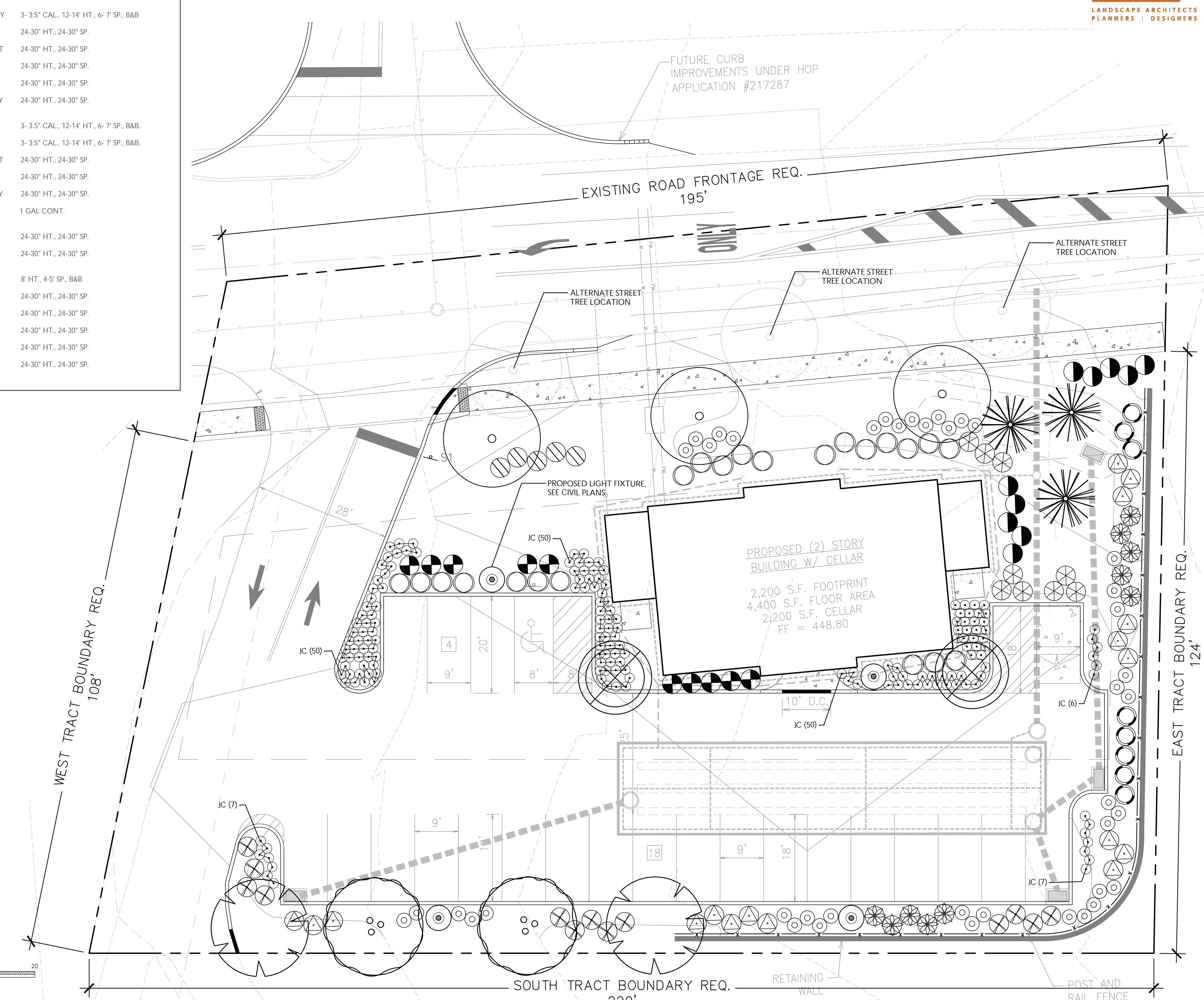
## SITE PLAN NOTES:

1. ALL LINES AND GRADE WORK NOT PRESENTLY ESTABLISHED AT THE SITE SHALL BE LAID OUT BY A REGISTERED LAND SURVEYOR OR PROFESSIONAL CIVIL ENGINEER EMPLOYED BY THE CONTRACTOR IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
2. THIS PLAN TO BE USED FOR LANDSCAPING AND SITE IMPROVEMENT PURPOSED ONLY.
3. PLANS CREATED FROM DRAWINGS FROM D.L. HOWELL & ASSOCIATES, INC. ENGINEERING DATED, 02/16/2023.
4. LOCATION OF ALL UNDERGROUND UTILITIES SHALL BE VERIFIED AND MARKED IN THE FIELD, PRIOR TO ANY DIGGING OPERATIONS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING EXISTING TREES AND PLANT MATERIAL WITHIN THE AREA OF PROPOSED IMPROVEMENTS.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF ALL DEBRIS OFF-SITE, CLEAN-UP OF ALL PAVED AREAS (ROADWAYS, SIDEWALKS, ETC.); AND RESTORATION OF ALL DISTURBED LAWN AREAS.
7. CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR ANY DAMAGE TO UNDERGROUND UTILITIES DAMAGED.
8. CONTRACTOR SHALL PROVIDE SCREENED PLANTING SOIL WHERE PLANTING IS TO OCCUR. 36" DEPTH. 6" DEPTH AT LAWN AREAS.
9. FOLLOWING COMPLETION OF ALL PLANTING INSTALLATION WORK, THE CONTRACTOR SHALL BE REQUIRED TO RESTORE ALL DISTURBED LAWN AREAS.
10. NO TREE SHALL BE PLANTED CLOSER THAN 10 FEET FROM AN UNDERGROUND UTILITY.
11. ALL LINES ARE PARALLEL OR PERPENDICULAR UNLESS SHOWN OTHERWISE.
12. VERIFY LAYOUT OF ALL PROPOSED WORK TO EXISTING CONDITIONS. REPORT DISCREPANCIES BEFORE ANY CLEARING OR EXCAVATION IS DONE.
13. PROVIDE STAKED LAYOUT ON SITE FOR OWNER AND LANDSCAPE ARCHITECT'S REVIEW PRIOR TO COMMENCING WORK.
14. ALL DIMENSIONS SHOWN ARE TO FACE OF MATERIALS, UNLESS SHOWN OTHERWISE.
15. PLEASE NOTE, CLIENT DID NOT RETAIN STUART AND ASSOCIATES, LLC.. TO PROVIDE LONG TERM MAINTENANCE SPECIFICATIONS FOR THE LANDSCAPE MATERIAL.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING PA ONE CALL AND LOCATING ALL UNDERGROUND UTILITIES BEFORE ANY DIGGING OR PLANT REMOVAL OCCURS.
17. CONTRACTOR SHALL INSTALL SILT FENCE IN ANY AREAS WHERE SOIL MAY RUNOFF INTO PARKING AREAS OR INTO EXISTING INLETS.
18. FOLLOWING THE COMPLETION, THE EXISTING VEGETATION WILL BE INSPECTED FOR HEALTH AND QUALITY, AND IF NOT DEEMED IN GOOD CONDITION, REPLACED WITH THE EQUIVALENT COMPENSATORY PLANTINGS.
19. V.I.F. = VERIFY IN FIELD.

NOTE:

## 1. SEE PLANTING SCHEDULES AND CHARTS L9.00

A horizontal scale bar with tick marks at 10, 0, 5, and 10. The segments between the marks are labeled with diagonal hatching. Below the scale bar, the text "GRAPHIC SCALE" is centered, and below that, "1 inch = 10 feet" is written.



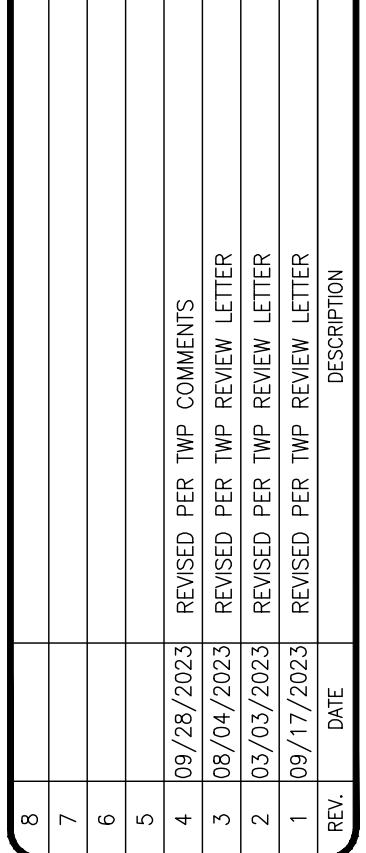
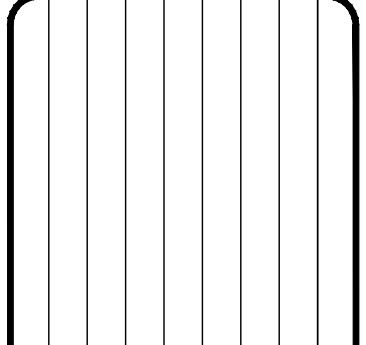
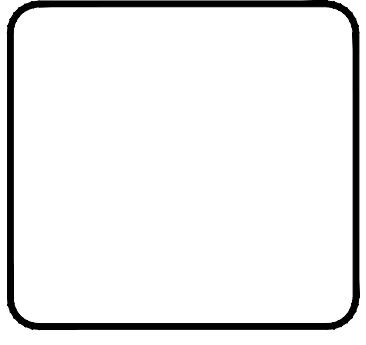
# stuart

LANDSCAPE ARCHITECTS  
PLANNERS | DESIGNERS

# DLHowell

Civil Engineering  
Land Planning  
Environmental  
[www.DLHowell.com](http://www.DLHowell.com)

1250 Wrights Lane  
West Chester, PA 19380  
Phone: (610) 918-9002  
Fax: (610) 918-9003



# PRELIMINARY LANDSCAPE PLAN

DATE:	12/21/2021
SCALE:	1"=10'
DRAWN BY:	KKM
CHECKED BY:	PJS
PROJECT NO.:	2146
CAD FILE:	QBD VENTURES TLP.dwg
PLOTTED:	09/28/2023
DRAWING NO.:	C09.01





**GILMORE & ASSOCIATES, INC.**  
ENGINEERING & CONSULTING SERVICES

September 11, 2023

E-MAIL ONLY

File No. 09-07021T

Mr. Tony Scheivert  
Upper Uwchlan Township Manager  
140 Pottstown Pike  
Chester Springs, PA 19425

Reference: QBD Ventures  
Preliminary/Final Land Development Plan  
Upper Uwchlan Township, Chester County, PA

Dear Tony:

Gilmore & Associates, Inc. (G&A) is in receipt of the following documents:

- Response Letter from DL Howell dated August 4, 2023.
- Plan set consisting of thirteen (13) sheets titled “QBD Ventures” prepared by D.L. Howell & Associates, Inc. (Howell), dated December 21, 2020, last revised August 4, 2023.

G&A, as well as the other Township Consultants have completed our third review of the above referenced Preliminary/Final Land Development Application for compliance with the applicable sections of the Township’s Zoning Ordinance, Stormwater Management Ordinance, and Subdivision and Land Development Ordinance, and wish to submit the following comments for your consideration. The project did receive Final Land Development Approval in August 2010; however, that approval has expired.

Please note that comments with a **(RW)** denotes a requested waiver and may require relief from the Township Ordinances. Comments in *italics* are from our previous review letter, and comments in **bold text** require resolution by the applicant. Previous comments which have been satisfactorily addressed are not repeated herein.

BUILDING ON A FOUNDATION OF EXCELLENCE

184 W. Main Street | Suite 300 | Trappe, PA 19426  
Phone: 610-489-4949 | Fax: 610-489-8447  
[www.gilmore-assoc.com](http://www.gilmore-assoc.com)

File No. 09-07021T

September 11, 2023

**I. OVERVIEW**

The parcel is approximately 0.7 acres in size and is zoned C-1 (Village Commercial District) and is located approximately 300 feet east of the intersection of Graphite Mine Road and Byers Road. The Applicant is proposing to demolish the existing buildings and construct a 2-story, 4,400 SF office building with and associated parking facilities. The parcel will provide a two-way access via Byers Road. An underground detention basin will be utilized to control the increased runoff from the subject site.

**II. ZONING**

We have no zoning comments at this time.

**III. SUBDIVISION & LAND DEVELOPMENT ORDINANCE REVIEW**

1. (RW) Section 162-8.B. – *The Applicant has submitted this application as a Preliminary/Final Application. A waiver is required from this section to permit this type of approval.*

*The Applicant has requested a waiver to allow this application to be considered a Preliminary/Final Application. We have no objection to this request.*

2. (RW) Section 162-32.F - *A waiver is being requested, and was previously granted, to permit a 35' curb radius on the southwest corner of the intersection of the proposed driveway and Byers Road contingent upon Pa-DOT's concurrence. However, as the land development approval has expired, it is being requested again.*

3. (RW) Section 162-55.D.(1) & (2) - *A portion of the southeastern corner of the site contains Glenville Silt Loam, which is classified as a hydric soil and is part of a riparian buffer area. The plans shall indicate this area as a riparian buffer; it is noted that an inlet, a storm pipe, paving, and a portion of the retaining wall are proposed within the riparian buffer. A waiver is being requested, and was previously granted, to permit the construction of a structure in the riparian buffer. However, as the land development approval has expired, it is being requested again.*

File No. 09-07021T

September 11, 2023

4. (RW) Section 162-57.6(b) – A partial waiver is being requested to allow a modified Landscape Plan with regard to building façade plantings, parking and loading landscaping, road frontage and tract boundary plantings.

*We defer to the Planning Commission as to whether the proposed landscaping is sufficient to serve as an adequate buffer.*

#### **IV. STORMWATER MANAGEMENT ORDINANCE REVIEW**

1. (RW) Section 152-305.A and 152-306.A - A waiver is being requested to not provide the required stormwater runoff volume reduction due to high groundwater levels on the property. The infiltration testing report concluded that an infiltration rate of 0.085 inches per hour should be used for design.

*Due to the poor infiltration rates found on the site, we support the granting of this waiver.*

2. (RW) Section 152-311.D - A waiver is being requested to provide an underdrain that is less than the minimum 18" below the foundation. The underdrain system should be in compliance with this section of the ordinance. The Applicant should verify that the underdrain system will be able to adequately drain and elevations should be provided on the plan which verify the underdrain is a minimum of 18" below the foundation as required under this section.

As proposed, the underdrain will be located approximately 16" below the foundation. We feel the difference between the required separation and that which is provided is de minimis. This coupled with the fact providing the required 18" will not allow for positive drainage away from the building, we support the waiver.

3. Section 152-402.F. – The Applicant shall provide an O&M plan, and agreement.

#### **V. GENERAL COMMENTS**

No comments at this time.

File No. 09-07021T

September 11, 2023

**VI. TOWNSHIP TRAFFIC CONSULTANT COMMENTS  
(McMAHON ASSOCIATES, INC.)**

Based on our review, all of our previous technical comments have been addressed, and we have no further comments. The following is offered for informational purposes only.

Chapter 79-8.C – The proposed redevelopment is located in the Township's Act 209 Transportation Service Area, and as such, this site is subject to the Township's Transportation Impact Fee of \$2,334 per weekday afternoon peak hour trip. Based on the Institute of Transportation Engineers publication Trip Generation, 10th Edition, the proposed 4,400 square feet of office space generates five weekday afternoon peak hour trips. Therefore, the number of trips subject to the Township's Transportation Impact fee is five, and the resultant fee is **\$11,670**.

**VII. TOWNSHIP PLANNING CONSULTANT COMMENTS  
(BRANDYWINE CONSERVANCY )**

All outstanding comments have been addressed.

**VIII. TOWNSHIP MUNICIPAL AUTHORITY CONSULTANT COMMENTS  
(ARRO CONSULTING, INC.)**

1. The current plan currently shows the sanitary sewer mains within Byers Road in the proposed locations, the as-constructed conditions should be reflected on the plans. Additionally, a sanitary sewer lateral has been provided for this property. The proposed private sanitary sewer drain location should be revised accordingly. The as-constructed plan information will be provided to the applicant's engineer.

Mr. Tony Scheivert

Page - 5 -

Upper Uwchlan Township Manager

Reference: QBD Ventures

Preliminary/Final Land Development Plan

Upper Uwchlan Township, Chester County, PA

File No. 09-07021T

September 11, 2023

2. We estimate the anticipated sewer usage to be 225 gallons per day (GPD) or one (1) equivalent dwelling unit (EDU). The required capacity will need to be purchased by the applicant. We recommend the Township reserve the right to review water usage in the future and require the purchase of additional sanitary sewer capacity if warranted.
3. The necessary financial security shall be posted with the Township, which shall be in a form and amount acceptable to the Township.

This concludes the third review of the above-referenced plan. We would recommend the plans be revised to address the above referenced comments as any comments raised by the Township Planning Commission or Board of Supervisors.

If you have any questions, please do not hesitate to contact me.

Sincerely,

*David N. Leh*

David N. Leh, P.E.

Vice President

Gilmore & Associates, Inc.

cc: Upper Uwchlan Township Planning Commission Members  
Upper Uwchlan Township Board of Supervisors  
Kristin Camp, Esq. – BBM&M LLP (via email only)  
Rob Daniels, ASLA, Brandywine Conservancy (Via e-mail only)  
Christopher J. Williams, P.E., McMahon Assoc., Inc. (Via e-mail only)  
David Schlott, P.E., ARRO Consulting, Inc. (Via e-mail only)  
Peter Rogers, Applicant (Via e-mail only)  
David Gibbons, P.E., D.L. Howell & Associates (Via e-mail only)

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March 4, 2021

Dave Leh, Upper Uwchlan Township Engineer  
184 W. Main Street, Suite 300  
Trappe, PA 19426

**RE: Preliminary/Final Land Development Plan Application:  
QBD Ventures  
Waiver Request Letter**

Dear Mr. Leh:

On behalf of the applicant for the above referenced project we are requesting the following waivers from Upper Uwchlan Township Subdivision and Land Development Ordinance.

1. A Waiver is being requested from Section 162-32.F of the Upper Uwchlan Township Subdivision and Land Development Ordinance to allow a curb radius on the southwest corner of the intersection of the proposed driveway be less than the required 35 feet. We have demonstrated that the radii as proposed will accommodate the largest expected delivery vehicle to the property (a UPS-type truck) and the township's emergency vehicles (fire and ambulance). The small size of the lot makes a 35' radii virtually impossible to implement while still retaining a viable sized building and supporting parking, etc. on the lot. The proposed approximate 2,200 SF building footprint is smaller than most new homes being constructed in the township. The proposed radius of 15' on the western side of the entrance is also needed to not encroach on the adjacent property. Please note this radius is in the same general vicinity of the existing driveway. This curb radius is subject to the approval by PennDOT as it is located within the legal right of way of a State Highway.
2. A Waiver is being requested from Section 162-55.D.1 and Section 162-55.D.2 of the Upper Uwchlan Township Subdivision and Land Development Ordinance to allow an inlet, storm pipe, paving and a portion of a retaining wall within an area classified as Riparian Buffer due to it containing hydric soils, in addition to allowing the removal of an existing maple tree within said area. Vegetation management in the buffer, per the code, is not permitted, however this small portion of the south eastern corner of the lot that contains hydric soil per the soil conservation service's soils map and therefore is considered to be in the riparian buffer zone per section 162-55.D.(1) to (2) of the SALDO. Most of this small area has already been covered by a stoned driveway for many years and does not contribute to any ground water recharge, etc. Due to the small size of the lot, and our desire to accommodate the township's request to respect the proposed ultimate ROW for Byers Road (for when Byers Road is to be expanded to a four lane highway as a collector road per the township zoning ordinance), we have had to place a storm water inlet, some storm water piping, paving and a part of a retaining wall in the area previously used as the stoned driveway and we hereby request a waiver from the requirements of these sections of the SALDO.
3. A Waiver is being requested from Section 152-305.A and Section 152-306 of the Upper Uwchlan Township Stormwater Management Ordinance to not provide the required stormwater runoff volume reduction due to high groundwater levels on the property. The soils on-site are not suitable for infiltration and a lined underground pipe storage system is provided in lieu of a typical infiltration BMP to provide for the necessary peak flow reductions also required by the ordinance.

4. A Waiver is being requested from Section 152-311.D of the Upper Uwchlan Township Stormwater Management Ordinance to provide an underdrain that is less than the minimum 18" below the foundation. Based on the surrounding flat topography and the requirement to discharge the underdrain to a location that will provide proper positive flow away from the foundation, it is necessary to set the underdrain less than 18" below the foundation.
5. During the course of the review when the land development previously was proposed, the Township's Consultants had commented that strict compliance with the landscaping requirements contained in the Township's Subdivision and Land Development Ordinance is not possible without resulting in an over-planted site, i.e. No proper visibility into the site, trees being planted too close to other trees, conflicts between trees and lights, and no consistency with the existing tree plantings in Eagle and existing village landscape patterns. Our landscape consultant strongly agrees with this assessment, and therefore we request a Waiver from strict compliance with the SALDO's landscape requirements such that our landscape architect will prepare a landscaping plan that all parties can agree is proper in scale for the subject property even though it will not be in compliance with all of the township's ordinance's landscaping requirements. The ordinance sections where a partial waiver is being requested to not provide full landscaping is Section 162-57.6(b), and Section 162-57 with regard to building façade plantings, parking and loading landscaping, road frontage and tract boundary plantings.

Thank you for consideration of these Waiver Requests.

Sincerely,  
D.L. HOWELL & ASSOCIATES, INC.



David W. Gibbons, PE  
Senior Engineer



## Upper Uwchlan Township

August 31, 2010

Peter Rodgers  
QBD Ventures  
2800 Horseshoe Trail  
Chester Springs, PA 19425

Reference: 164 Byers Road - Land Development Plan  
Conditions of Preliminary / Final Land Development Plan Approval

Dear Mr. Rodgers:

This letter corrects a typographical error contained in Condition #5 of my August 25 letter to you regarding the Board's August 16 approval of the above-mentioned Land Development Plan.

The permitted curb radius is 15', as stated below. My apologies for any inconvenience this may have caused.

1. The plans shall be revised to comply with Gilmore & Associates, Inc.'s review letter dated August 9, 2010.
2. A waiver from SALDO Section 162-51.H.(4) is hereby granted to permit the building's foundation drain to be set a minimum of 12" below the foundation.
3. A waiver from SALDO Section 162-51.C.(1).(c) is hereby granted regarding stormwater runoff volume reduction.
4. A waiver from SALDO Section 162-55.D.(1) is hereby granted to permit the construction of a structure in alluvial soils.
5. A waiver from SALDO Section 162-32.F. is hereby granted to permit a 15' curb radius on the southwest corner of the intersection of the proposed driveway and Byers Road contingent upon Pa-DOT's concurrence.
6. Sidewalk shall be provided along the property frontage as described in comment number 1 of Brandywine Conservancy's August 6, 2010 review letter. However, a

sidewalk connecting from the building to the sidewalk along the property frontage is not required.

7. The applicant agrees to pay a Traffic Impact Fee in the amount of **\$11,399.36**. The fee shall be paid prior to a Building Permit Being issued.

If you have any questions, please contact this office.

*Yours truly,*

*Cary B. Vargo,  
Township Manager*

CBV/dnl/gaj

Cc:      Board of Supervisors  
        Al Gaspari, Codes Administrator  
        Dave Leh, P.E. – Gilmore & Associates  
        Sheila Fleming, Senior Planner – Brandywine Conservancy  
        Matt Brown, P.E., DEE – ARRO  
        Chris Williams, P.E. – McMahon Associates



**GILMORE & ASSOCIATES, INC.**  
ENGINEERING & CONSULTING SERVICES

August 9, 2010

File No. 09-07021T

Mr. Cary Vargo  
Upper Uwchlan Township Manager  
140 Pottstown Pike  
Chester Springs, PA 19425

Reference: QDB Ventures  
Preliminary/Final Subdivision and Land Development Plan  
Upper Uwchlan Township, Chester County, PA

Dear Mr. Vargo:

Gilmore & Associates, Inc. (G&A) is in receipt of a plan prepared by D.L. Howell & Associates, Inc. (Howell) titled, "QBD Ventures," dated September 18, 2009, last revised July 19, 2010 along with a response letter dated July 22, 2010. The subject parcel is located approximately 300 feet east of the intersection of Graphite Mine Road and Byers Road.

G&A, as well as the other Township Consultants, have completed our second review of the above referenced Preliminary/Final Subdivision and Land Development Plan for compliance with the applicable sections of the Township's Zoning Ordinance and Subdivision and Land Development Ordinance, and wish to submit the following comments for your consideration.

**I. OVERVIEW**

The parcel is approximately 0.7 acres in size and is zoned C-1 (Village Commercial District). The Applicant is proposing to demolish the existing buildings and construct a 2-story, 4,400SF office building and associated parking facilities. The parcel will provide a two-way access via Byers Road. An underground detention basin will be utilized to control the increased runoff from the subject site.

**II. SUBDIVISION & LAND DEVELOPMENT ORDINANCE REVIEW**

1. *Section 162-51.H.(4) – An underdrain system should be designed for the proposed building. The underdrain system should be in compliance with this*

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*section of the ordinance. The Applicant should verify that the underdrain system will be able to adequately drain as it appears that the inverts in the existing inlet, within Byers Road, are too high.*

**Elevations should be provided on the plan which verify the underdrain is a minimum of 18" below the foundation as required under this section.**

2. (W) Section 162-51.C.(1).(c) – The Applicant has requested a waiver from providing the required stormwater runoff volume reduction. We would recommend the waiver contingent upon the Applicant providing additional post-developed runoff rate reduction (100-year post-developed rate reduced to the pre-developed 50-year rate).

**Calculations have been provided as requested which verify the runoff rate for the 100 year post-developed storm will be reduced to the pre-developed 50-year rate. Therefore we would recommend the waiver be granted. However a complete stormwater management report should be provided which includes these revised calculations.**

3. (W) Section 162-55.D.(1) – *No structures may be placed within any riparian buffer and no land disturbance is permitted. The riparian buffer definition includes alluvial soils. A portion of the site is comprised of alluvial soils. This area should be delineated and indicated as a riparian buffer. Currently disturbance is proposed and an inlet, a storm pipe, paving, and a portion of the retaining wall are shown within the riparian buffer. A waiver should be requested.*

**The applicant has requested a waiver from this section. We would recommend this waiver be granted.**

### **III. STORMWATER MANAGEMENT ORDINANCE REVIEW**

1. Section 152-17.A – *The property owner shall sign an operations and maintenance agreement with the Township covering all stormwater BMP's that are to be privately owned. The agreement shall be substantially the same as the agreement in Appendix B of this Ordinance.*

**This agreement should be executed prior to the land development plans being recorded.**

**IV. GENERAL COMMENTS**

1. *The Applicant should clarify how the retaining wall will be constructed without impacting the adjacent properties. The proposed retaining wall is located approximately one (1) foot from the property line and is immediately adjacent to several existing trees and an existing fence line.*

**A construction detail should be provided on the plan. Shop drawings for wall must be provided prior to construction.**

2. *A detail should be provided for pipe trench restoration in both paved and unpaved areas.*

**A detail has been provided as requested. However, the stormpipe detail should be revised to indicate there is to be a minimum of 12" of 2A stone provided above the top of the pipe under paved areas.**

3. **Inlet IM2 should be lowered so it is in sump condition and the area along the site frontage should be regarded so runoff is directed towards the inlet as intended.**

**V. TOWNSHIP TRAFFIC CONSULTANT COMMENTS  
(McMAHON ASSOCIATES, INC.)**

1. The applicant should provide a copy of the HOP plans and all PennDOT comment letters received to date regarding the access driveway for Township review. Specifically, any correspondence regarding the proposed 15-foot southwest curb radius and the uncurbed west side of the driveway should be provided for review.
2. The truck turning template showing the emergency service vehicle turning right into the site access should be revised so that the vehicle path does not traverse off of the western pavement edge of the driveway.
3. (W) The applicant is requesting a waiver of Section 162-32.F of the *Subdivision and Land Development Ordinance* to allow a 15-foot curb radius on the southwest corner of the widened driveway. Since truck turning templates indicate that the responding fire department's largest emergency service vehicle can access the site as designed, we preliminarily support this waiver, subject to the review and approval of PennDOT.

4. The applicant's engineer has indicated that a floating access easement is not proposed as part of this development. If at all possible, we continue to recommend a floating access easement consistent with the Township's new Access Management Ordinance should be provided in order to provide the opportunity for cross access connections between adjacent properties in the future, although we understand this application was filed in 2009 prior to completion of the new Ordinance.
5. The applicant's engineer has indicated that if the other properties that share the proposed driveway ever redevelop in the future, any modification of the driveway will be provided at that time. A note should be added to the plan indicating that if this subject property or the adjacent properties that share the proposed access ever redevelop or change use, these properties will be responsible for any modifications to the access if needed.
6. Since Byers Road (S.R. 1022) is a state highway, the driveway design will be subject to the review and approval of PennDOT for issuance of a Highway Occupancy Permit.
7. Based on the trip generation data contained in the Institute of Transportation Engineers' publication, *Trip Generation, Eighth Edition*, the proposed 4,400 square-foot office building will generate approximately seven new trips to the study area roadways during the weekday afternoon peak hour. Therefore, the number of trips that should be subject to the Township's Transportation Impact Fee is **seven**, and the resultant transportation impact fee is **\$11,399.36**.

**VI. TOWNSHIP PLANNING CONSULTANT COMMENTS  
(BRANDYWINE CONSERVANCY )**

**Comments will be provided under separate cover.**

**VII. TOWNSHIP MUNICIPAL AUTHORITY CONSULTANT  
(ARRO CONSULTING, INC.)**

1. The applicant shall have a Land Planning Module approved by the Pennsylvania Department of Environmental Protection for the proposed holding tank.

File No. 09-07021T

August 9, 2010

2. The applicant shall provide design computations for the sizing of the proposed holding tank.
3. It appears that the lateral is in conflict with two proposed shrubs. There shall be no trees or shrubs located closer than ten (10) feet to the proposed sanitary sewer lateral.
4. A Pump and Haul Agreement for this project shall be executed prior to final approval of the Plan.
5. Although the Plan does now show the proposed means of sewage conveyance including sewer lateral location, pipe material, pipe diameter, and the holding tank locations, Standard Details 4600SD14 and 4600SD24 from the Upper Uwchlan Township Technical Specifications should be shown on the detail drawing sheet. A copy of these details is enclosed for the applicant's use.

**VIII. TOWNSHIP LIGHTING CONSULTANT COMMENTS**  
**(C. STANLEY STUBBE)**

Proposed lighting consists of 5 250-watt pulse start metal halide luminaires with backlight shields, pole-mounted at 20' AFG. Lighting is to be switched by a programmable controller for automatic shutoff within 1 hour of the close of business. According to General Note 4, Applicant does not propose the use of all-night safety/security lighting. No other exterior lighting is proposed.

Section 162-58.C.(3)(i) requires that light trespass onto an adjacent residential use not exceed 0.1 vertical footcandle measured line-of-sight at the property boundary. Values as high as 1.3 footcandles are plotted beyond the east property boundary. However, the Howell letter states that the property to the east is not a residential use.

The following comment and recommendation is offered for Township consideration based on the requirements contained in SLDO Section 162-58. Lighting. [Added 6-17-2002 by Ord. No. 02-04] and reasonable and customary engineering practices:

- Section 162-58.C.(4) requires that poles directly behind parking spaces are to be protected from backing vehicles by being set back 5' feet from face of curb or edge of paving or set atop a 30" high concrete pedestal or otherwise suitably protected. Applicant proposes a 3' setback for the unprotected pole directly behind a parking space.

**It is recommended that Applicant be requested to provide a 5' minimum setback or other protective means such as a steel bollard.**

Mr. Cary Vargo, Upper Uwchlan Township Manager

Page - 6 -

Reference: QDB Ventures

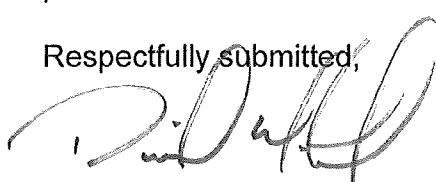
Preliminary/Final Subdivision and Land Development Plan  
Upper Uwchlan Township, Chester County, PA

File No. 09-07021T

August 9, 2010

This concludes the first review of the above-referenced plan. We would recommend **Preliminary / Final Approval** be considered at this time, contingent upon the Applicant addressing the above referenced comments as well as any comments raised by the Township Planning Commission or Board of Supervisors. If you have any questions, please do not hesitate to contact me.

Respectfully submitted,



David N. Leh, P.E.  
Upper Uwchlan Township Engineer  
Gilmore & Associates, Inc.

cc: Upper Uwchlan Township Planning Commission Members  
Upper Uwchlan Township Board of Supervisors Members  
Sheila E. Fleming, ASLA, Brandywine Conservancy  
Christopher J. Williams, P.E., McMahon Assoc., Inc.  
G. Mathew Brown, P.E., Arro Consulting, Inc.  
C. Stanley Stubbe, C. Stanley Stubbe  
Justin Linette, P.E., D.L. Howell & Associates  
QBD Ventures, Applicant



## UPPER UWCHLAN TOWNSHIP

Planning Commission Meeting

September 14, 2023

7:00 p.m. Meeting

Minutes

**Draft**

LOCATION: Township Building, 140 Pottstown Pike, Chester Springs PA 19425

Attendees:

Sally Winterton, Chair; David Colajezzi, Jim Dewees, Vikas Harjani, Jeff Smith

MaryLou Lowrie, P.E., Gilmore & Associates

Gwen Jonik, Planning Commission Secretary

Absent: Chad Adams, Stephen Fean, Ravi Mayreddy, Joe Stoyack

Sally Winterton called the Meeting to order at 7:00 p.m. and welcomed new member, Vik Harjani. A quorum was present. There were 2 citizens in attendance.

Approval of Minutes

Jeff Smith moved, seconded by Jim Dewees, to approve as presented the minutes of the June 8, 2023 Planning Commission Meeting. The motion carried unanimously.

164 Byers Road / QBD Ventures Preliminary-Final Land Development Plan

Alexander Mundy, DL Howell, was representing property owner Peter Rodgers for this land development plan dated December 2020 and last revised August 4, 2023. Proposed is a 2,200 SF footprint 2-story office building with 22 parking spaces (as required) on a currently vacant 0.7-acre lot on Byers Road, across from the "Fieldstone at Chester Springs" senior living facility that is under construction. The Plan had received approval in August 2010 but that approval has expired. Previously granted waivers are again requested.

Mr. Munday advised that the curb radius is less than 35', a retention bed is being used for stormwater management as it's a small lot, the previous building was demolished, there are public water and public sewer connections, they've received a current PennDOT highway occupancy permit – striping, new curb; the 2010 plan was approved but not recorded, there is a driveway easement agreement to serve the 2 lots behind this parcel.

The Planning Commission reviewed Gilmore & Associates' September 11, 2023 review letter and questioned the waiver for the landscaping requirements. Since it is a small lot, they can't fit all of the required plantings. They are proposing a long detention basin that will slowly release the water for the stormwater management, and they're a 16" deep underdrain instead of the 18" required because that would be deeper than the inlet and it wouldn't drain. They are meeting the flow reduction, not infiltration.

Mr. Mundy advised they'll comply with all the other comments. Sally Winterton called attention to the proposed lighting fixtures and advised Mr. Mundy that while the Township is updating the Village Concept Plan and Village Design Guidelines, we might want to continue the village light fixtures from Eagle into Byers historic village, along the sidewalk.

Jim Dewees questioned the architecture/design of building being consistent with the other buildings in Byers historic village. Mr. Mundy replied the design would be consistent.

Other discussion and comments included:

The proposed landscaping will provide a nice buffer with the neighbors;

There are a few questions so perhaps only approve preliminary plan approval;

The vegetation right at the driveway might create sight-distance issues.

Jeff Smith moved to recommend granting only the waiver for combined preliminary/final plan approval. Jim Dewees seconded. Discussion included members not recalling the architectural design of the building and several other points. They'd like to see some of the original 2021 presentation. Mr. Smith withdrew his motion.

Jeff Smith moved to recommend preliminary plan approval with a condition that the developer return with architectural renderings before they consider recommending final plan approval. Sally Winterton added that the developer review the existing Village Design Guidelines as they draft a design.

Jeff Smith moved to not recommend granting the waiver for preliminary-final; he is comfortable with preliminary plan approval but would like to see elevations prior to final approval. David Colajezzi seconded the motion. Sally Winterton amended the motion to just recommend preliminary plan approval only and leave the elevations separate. Mr. Mundy noted that 2 elevations had been sent previously and one of those would most likely be the design. The motion carried with four (4) in favor and one (1) opposed (Deweese).

Regarding the remaining waivers, the Commission is not supportive of the partial waiver for a modified landscape plan, they do not favor the reduced plantings and placement of a tree right by the driveway.

Jeff Smith moved to recommend granting only the following waivers:

to permit the 35' curb radius;

to permit the construction of a structure in the riparian buffer;

to not provide the required stormwater runoff volume reduction;

to provide an underdrain that is less than the minimum 18" below the foundation.

Vikas Harjani seconded, and the motion carried unanimously.

Sally Winterton noted that when DL Howell is ready to return to the Planning Commission, they should have reviewed the existing Village Design Guidelines and the building should be compatible with the adjacent Byers Station Historic District -- Victorian, not palladium – and they'd like greater detail regarding the landscape design.

### Meeting Updates

Environmental Advisory Council (EAC). Jeff Smith reported the EAC was going to have a roadside litter cleanup September 16 but it's being postponed; they're hosting a shredding/e-waste event October 14; they reviewed an amendment to the Alternative Energy Ordinance; they'll participate in Trunk or Treat and the annual Tree Lighting Ceremony.

Historical Commission (HC). David Colajezzi reported a lecture on Warwick Furnace September 24; he and Jim Dewees met with the HC a few months ago to discuss the Historic Resource Protection Plan; they hosted one of the County's summer walking tours; there are 2 vacancies, and there are 2 candidates; the historic resource inventory update is being reviewed; the Upland Farm farmhouse is getting new electric.

Active Transportation Plan (ATP). Sally Winterton reported that there's a public workshop September 27 at the Barn at Upland Farm where the information from the public survey and other types of input will be presented.

Next Meeting

Sally Winterton announced the next meeting is October 12, 2023, 7:00 p.m. There might be a 6:00 p.m. Workshop for ordinance review and discussion.

Open Session

Gwen Jonik advised the Board of Supervisors will authorize advertising of the Alternative Energy Ordinance amendments for adoption at their October meeting; the last summer concert is postponed to September 17.

Gerry Stein asked for news of the proposed warehouse at the 'Happy Days Farm' on Route 100 in Uwchlan Township. Jeff Smith advised that it had been approved and the developer hopes to start construction this Fall. Nothing is happening right now with the proposed warehouse at Lionville Station Farm - it was only a sketch plan, but they have to do something by November or the Agreement of Sale expires.

Gerry Stein advised that a tour of some of the Milford Mills ruins is being offered in October by the Marsh Creek State Park Ranger. It'll be open to anyone.

David Colajezzi asked when Celebree School plans to break ground (on Byers Station Parcel 5C Lot 2B). Jeff Smith noted nothing is happening yet but they hope by Spring 2024.

Adjournment

Jim Dewees moved, seconded by David Colajezzi, to adjourn at 8:33 p.m. All were in favor.

Respectfully submitted,

Gwen A. Jonik  
Planning Commission Secretary