



UPPER UWCHLAN TOWNSHIP
PLANNING COMMISSION
AGENDA

June 8, 2023
7:00 p.m.

LOCATION

Upper Uwchlan Township Building, 140 Pottstown Pike, Chester Springs PA 19425

- | | | Packet Page # |
|-------|--|---------------|
| I. | 7:00 PM Meeting Call To Order | |
| II. | Chester County Parks & Facilities Conditional Use and Land Development Plan,
and Natural Lands Trust Conditional Use Plan
Review consultants' comments of the County's revised Plan (May 17, 2023)
to extend the Struble Trail from its current terminus, across Dorlan Mill Road,
to Marsh Creek State Park. Consider making recommendations for approval
of both Conditional Use Applications and the County's Land Development Plan. | 2 |
| III. | Eagleview Lot 1A Preliminary/Final Land Development Plan
Review consultants' comments of plans last revised April 25, 2023.
Consider making recommendation for approval. | 38 |
| IV. | Approval of Minutes: April 13, 2023 Workshop and Meeting
May 11, 2023 Workshop and Meeting | 58
61 |
| V. | Meeting Updates ~ Reports
A. Environmental Advisory Council (EAC)
B. Historical Commission (HC)
C. Active Transportation Plan (ATP) | |
| VI. | Next Meeting Date: July 13, 2023 7:00 p.m. | |
| VII. | Open Session | |
| VIII. | Adjournment | |



June 1, 2023

File No. 13-11046T

VIA E-MAIL ONLY

Mr. Tony Scheivert
Upper Uwchlan Township Manager
140 Pottstown Pike
Chester Springs, PA 19425

Reference: Struble Trail – Extension II
Preliminary/Final Land Development Application and Conditional Use Application
Upper Uwchlan Township, Chester County, PA

Dear Tony:

Gilmore & Associates, Inc. (G&A) is in receipt of the following documents prepared by Bursich Associates, Inc., unless otherwise noted:

- Letter of Transmittal to Upper Uwchlan Township, dated May 17, 2023.
- Plan review Response Letter dated May 17, 2023.
- Plan set consisting of nineteen (19) sheets titled “Preliminary / Final Land Development Plans Struble Trail – Extension II,” dated May 1, 2019 and last revised May 17, 2023.
- Report titled “Post Construction Stormwater Management Report for Struble Trail Extension II,” dated April 2023 and revised May 17, 2023.

G&A, as well as the other Township Consultants, have completed our fourth review of the above referenced Conditional Use Application and Preliminary / Final Land Development Application for compliance with the applicable sections of the Township's Zoning Ordinance, Subdivision and Land Development Ordinance, and Stormwater Management Ordinance, and wish to submit the following comments for your consideration.

Please note that comments with **(CU)** or **(RW)** may require relief from the Township Ordinances. A **(CU)** denotes a conditional use may be required or has previously been granted, and **(RW)** denotes a requested waiver. Comments in *italics* are from our previous review, and comments in **bold text** require resolution by the applicant.

Reference: Struble Trail – Extension II

Preliminary/Final Land Development and Conditional Use Application

Upper Uwchlan Township, Chester County, PA

File No. 13-11046T

June 1, 2023

I. OVERVIEW

The subject site is located off Dorlan Mill Road (S.R. 4019) in Upper Uwchlan Township, Chester County, Pennsylvania. The site is zone Limited Industrial (L-I). The project intends to make improvements to an existing trailhead for the Struble Trail. The Struble Trail is a multi-use trail system along the bed of the abandoned East Branch Brandywine Railroad Company railroad line and follows the East Branch Brandywine Creek. The open, paved section of the trail currently extends 2.6 miles from the existing trailhead at Dorlan Mill Road to a parking area on Norwood Road in Downingtown Borough.

The project is located along the East Branch Brandywine Creek within the Brandywine Creek Watershed, which is classified within PaDEP Title 25 Chapter 93 as HQ-TSF.

The Applicant is proposing an approximately 810 linear feet extension of the Struble Trail. Additional improvements include post and rail fencing, and steel entry gate with bollard installations. Stormwater management will be handled by an infiltration trench. A trench drain is also proposed at the entrance to the existing parking lot.

II. ZONING ORDINANCE REVIEW

1. **(CU)** §200-44.I.(10) – *The Applicant is requesting a conditional use to allow a governmental use for the site.*

III. SUBDIVISION & LAND DEVELOPMENT ORDINANCE REVIEW

1. **(RW)** §162-8.B. – *The Applicant is requesting a waiver to allow a combined preliminary/final plan submission. For reference, this waiver was requested and granted for the previous phase of this project.*

IV. STORMWATER MANAGEMENT ORDINANCE REVIEW

1. *An HOP permit will be required for the proposed 18" RCP pipe crossing Dorlan Mill Road.*

The response letter indicates an HOP application will be submitted to PennDOT.

V. TOWNSHIP TRAFFIC CONSULTANT COMMENTS McMAHON ASSOCIATES, INC.

All our previous technical comments have been addressed, and we have no further comments; however, we note that the applicant's engineer confirms they

Reference: Struble Trail – Extension II
Preliminary/Final Land Development and Conditional Use Application
Upper Uwchlan Township, Chester County, PA

File No. 13-11046T

June 1, 2023

will verify with PennDOT whether the previously approved PennDOT permits for the trail and pedestrian flashing signal are still valid due to the passage of time. The applicant's engineer will copy the Township on all correspondence with PennDOT.

VI. TOWNSHIP PLANNING CONSULTANT COMMENTS
BRANDYWINE CONSERVANCY

No comments at this time.

This concludes our review of the above-referenced application. We would recommend the plans be revised to address the above-referenced comments as well as any raised by the Planning Commission and the Board of Supervisors. If you have any questions, please do not hesitate to contact me.

Sincerely,

David N. Leh

David N. Leh, P.E.
Vice President
Gilmore & Associates, Inc.

cc: Upper Uwchlan Township Planning Commission Members
Upper Uwchlan Township Board of Supervisors
Gwen Jonik – Township Secretary
Rhys Lloyd – Director of Code Enforcement
Anthony Campbell – Zoning Officer
Rob Daniels, Brandywine Conservancy
Christopher J. Williams, P.E., McMahon Associates, Inc.
Kevin McKenna, Esq. Latsha, Davis, & McKenna
Skip Brion, Esq. – BBM&M
Ari Chrisakis, Esq.- BBM&M
Nicholas E. Feola, P.E., Bursich Associates, Inc.
Dave Stauffer, Chester County Dept. of Facilities and Parks
Jan Bowers, Chester County Dept. of Facilities and Parks

Draft Motions for February 6, 2023 HC Meeting

Background:

- ▶ Chester County has submitted a conditional use application and land development plan that reflects removal of the stone retaining walls and steps of the Dorlan's Mill miller's house in connection with extending the Struble Trail to become part of Marsh Creek State Park.
- ▶ The Dorlan's Mill miller's house site is a significant historic resource associated with prominent Chester County and Township resident, James Dorlan, and associated with the history of Chester County's and the Township's paper mills. The house and site are also recognized in Futhey and Cope's iconic 1881 *History of Chester County* (see excerpts attached).
- ▶ The Dorlan's Mill miller's house site and related features are historic resources protected under Township ordinance Sections 162-44A, 55A and 55G.
- ▶ Given that the miller's house will be demolished it is important to preserve historic features related to the house, along with appropriate signage, to interpret the historic site for public educational purposes, similar to the Dowlin Forge ruins preserved along Struble Trail.

Draft Motions for February 6, 2023 HC Meeting

Recommendations:

The Upper Uwchlan Township Historical Commission (UUTHC) hereby makes the following recommendations to the Planning Commission and Board of Supervisors:

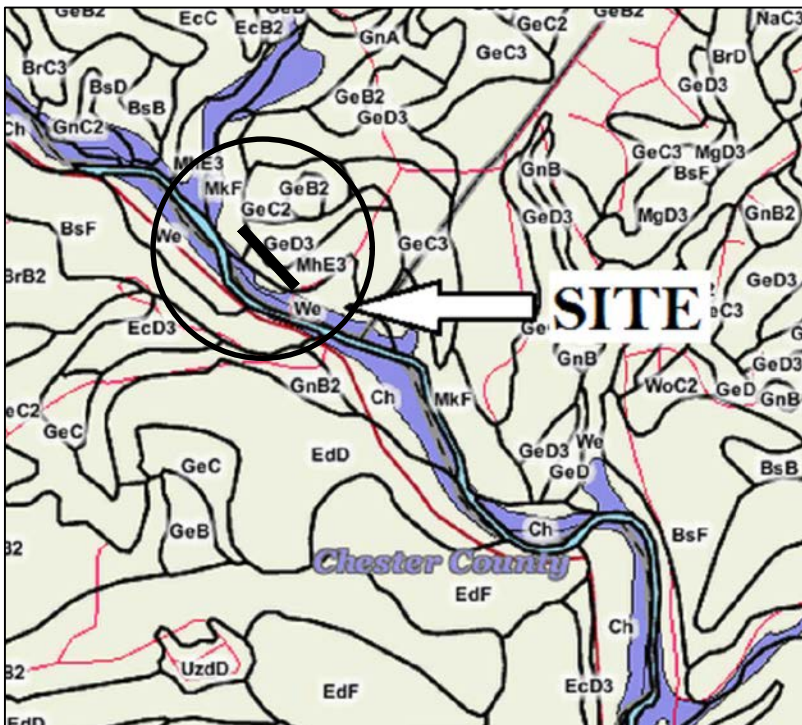
- Condition approval of Chester County's conditional use application and land development plan on the following:
 - ▶ Preserve the retaining walls in front of the house along Dorlan's Mill road
 - ▶ Preserve the retaining walls in back of the house
 - ▶ Preserve the steps leading up to the front of the house along Dorlan's Mill road
- The Township works with the Commonwealth of Pennsylvania to obtain permission to build a low stone wall outlining where the house stood, reusing stones from the demolished house, along with interpretative signage

PRELIMINARY / FINAL LAND DEVELOPMENT PLANS
STRUBLE TRAIL - EXTENSION II
UPPER UWCHLAN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA

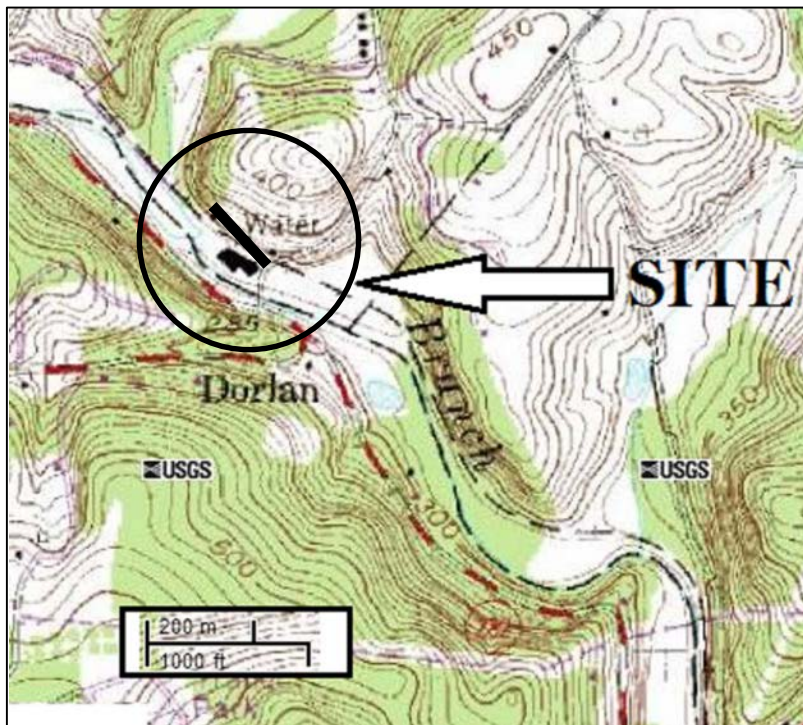
PREPARED FOR: CHESTER COUNTY, DEPARTMENT OF FACILITIES
313 WEST MARKET STREET, SUITE 5402
P.O. BOX 2748
WEST CHESTER, PA 19380-0991

PREPARED BY: BURSICH ASSOCIATES, INC.
2129 EAST HIGH STREET
POTTSTOWN, PENNSYLVANIA 19464

MAY 1, 2019
REVISED DECEMBER 21, 2022
REVISED APRIL 5, 2023
REVISED APRIL 26, 2023
REVISED MAY 17, 2023



SOILS MAP
1"=1000'



USGS TOPO
1"=1000'



LOCATION MAP
1"=1000'

ENGINEER'S CERTIFICATE OF CONFORMANCE

I, NICHOLAS E. FEOLA, P.E., HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, THESE PLANS DESCRIBED HEREON, AS WELL AS OTHER DRAWINGS WHICH ARE PART OF THIS PLAN SET, ARE TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE, AND WERE PREPARED BY ME OR UNDER MY DIRECTION FOR WHICH I ACCEPT FULL RESPONSIBILITY.

PROFESSIONAL ENGINEER SIGNATURE
PE No. PE046396E

DATE

WAIVERS:

THE FOLLOWING ARE THE FORMAL WRITTEN MODIFICATION (I.E. "WAIVER" OR "DEFERRAL") REQUESTS FROM THE REQUIREMENTS OF THE UPPER UWCHLAN TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE (CHAPTER 142) AND STORMWATER MANAGEMENT ORDINANCE (CHAPTER 152):

- §162-8.B. - TO ALLOW THE PLAN TO BE PROCESSED AS A COMBINED PRELIMINARY & FINAL PLAN, AS THE PROJECT IN MINOR IN NATURE, DOES NOT INVOLVE ANY PUBLIC IMPROVEMENTS TO BE DEDICATED TO THE TOWNSHIP, OR NEW STREETS, UTILITY MAIN EXTENSIONS, ETC.

STORMWATER INFILTRATION TESTING NOTE:

BASED ON DISCUSSIONS WITH THE TOWNSHIP ENGINEER, STORMWATER INFILTRATION TESTING FOR THE PROPOSED UNDERGROUND STONE TRENCH WILL BE COMPLETED. DUE TO THE INACCESSIBILITY OF THE AREAS WHICH MUST BE TESTED, IT WILL NOT BE PERFORMED UNTIL THE TIME OF CONSTRUCTION.

SURVEYORS CERTIFICATION

I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF ON THIS _____ DAY OF _____, 20____, THIS PLAT AND SURVEY WAS PERFORMED IN ACCORDANCE WITH THE MINIMUM STANDARDS FOR BOUNDARY SURVEYS SECTION OF THE MANUAL OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS IN THE COMMONWEALTH OF PENNSYLVANIA, AS ADOPTED BY THE PENNSYLVANIA SOCIETY OF LAND SURVEYORS ON JULY 10, 1998, THAT THIS PLAN REPRESENTS A SURVEY MADE BY ME, THAT ALL MONUMENTS EXIST OR SHALL BE PLACED OR LOCATED, AND THAT ALL DIMENSIONAL AND GEODETIC DETAILS ARE CORRECT.

SIGNATURE OF SURVEYOR

REGISTRATION NUMBER: _____

APPLICANT

CHESTER COUNTY, DEPARTMENT OF FACILITIES
313 WEST MARKET STREET, SUITE 5402
P.O. BOX 2748
WEST CHESTER, PA 19380-0991
PHONE: (610) 344-6445
FAX: (610) 344-5984

DORLAN MILL SIGNAL/PEDESTRIAN CROSSING NOTE:

FOR DESIGN & DETAILING OF STRUBLE TRAIL PEDESTRIAN CROSSING AND FLASHING BEACON SIGNAL OF DORLAN MILL ROAD (S.R. 4019) REFER TO THE FOLLOWING DOCUMENTS:

- SIGNAL PERMIT PLAN FOR DORLAN MILL ROAD (S.R. 4019) AND STRUBLE TRAIL, PERMIT #W-6256-03, DATED JUNE 16, 2017;
- STRUBLE TRAIL ADA CROSSING IMPROVEMENTS, PREPARED BY BURSICH ASSOCIATES, INC., SHEET 1 OF 1, DATED 3/10/17.

CONDITIONAL USE NOTE:

A CONDITIONAL USE IS REQUIRED PURSUANT TO UPPER UWCHLAN TOWNSHIP ZONING ORDINANCE SECTION 200-44.(10) TO ALLOW A GOVERNMENTAL USE TO INCLUDE AN EXTENSION OF THE STRUBLE TRAIL FROM, FROM ITS TERMINUS ON THE EAST SIDE OF DORLAN MILL ROAD, APPROXIMATELY 180 FEET TO DORLAN MILL ROAD, CROSSING DORLAN MILL ROAD, AND THEN APPROXIMATELY 630 FEET TO THE WEST OF DORLAN MILL ROAD WITHIN AN EXISTING EASEMENT.

RECORDING NOTE:

SHEETS 1 - 4 AND 12 - 16 OF THIS PLAN SET WILL BE CONSIDERED A COMPLETE RECORD PLAN SET FOR FILING PURPOSES IN THE CHESTER COUNTY RECORDER OF DEEDS OFFICE, ALTHOUGH ALL SHEETS IDENTIFIED IN THE SHEET LIST SHALL CONSTITUTE THE FINAL PLAN, AS THESE TERMS USED IN THESE PLANS OR IN THE DEVELOPER'S AGREEMENT.

COMMONWEALTH OF PENNSYLVANIA

COUNTY OF CHESTER

ON THE _____ DAY OF _____, 20____, BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC FOR THE COMMONWEALTH OF PENNSYLVANIA, RESIDING IN _____, PERSONALLY APPEARED TO ME, _____, WHO ACKNOWLEDGES TO BE THE _____ OF THE NATURAL LANDS TRUST, AND THAT AS SUCH, BEING AUTHORIZED TO DO SO BY THE NATURAL LANDS TRUST, EXECUTED THE FOREGOING PLAN, AND THAT THE NATURAL LANDS TRUST IS THE OWNER OF THE LANDS SHOWN HEREON, AND THAT THEY DESIRE THAT THIS PLAN BE DULY RECORDED ACCORDING TO LAW.

AUTHORIZED SIGNATURE

NOTARY PUBLIC

UPPER UWCHLAN TOWNSHIP PLANNING COMMISSION

REVIEWED BY THE PLANNING COMMISSION OF UPPER UWCHLAN TWP., CHESTER CO., PA THIS _____ DAY OF _____, 20____.

CHAIRPERSON

UPPER UWCHLAN TOWNSHIP BOARD OF SUPERVISORS

APPROVED BY THE BOARD OF SUPERVISORS OF UPPER UWCHLAN TWP., CHESTER CO., PA THIS _____ DAY OF _____, 20____.

CHAIRPERSON

TOWNSHIP ENGINEER REVIEW

REVIEWED BY THE TOWNSHIP ENGINEER FOR UPPER UWCHLAN TOWNSHIP THIS _____ DAY OF _____, 20____.

CHESTER COUNTY PLANNING COMMISSION

REVIEWED BY THE CHESTER COUNTY PLANNING COMMISSION THIS _____ DAY OF _____, 20____.

RECORDER OF DEEDS

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF CHESTER COUNTY AT WEST CHESTER, PENNSYLVANIA IN PLAN BOOK _____, PAGE _____, ON THE _____ DAY OF _____, 20____.

RECORDER OF DEEDS

ZONING DATA:

ZONING DISTRICT: LIMITED INDUSTRIAL (L-I)
FLOOD HAZARD OVERLAY DISTRICT

PROPOSED USE: GOVERNMENT USE (EXTENSION OF STRUBLE TRAIL)

SITE DATA:

UPI 32-06-48.1, COMMONWEALTH OF PENNSYLVANIA, 9.1 ACRES.
EASEMENT IN FAVOR OF COUNTY OF CHESTER FOR STRUBLE TRAIL DEVELOPMENT.

20' WIDE TRAIL EASEMENT THROUGH PART OF UPI 32-6-49.3 (NATURAL LANDS TRUST), BY DECLARATION OF TAKING FILED ON SEPTEMBER 22, 2010, 0.28 AC.

UPI 32-06-49.2, COMMONWEALTH OF PENNSYLVANIA, 1.22 ACRES.
EASEMENT IN FAVOR OF COUNTY OF CHESTER FOR STRUBLE TRAIL DEVELOPMENT.

UPI 32-06-65.1, COUNTY OF CHESTER, 2.3 ACRES

UPI 32-06-66, COUNTY OF CHESTER, 0.55 ACRES

FLOODPLAIN NOTE:

100 YEAR FLOODPLAIN PER FIRM FLOOD RATE INSURANCE MAP, CHESTER COUNTY, PENNSYLVANIA DOWNLOADED FROM FEMA ON AUGUST 28, 2018.

RECORD PLAN 1 OF 9

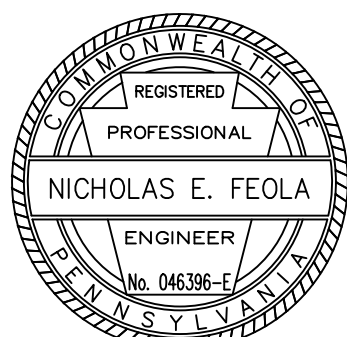
RECORDER OF DEEDS



Corporate Headquarters
2129 East High Street
Pottstown, PA 19464
610-323-4040

Southampton Office
706 Lakeside Drive
Southampton, PA 18966

www.bursich.com



Nicholas E. Feola, P.E.



Stop - Call Before You Dig!

Pennsylvania Act 181 (2007) requires notification by excavators, designers, or any person preparing to disturb the earth's surface anywhere in the commonwealth Pennsylvania One Call System, Inc. 811 or 1-800-242-1776
SERIAL # 20132890184

LIST OF UTILITIES-RESPONSES

THE FOLLOWING COMPANIES WERE NOTIFIED BY THE PENNSYLVANIA ONE CALL SYSTEM (1-800-242-1776) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICES THE SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSES TO THIS REQUEST. SERIAL No.:

AQUA PENNSYLVANIA INC (HS)
CLEAR-NO FACILITIES.
BUCKEYE PARTNERS (IA)
CLEAR-NO FACILITIES.
COMCAST CABLE COMMUNICATIONS INC (JZ)
CLEAR-NO FACILITIES.
PECO ENERGY (KF)
CLEAR-NO FACILITIES.
SUNOCO PIPELINE LP (SPJ)
DESIGN CONFLICT
UPPER UWCHLAN TWP/UPPER UWCHLAN MUNICIPAL AUTHORITY (UUT)
CLEAR-NO FACILITIES.
UWCHLAN TOWNSHIP MUNICIPAL AUTHORITY (UTMA)
FACILITIES ON SITE
VERIZON PENNSYLVANIA LLC (YI)
CLEAR-NO FACILITIES.

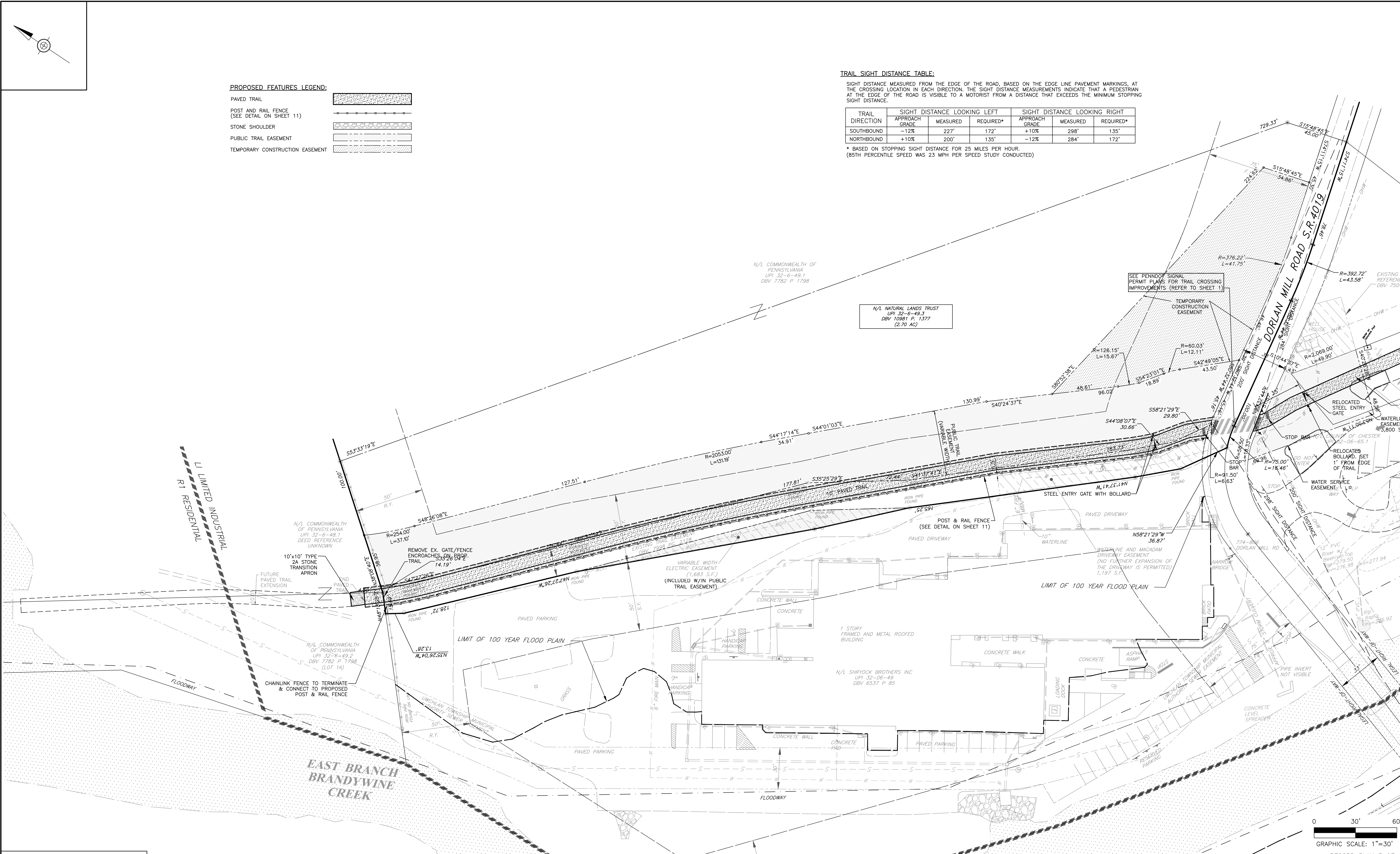
NOTE: SHRYOCK BROTHERS, INC. HAS EXISTING PRIVATE, UNMARKED WATER SERVICE LINE IN PROJECT VICINITY (SEE GENERAL NOTE #3 ON SHEET 2.

UPI 32-6-48.1, 32-6-49.3, 32-6-49.2

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DWG. NO. CO137340-1A SHEET 1 OF 19

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PROPOSED FEATURES LEGEND:

PAVED TRAIL	
POST AND RAIL FENCE (SEE DETAIL ON SHEET 11)	
STONE SHOULDER	
PUBLIC TRAIL EASEMENT	
TEMPORARY CONSTRUCTION EASEMENT	

TRAIL SIGHT DISTANCE TABLE:

SIGHT DISTANCE MEASURED FROM THE EDGE OF THE ROAD, BASED ON THE EDGE LINE PAVEMENT MARKINGS, AT THE CROSSING LOCATION IN EACH DIRECTION. THE SIGHT DISTANCE MEASUREMENTS INDICATE THAT A PEDESTRIAN AT THE EDGE OF THE ROAD IS VISIBLE TO A MOTORIST FROM A DISTANCE THAT EXCEEDS THE MINIMUM STOPPING SIGHT DISTANCE.

TRAIL DIRECTION	SIGHT DISTANCE LOOKING LEFT			SIGHT DISTANCE LOOKING RIGHT		
	APPROACH GRADE	MEASURED	REQUIRED*	APPROACH GRADE	MEASURED	REQUIRED*
SOUTHBOUND	-12%	227'	172'	+10%	298'	135'
NORTHBOUND	+10%	200'	135'	-12%	284'	172'

* BASED ON STOPPING SIGHT DISTANCE FOR 25 MILES PER HOUR.
(85TH PERCENTILE SPEED WAS 23 MPH PER SPEED STUDY CONDUCTED)

UPI 32-6-48.1, 32-6-49.3, 32-6-49.2

NO.	REVISION	DATE	BY	APP.
4.	REVISIONS PER GILMORE ASSOC. COMMENTS DATED 5/4/2023	5/17/23	AJK	
3.	REVISIONS PER GILMORE ASSOC. COMMENTS DATED 4/18/2023	4/26/23	AJK	
2.	REVISIONS PER GILMORE ASSOC. REVIEW DATED 2/3/2023	4/5/23	AJK	
1.	REVISIONS PER OWNER AND TOWNSHIP CONSULTANTS REVIEWS	12/21/22	AJK	

SEAL	SEAL
------	------

MANAGER	NEF
DESIGN	KK
DRAFT	AJK
FILE	CHE-22
NOTES	
CHKD. BY	CHKD. BY
DATE	MAY 1, 2019
SCALE	1"=30'



Corporate Headquarters
2129 East High Street
Pottstown, PA 19454
610-323-4040

Southampton Office
706 Lakeside Drive
Southampton, PA 18966

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CLIENT
CHESTER COUNTY, DEPARTMENT OF FACILITIES
313 W. MARKET STREET
SUITE 5402
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WEST CHESTER, PA 19380

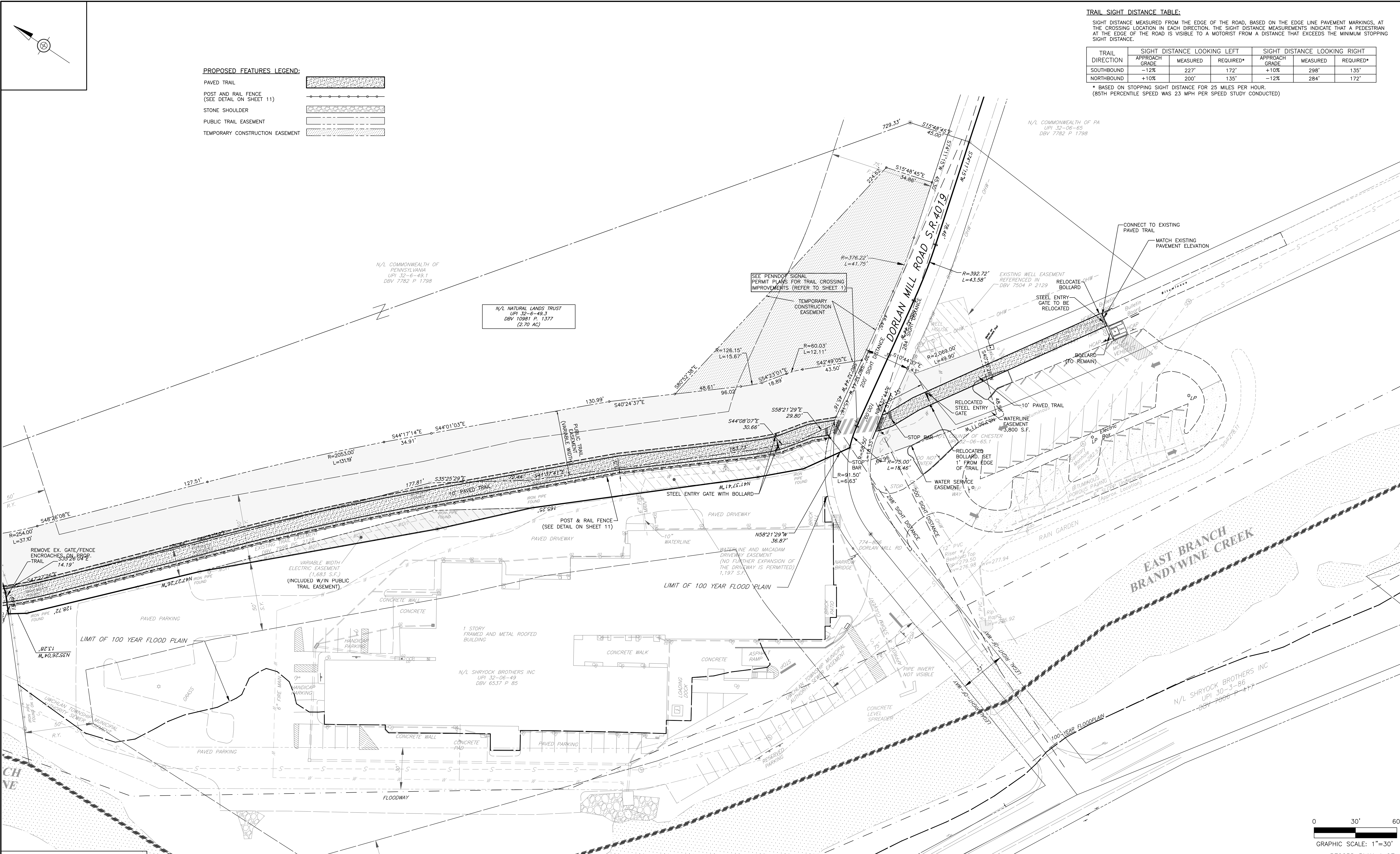
SUBJECT
STRUBLE TRAIL
EXTENSION II
UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA

JOB NO.
137340.01A
SHEET NO.
3 OF 19
DWG. NO.
LO137340-1A

0 30' 60'
GRAPHIC SCALE: 1"=30'
RECORD PLAN 3 OF 4

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INSTRUMENTS PREPARED BY BURSICH ASSOCIATES, INC. AS INSTRUMENTS OF SERVICE SHALL REMAIN THE PROPERTY OF BURSICH ASSOCIATES, INC. AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE EXPRESS WRITTEN CONSENT OF BURSICH ASSOCIATES, INC. ANY UNAUTHORIZED REPRODUCTION OR TRANSMISSION OF THIS DOCUMENT IS STRICTLY PROHIBITED. ANY USER WHO REPRODUCES OR TRANSMITS THIS DOCUMENT WITHOUT THE EXPRESS WRITTEN CONSENT OF BURSICH ASSOCIATES, INC. SHALL BE LIABLE TO BURSICH ASSOCIATES, INC. FOR ALL DAMAGES, INCLUDING REASONABLE ATTORNEY'S FEES AND COSTS, ARISING FROM THE USE THEREOF.

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TRAIL SIGHT DISTANCE TABLE:

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* BASED ON STOPPING SIGHT DISTANCE FOR 25 MILES PER HOUR. (85TH PERCENTILE SPEED WAS 23 MPH PER SPEED STUDY CONDUCTED)

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UPI 32-6-48.1, 32-6-49.3, 32-6-49.2

NO.	REVISION	DATE	BY	APP.
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3.	REVISIONS PER GILMORE ASSOC. COMMENTS DATED 4/18/2023	4/26/23	AJK	
2.	REVISIONS PER GILMORE ASSOC. REVIEW DATED 2/3/2023	4/5/23	AJK	
1.	REVISIONS PER OWNER AND TOWNSHIP CONSULTANTS REVIEWS	12/21/22	AJK	

SEAL	SEAL
------	------

MANAGER	NEF
DESIGN	KK
DRAFT	AJK
FILE	CHE-22
NOTES	
CHKD. BY	
CHKD. BY	
DATE	MAY 1, 2019
SCALE	1"=30'

BURSICH
Sharing your Vision

Corporate Headquarters
2129 East High Street
Pottstown, PA 19464
610-323-4040

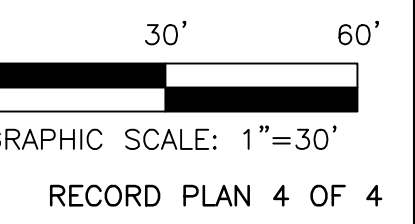
Southampton Office
706 Lakeside Drive
Southampton, PA 18966

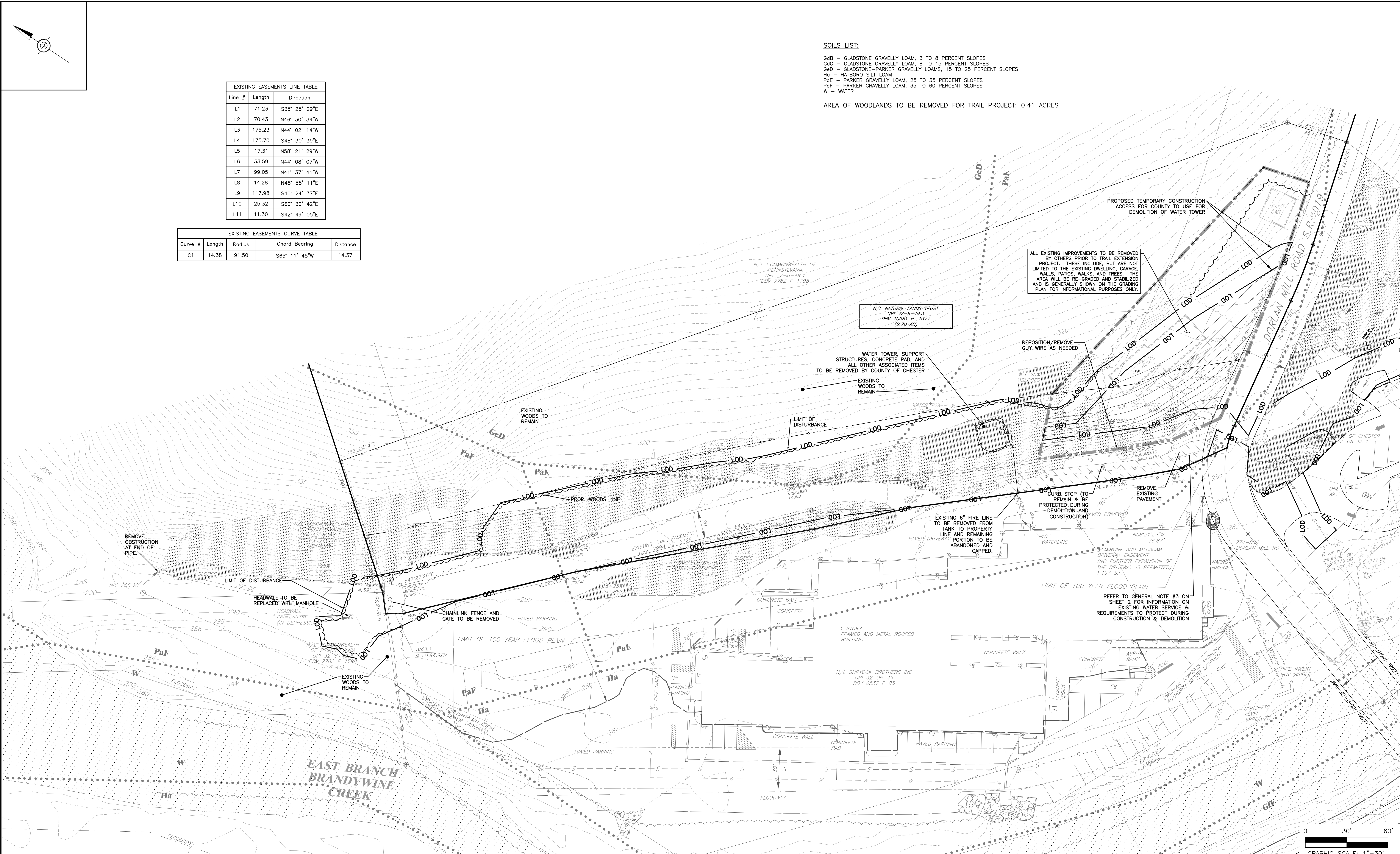
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CLIENT
CHESTER COUNTY, DEPARTMENT OF FACILITIES
313 W. MARKET STREET
SUITE 5402
P.O. BOX 2748
WEST CHESTER, PA 19380

SUBJECT
STRUBLE TRAIL
EXTENSION II
UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA

JOB NO.	137340.01A
SHEET NO.	4 OF 19
DWG. NO.	LO237340-1A





EXISTING EASEMENTS LINE TABLE		
Line #	Length	Direction
L1	71.23	S35° 25' 29"E
L2	70.43	N46° 30' 34"W
L3	175.23	N44° 02' 14"W
L4	175.70	S48° 30' 39"E
L5	17.31	N58° 21' 29"W
L6	33.59	N44° 08' 07"W
L7	99.05	N41° 37' 41"W
L8	14.28	N48° 55' 11"E
L9	117.98	S40° 24' 37"E
L10	25.32	S60° 30' 42"E
L11	11.30	S42° 49' 05"E

EXISTING EASEMENTS CURVE TABLE				
Curve #	Length	Radius	Chord Bearing	Distance
C1	14.38	91.50	S65° 11' 45"W	14.37

SOILS LIST:
GdB = GLADSTONE GRAVELLY LOAM, 3 TO 8 PERCENT SLOPES
GdC = GLADSTONE GRAVELLY LOAM, 8 TO 15 PERCENT SLOPES
GeD = GLADSTONE-PARKER GRAVELLY LOAMS, 15 TO 25 PERCENT SLOPES
Ho = HATBORO SILT LOAM
PoE = PARKER GRAVELLY LOAM, 25 TO 35 PERCENT SLOPES
PoF = PARKER GRAVELLY LOAM, 35 TO 60 PERCENT SLOPES
W = WATER

AREA OF WOODLANDS TO BE REMOVED FOR TRAIL PROJECT: 0.41 ACRES

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3.	REVISIONS PER GILMORE ASSOC. COMMENTS DATED 4/18/2023	4/26/23	AJK	
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1.	REVISIONS PER OWNER AND TOWNSHIP CONSULTANTS REVIEWS	12/21/22	AJK	

SEAL	SEAL
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MANAGER	
DESIGN	CHKD. BY
DRAFT	CHKD. BY
FILE	DATE
NOTES	SCALE

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2129 East High Street
Pottstown, PA 19464
610-323-4040

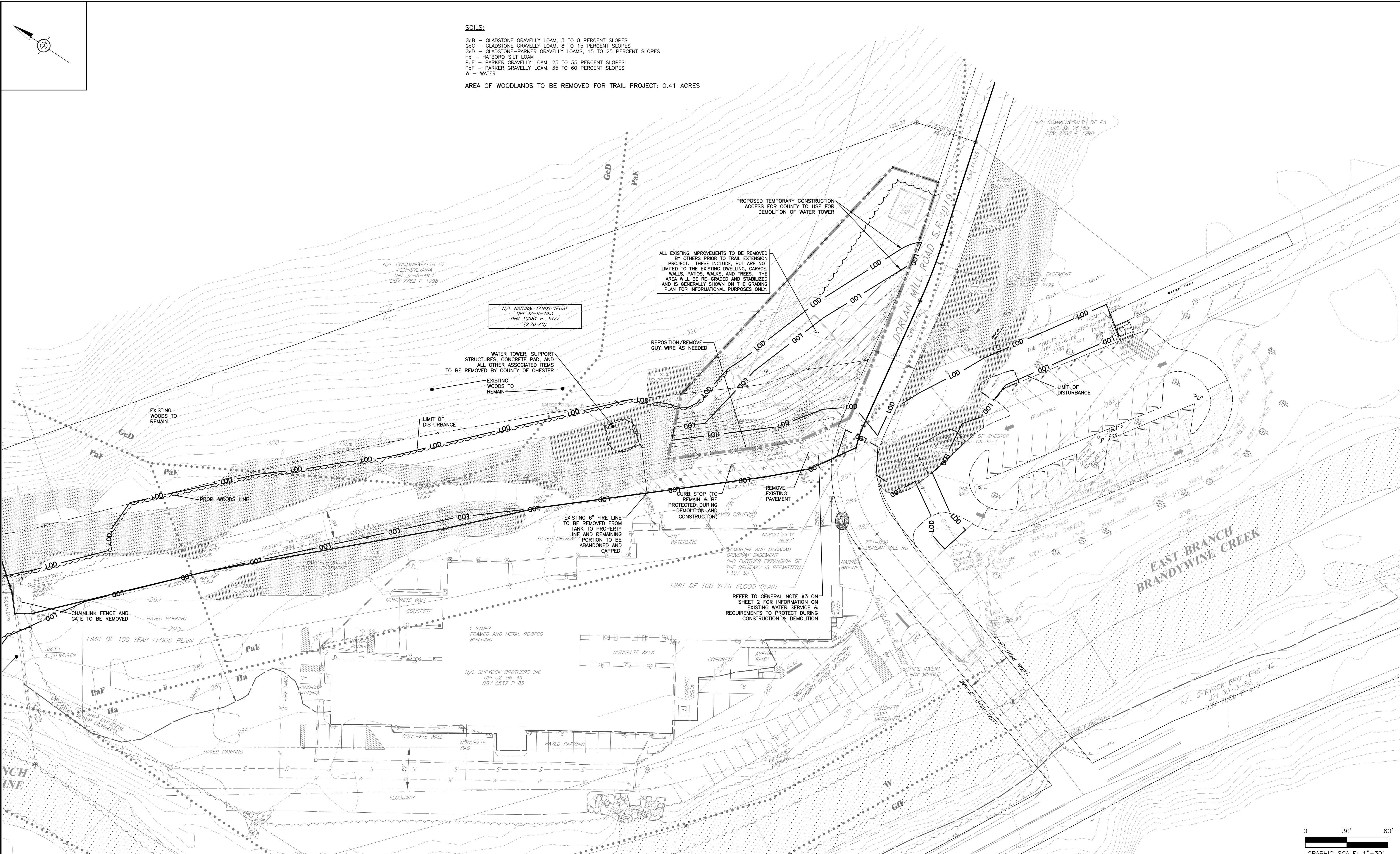
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706 Lakeside Drive
Southampton, PA 18966

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CLIENT	
CHESTER COUNTY, DEPARTMENT OF FACILITIES	
313 W. MARKET STREET SUITE 5402 P.O. BOX 2748 WEST CHESTER, PA 19380	

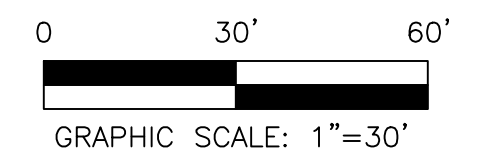
SUBJECT	
EXISTING FEATURES/SITE ANALYSIS AND IMPACT PLAN	
STRUBLE TRAIL EXTENSION II	
UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA	

JOB NO.	137340.01A
SHEET NO.	5 OF 19
DWG. NO.	EF137340-1A



SOILS:
GdB - GLADSTONE GRAVELLY LOAM, 3 TO 8 PERCENT SLOPES
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W - WATER

AREA OF WOODLANDS TO BE REMOVED FOR TRAIL PROJECT: 0.41 ACRES



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SEAL
SEAL

MANAGER	NEF
DESIGN	KK
DRAFT	AJK
FILE	CHE-22
NOTES	
CHKD. BY	CHKD. BY
DATE	MAY 1, 2019
SCALE	1"=30'

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Pottstown, PA 19444
610-323-4040

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CLIENT
CHESTER COUNTY, DEPARTMENT OF FACILITIES
313 W. MARKET STREET SUITE 5402 P.O. BOX 2748 WEST CHESTER, PA 19380

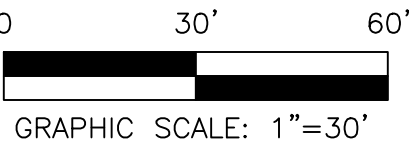
SUBJECT
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STRUBLE TRAIL EXTENSION II
UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA
JOB NO.
137340.01A
SHEET NO.
6 OF 19
DWG. NO.
EF237340-1A



CONTOURS



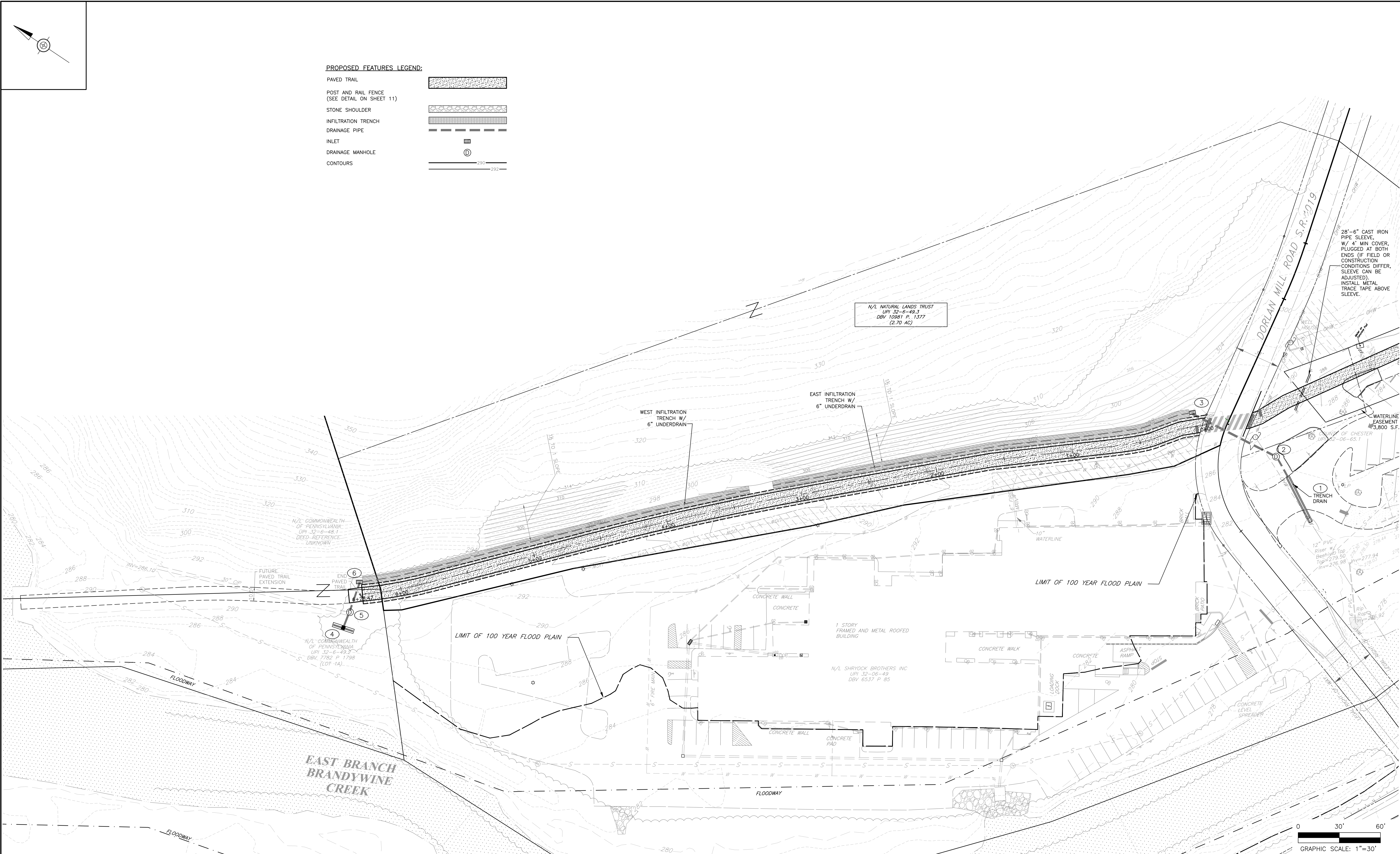
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				SEAL	SEAL	<table><tr><td colspan="2">MANAGER</td><td rowspan="4"><div><div><div>BURSICH</div><div>Sharing your Vision</div></div><div><div>Corporate Headquarters</div><div>2129 East High Street</div><div>Pottstown, PA 19464</div><div>610-323-4040</div></div><div><div>Southampton Office</div><div>706 Lakeside Drive</div><div>Southampton, PA 18966</div></div><div>www.bursich.com</div></div></td><td colspan="2">CLIENT</td><td rowspan="4"><table><tr><td colspan="2">SUBJECT</td></tr><tr><td colspan="2">GRADING PLAN</td></tr><tr><td colspan="2">STRUBLE TRAIL EXTENSION II</td></tr><tr><td colspan="2">UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA</td></tr></table></td><td>JOB NO.</td></tr><tr><td colspan="2">NEF _____</td><td colspan="2">CHESTER COUNTY, DEPARTMENT OF FACILITIES</td><td></td><td></td><td></td><td></td><td>137340.01A</td></tr><tr><td>DESIGN</td><td>KK</td><td>CHKD. BY</td><td colspan="2">313 W. MARKET STREET</td><td></td><td></td><td></td><td>SHEET NO.</td></tr><tr><td>DRAFT</td><td>AJK</td><td>CHKD. BY</td><td colspan="2">SUITE 5402</td><td></td><td></td><td></td><td>7 OF 19</td></tr><tr><td>FILE</td><td>CHE-22</td><td>DATE</td><td colspan="2">P.O. BOX 2748</td><td></td><td></td><td></td><td>DWG. NO.</td></tr><tr><td>NOTES</td><td></td><td>MAY 1, 2019</td><td colspan="2">WEST CHESTER, PA 19380</td><td></td><td></td><td></td><td>GR137340-1A</td></tr><tr><td></td><td></td><td>SCALE</td><td colspan="2"></td><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td>1"=30'</td><td colspan="2"></td><td></td><td></td><td></td><td></td></tr></table>	MANAGER		<div><div><div>BURSICH</div><div>Sharing your Vision</div></div><div><div>Corporate Headquarters</div><div>2129 East High Street</div><div>Pottstown, PA 19464</div><div>610-323-4040</div></div><div><div>Southampton Office</div><div>706 Lakeside Drive</div><div>Southampton, PA 18966</div></div><div>www.bursich.com</div></div>	CLIENT		<table><tr><td colspan="2">SUBJECT</td></tr><tr><td colspan="2">GRADING PLAN</td></tr><tr><td colspan="2">STRUBLE TRAIL EXTENSION II</td></tr><tr><td colspan="2">UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA</td></tr></table>	SUBJECT		GRADING PLAN		STRUBLE TRAIL EXTENSION II		UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA		JOB NO.	NEF _____		CHESTER COUNTY, DEPARTMENT OF FACILITIES						137340.01A	DESIGN	KK	CHKD. BY	313 W. MARKET STREET					SHEET NO.	DRAFT	AJK	CHKD. BY	SUITE 5402					7 OF 19	FILE	CHE-22	DATE	P.O. BOX 2748					DWG. NO.	NOTES		MAY 1, 2019	WEST CHESTER, PA 19380					GR137340-1A			SCALE									1"=30'						
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PROPOSED FEATURES LEGEND:

- PAVED TRAIL
- POST AND RAIL FENCE (SEE DETAIL ON SHEET 11)
- STONE SHOULDER
- INFILTRATION TRENCH
- DRAINAGE PIPE
- INLET
- DRAINAGE MANHOLE
- CONTOURS

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MANAGER	NEF
DESIGN	KK
DRAFT	AJK
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SCALE	1"=30'

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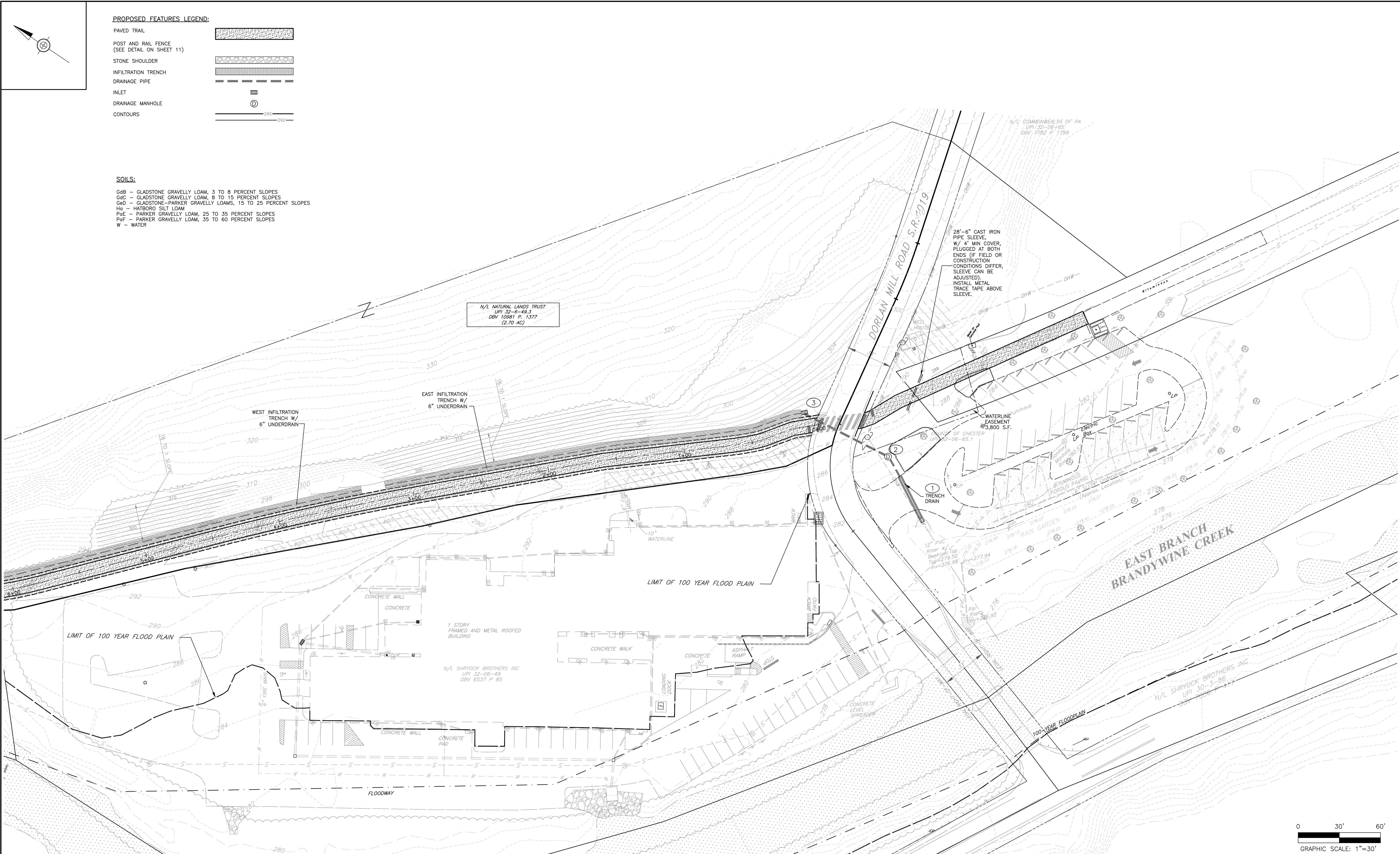
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CLIENT
CHESTER COUNTY, DEPARTMENT OF FACILITIES
313 W. MARKET STREET
SUITE 5402
P.O. BOX 2748
WEST CHESTER, PA 19380

SUBJECT
**STRUBLE TRAIL
EXTENSION II**
UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA

JOB NO.	137340.01A
SHEET NO.	9 OF 19
DWG. NO.	UT137340-1A



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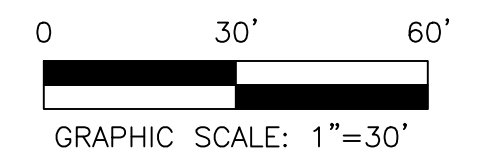
SUBJECT

UTILITY PLAN

**STRUBLE TRAIL
EXTENSION II**

UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA

JOB NO.	137340.01A
SHEET NO.	10 OF 19
DWG. NO.	UT237340-1A

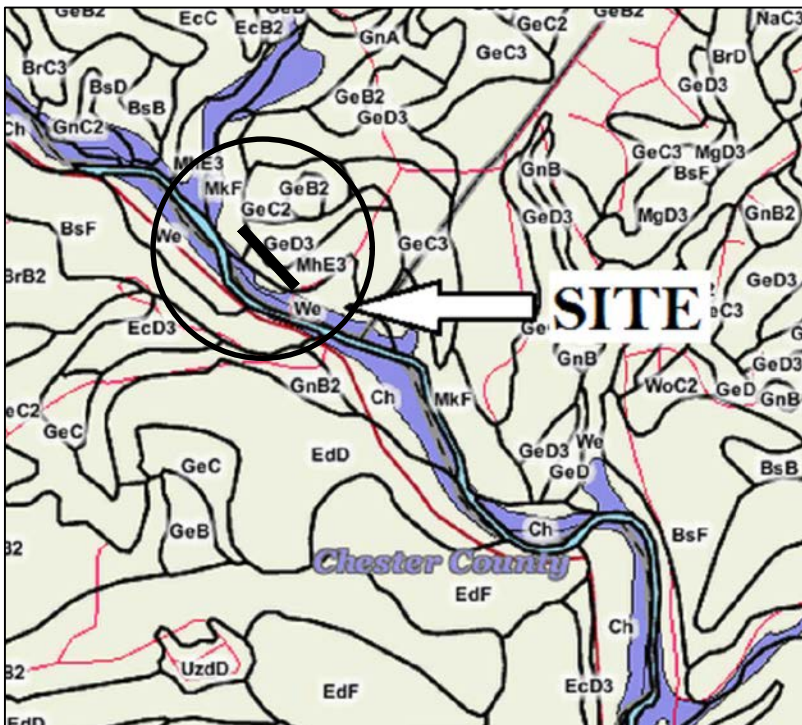


PRELIMINARY / FINAL LAND DEVELOPMENT PLANS
STRUBLE TRAIL - EXTENSION II
UPPER UWCHLAN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA

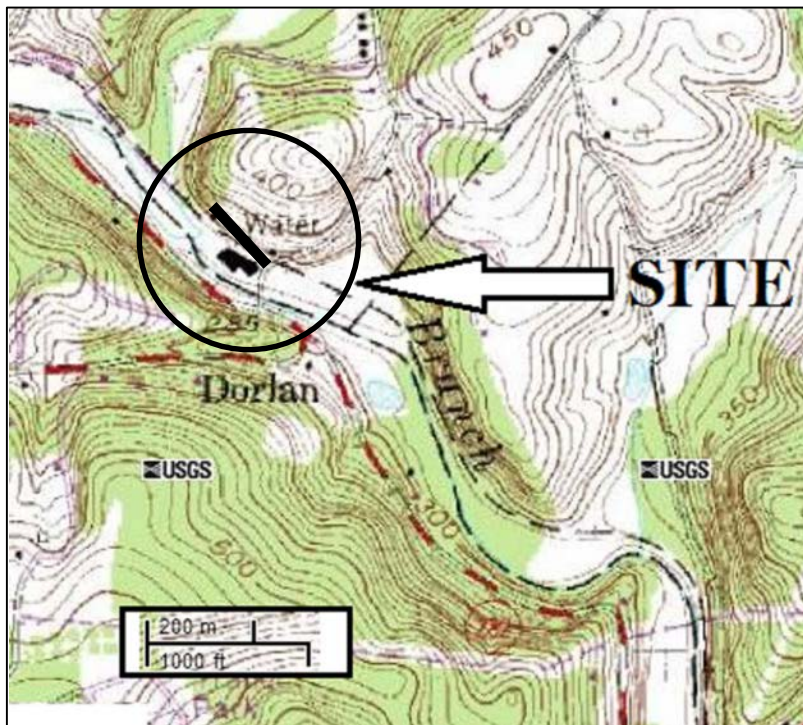
PREPARED FOR: CHESTER COUNTY, DEPARTMENT OF FACILITIES
313 WEST MARKET STREET, SUITE 5402
P.O. BOX 2748
WEST CHESTER, PA 19380-0991

PREPARED BY: BURSICH ASSOCIATES, INC.
2129 EAST HIGH STREET
POTTSTOWN, PENNSYLVANIA 19464

MAY 1, 2019
REVISED DECEMBER 21, 2022
REVISED APRIL 5, 2023
REVISED APRIL 26, 2023
REVISED MAY 17, 2023



SOILS MAP
1"=1000'



USGS TOPO
1"=1000'



LOCATION MAP
1"=1000'

ENGINEER'S CERTIFICATE OF CONFORMANCE

I, NICHOLAS E. FEOLA, P.E., HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, THESE PLANS DESCRIBED HEREON, AS WELL AS OTHER DRAWINGS WHICH ARE PART OF THIS PLAN SET, ARE TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE, AND WERE PREPARED BY ME OR UNDER MY DIRECTION FOR WHICH I ACCEPT FULL RESPONSIBILITY.

PROFESSIONAL ENGINEER SIGNATURE
PE No. PE046396E

DATE

WAIVERS:

THE FOLLOWING ARE THE FORMAL WRITTEN MODIFICATION (I.E. "WAIVER" OR "DEFERRAL") REQUESTS FROM THE REQUIREMENTS OF THE UPPER UWCHLAN TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE (CHAPTER 142) AND STORMWATER MANAGEMENT ORDINANCE (CHAPTER 152):

- §162-8.B. - TO ALLOW THE PLAN TO BE PROCESSED AS A COMBINED PRELIMINARY & FINAL PLAN, AS THE PROJECT IS MINOR IN NATURE, DOES NOT INVOLVE ANY PUBLIC IMPROVEMENTS TO BE DEDICATED TO THE TOWNSHIP, OR NEW STREETS, UTILITY MAIN EXTENSIONS, ETC.

STORMWATER INFILTRATION TESTING NOTE:

BASED ON DISCUSSIONS WITH THE TOWNSHIP ENGINEER, STORMWATER INFILTRATION TESTING FOR THE PROPOSED UNDERGROUND STONE TRENCH WILL BE COMPLETED. DUE TO THE INACCESSIBILITY OF THE AREAS WHICH MUST BE TESTED, IT WILL NOT BE PERFORMED UNTIL THE TIME OF CONSTRUCTION.

SURVEYORS CERTIFICATION

I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF ON THIS _____ DAY OF _____, 20____, THIS PLAT AND SURVEY WAS PERFORMED IN ACCORDANCE WITH THE MINIMUM STANDARDS FOR BOUNDARY SURVEYS SECTION OF THE MANUAL OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS IN THE COMMONWEALTH OF PENNSYLVANIA, AS ADOPTED BY THE PENNSYLVANIA SOCIETY OF LAND SURVEYORS ON JULY 10, 1998, THAT THIS PLAN REPRESENTS A SURVEY MADE BY ME, THAT ALL MONUMENTS EXIST OR SHALL BE PLACED OR LOCATED, AND THAT ALL DIMENSIONAL AND GEODETIC DETAILS ARE CORRECT.

SIGNATURE OF SURVEYOR

REGISTRATION NUMBER: _____

APPLICANT

CHESTER COUNTY, DEPARTMENT OF FACILITIES
313 WEST MARKET STREET, SUITE 5402
P.O. BOX 2748
WEST CHESTER, PA 19380-0991
PHONE: (610) 344-6445
FAX: (610) 344-5984

DORLAN MILL SIGNAL/PEDESTRIAN CROSSING NOTE:

FOR DESIGN & DETAILING OF STRUBLE TRAIL PEDESTRIAN CROSSING AND FLASHING BEACON SIGNAL OF DORLAN MILL ROAD (S.R. 4019) REFER TO THE FOLLOWING DOCUMENTS:

- SIGNAL PERMIT PLAN FOR DORLAN MILL ROAD (S.R. 4019) AND STRUBLE TRAIL, PERMIT #W-6256-03, DATED JUNE 16, 2017;
- STRUBLE TRAIL ADA CROSSING IMPROVEMENTS, PREPARED BY BURSICH ASSOCIATES, INC., SHEET 1 OF 1, DATED 3/10/17.

CONDITIONAL USE NOTE:

A CONDITIONAL USE IS REQUIRED PURSUANT TO UPPER UWCHLAN TOWNSHIP ZONING ORDINANCE SECTION 200-44.(10) TO ALLOW A GOVERNMENTAL USE TO INCLUDE AN EXTENSION OF THE STRUBLE TRAIL FROM, FROM ITS TERMINUS ON THE EAST SIDE OF DORLAN MILL ROAD, APPROXIMATELY 180 FEET TO DORLAN MILL ROAD, CROSSING DORLAN MILL ROAD, AND THEN APPROXIMATELY 630 FEET TO THE WEST OF DORLAN MILL ROAD WITHIN AN EXISTING EASEMENT.

RECORDING NOTE:

SHEETS 1 - 4 AND 12 - 16 OF THIS PLAN SET WILL BE CONSIDERED A COMPLETE RECORD PLAN SET FOR FILING PURPOSES IN THE CHESTER COUNTY RECORDER OF DEEDS OFFICE, ALTHOUGH ALL SHEETS IDENTIFIED IN THE SHEET LIST SHALL CONSTITUTE THE FINAL PLAN, AS THESE TERMS USED IN THESE PLANS OR IN THE DEVELOPER'S AGREEMENT.

COMMONWEALTH OF PENNSYLVANIA

COUNTY OF CHESTER

ON THE _____ DAY OF _____, 20____, BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC FOR THE COMMONWEALTH OF PENNSYLVANIA, RESIDING IN _____, PERSONALLY APPEARED TO ME, _____, WHO ACKNOWLEDGES TO BE THE _____ OF THE NATURAL LANDS TRUST, AND THAT AS SUCH, BEING AUTHORIZED TO DO SO BY THE NATURAL LANDS TRUST, EXECUTED THE FOREGOING PLAN, AND THAT THE NATURAL LANDS TRUST IS THE OWNER OF THE LANDS SHOWN HEREON, AND THAT THEY DESIRE THAT THIS PLAN BE DULY RECORDED ACCORDING TO LAW.

AUTHORIZED SIGNATURE

NOTARY PUBLIC

UPPER UWCHLAN TOWNSHIP PLANNING COMMISSION

REVIEWED BY THE PLANNING COMMISSION OF UPPER UWCHLAN TWP., CHESTER CO., PA THIS _____ DAY OF _____, 20____.

CHAIRPERSON

UPPER UWCHLAN TOWNSHIP BOARD OF SUPERVISORS

APPROVED BY THE BOARD OF SUPERVISORS OF UPPER UWCHLAN TWP., CHESTER CO., PA THIS _____ DAY OF _____, 20____.

CHAIRPERSON

TOWNSHIP ENGINEER REVIEW

REVIEWED BY THE TOWNSHIP ENGINEER FOR UPPER UWCHLAN TOWNSHIP THIS _____ DAY OF _____, 20____.

CHESTER COUNTY PLANNING COMMISSION

REVIEWED BY THE CHESTER COUNTY PLANNING COMMISSION THIS _____ DAY OF _____, 20____.

RECORDER OF DEEDS

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF CHESTER COUNTY AT WEST CHESTER, PENNSYLVANIA IN PLAN BOOK _____, PAGE _____, ON THE _____ DAY OF _____, 20____.

RECORDER OF DEEDS

ZONING DATA:

ZONING DISTRICT: LIMITED INDUSTRIAL (L-I)
FLOOD HAZARD OVERLAY DISTRICT

PROPOSED USE: GOVERNMENT USE (EXTENSION OF STRUBLE TRAIL)

SITE DATA:

UPI 32-06-48.1, COMMONWEALTH OF PENNSYLVANIA, 9.1 ACRES. EASEMENT IN FAVOR OF COUNTY OF CHESTER FOR STRUBLE TRAIL DEVELOPMENT.

20' WIDE TRAIL EASEMENT THROUGH PART OF UPI 32-6-49.3 (NATURAL LANDS TRUST), BY DECLARATION OF TAKING FILED ON SEPTEMBER 22, 2010, 0.28 AC.

UPI 32-06-49.2, COMMONWEALTH OF PENNSYLVANIA, 1.22 ACRES. EASEMENT IN FAVOR OF COUNTY OF CHESTER FOR STRUBLE TRAIL DEVELOPMENT.

UPI 32-06-65.1, COUNTY OF CHESTER, 2.3 ACRES

UPI 32-06-66, COUNTY OF CHESTER, 0.55 ACRES

FLOODPLAIN NOTE:

100 YEAR FLOODPLAIN PER FIRM FLOOD RATE INSURANCE MAP, CHESTER COUNTY, PENNSYLVANIA DOWNLOADED FROM FEMA ON AUGUST 28, 2018.

RECORDER OF DEEDS

RECORD PLAN 1 OF 9

DWG. NO. CO137340-1A SHEET 1 OF 19

LIST OF UTILITIES-RESPONSES

THE FOLLOWING COMPANIES WERE NOTIFIED BY THE PENNSYLVANIA ONE CALL SYSTEM (1-800-242-1776) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICES THE SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSES TO THIS REQUEST. SERIAL No.:

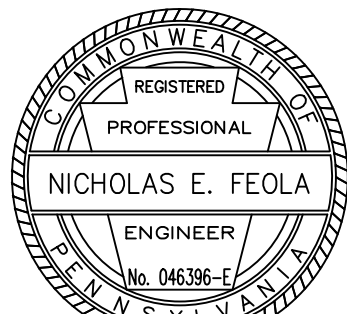
AQUA PENNSYLVANIA INC (HS)
CLEAR-NO FACILITIES.
BUCKEYE PARTNERS (IA)
CLEAR-NO FACILITIES.
COMCAST CABLE COMMUNICATIONS INC (JZ)
CLEAR-NO FACILITIES.
PECO ENERGY (KF)
CLEAR-NO FACILITIES.
SUNOCO PIPELINE LP (SPJ)
DESIGN CONFLICT
UPPER UWCHLAN TWP/UPPER UWCHLAN MUNICIPAL AUTHORITY (UUT)
CLEAR-NO FACILITIES.
UWCHLAN TOWNSHIP MUNICIPAL AUTHORITY (UTMA)
FACILITIES ON SITE
VERIZON PENNSYLVANIA LLC (YI)
CLEAR-NO FACILITIES.

NOTE: SHRYOCK BROTHERS, INC. HAS EXISTING PRIVATE, UNMARKED WATER SERVICE LINE IN PROJECT VICINITY (SEE GENERAL NOTE #3 ON SHEET 2.



Stop - Call Before You Dig!

Pennsylvania Act 181 (2007) requires notification by excavators, designers, or any person preparing to disturb the earth's surface anywhere in the commonwealth Pennsylvania One Call System, Inc. 811 or 1-800-242-1776
SERIAL # 20132890184



Nicholas E. Feola, P.E.



Corporate Headquarters
2129 East High Street
Pottstown, PA 19464
610-323-4040

Southampton Office
706 Lakeside Drive
Southampton, PA 18966

www.bursich.com

UPI 32-6-48.1, 32-6-49.3, 32-6-49.2

P:\CHE-22\137340-1A\dwg\LD_Plan\CO137340-1A.dwg, 5/16/2023 8:34:11 AM

THE PURPOSE OF THIS PLAN IS TO EXTEND THE STRUBLE TRAIL TO THE LANDS OF THE COMMONWEALTH OF PENNSYLVANIA. THE CHESTER COUNTY, DEPARTMENT OF FACILITES PROPOSES TO EXTEND THE TRAIL FROM DORLAN MILL ROAD APPROXIMATELY 650 FEET TO THE NORTH. THIS SECTION OF TRAIL IS NOT LOCATED IN THE 100 YEAR FLOODPLAIN FOR EAST BRANCH OF THE BRANDYWINE CREEK OR MARSH CREEK.

1. SITE AREA:
THE PROJECT AREA CONSISTS OF A TRAIL EASEMENT THROUGH PARCEL 32-6-49.3 OWNED BY NATURAL LANDS TRUST AND EXTENDING INTO THE LANDS OF THE COMMONWEALTH OF PENNSYLVANIA, PARCELS 32-6-48.1 AND 32-6-49.2. PARCEL 32-6-49.2 IS EASED IN FAVOR OF CHESTER COUNTY AND DEED RESTRICTED FROM DEVELOPMENT OTHER THAN IMPROVEMENTS THAT SHALL BE PROPOSED AS EXTENSION OR EXPANSION OF THE "STRUBBLE TRAIL", PER THE FINAL MINOR SUBDIVISION PLAN OF LANDS N/L SHRYOCK BROTHERS, INC., SHEETS 1-2 OF 2, DB 7782, PG. 1798.

2. ANYONE USING THIS DRAWING FOR CONSTRUCTION IS ADVISED TO CALL 1-800-242-1776 FOR UNDERGROUND UTILITIES PRIOR TO EXCAVATION IN ACCORDANCE WITH PENNSYLVANIA ACT NO. 37
3. ALL UTILITIES ARE SHOWN PER VISIBLE FIELD SURFACE INVESTIGATIONS, PLANS BY OTHERS, AND PLANS FROM UTILITY COMPANIES ACCRUED THROUGH A PA ONE CALL DESIGN NOTIFICATION, SERIAL NUMBER 20132890184.

SHRYOCK BROTHERS, INC. (SHRYOCK) HAS AN EXISTING, UNMARKED PRIVATE WATER SERVICE LINE IN THE PROJECT VICINITY. THE SERVICE RUNS IN GENERAL FROM THE EXISTING WELL HOUSE ON THE EAST SIDE OF DORLAN MILL ROAD TO THEIR EXISTING BUILDING ON UPI 32-06-49. SHRYOCK HAS INDICATED THE SERVICE IS 2" POLY (INCLUDING 100'+/- OF 10" C900D181PVC/GJ). THIS SERVICE LINE WAS LOCATED BY GROUND PENETRATING RADAR SYSTEMS, INC. (GPSR) ON MARCH 15, 2022 AND PLOTTED BY BURSHCH ASSOCIATES, INC. CONTRACTOR SHALL FIELD LOCATE/MARK OUT THIS WATER SERVICE PRIOR TO CONSTRUCTION AND TAKE APPROPRIATE PRECAUTIONS TO PROTECT DURING CONSTRUCTION.

4. SOILS SHOWN ARE TAKEN FROM UNITED STATES DEPARTMENT OF AGRICULTURE SOILS SURVEY WEBSITE.
5. A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 420 OF THE ACT OF JUNE 1, 1948 (P.L. 1242, NO. 428) KNOWN AS THE "STATE HIGHWAY LAW" BEFORE DRIVEWAY ACCESS TO A STATE HIGHWAY IS PERMITTED. PERMIT W-6256-03 FROM THE PA DEPARTMENT OF TRANSPORTATION FOR THE INSTALLATION OF THE TRAIL CROSSING OF DORLAN MILL ROAD WITH FLASHING WARNING DEVICES WAS ISSUED ON AUGUST 3, 2017.

1. ALL STORM SEWER, PAVEMENT, GRADING AND OTHER RELATED SITE CONSTRUCTION TO BE COMPLETED IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF THE TOWNSHIP OF UPPER MERION, AND THE COMMONWEALTH OF PENNSYLVANIA, DEPARTMENT OF TRANSPORTATION, PUBLICATION 408, LATEST REVISION.

2. CONTRACTOR IS SOLELY RESPONSIBLE FOR DISPOSAL OF ALL EXCESS AND WASTE MATERIALS IN ACCORDANCE WITH STATE, LOCAL AND FEDERAL REGULATIONS.
3. CONTRACTOR SHALL COMPLY WITH THE PROVISIONS OF ALL STATE AND/OR LOCAL REGULATIONS RELATING TO EXCAVATION AND DEMOLITION WORK IN THE VICINITY OF UNDERGROUND UTILITIES.
4. WORK SHALL BE IN ACCORDANCE WITH PENNDOT PUBLICATION 408, APRIL 2011, LATEST REVISION.
5. TRAFFIC CONTROL PAVEMENT MARKINGS AND SIGNING STANDARDS (TC-8600 AND TC-8700 SERIES), PUB 111M MAY 2007, LATEST REVISION.
6. MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, US DEPARTMENT OF TRANSPORTATION, FHWA, 2009.
7. WORK ZONE TRAFFIC CONTROL GUIDELINES, PUBLICATION 213, APRIL 2010 (67 PA CODE, CHAPTER 212).
8. STANDARDS FOR ROADWAY CONSTRUCTION (SERIES RC 1M TO 100M), PENNDOT PUBLICATION 72M, JUNE 2010 OR AS AMENDED.
9. OFFICIAL TRAFFIC CONTROL DEVICES, PUBLICATION 212, MARCH 2006.

- | | |
|--|----------|
| 10. DETAILS OTHER THAN THOSE INDICATED HEREIN, ARE SHOWN ON THE FOLLOWING STANDARD PENNDOT DRAWINGS (PUBLICATION 72M): | |
| CLASSIFICATION OF EARTHWORK | RC-10M |
| PAY LIMIT OF SUBBASE | RC-13M |
| PIPE EXCAVATION, BEDDING & BACKFILL | RC-30M |
| CURBS AND GUTTERS | RC-64M |
| CURB RAMPS AND SIDEWALKS | RC-67M |
| PERIMETER CONTROL DEVICES | RC-70M |
| INLET AND OUTLET PROTECTION | RC-72M |
| CHANNEL AND SLOPE PROTECTION | RC-73M |
| DEWATERING DEVICES | RC-75M |
| ROCK CONSTRUCTION ENTRANCE | RC-77M |
| PAVEMENT MARKINGS | TC-860D |
| POST MOUNTED SIGNS, TYPE B | TC-8702B |

11. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ANY DAMAGE CAUSED BY CONSTRUCTION TO THE EXISTING PAVED PORTION OF THE STRUBLE TRAIL. REPAIR TO BE COMPLETED AT NO ADDITIONAL COST TO THE COUNTY.

12. ALL PROPOSED PEDESTRIAN FACILITIES REFLECTED ON THESE PLANS SHALL BE CONSTRUCTED TO COMPLY WITH THE FOLLOWING STANDARDS:

- 12.1. PENNDOT DESIGN MANUAL 2, CHAPTER 6.
- 12.2. PENNDOT STANDARDS FOR ROADWAY CONSTRUCTION, PUBLICATION 72M, RC-67M.
- 12.3. U.S. ACCESS BOARD, ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES (ADAAG) AND ALL APPLICABLE US ACCESS BOARD STANDARDS AND GUIDELINES IN PLACE AT THE TIME OF CONSTRUCTION.

1. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATION, INCLUDING THE NOTES CONTAINED THEREON, WITHOUT FIRST OBTAINING PRIOR WRITTEN AUTHORIZATION FOR SUCH DEVIATIONS FROM THE OWNER AND ENGINEER, IT SHALL BE RESPONSIBLE FOR THE PAYMENT OF ALL COSTS TO CORRECT ANY WORK DONE, ALL FINES OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATION OR DAMAGES TO BE INCURRED BY THE OWNER AND ENGINEER AS A RESULT OF SUCH DEVIATIONS. THE ENGINEER SHALL BE HARMLESS FROM ALL SUCH COSTS TO CONNECT ANY SUCH WORK AND FROM ALL SUCH FINES AND PENALTIES, COMPENSATION AND PUNITIVE DAMAGES AND COSTS OF ANY NATURE RESULTING THEREFROM.

2. FEATURES TO BE REMOVED ARE NOTED ON THE EXISTING FEATURES PLAN, THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL OF THE PERMITTING AUTHORITIES.

3. THE OWNER/CONTRACTOR SHALL BE FAMILIAR WITH AND RESPONSIBLE FOR ANY/ALL CERTIFICATIONS, INSPECTIONS, ETC. REQUIRED BY ALL GOVERNING JURISDICTIONAL AGENCIES DURING AND AFTER CONSTRUCTION FOR SIGN-OFF AND CERTIFICATE OF OCCUPANCY ISSUANCE, INCLUDING BUT NOT LIMITED TO THE OBTAINMENT OF SERVICE OF THE NECESSARY PERMITS AND APPROVALS FROM ALL GOVERNING REPRESENTATIVES OF THE APPROPRIATE PARTIES. CONTRACTOR IS RESPONSIBLE TO COORDINATE CERTIFICATIONS, SIGN-OFFS, ETC. NECESSARY FOR JOB CLOSE-OUT AND ISSUANCE OF CERTIFICATE OF OCCUPANCY. ALL RECORDS AND DOCUMENTS THAT ARE REQUIRED BY THE LOCAL GOVERNING AGENCIES, REFERENCED DOCUMENTS, AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY SHALL BE MAINTAINED BY THE CONTRACTOR THROUGHOUT THE PROJECT.

4. ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IN WRITING IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATIONS HAVE NOT BEEN PROVIDED.

5. THE CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT STRUCTURE, ETC. TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING THE APPROPRIATE MEASURES AS NECESSARY TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT TO REMAIN AND PROVIDE A SAFE WORK AREA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REPLACE ANY SIGNAL INTERCONNECT CABLE, CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION.

6. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING ITEM DURING CONSTRUCTION SUCH AS BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURBS ETC. REPAIR SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS. THE CONTRACTOR IS RESPONSIBLE FOR DOCUMENTING ALL EXISTING DAMAGES OF THE SITE PRIOR TO CONSTRUCTION.

7. ALL CONCRETE SHALL HAVE THE MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS AS INDICATED IN SPECIFICATIONS AND REFERENCED DOCUMENTS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS.

8. THE DESIGN ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS FOR COMPLETION OF THE WORK DEPICTED ON THESE PLANS NOR ANY CONFLICTS/SCOPE REVISIONS WHICH RESULT FROM SAME. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE MEANS AND METHODS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND NOTIFICATION OF OWNER AND DESIGN ENGINEER OF RECORD WHEN A CONFLICT IS IDENTIFIED.

9. THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SAFETY NOR HAS HE OR SHE BEEN RETAINED FOR SUCH PURPOSES.

10. SIGNAGE AND STRIPING FOR THIS PROJECT SHALL BE INSTALLED IN ACCORDANCE WITH PENNDOT AND THE TOWNSHIPS REQUIREMENTS.

11. ALL CONTRACTORS MUST CARRY STATUTORY WORKERS COMPENSATION, EMPLOYERS LIABILITY INSURANCE, AND APPROPRIATE LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). ALL CONTRACTORS MUST HAVE THEIR CGL POLICES ENDORSED TO NAME CHESTER COUNTY AND ITS CONSULTANT(S) AS ADDITIONAL ASSURED AND PROTECTED PARTIES. CONTRACTORS MUST ALSO MAINTAIN ADEQUATE WORKERS COMPENSATION AND INDEMNITY OBLIGATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST FURNISH CHESTER COUNTY WITH CERTIFICATIONS OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE, PRIOR TO COMMENCEMENT OF WORK. CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS. IN ADDITION, ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS CHESTER COUNTY AND ITS SUB CONSULTANTS FROM AND AGAINST ANY DAMAGES, LIABILITIES OR LOSSES OF ANY KIND, INCLUDING REASONABLE ATTORNEY'S FEES, INCURRED BY CHESTER COUNTY IN ANY WAY CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS.

12. ALL STORM SEWER, PAVEMENT, GRADING AND OTHER RELATED SITE CONSTRUCTION TO BE COMPLETED IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF THE TOWNSHIP OF UPPER UWCHLAN AND THE COMMONWEALTH OF PENNSYLVANIA DEPARTMENT OF TRANSPORTATION PUBLICATION 408, LATEST VERSION.

13. ALL SHEETING AND SHORING FOR EXCAVATION SHALL MEET OSHA SAFETY STANDARDS. CONTRACTOR SHALL BE SOLELY RESPONSIBLE TO ADEQUATELY BRACE, SUPPORT, PROTECT ANY AND ALL EXCAVATION, STRUCTURE OR BUILDING THROUGHOUT CONSTRUCTION UNTIL IT IS COMPLETE IN ITS FINISHED STATE. COSTS FOR DAMAGES TO ANY STRUCTURE OR EXCAVATION DUE TO IMPROPER BRACING OR PROTECTION SHALL BE SOLELY BORNE BY THE CONTRACTOR.

14. CONTRACTOR SHALL SECURE HIS WORK (BEFORE HE LEAVES THE SITE UNATTENDED) ON A DAILY BASIS AND SHALL FILL OR PLATE ALL EXCAVATION AND PROVIDE BARRICADES AND WARNING SIGNS AROUND ALL STRUCTURES BEING ERECTED.

15. CONTRACTOR IS SOLEY RESPONSIBLE FOR DISPOSAL OF ALL EXCESS AND WASTE MATERIALS IN ACCORDANCE WITH STATE, LOCAL AND FEDERAL REGULATIONS.

16. CONTRACTOR SHALL COMPLY WITH THE PROVISIONS OF ALL STATE AND/OR LOCAL ONE CALL REGULATIONS RELATING TO EXCAVATION AND DEMOLITION WORK IN THE VICINITY OF UNDERGROUND UTILITIES.

17. UPON COMPLETION OF OTHER CONSTRUCTION, THE ENTIRE AMOUNT OF TOPSOIL STRIPPED SHALL BE REPLACED ON THE SITE (IF POSSIBLE). NO TOPSOIL SHALL BE DISPOSED OF, BY SALE OR OTHERWISE, OFF THE SITE OF CONSTRUCTION WITHOUT TOWNSHIP APPROVAL.

NO IMPROVEMENTS AT THE SITE ARE BEING OFFERED FOR DEDICATION TO THE TOWNSHIP.

BRANDYWINE CREEK IS HIGH QUALITY TROUT STOCKING, MIGRATORY FISHES (HQ-TSF, MF) AS LISTED BY THE PADEP CHAPTER 93 STREAM DESIGNATION LIST.

GeD-GLADSTONE-PARKER GRAVELLY LOAM, 15-25% SLOPES, WELL DRAINED, 80" TO WATER TABLE
Ha-HATBORO SILT LOAM, POORLY DRAINED, 0-6" TO WATER TABLE
PaE-PARKER GRAVELLY LOAM, 25-35% SLOPES, EXCESSIVELY DRAINED, +80" TO WATER TABLE

WETLANDS WERE NOT EVALUATED SINCE THE SOILS IN THE AREA OF THE TRAIL CONSTRUCTION ARE WELL DRAINED WITH A WATER TABLE AT 80 INCHES.

2,269 SF OF 15-25% PRECAUTIONARY STEEP SLOPES ARE WITHIN THE TRAIL EASEMENT AND WILL BE DISTURBED NORTH OF DORLAN MILL ROAD AND 2,800 SF OF 15-25% PRECAUTIONARY STEEP SLOPES WILL BE DISTURBED SOUTH OF DORLAN MILL ROAD.

11,120 SF OF +25% PROHIBITIVE STEEP SLOPES ARE WITHIN THE TRAIL EASEMENT AND WILL BE DISTURBED NORTH OF DORLAN MILL ROAD. NO PROHIBITIVE STEEP SLOPES WILL BE DISTURBED SOUTH OF DORLAN MILL ROAD.




ZONING ORDINANCE SECTION 200-107.D(2)(a) LISTS PASSIVE RECREATION (DEFINED TO INCLUDE HIKING AND BIKING) AS A PERMITTED USE IN PROHIBITIVE SLOPES AND SECTION 200-107.D(3)(a)[1] LISTS PASSIVE RECREATION AS A PERMITTED USE IN PRECAUTIONARY SLOPES.

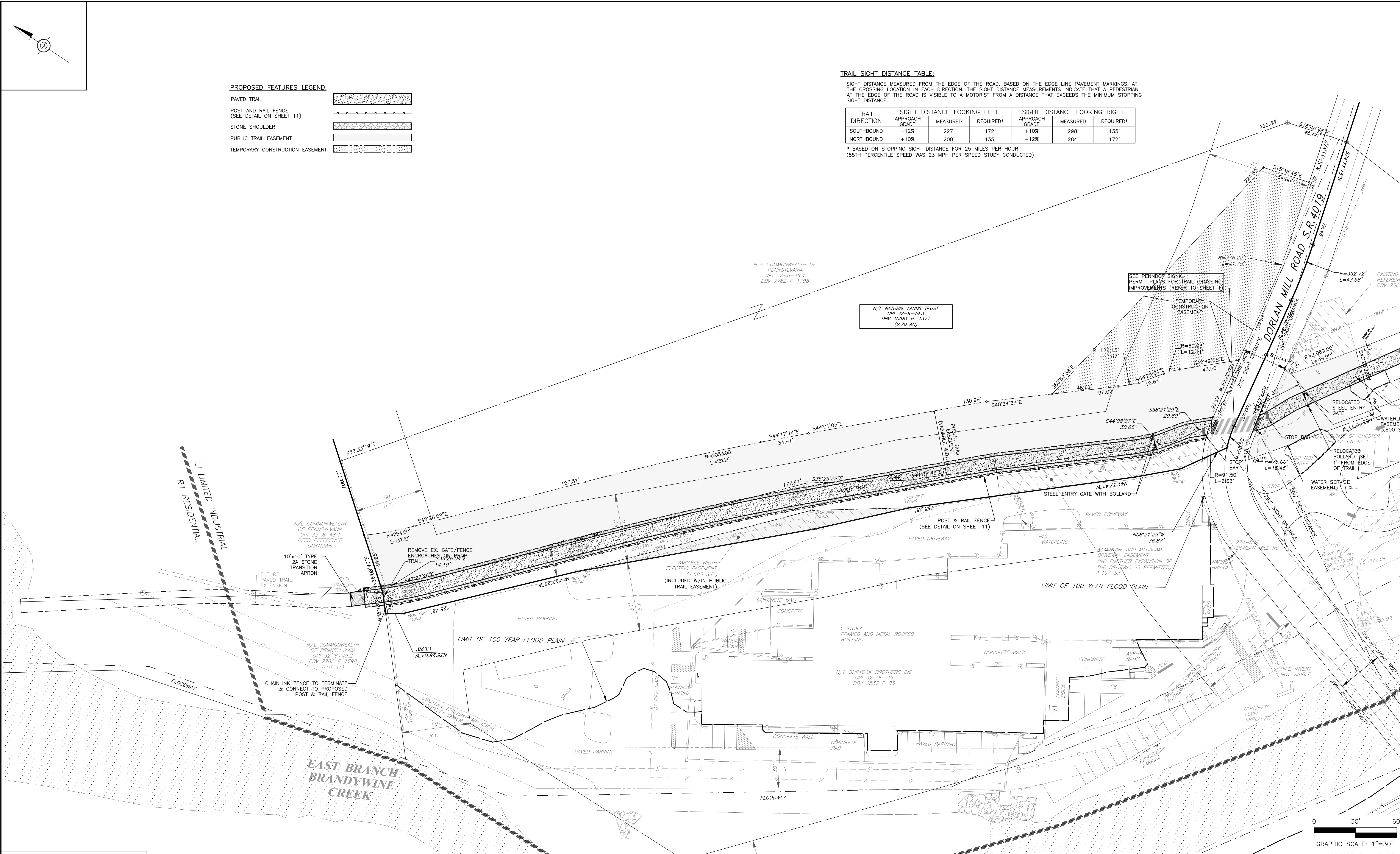
1. SITE INFORMATION:

1. SITE INFORMATION:
ZONING: LI - LIMITED INDUSTRIAL DISTRICT
TAX PARCELS: #32-6-48.1, #32-6-49.3, #32-6-49.2, #32-6-65.1, AND #32-6-66
2. THIS DRAWING REFERENCES THE FOLLOWING PLANS BY:
LAKE ROEDER HILLARD & BEERS
ENTITLED: STURBLE TRAIL, BOUNDARY SURVEY, CHESTER COUNTY PARKS & RECREATION DEPARTMENT
DATED: SEPTEMBER 2, 2013

TRACT BOUNDARY INFORMATION TAKEN FROM "FINAL MINOR SUBDIVISION PLAN OF LANDS N/L SHRYOCK BROTHERS, INC, DORLAN MILL ROAD" PREPARED BY JAMES W. MACCOMBIE, JUNE 20, 2008.
3. BOUNDARY, PHYSICAL FEATURES, TOPOGRAPHY, AND UTILITY INFORMATION TAKEN FROM FIELD SURVEY.

PROJECT BENCH MARK: EXISTING SANITARY MANHOLE RIM 147' EAST OF DORLAN MILL ROAD 4' SOUTH OF EXISTING GRAVEL TRAIL. RIM ELEVATION = 282.57' DATUM SHIFT TO NGVD 29 -0.66'. NGVD 29 ELEVATION OF MANHOLE = 281.91' PER GPS OBSERVATION AND OPUS SOLUTION. CONVERTED TO NGVD 29 USING VERTCON.

					SEAL	SEAL	<table><tr><td colspan="2">MANAGER</td><td rowspan="5"></td><td colspan="2">CLIENT</td><td colspan="2">SUBJECT</td><td>JOB NO.</td></tr><tr><td colspan="2">NEF _____</td><td colspan="2">CHESTER COUNTY, DEPARTMENT OF FACILITIES</td><td colspan="2">GENERAL NOTES RECORD PLAN 2 OF 9</td><td>137340.01A</td></tr><tr><td>DESIGN</td><td>CHKD. BY</td><td colspan="2">313 W. MARKET STREET</td><td colspan="2">STRUBLE TRAIL</td><td>SHEET NO.</td></tr><tr><td>KK</td><td></td><td colspan="2">SUITE 5402</td><td colspan="2">EXTENSION II</td><td>2 OF 19</td></tr><tr><td>DRAFT</td><td>CHKD. BY</td><td colspan="2">P.O. BOX 2748</td><td colspan="2"></td><td>DWG. NO.</td></tr><tr><td>AJK</td><td></td><td colspan="2">WEST CHESTER, PA 19380</td><td colspan="2"></td><td>GN137340-1A</td></tr><tr><td>FILE</td><td>DATE</td><td colspan="2">Corporate Headquarters 2129 East High Street Pottstown, PA 19464 610-323-4040</td><td colspan="2">Southampton Office 706 Lakeside Drive Southampton, PA 18966</td><td colspan="2"></td></tr><tr><td>CHE-22</td><td>MAY 1, 2019</td><td colspan="2"></td><td colspan="2"></td><td colspan="2"></td></tr><tr><td>NOTES</td><td>SCALE</td><td colspan="2">www.bursich.com</td><td colspan="2"></td><td colspan="2"></td></tr></table>	MANAGER			CLIENT		SUBJECT		JOB NO.	NEF _____		CHESTER COUNTY, DEPARTMENT OF FACILITIES		GENERAL NOTES RECORD PLAN 2 OF 9		137340.01A	DESIGN	CHKD. BY	313 W. MARKET STREET		STRUBLE TRAIL		SHEET NO.	KK		SUITE 5402		EXTENSION II		2 OF 19	DRAFT	CHKD. BY	P.O. BOX 2748				DWG. NO.	AJK		WEST CHESTER, PA 19380				GN137340-1A	FILE	DATE	Corporate Headquarters 2129 East High Street Pottstown, PA 19464 610-323-4040		Southampton Office 706 Lakeside Drive Southampton, PA 18966				CHE-22	MAY 1, 2019							NOTES	SCALE	www.bursich.com					
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3.	REVISIONS PER GILMORE ASSOC. COMMENTS DATED 4/18/2023	4/26/23	AJK																																																																							
2.	REVISIONS PER GILMORE ASSOC. REVIEW DATED 2/3/2023	4/5/23	AJK																																																																							
1.	REVISIONS PER OWNER AND TOWNSHIP CONSULTANTS' REVIEWS	12/21/22	AJK																																																																							
NO.	REVISION	DATE	BY	APP.																																																																						



PROPOSED FEATURES LEGEND:

PAVED TRAIL	
POST AND RAIL FENCE (SEE DETAIL ON SHEET 11)	
STONE SHOULDER	
PUBLIC TRAIL EASEMENT	
TEMPORARY CONSTRUCTION EASEMENT	

TRAIL SIGHT DISTANCE TABLE:

SIGHT DISTANCE MEASURED FROM THE EDGE OF THE ROAD, BASED ON THE EDGE LINE PAVEMENT MARKINGS, AT THE CROSSING LOCATION IN EACH DIRECTION. THE SIGHT DISTANCE MEASUREMENTS INDICATE THAT A PEDESTRIAN AT THE EDGE OF THE ROAD IS VISIBLE TO A MOTORIST FROM A DISTANCE THAT EXCEEDS THE MINIMUM STOPPING SIGHT DISTANCE.

TRAIL DIRECTION	SIGHT DISTANCE LOOKING LEFT			SIGHT DISTANCE LOOKING RIGHT		
	APPROACH GRADE	MEASURED	REQUIRED*	APPROACH GRADE	MEASURED	REQUIRED*
SOUTHBOUND	-12%	227'	172'	+10%	298'	135'
NORTHBOUND	+10%	200'	135'	-12%	284'	172'

* BASED ON STOPPING SIGHT DISTANCE FOR 25 MILES PER HOUR.
(85TH PERCENTILE SPEED WAS 23 MPH PER SPEED STUDY CONDUCTED)

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UPI 32-6-48.1, 32-6-49.3, 32-6-49.2

NO.	REVISION	DATE	BY	APP.
4.	REVISIONS PER GILMORE ASSOC. COMMENTS DATED 5/4/2023	5/17/23	AJK	
3.	REVISIONS PER GILMORE ASSOC. COMMENTS DATED 4/18/2023	4/26/23	AJK	
2.	REVISIONS PER GILMORE ASSOC. REVIEW DATED 2/3/2023	4/5/23	AJK	
1.	REVISIONS PER OWNER AND TOWNSHIP CONSULTANTS REVIEWS	12/21/22	AJK	

SEAL	SEAL
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MANAGER	NEF
DESIGN	KK
DRAFT	AJK
FILE	CHE-22
NOTES	
CHKD. BY	CHKD. BY
DATE	MAY 1, 2019
SCALE	1"=30'



Corporate Headquarters
2129 East High Street
Pottstown, PA 19454
610-323-4040

Southampton Office
706 Lakeside Drive
Southampton, PA 18966

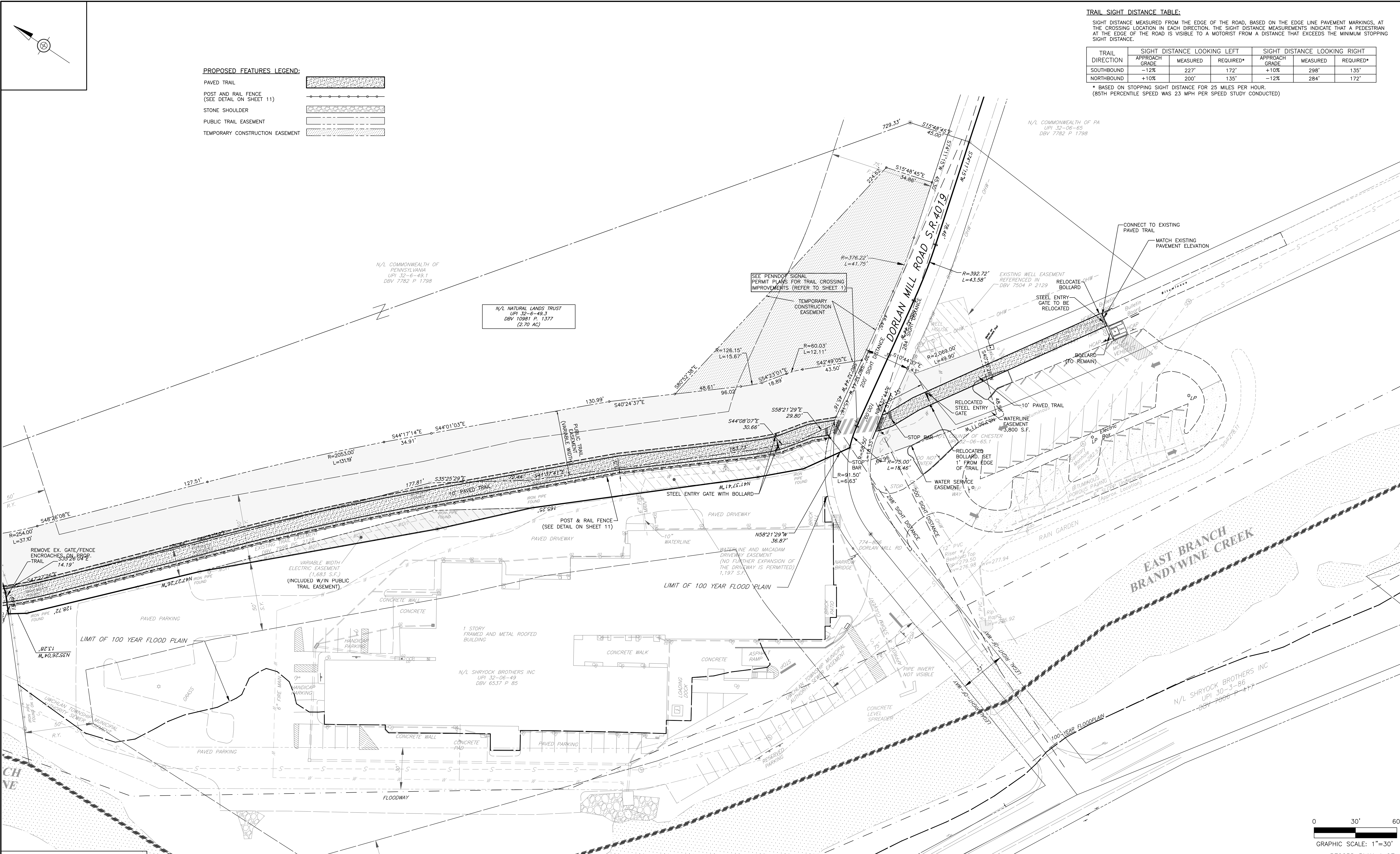
www.bursich.com

CLIENT
CHESTER COUNTY, DEPARTMENT OF FACILITIES
313 W. MARKET STREET
SUITE 5402
P.O. BOX 2748
WEST CHESTER, PA 19380

SUBJECT
SITE PLAN
RECORD PLAN 3 OF 9
STRUBLE TRAIL
EXTENSION II
UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA

JOB NO.
137340.01A
SHEET NO.
3 OF 19
DWG. NO.
LO137340-1A

0 30' 60'
GRAPHIC SCALE: 1"=30'
RECORD PLAN 3 OF 4



PROPOSED FEATURES LEGEND:

PAVED TRAIL	[Pattern]
POST AND RAIL FENCE (SEE DETAIL ON SHEET 11)	[Pattern]
STONE SHOULDER	[Pattern]
PUBLIC TRAIL EASEMENT	[Pattern]
TEMPORARY CONSTRUCTION EASEMENT	[Pattern]

TRAIL SIGHT DISTANCE TABLE:

SIGHT DISTANCE MEASURED FROM THE EDGE OF THE ROAD, BASED ON THE EDGE LINE PAVEMENT MARKINGS, AT THE CROSSING LOCATION IN EACH DIRECTION. THE SIGHT DISTANCE MEASUREMENTS INDICATE THAT A PEDESTRIAN AT THE EDGE OF THE ROAD IS VISIBLE TO A MOTORIST FROM A DISTANCE THAT EXCEEDS THE MINIMUM STOPPING SIGHT DISTANCE.

TRAIL DIRECTION	SIGHT DISTANCE LOOKING LEFT			SIGHT DISTANCE LOOKING RIGHT		
	APPROACH GRADE	MEASURED	REQUIRED*	APPROACH GRADE	MEASURED	REQUIRED*
SOUTHBOUND	-12%	227'	172'	+10%	298'	135'
NORTHBOUND	+10%	200'	135'	-12%	284'	172'

* BASED ON STOPPING SIGHT DISTANCE FOR 25 MILES PER HOUR.
(85TH PERCENTILE SPEED WAS 23 MPH PER SPEED STUDY CONDUCTED)

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UP1 32-6-48.1, 32-6-49.3, 32-6-49.2

NO.	REVISION	DATE	BY	APP.
4.	REVISIONS PER GILMORE ASSOC. COMMENTS DATED 5/4/2023	5/17/23	AJK	
3.	REVISIONS PER GILMORE ASSOC. COMMENTS DATED 4/18/2023	4/26/23	AJK	
2.	REVISIONS PER GILMORE ASSOC. REVIEW DATED 2/3/2023	4/5/23	AJK	
1.	REVISIONS PER OWNER AND TOWNSHIP CONSULTANTS REVIEWS	12/21/22	AJK	

SEAL

SEAL

MANAGER
NEF

DESIGN
KK

DRAFT
AJK

FILE
CHE-22

NOTES

CHKD. BY

CHKD. BY

DATE
MAY 1, 2019

SCALE
1"=30'

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P.O. BOX 2748
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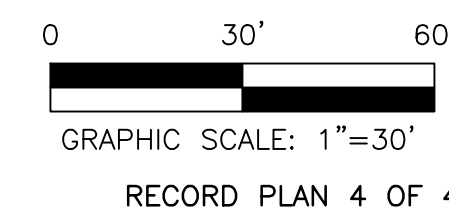
SUBJECT
STRUBLE TRAIL
EXTENSION II
UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA

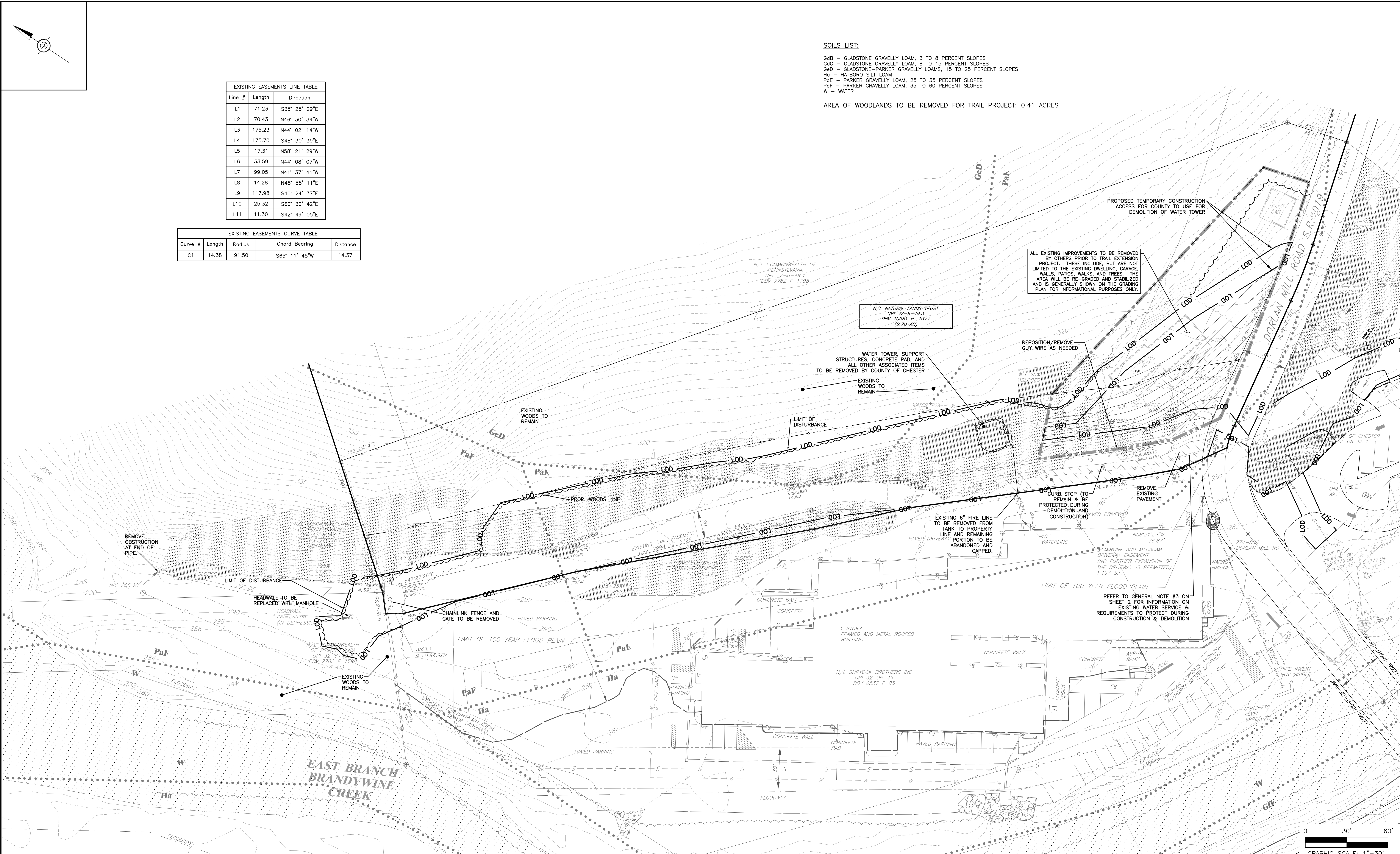
SITE PLAN
RECORD PLAN 4 OF 9

JOB NO.
137340.01A

SHEET NO.
4 OF 19

DWG. NO.
LO237340-1A





EXISTING EASEMENTS LINE TABLE		
Line #	Length	Direction
L1	71.23	S35° 25' 29"E
L2	70.43	N46° 30' 34"W
L3	175.23	N44° 02' 14"W
L4	175.70	S48° 30' 39"E
L5	17.31	N58° 21' 29"W
L6	33.59	N44° 08' 07"W
L7	99.05	N41° 37' 41"W
L8	14.28	N48° 55' 11"E
L9	117.98	S40° 24' 37"E
L10	25.32	S60° 30' 42"E
L11	11.30	S42° 49' 05"E

EXISTING EASEMENTS CURVE TABLE				
Curve #	Length	Radius	Chord Bearing	Distance
C1	14.38	91.50	S65° 11' 45"W	14.37

SOILS LIST:
GdB - GLADSTONE GRAVELLY LOAM, 3 TO 8 PERCENT SLOPES
GdC - GLADSTONE GRAVELLY LOAM, 8 TO 15 PERCENT SLOPES
GeD - GLADSTONE-PARKER GRAVELLY LOAMS, 15 TO 25 PERCENT SLOPES
Ho - HATBORO SILT LOAM
PoE - PARKER GRAVELLY LOAM, 25 TO 35 PERCENT SLOPES
PoF - PARKER GRAVELLY LOAM, 35 TO 60 PERCENT SLOPES
W - WATER

AREA OF WOODLANDS TO BE REMOVED FOR TRAIL PROJECT: 0.41 ACRES

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SEAL	SEAL
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MANAGER	
DESIGN	CHKD. BY
DRAFT	CHKD. BY
FILE	DATE
NOTES	SCALE

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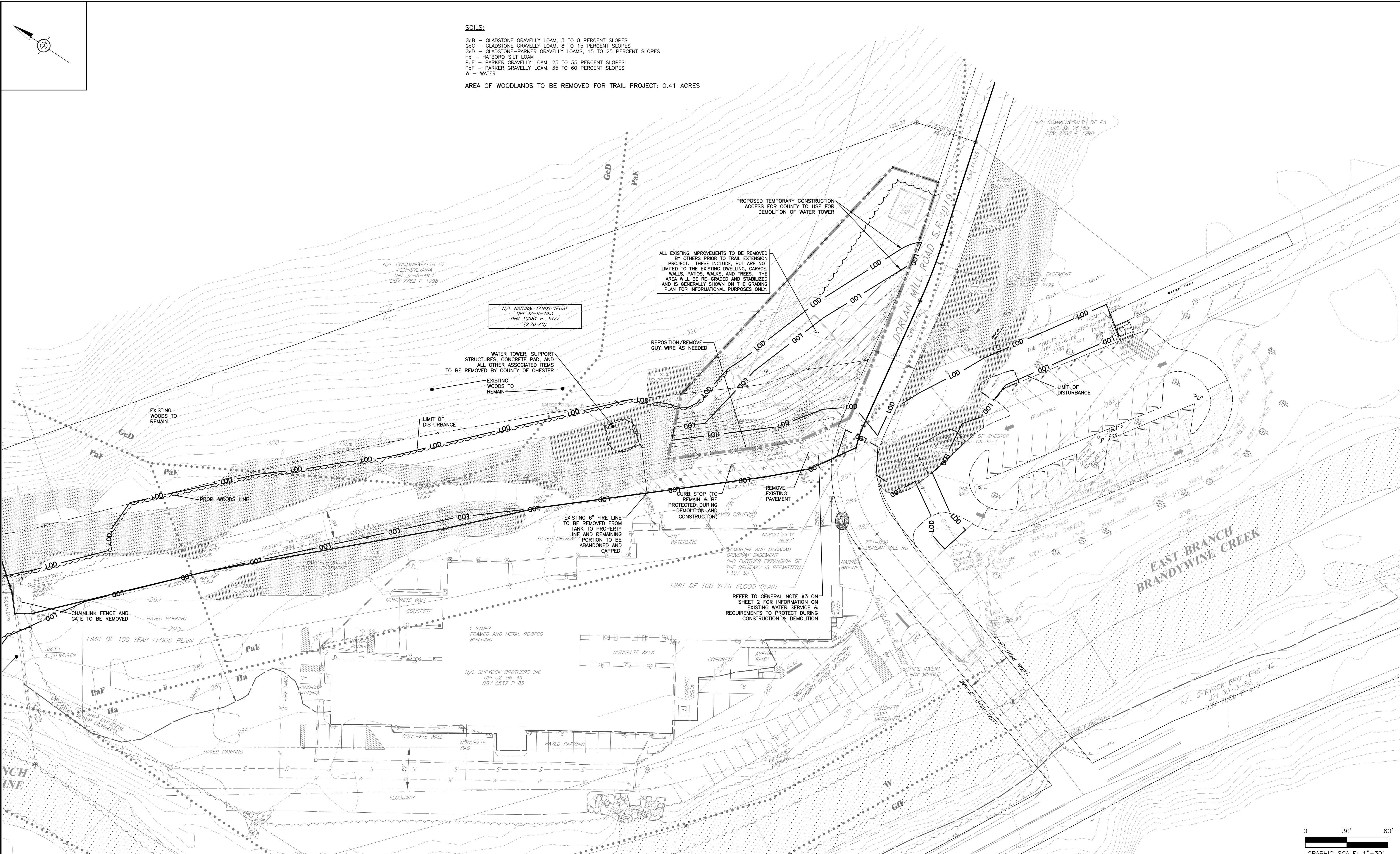
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CLIENT	
CHESTER COUNTY, DEPARTMENT OF FACILITIES	
313 W. MARKET STREET SUITE 5402 P.O. BOX 2748 WEST CHESTER, PA 19380	

SUBJECT	
EXISTING FEATURES/SITE ANALYSIS AND IMPACT PLAN	
STRUBLE TRAIL EXTENSION II	
UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA	

JOB NO.	137340.01A
SHEET NO.	5 OF 19
DWG. NO.	EF137340-1A

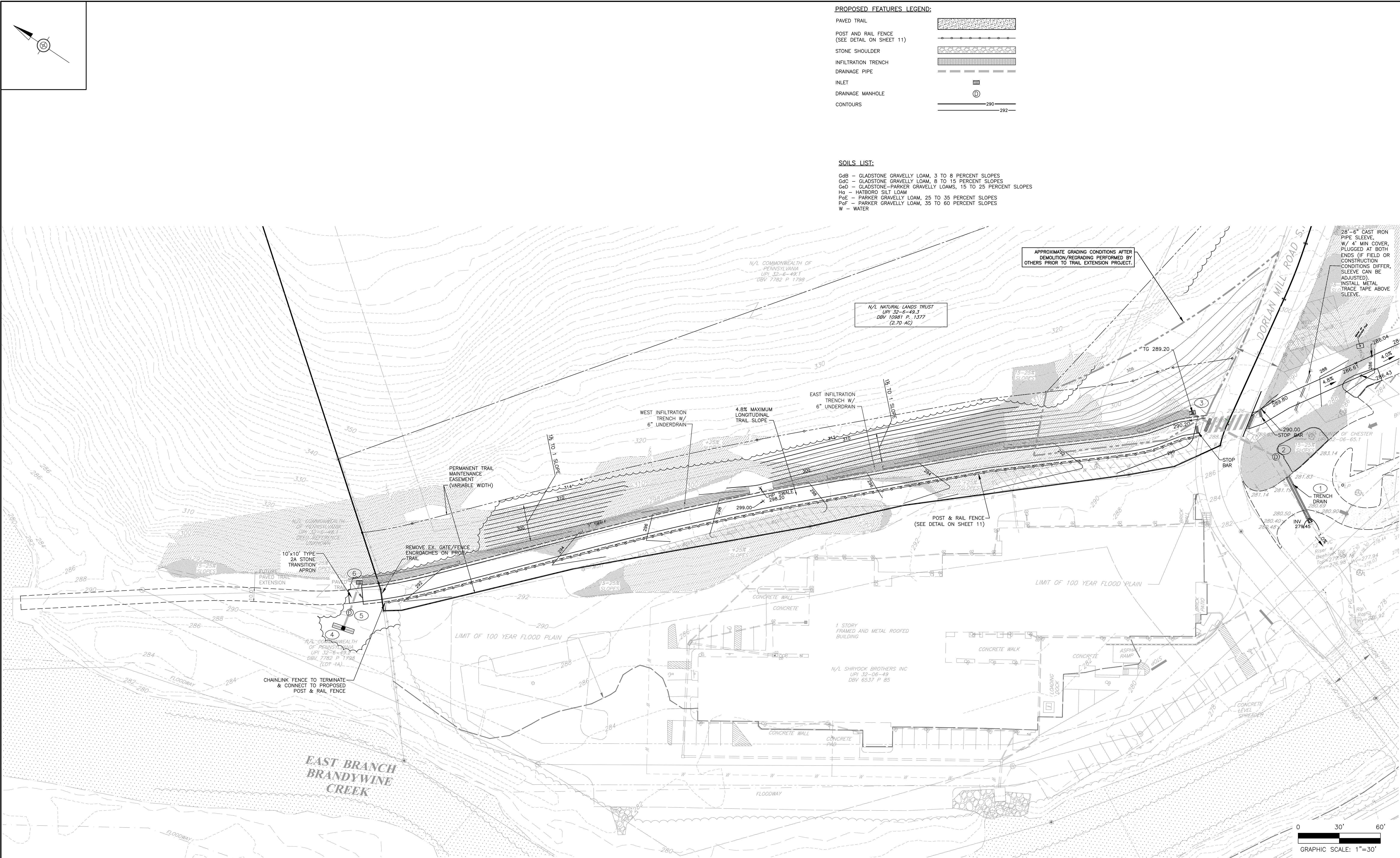


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Ha - HATBORO SILT LOAM
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W - WATER

AREA OF WOODLANDS TO BE REMOVED FOR TRAIL PROJECT: 0.41 ACRES

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4.	REVISIONS PER GILMORE ASSOC. COMMENTS DATED 5/4/2023	5/17/23	AJK			DESIGN KK				
3.	REVISIONS PER GILMORE ASSOC. COMMENTS DATED 4/18/2023	4/26/23	AJK			DRAFT AJK				
2.	REVISIONS PER GILMORE ASSOC. REVIEW DATED 2/3/2023	4/5/23	AJK			FILE CHE-22				
1.	REVISIONS PER OWNER AND TOWNSHIP CONSULTANTS REVIEWS	12/21/22	AJK			NOTES				
NO.	REVISION	DATE	BY	APP.						



				SEAL	SEAL	<table><tr><td colspan="2">MANAGER _____</td></tr><tr><td>DESIGN KK</td><td>CHKD. BY</td></tr><tr><td>DRAFT AJK</td><td>CHKD. BY</td></tr><tr><td>FILE CHE-22</td><td>DATE MAY 1, 2019</td></tr><tr><td>NOTES</td><td>SCALE 1"=30'</td></tr></table>	MANAGER _____		DESIGN KK	CHKD. BY	DRAFT AJK	CHKD. BY	FILE CHE-22	DATE MAY 1, 2019	NOTES	SCALE 1"=30'	<div><div><div><div><div></div><div>BURSICH</div><div>Sharing your Vision</div></div><div><div>Corporate Headquarters 2129 East High Street Pottstown, PA 19464 610-323-4040</div><div>Southampton Office 706 Lakeside Drive Southampton, PA 18966</div></div></div><div>www.bursich.com</div></div></div>	<div>CHESTER COUNTY, DEPARTMENT OF FACILITIES 313 W. MARKET STREET SUITE 5402 P.O. BOX 2748 WEST CHESTER, PA 19380</div>	<div>GRADING PLAN</div> <div>SUBJECT</div> <div>STRUBLE TRAIL EXTENSION II</div> <div>UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA</div>	<div>JOB NO. 137340.01A</div> <div>SHEET NO. 7 OF 19</div> <div>DWG. NO. GR137340-1A</div>
MANAGER _____																				
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PROPOSED FEATURES LEGEND

PAVED TRAIL

POST AND RAIL FENCE
(SEE DETAIL ON SHEET 11)

STONE SHOULDER

INFILTRATION TRENCH

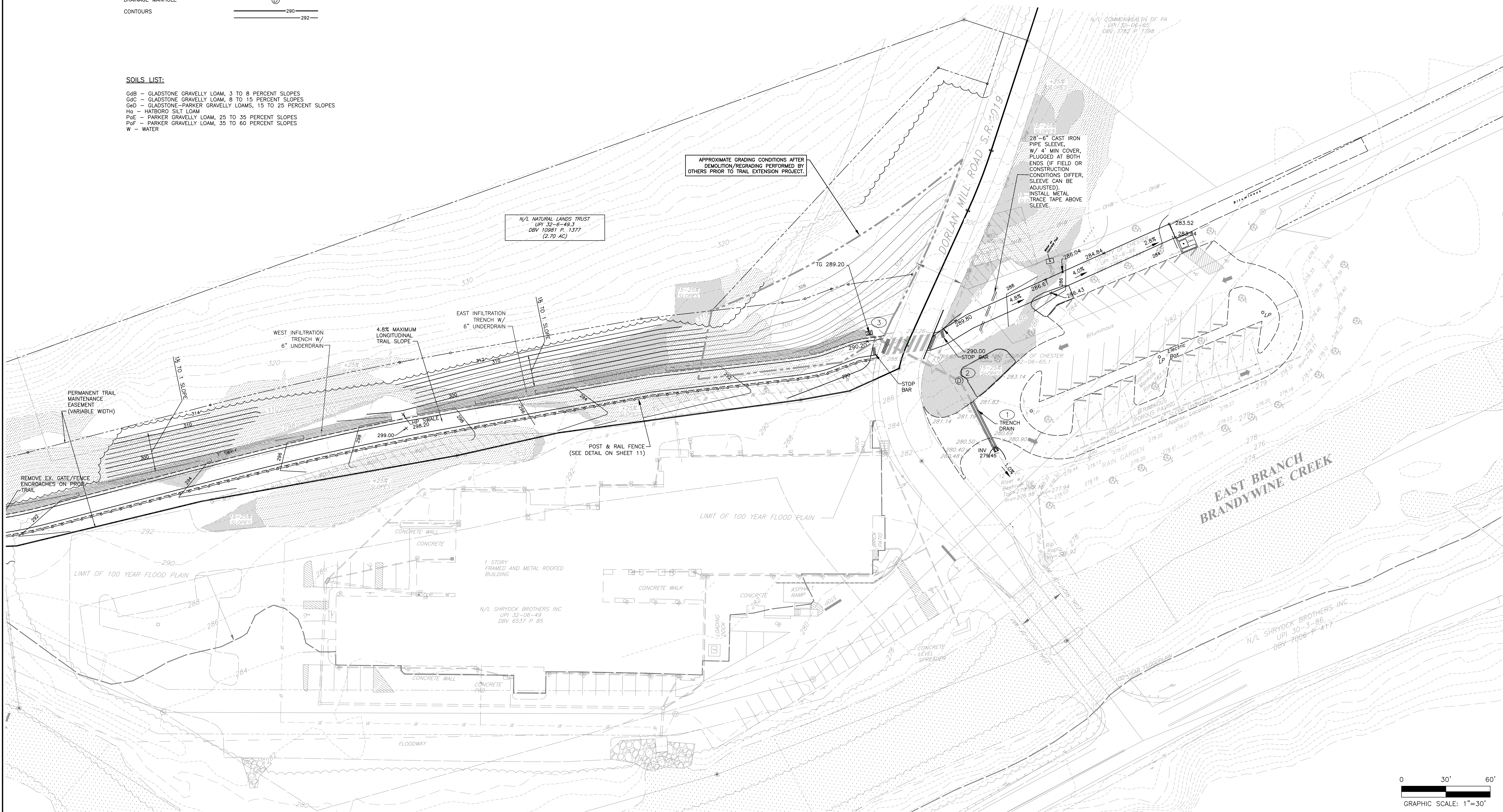
DRAINAGE PIPE

DRAINAGE MANHOLE


CONTOURS

SOILS LIST:

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0 30' 60'

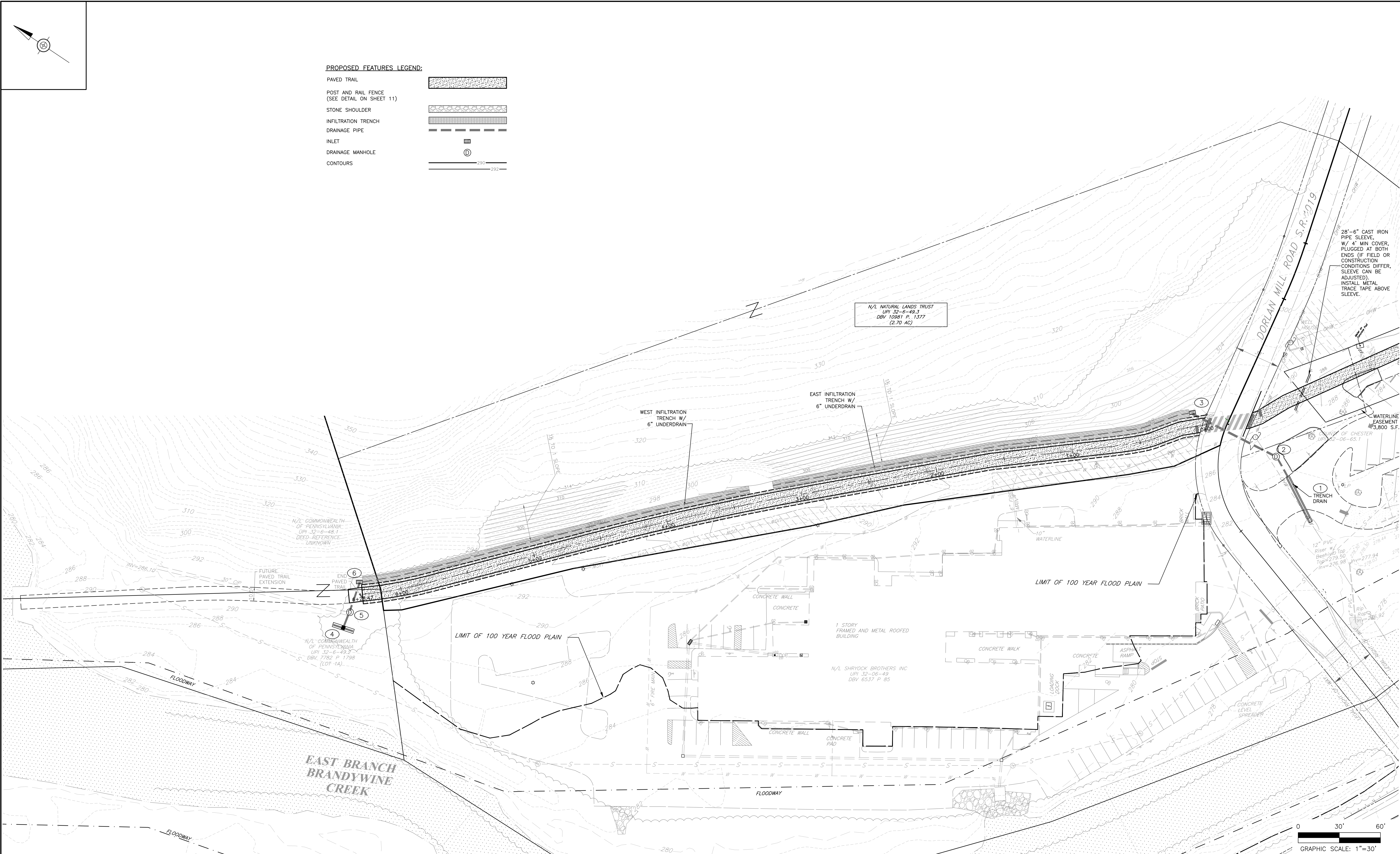


GRAPHIC SCALE: 1"=30'

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					DESIGN		CHKD. BY	CHESTER COUNTY, DEPARTMENT OF FACILITIES	GRADING PLAN	137340.01A
					KK			313 W. MARKET STREET		
					AJK		CHKD. BY	SUITE 5402		
4.	REVISIONS PER GILMORE ASSOC. COMMENTS DATED 5/4/2023	5/17/23	AJK		DRAFT			P.O. BOX 2748	STRUBLE TRAIL	SHEET NO.
3.	REVISIONS PER GILMORE ASSOC. COMMENTS DATED 4/18/2023	4/26/23	AJK		AJK			WEST CHESTER, PA 19380	EXTENSION II	8 OF 19
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1.	REVISIONS PER OWNER AND TOWNSHIP CONSULTANTS REVIEWS	12/21/22	AJK		CHE-22	MAY 1, 2019			DWG. NO.	
NO.	REVISION	DATE	AJ	APP.	NOTES	SCALE		UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA	GR237340-1	
						1"=30'				

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- PROPOSED FEATURES LEGEND:**
- PAVED TRAIL
 - POST AND RAIL FENCE (SEE DETAIL ON SHEET 11)
 - STONE SHOULDER
 - INFILTRATION TRENCH
 - DRAINAGE PIPE
 - INLET
 - DRAINAGE MANHOLE
 - CONTOURS

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SEAL	SEAL
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MANAGER	NEF
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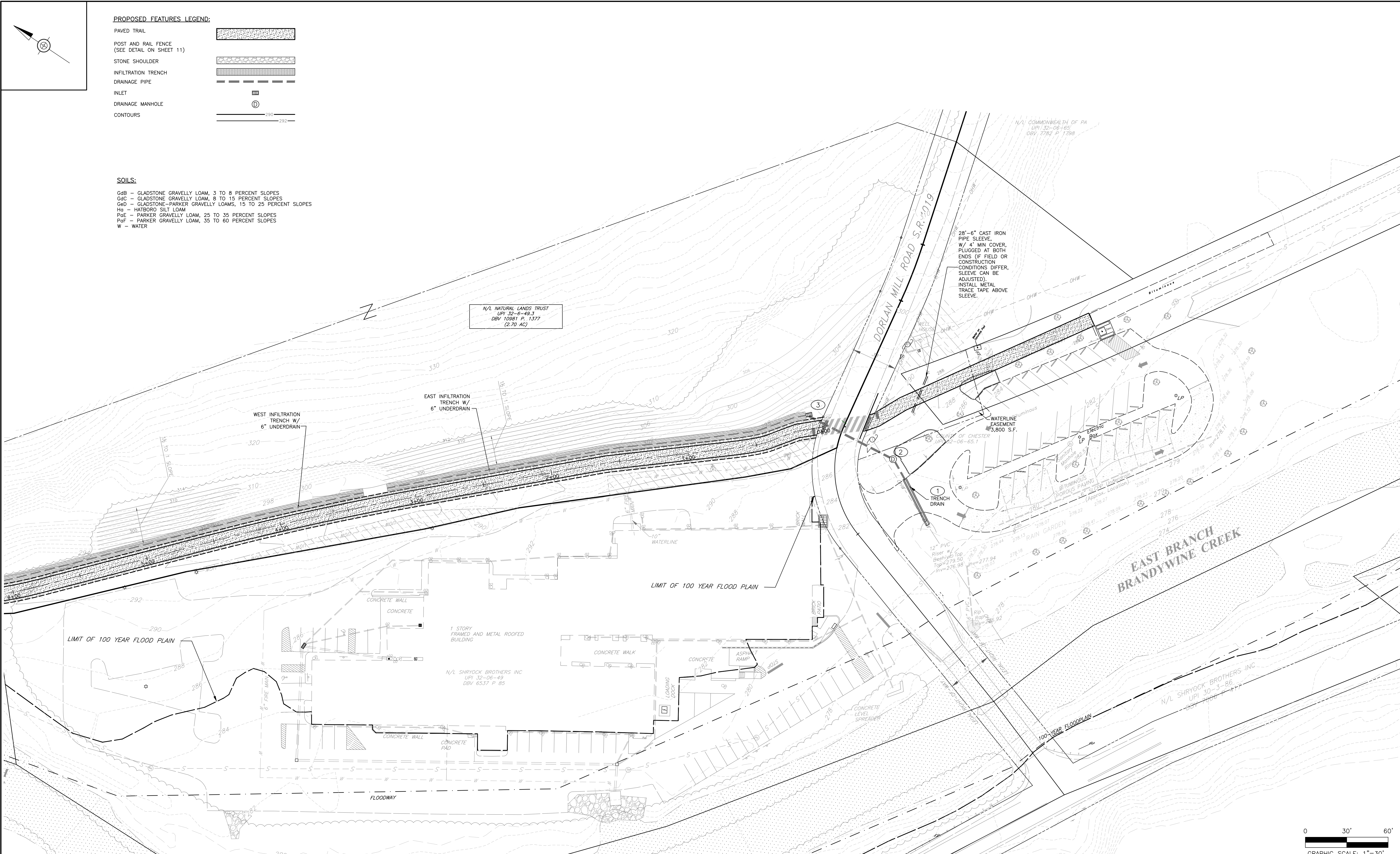
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UTILITY PLAN
SUBJECT
STRUBLE TRAIL
EXTENSION II
UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA

JOB NO.
137340.01A
SHEET NO.
9 OF 19
DWG. NO.
UT137340-1A

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(SEE DETAIL ON SHEET 11)
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SEAL
SEAL

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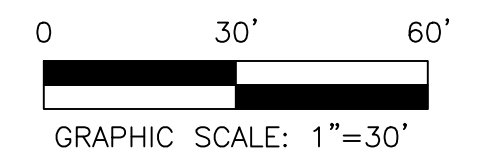
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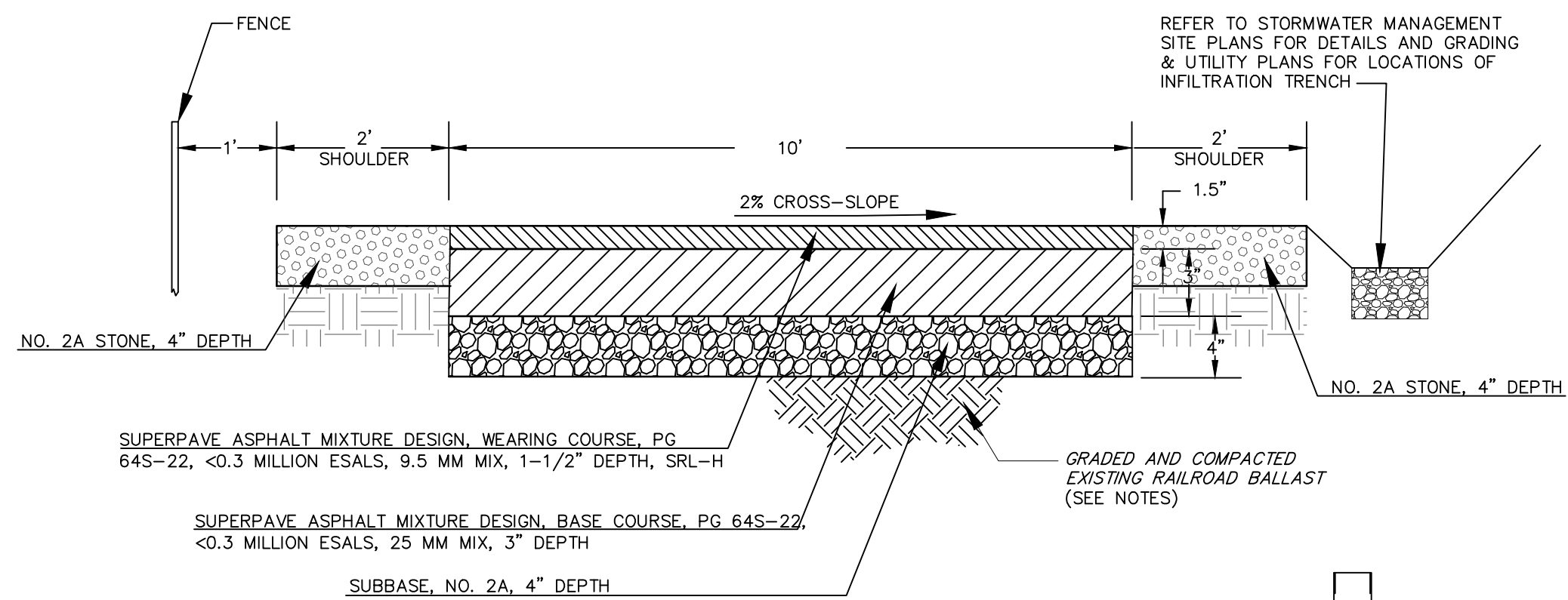
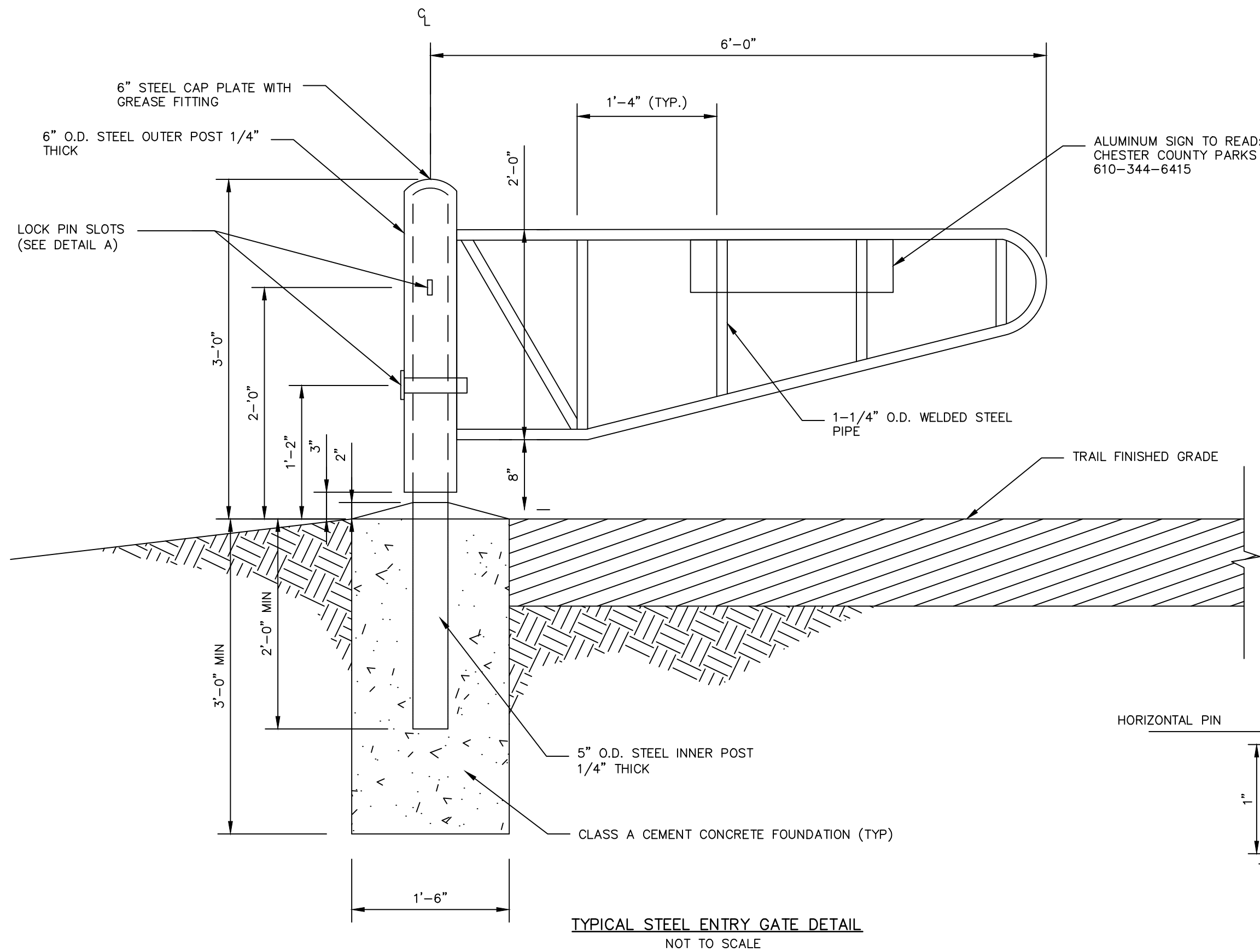
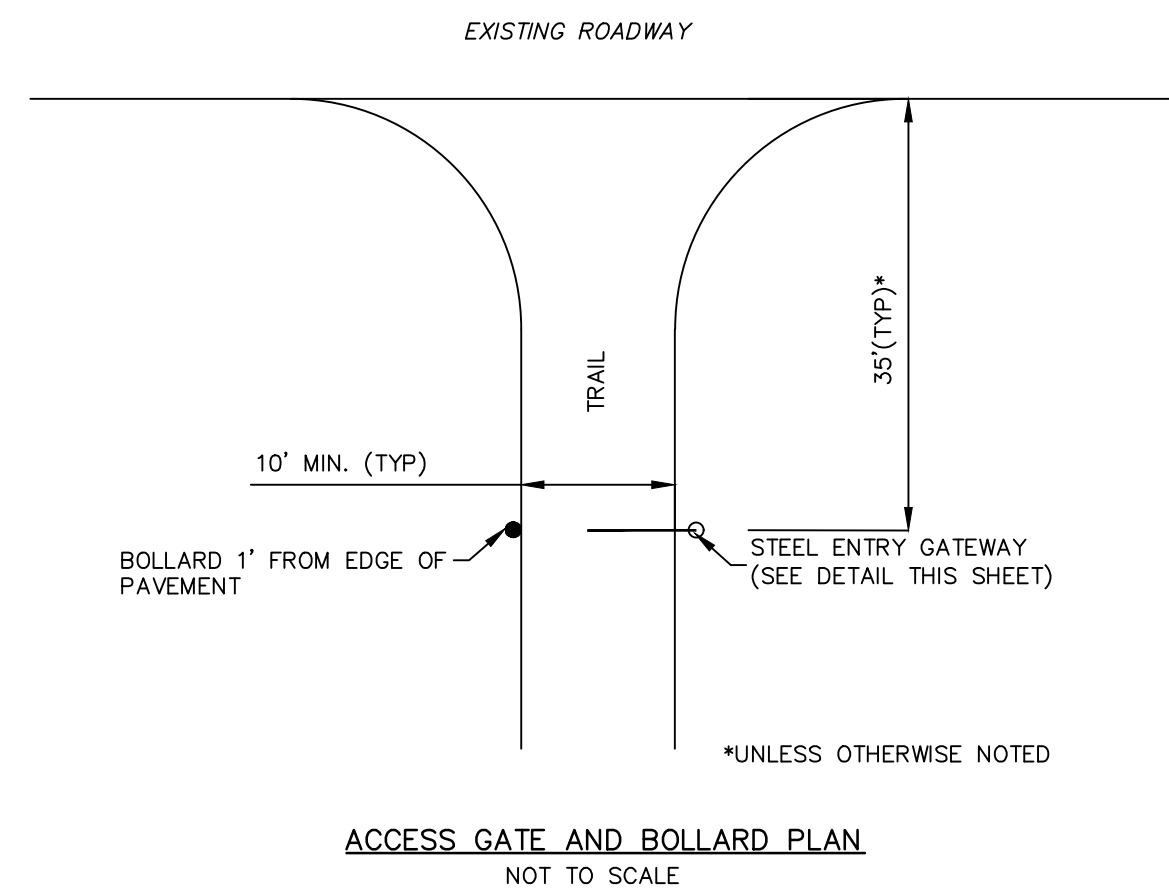
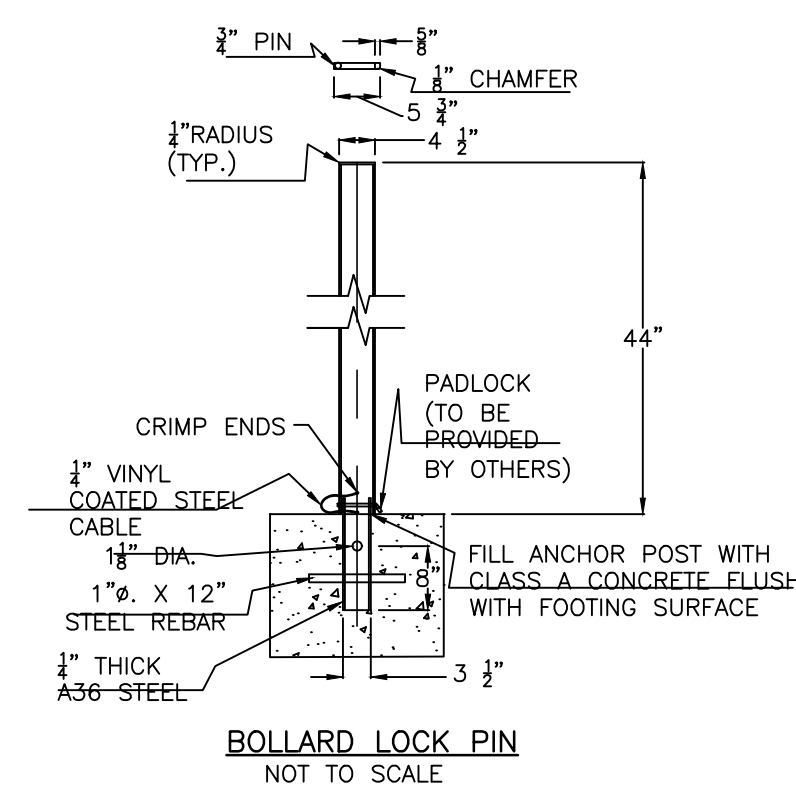
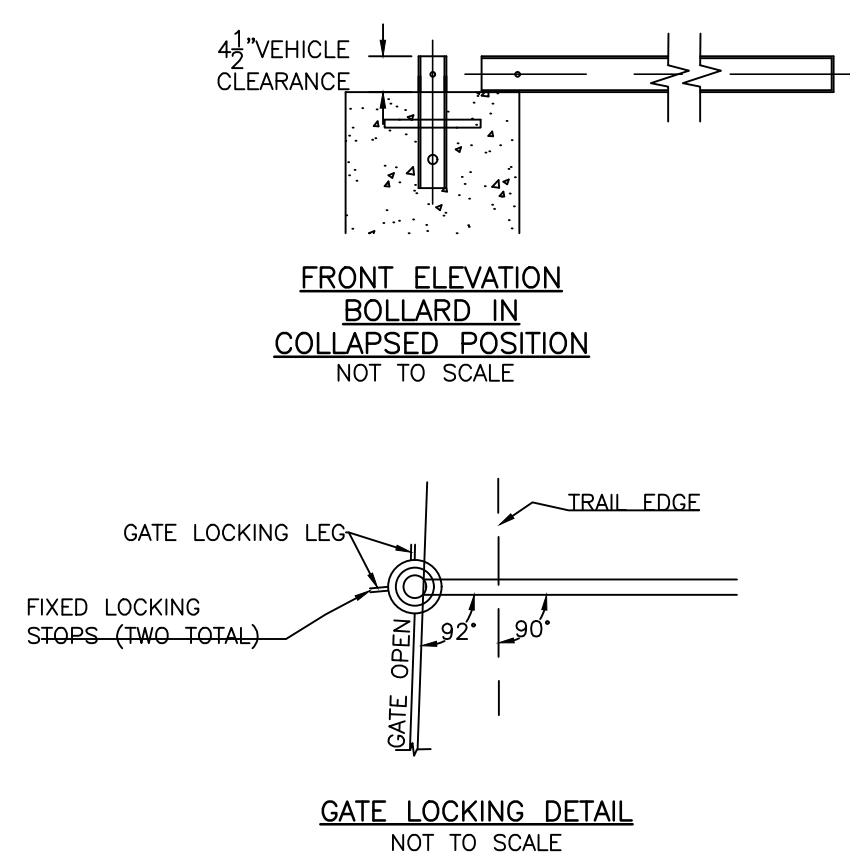
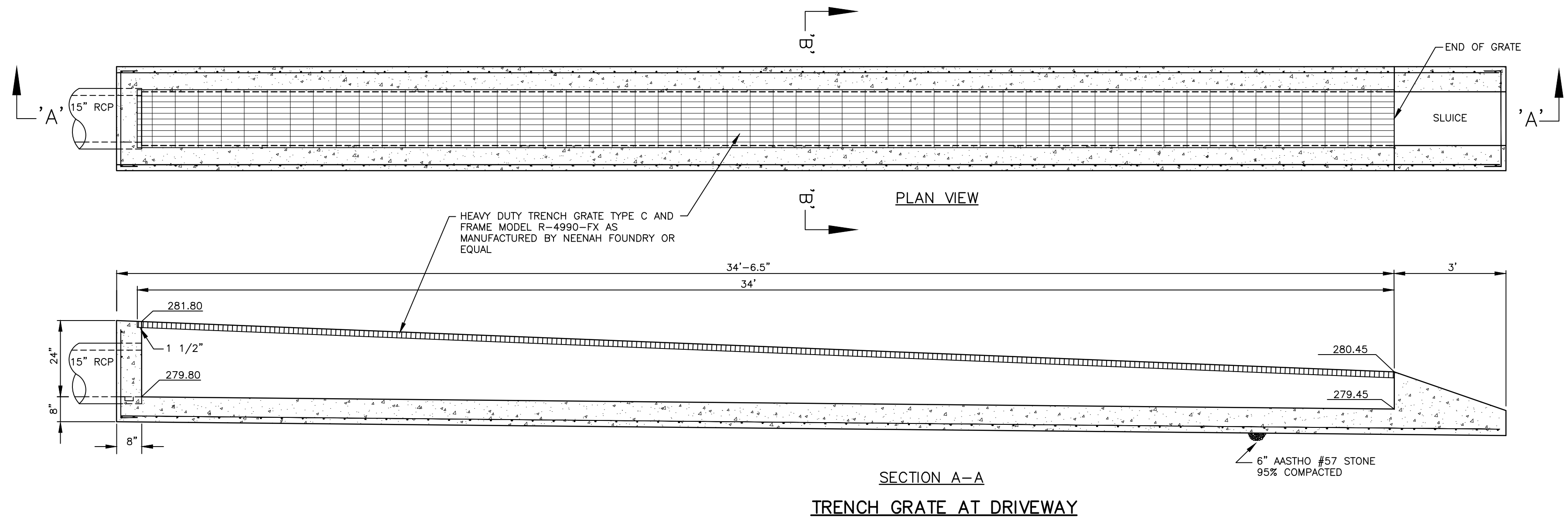
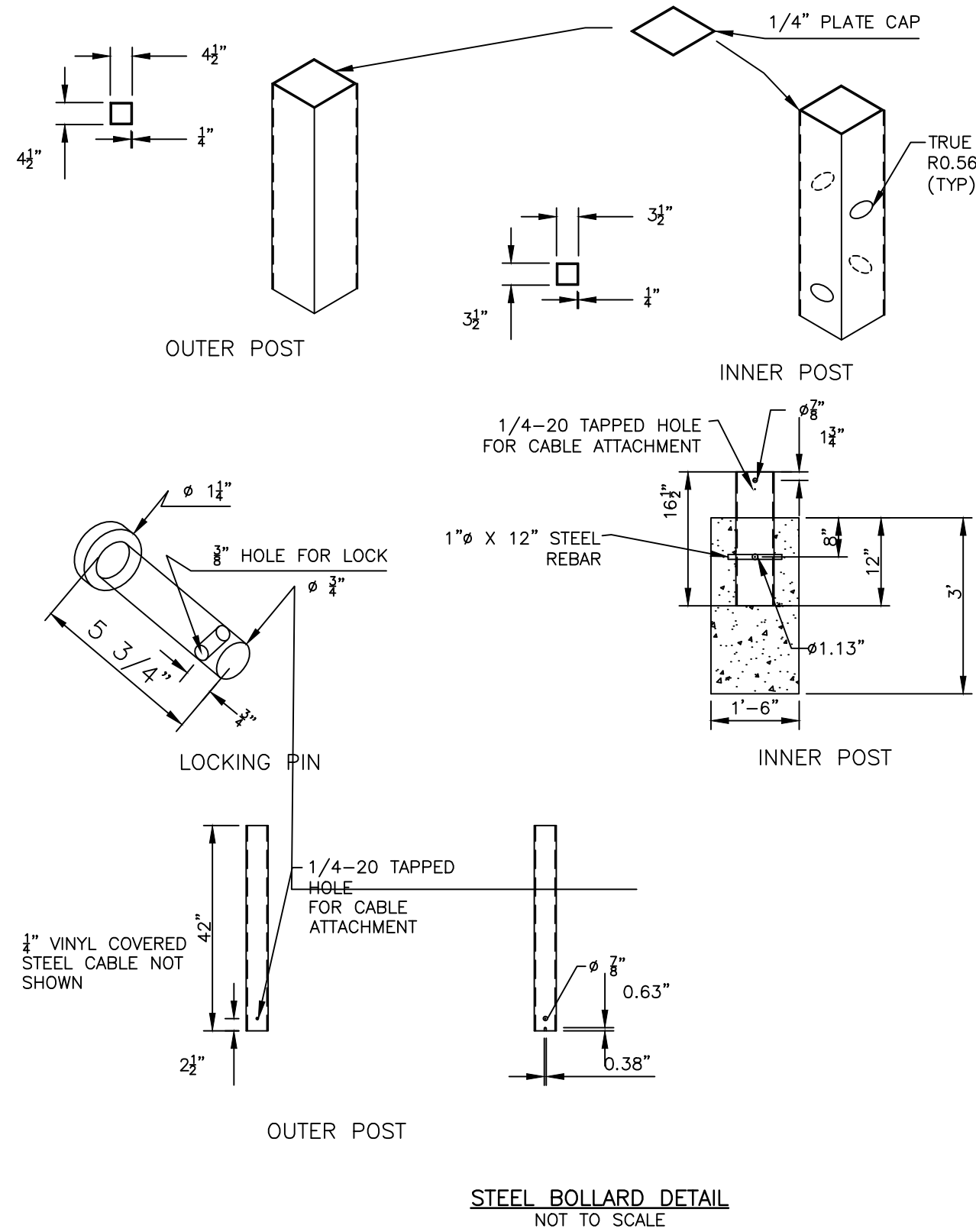
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SUBJECT
**STRUBLE TRAIL
EXTENSION II**
UTILITY PLAN
UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA

JOB NO.	137340.01A
SHEET NO.	10 OF 19
DWG. NO.	UT237340-1A



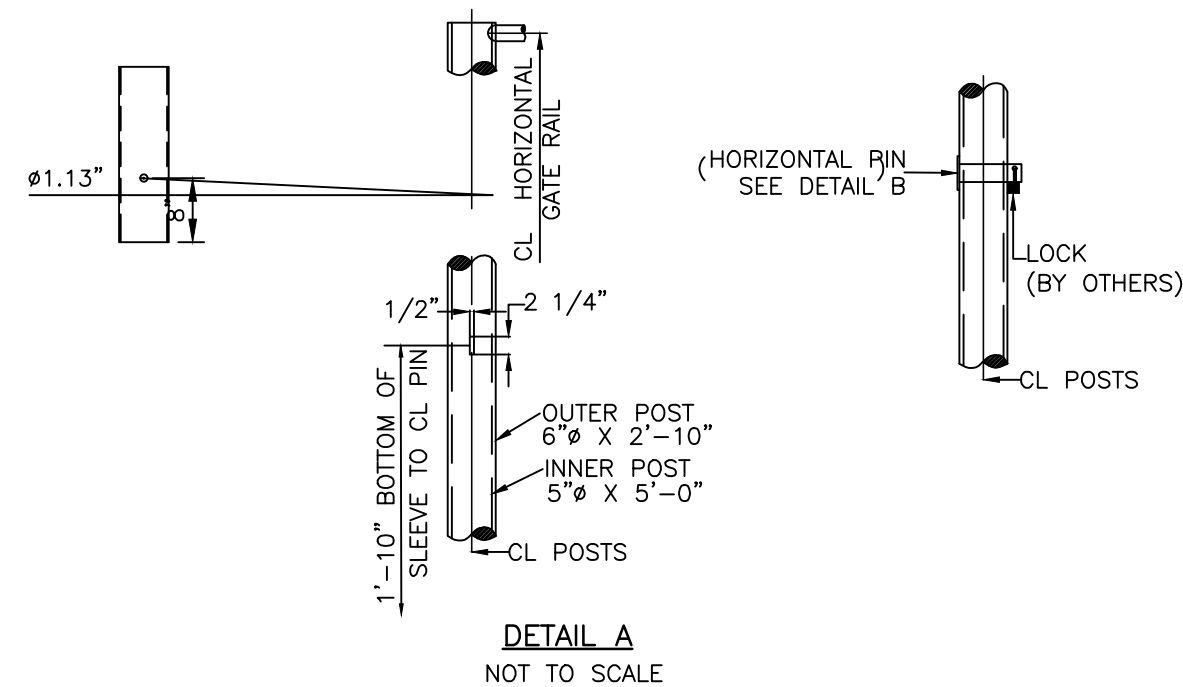


NOTE:

1. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL PERFORM CORE SAMPLES OF EXISTING BALLAST TO CONFIRM DEPTHS. LOCATIONS SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE, AT 1 SAMPLE PER 100 FEET OF TRAIL ON AVERAGE.
2. SUBGRADE PREPARATION SHALL INCLUDING SCRAPING AND/OR LEVELING OF THE EXISTING BALLAST SUBBASE TO ACHIEVE A SUITABLE SURFACE. REMOVAL OF STABLE, COMPACTED BALLAST MATERIAL SHALL BE LIMITED TO THE GREATEST EXTENT POSSIBLE.
3. IF CORE SAMPLES RESULT IN EXISTING BALLAST BEING DETERMINED TO BE UNSUITABLE OR NOT SUFFICIENT DEPTH, ADDITIONAL STONE BASE DEPTH SHALL BE PROVIDED AS DETERMINED BY THE OWNER'S REPRESENTATIVE.

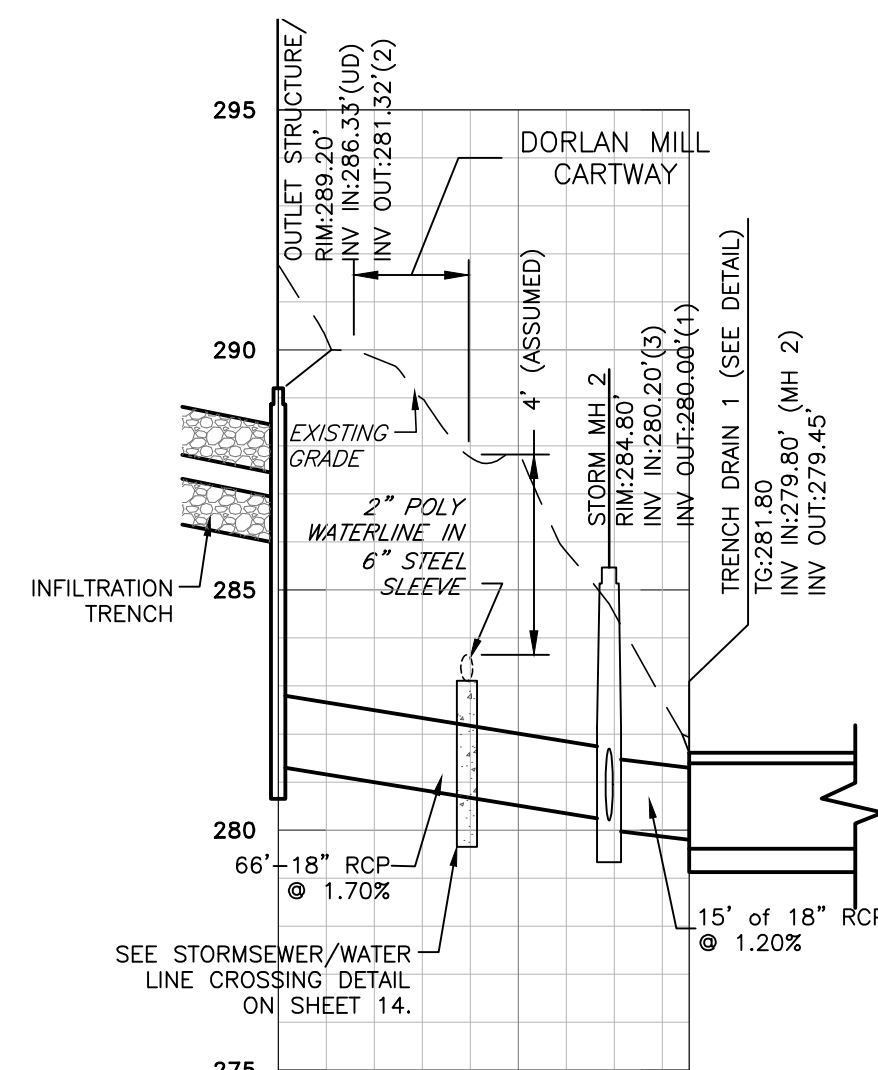
PAVED MULTI-USE TRAIL PAVEMENT SECTION

NOT TO SCALE



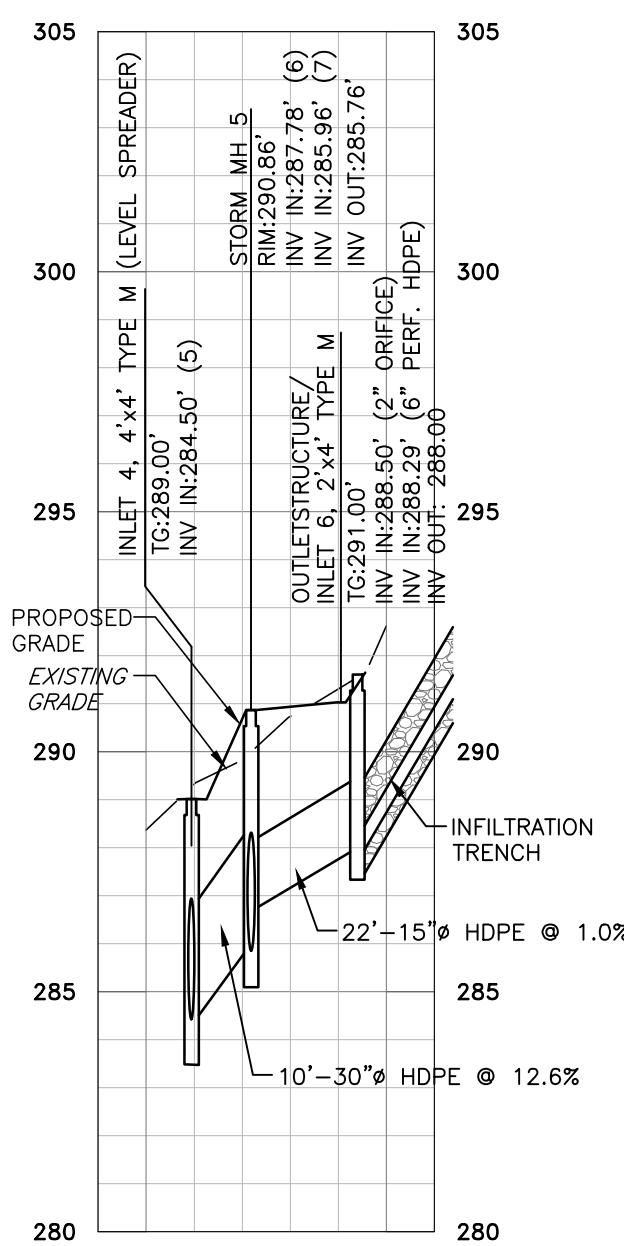
NOTE:

THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS / SUBMITTALS OF ALL MATERIALS TO BE USED ON THE PROJECT.



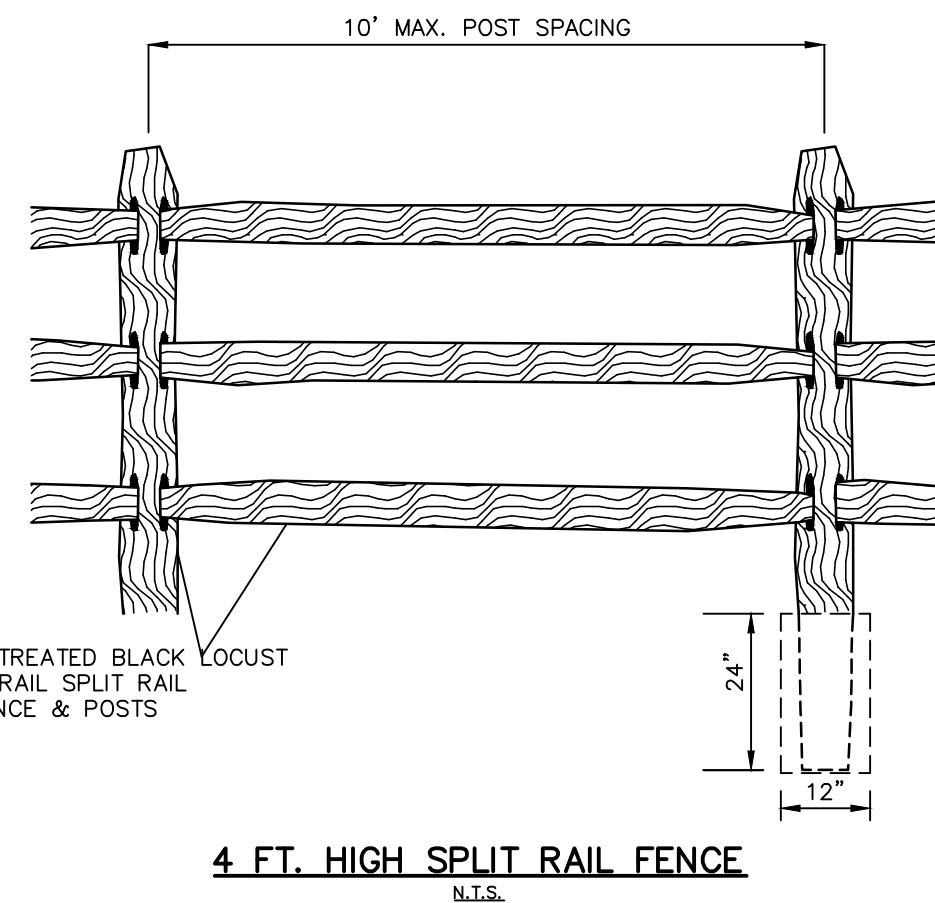
STORM PROFILE: INLET 3 TO TRENCH DRAIN 1

PROFILE SCALE:
HORIZ: 1"=40'
VERT: 1"=4'



STORM PROFILE: INLET 4 TO INLET 6

PROFILE SCALE:
HORIZ: 1"=40'
VERT: 1"=4'



4 FT. HIGH SPLIT RAIL FENCE

N.T.S.

NO.	REVISION	DATE	BY	APP.
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3.	REVISIONS PER GILMORE ASSOC. COMMENTS DATED 4/18/2023	4/26/23	AJK	
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MANAGER	NEF
DESIGN	KK
DRAFT	AJK
FILE	CHE-22
NOTES	SCALE

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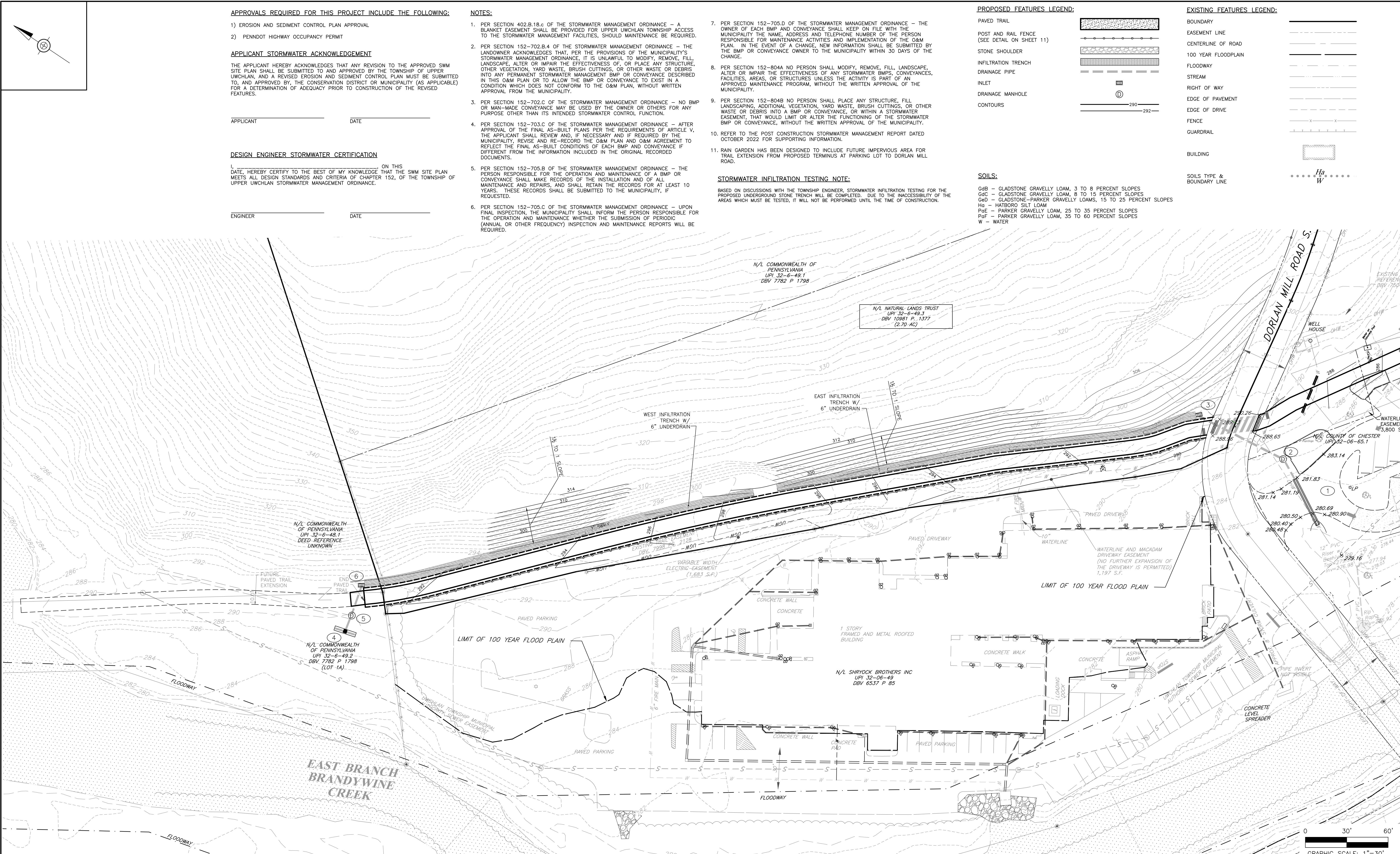
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610-323-4040

Southampton Office
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Southampton, PA 18966

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CLIENT	CHESTER COUNTY, DEPARTMENT OF FACILITIES
	313 W. MARKET STREET SUITE 5402 P.O. BOX 2748 WEST CHESTER, PA 19380

SUBJECT	CONSTRUCTION DETAILS
	STRUBLE TRAIL EXTENSION II
	UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA
JOB NO.	137340.01A
SHEET NO.	11 OF 19
DWG. NO.	CD337340-1A



APPROVALS REQUIRED FOR THIS PROJECT INCLUDE THE FOLLOWING:

- 1) EROSION AND SEDIMENT CONTROL PLAN APPROVAL
- 2) PENNDOT HIGHWAY OCCUPANCY PERMIT

APPLICANT STORMWATER ACKNOWLEDGEMENT

THE APPLICANT HEREBY ACKNOWLEDGES THAT ANY REVISION TO THE APPROVED SWM SITE PLAN SHALL BE SUBMITTED TO AND APPROVED BY THE TOWNSHIP OF UPPER UWCHLAN, AND A REVISED EROSION AND SEDIMENT CONTROL PLAN MUST BE SUBMITTED TO, AND APPROVED BY, THE CONSERVATION DISTRICT OR MUNICIPALITY (AS APPLICABLE) FOR A DETERMINATION OF ADEQUACY PRIOR TO CONSTRUCTION OF THE REVISED FEATURES.

APPLICANT

DATE

DESIGN ENGINEER STORMWATER CERTIFICATION

I, _____, ON THIS DATE, HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THE SWM SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF CHAPTER 152, OF THE TOWNSHIP OF UPPER UWCHLAN STORMWATER MANAGEMENT ORDINANCE.

ENGINEER

DATE

NOTES:

- 1. PER SECTION 402.B.18.c OF THE STORMWATER MANAGEMENT ORDINANCE – A BLANKET EASEMENT SHALL BE PROVIDED FOR UPPER UWCHLAN TOWNSHIP ACCESS TO THE STORMWATER MANAGEMENT FACILITIES, SHOULD MAINTENANCE BE REQUIRED.
- 2. PER SECTION 152–702.B.4 OF THE STORMWATER MANAGEMENT ORDINANCE – THE LANDOWNER ACKNOWLEDGES THAT, PER THE PROVISIONS OF THE MUNICIPALITY'S STORMWATER MANAGEMENT ORDINANCE, IT IS UNLAWFUL TO MODIFY, REMOVE, FILL, LANDSCAPE, ALTER OR IMPAIR THE EFFECTIVENESS OF, OR PLACE ANY STRUCTURE, OTHER VEGETATION, YARD WASTE, BRUSH CUTTINGS, OR OTHER WASTE OR DEBRIS INTO ANY PERMANENT STORMWATER MANAGEMENT BMP OR CONVEYANCE DESCRIBED IN THIS O&M PLAN OR TO ALLOW THE BMP OR CONVEYANCE TO EXIST IN A CONDITION WHICH DOES NOT CONFORM TO THE O&M PLAN, WITHOUT WRITTEN APPROVAL FROM THE MUNICIPALITY.
- 3. PER SECTION 152–702.C OF THE STORMWATER MANAGEMENT ORDINANCE – NO BMP OR MAN–MADE CONVEYANCE MAY BE USED BY THE OWNER OR OTHERS FOR ANY PURPOSE OTHER THAN ITS INTENDED STORMWATER CONTROL FUNCTION.
- 4. PER SECTION 152–703.C OF THE STORMWATER MANAGEMENT ORDINANCE – AFTER APPROVAL OF THE FINAL AS–BUILT PLANS PER THE REQUIREMENTS OF ARTICLE V, THE APPLICANT SHALL REVIEW AND, IF NECESSARY AND IF REQUIRED BY THE MUNICIPALITY, REVISE AND RE–RECORD THE O&M PLAN AND O&M AGREEMENT TO REFLECT THE FINAL AS–BUILT CONDITIONS OF EACH BMP AND CONVEYANCE IF DIFFERENT FROM THE INFORMATION INCLUDED IN THE ORIGINAL RECORDED DOCUMENTS.
- 5. PER SECTION 152–705.B OF THE STORMWATER MANAGEMENT ORDINANCE – THE PERSON RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF A BMP OR CONVEYANCE SHALL MAKE RECORDS OF THE INSTALLATION AND OF ALL MAINTENANCE AND REPAIRS, AND SHALL RETAIN THE RECORDS FOR AT LEAST 10 YEARS. THESE RECORDS SHALL BE SUBMITTED TO THE MUNICIPALITY, IF REQUESTED.
- 6. PER SECTION 152–705.C OF THE STORMWATER MANAGEMENT ORDINANCE – UPON FINAL INSPECTION, THE MUNICIPALITY SHALL INFORM THE PERSON RESPONSIBLE FOR THE OPERATION AND MAINTENANCE WHETHER THE SUBMISSION OF PERIODIC (ANNUAL OR OTHER FREQUENCY) INSPECTION AND MAINTENANCE REPORTS WILL BE REQUIRED.

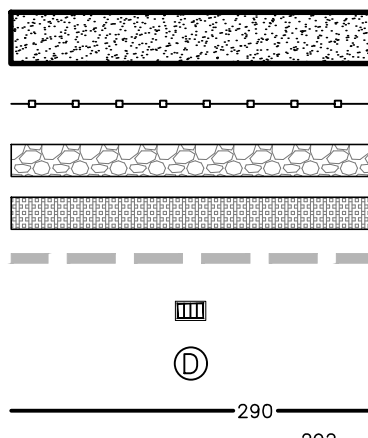
- 7. PER SECTION 152–705.D OF THE STORMWATER MANAGEMENT ORDINANCE – THE OWNER OF EACH BMP AND CONVEYANCE SHALL KEEP ON FILE WITH THE MUNICIPALITY THE NAME, ADDRESS AND TELEPHONE NUMBER OF THE PERSON RESPONSIBLE FOR MAINTENANCE ACTIVITIES AND IMPLEMENTATION OF THE O&M PLAN. IN THE EVENT OF A CHANGE, NEW INFORMATION SHALL BE SUBMITTED BY THE BMP OR CONVEYANCE OWNER TO THE MUNICIPALITY WITHIN 30 DAYS OF THE CHANGE.
- 8. PER SECTION 152–804A NO PERSON SHALL MODIFY, REMOVE, FILL, LANDSCAPE, ALTER OR IMPAIR THE EFFECTIVENESS OF ANY STORMWATER BMPs, CONVEYANCES, FACILITIES, AREAS, OR STRUCTURES UNLESS THE ACTIVITY IS PART OF AN APPROVED MAINTENANCE PROGRAM, WITHOUT THE WRITTEN APPROVAL OF THE MUNICIPALITY.
- 9. PER SECTION 152–804B NO PERSON SHALL PLACE ANY STRUCTURE, FILL, LANDSCAPING, ADDITIONAL VEGETATION, YARD WASTE, BRUSH CUTTINGS, OR OTHER WASTE OR DEBRIS INTO A BMP OR CONVEYANCE, OR WITHIN A STORMWATER EASEMENT, THAT WOULD LIMIT OR ALTER THE FUNCTIONING OF THE STORMWATER BMP OR CONVEYANCE, WITHOUT THE WRITTEN APPROVAL OF THE MUNICIPALITY.
- 10. REFER TO THE POST CONSTRUCTION STORMWATER MANAGEMENT REPORT DATED OCTOBER 2022 FOR SUPPORTING INFORMATION.
- 11. RAIN GARDEN HAS BEEN DESIGNED TO INCLUDE FUTURE IMPERVIOUS AREA FOR TRAIL EXTENSION FROM PROPOSED TERMINUS AT PARKING LOT TO DORLAN MILL ROAD.

STORMWATER INFILTRATION TESTING NOTE:

BASED ON DISCUSSIONS WITH THE TOWNSHIP ENGINEER, STORMWATER INFILTRATION TESTING FOR THE PROPOSED UNDERGROUND STONE TRENCH WILL BE COMPLETED. DUE TO THE INACCESSIBILITY OF THE AREAS WHICH MUST BE TESTED, IT WILL NOT BE PERFORMED UNTIL THE TIME OF CONSTRUCTION.

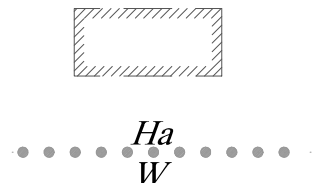
PROPOSED FEATURES LEGEND:

- PAVED TRAIL
- POST AND RAIL FENCE (SEE DETAIL ON SHEET 11)
- STONE SHOULDER
- INFILTRATION TRENCH
- DRAINAGE PIPE
- INLET
- DRAINAGE MANHOLE
- CONTOURS



EXISTING FEATURES LEGEND:

- BOUNDARY
- EASEMENT LINE
- CENTERLINE OF ROAD
- 100 YEAR FLOODPLAIN
- FLOODWAY
- STREAM
- RIGHT OF WAY
- EDGE OF PAVEMENT
- EDGE OF DRIVE
- FENCE
- GUARDRAIL
- BUILDING



SOILS:

- GdB – GLADSTONE GRAVELLY LOAM, 3 TO 8 PERCENT SLOPES
- GdC – GLADSTONE GRAVELLY LOAM, 8 TO 15 PERCENT SLOPES
- GdD – GLADSTONE–PARKER GRAVELLY LOAMS, 15 TO 25 PERCENT SLOPES
- Hg – HATBORO SILT LOAM
- PdE – PARKER GRAVELLY LOAM, 25 TO 35 PERCENT SLOPES
- PdF – PARKER GRAVELLY LOAM, 35 TO 60 PERCENT SLOPES
- W – WATER

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3.	REVISIONS PER GILMORE ASSOC. COMMENTS DATED 4/18/2023	4/26/23	AJK	
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MANAGER	NEF
DESIGN	KK
DRAFT	AJK
FILE	CHE–22
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DATE	MAY 1, 2019
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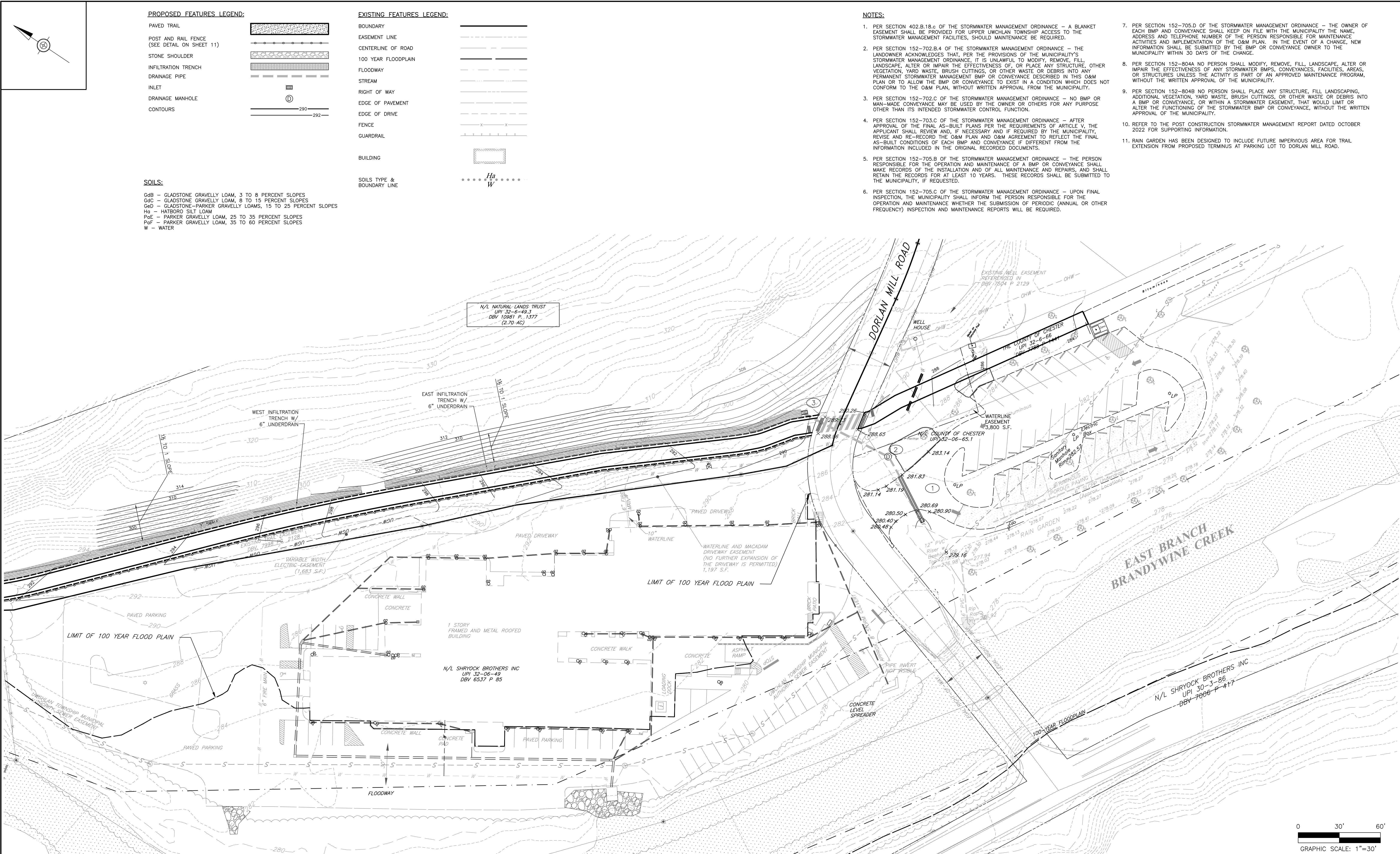
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CLIENT
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SUBJECT	JOB NO.
STORMWATER MANAGEMENT SITE PLAN AND OPERATION & MAINTENANCE PLAN RECORD PLAN 5 OF 9	137340.01A
STRUBLE TRAIL EXTENSION II	SHEET NO.
UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA	12 OF 19
	DWG. NO.
	PC137340–1A



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SUBJECT	STORMWATER MANAGEMENT SITE PLAN AND OPERATION & MAINTENANCE PLAN RECORD PLAN 6 OF 9
	STRUBLE TRAIL EXTENSION II
	UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA
JOB NO.	137340.01A
SHEET NO.	13 OF 19
DWG. NO.	PC237340-1A

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SUBSURFACE STONE TRENCH

CONSTRUCTION SEQUENCE

****CRITICAL STAGE** – A DESIGNATED REPRESENTATIVE SHALL BE PRESENT TO ENSURE THAT THE AREA FOR THE PLACEMENT OF THE SUBSURFACE INFILTRATION TRENCH IS PREPARED PROPERLY AND THE OUTLET STRUCTURE IS INSTALLED AS SPECIFIED.

1. PROTECT STONE TRENCH AREA FROM COMPACTION PRIOR TO INSTALLATION.
2. IF POSSIBLE, INSTALL STONE TRENCH DURING LATER PHASES OF SITE CONSTRUCTION TO PREVENT SEDIMENTATION AND/OR DAMAGE FROM CONSTRUCTION ACTIVITY. AFTER INSTALLATION, PREVENT SEDIMENT LADEN WATER FROM ENTERING INLETS AND PIPES.
3. INSTALL AND MAINTAIN PROPER EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION.
4. EXCAVATE STONE TRENCH BOTTOM TO A UNIFORM, LEVEL UNCOMPACTED SUBGRADE FREE FROM ROCKS AND DEBRIS. DO NOT COMPACT SUBGRADE.
5. PLACE NONWOVEN GEOTEXTILE ALONG BOTTOM AND SIDES OF TRENCH*. NONWOVEN GEOTEXTILE ROLLS SHOULD OVERLAP BY A MINIMUM OF 16 INCHES WITHIN THE TRENCH. FOLD BACK AND SECURE EXCESS GEOTEXTILE DURING STONE PLACEMENT.
6. INSTALL UPSTREAM AND DOWNSTREAM CONTROL STRUCTURES, CLEANOUTS, ETC.
7. PLACE UNIFORMLY GRADED, CLEAN-WASHED AGGREGATE IN 8-INCH LIFTS, LIGHTLY COMPACTING BETWEEN LIFTS.
8. INSTALL CONTINUOUSLY PERFORATED PIPE AS INDICATED ON PLANS. BACKFILL WITH UNIFORMLY GRADED, CLEAN-WASHED AGGREGATE IN 8-INCH LIFTS, LIGHTLY COMPACTING BETWEEN LIFTS.
9. FOLD AND SECURE NONWOVEN GEOTEXTILE OVER INFILTRATION TRENCH, WITH MINIMUM OVERLAP OF 16- INCHES.
10. PLACE 6-INCH LIFT OF APPROVED TOPSOIL OR RIVER ROCK OVER STONE TRENCH, AS INDICATED ON PLANS.
11. CONSTRUCT PAVEMENT SECTION OR SEED AND STABILIZE TOPSOIL ABOVE TRENCH AS SPECIFIED ON PLANS.
12. DO NOT REMOVE INLET PROTECTION OR OTHER EROSION AND SEDIMENT CONTROL MEASURES UNTIL SITE IS FULLY STABILIZED.
13. ANY SEDIMENT THAT ENTERS INLETS DURING CONSTRUCTION IS TO BE REMOVED WITHIN 24 HOURS.

MAINTENANCE AND INSPECTION ISSUES

1. CATCH BASINS AND INLETS SHOULD BE INSPECTED AND CLEANED AT LEAST 2 TIMES PER YEAR.
2. THE RIVER ROCK SURFACE OF THE STONE TRENCH SHOULD BE MAINTAINED IN GOOD CONDITION, AND ANY BARE SPOTS RESTORED AS SOON AS POSSIBLE.
3. VEHICLES SHOULD NOT BE PARKED OR DRIVEN ON STONE TRENCH, AND CARE SHOULD BE TAKEN TO AVOID EXCESSIVE COMPACTION BY MOWERS.

SPECIFICATIONS.

1. STONE FOR TRENCHES SHALL BE 2-INCH TO 1-INCH UNIFORMLY GRADED COARSE AGGREGATE, WITH A WASH LOSS OF NO MORE THAN 0.5% AASHTO SIZE NUMBER 3 PER AASHTO SPECIFICATIONS, PART 1, 19TH ED., 1998, OR LATER AND SHALL HAVE Voids 40% AS MEASURED BY ASTM-C29.
2. NON-WOVEN GEOTEXTILE SHALL CONSIST OF NEEDED NONWOVEN POLYPROPYLENE FIBERS AND MEET THE FOLLOWING PROPERTIES:
 - a. GRAB TENSILE STRENGTH (ASTM-D4632)
 - b. MULLEN BURST STRENGTH (ASTM-D3786)
 - c. FLOW RATE (ASTM-D4491)
 - d. UV RESISTANCE AFTER 500 HRS (ASTM-D4355) 70%
 - e. HEAT-SET OR HEAT-CALENDARED FABRICS ARE NOT PERMITTED

ACCEPTABLE TYPES INCLUDE MIRAFI 140N, AMOCO 4547, AND GEOTEX 451.

3. PIPE SHALL BE CONTINUOUSLY PERFORATED, SMOOTH INTERIOR, WITH A MINIMUM INSIDE DIAMETER OF 6 INCHES. HIGH-DENSITY POLYETHYLENE (HDPE) PIPE SHALL MEET AASHTO M252, TYPE S OR AASHTO M294, TYPE S.

LONG-TERM OPERATION AND MAINTENANCE SCHEDULE § 102.8(F) (10)

MAINTENANCE & PROTECTION OF THE STORMWATER BMP'S LISTED BELOW SHALL BE THE RESPONSIBILITY OF THE COUNTY OF CHESTER. THE TOWNSHIP SHALL HAVE THE RIGHT TO ACCESS AND INSPECT THE STORMWATER BMP'S AND TO REQUIRE THE ASSOCIATION TO PERFORM MAINTENANCE WHICH WILL ENSURE THE PROPER FUNCTIONING OF THE STORM DRAINAGE AND STORMWATER MANAGEMENT FACILITIES. SHOULD THE COUNTY OF CHESTER FAIL TO FIX A PROBLEM OR MAINTAIN A FACILITY FOR WHICH THEY ARE RESPONSIBLE, THE TOWNSHIP SHALL FIX OR CONTRACT AT THE EXPENSE OF THE COUNTY OF CHESTER.

VEGETATIVE AREAS (GRASS)

INSPECT ALL SEEDED AREAS TO ENSURE THE AREA IS COVERED BY AT LEAST 70 PERCENT COVER PER SQUARE FOOT. IF THE AREA DOES NOT MEET 70 PERCENT COVERAGE, THE CHOICE OF PLANT MATERIAL AND QUANTITIES OF LIME AND FERTILIZER SHOULD BE REEVALUATED. THE RESULTS OF SOILS TEST SHOULD BE REVIEWED PRIOR TO ANY APPLICATION OF LIME OR FERTILIZERS. IF THE SEASON PREVENTS RESEEDING, MULCH OR EROSION NETTING IS AN EFFECTIVE TEMPORARY COVER. ALL THE GRASS AREAS SHOULD BE INSPECTED YEARLY.

INLETS

INSPECT ALL INLETS AND REMOVE ALL TRASH AND DEBRIS FROM THE GRATE AND THE INLETS. THE INLETS SHOULD BE CLEANED ONCE A YEAR AND THE GRATES AS NEEDED.

SUBSURFACE TRENCH

GENERAL OBJECTIVES OF MAINTENANCE ARE TO PREVENT CLOGGING OF THE OUTLETS, AND PREVENT THE GROWTH OF WEEDS AND NOXIOUS PLANTS. THE FACILITY SHALL BE INSPECTED QUARTERLY AND AFTER MAJOR STORMS. DETAILED INSPECTIONS BY A QUALIFIED INSPECTOR SHALL OCCUR AT LEAST ANNUALLY TO ENSURE THAT THE FACILITY IS OPERATING AS DESIGNED AND TO SCHEDULE MAINTENANCE THAT THE FACILITY MAY REQUIRE. IF POSSIBLE, INSPECTIONS SHALL BE MADE DURING WET WEATHER TO ENSURE THAT THE FACILITY IS MAINTAINING DESIRABLE RETENTION TIMES. IN ADDITION TO REGULARLY SCHEDULED INSPECTIONS, DEFICIENCIES SHOULD BE NOTED DURING ANY VISIT BY MAINTENANCE PERSONNEL. AN IMPORTANT PURPOSE OF INSPECTIONS IS TO ASCERTAIN THE OPERATIONAL CONDITION AND SAFETY OF THE FACILITY, PARTICULARLY THE CONDITION OF MULCH, BASKET GRATE CLOGGING, SEEPAGE BED CLOGGING, AND OTHER SAFETY-RELATED ASPECTS.

INSPECTION ISSUES

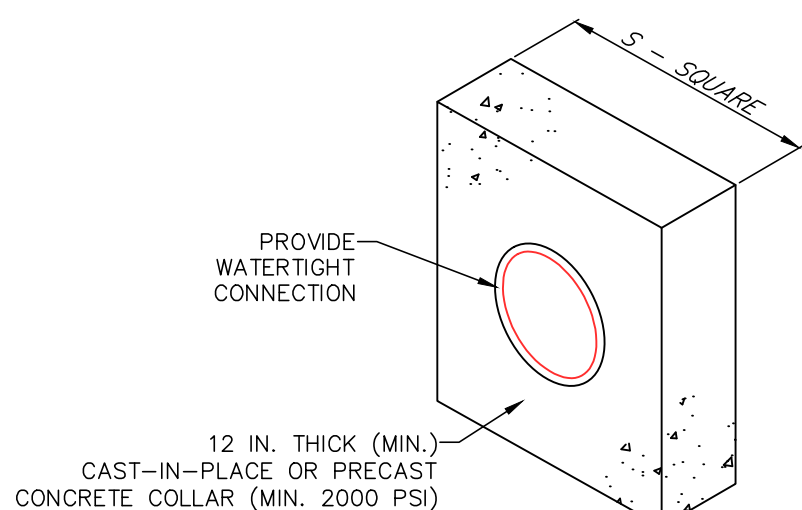
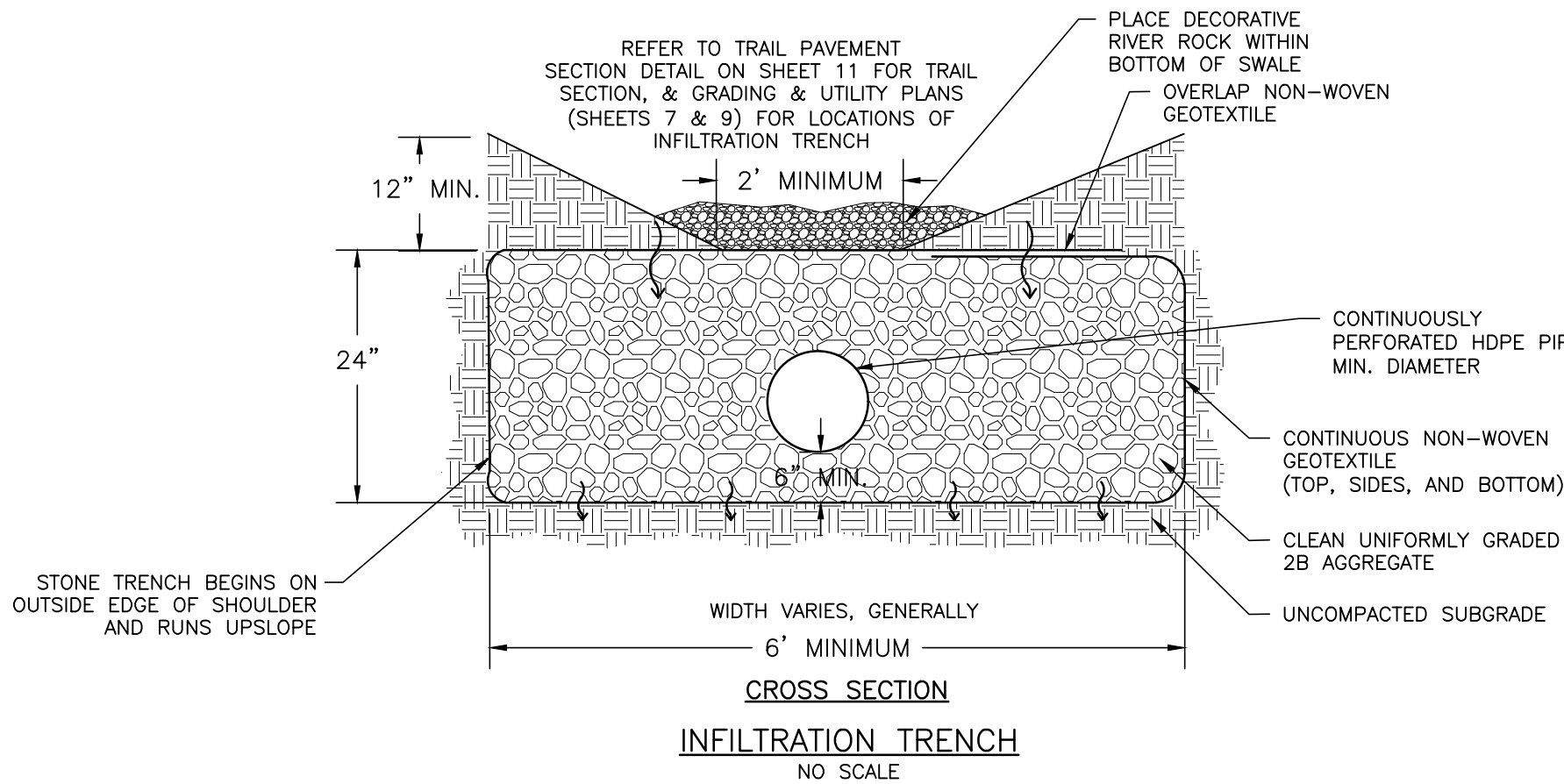
- CATCH BASINS AND INLETS (UP GRADIENT OF INFILTRATION BASIN) SHOULD BE INSPECTED AND CLEANED AT LEAST TWO TIMES PER YEAR AND AFTER RUNOFF EVENTS.
- VEHICLES SHOULD NOT BE PARKED OR DRIVEN DIRECTLY ON THE STONE TRENCH, AND CARE SHOULD BE TAKEN TO AVOID EXCESSIVE COMPACTION BY MOWERS.
- INSPECT THE TRENCH AFTER RUNOFF EVENTS AND MAKE SURE THAT RUNOFF DRAINS DOWN WITHIN 72 HOURS.
- INSPECT FOR ACCUMULATION OF SEDIMENT, DAMAGE TO OUTLET STRUCTURES, EROSION CONTROL MEASURES, SIGNS OF WATER CONTAMINATION/SPILLS, AND SLOPE STABILITY IN THE BERMS.
- REMOVE ACCUMULATED SEDIMENT FROM TRENCH AS REQUIRED. RESTORE ORIGINAL CROSS SECTION. PROPERLY DISPOSE OF SEDIMENT.

NATURAL AREA CONSERVATION

AREAS TO REMAIN IN THEIR NATURAL STATE SHALL NOT BE DISTURBED.

WINTER CONCERNS

PENNSYLVANIA'S WINTER TEMPERATURES GO BELOW FREEZING ABOUT FOUR MONTHS OUT OF EVERY YEAR, AND SURFACE FILTRATION MAY NOT TAKE PLACE AS WELL IN THE WINTER. PEAT AND COMPOST MAY HOLD WATER, FREEZE, AND BECOME IMPERVIOUS ON THE SURFACE. DESIGN OPTIONS THAT ALLOW DIRECTLY FOR SUBSURFACE DISCHARGE INTO THE FILTER MEDIA DURING COLD WEATHER MAY OVERCOME THIS CONDITION.



TRENCH	PIPE SIZE (IN)	S (IN)	NO. OF COLLARS	RISER TO FIRST COLLAR (FT)	COLLAR SPACING (FT)
EAST	6	24	***	***	***
WEST	6	24	***	***	***

NOTES:

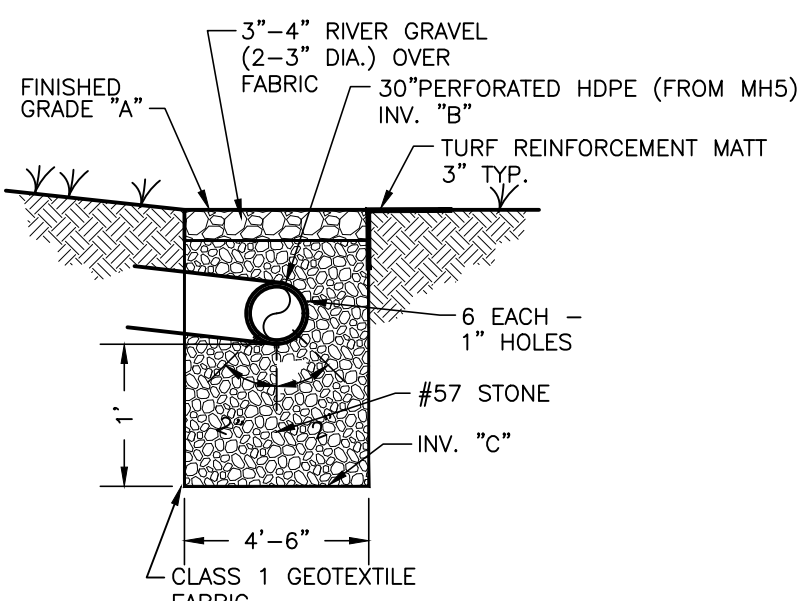
ALL COLLARS SHALL BE INSTALLED SO AS TO BE WATERTIGHT.

COLLAR SIZE AND SPACING SHALL BE AS INDICATED WITHIN TABLE.

*** REFER TO TRENCH PROFILES ON SHEET 16 FOR LOCATIONS AND SPACING

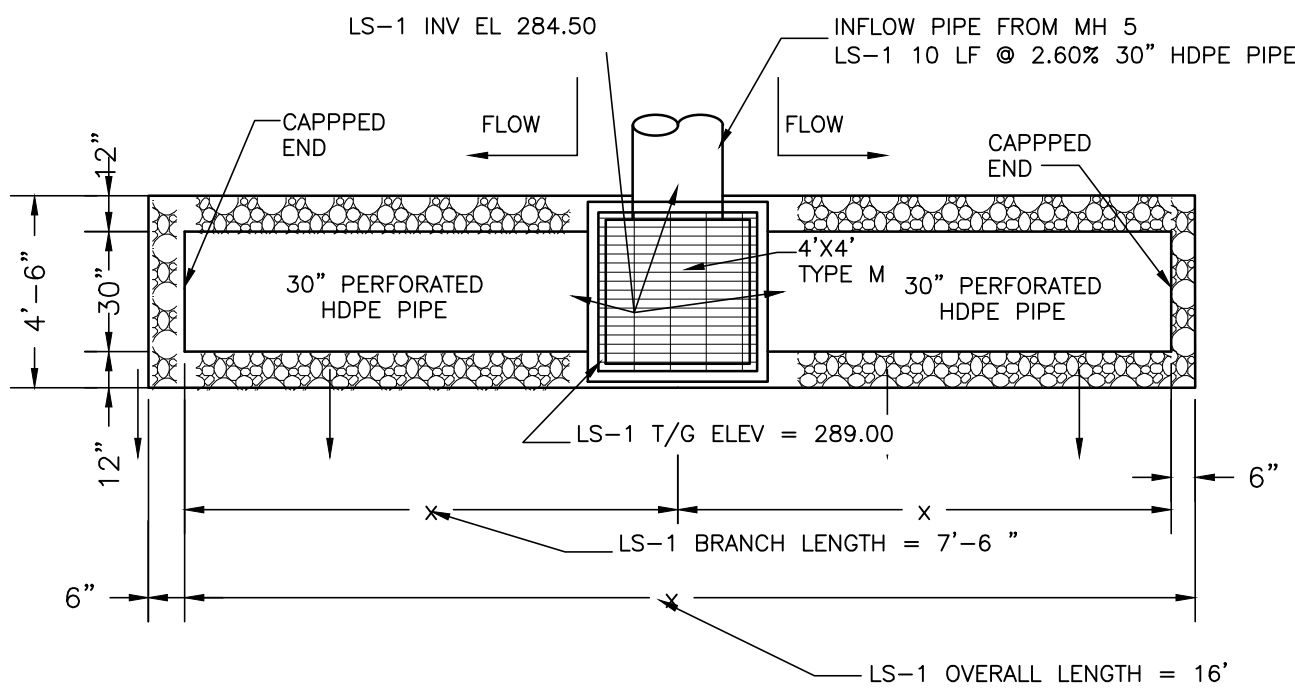
PIPE BAFFLE FOR STONE TRENCH

NOT TO SCALE



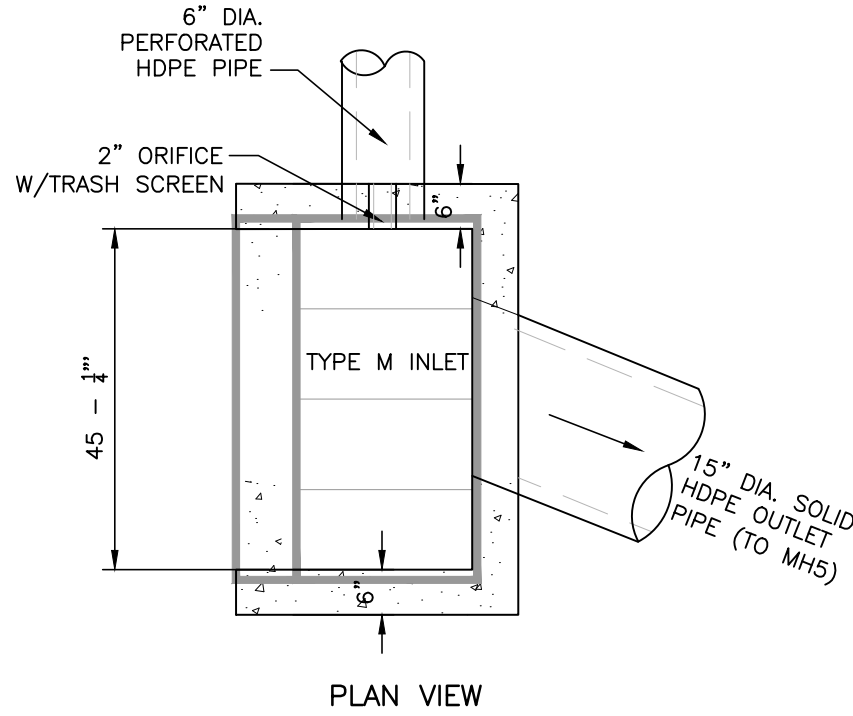
LEVEL SPREADER DETAIL

NO SCALE



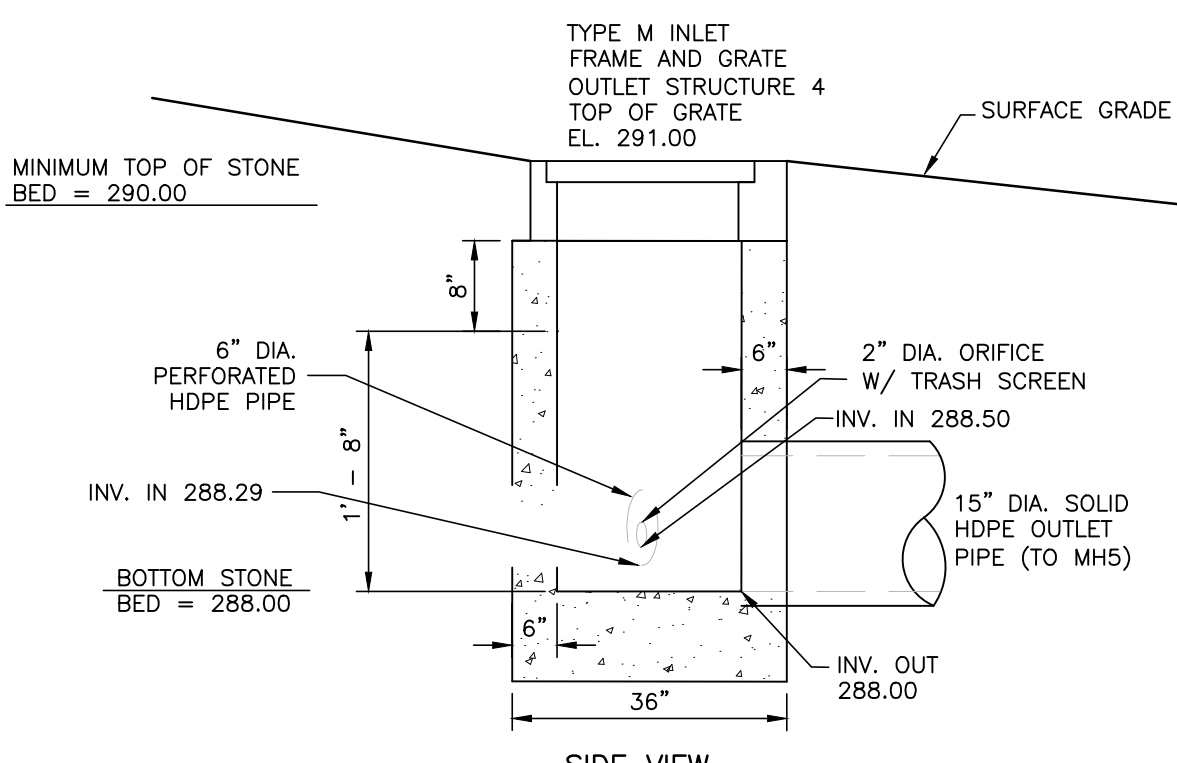
LEVEL SPREADER DETAIL

NO SCALE



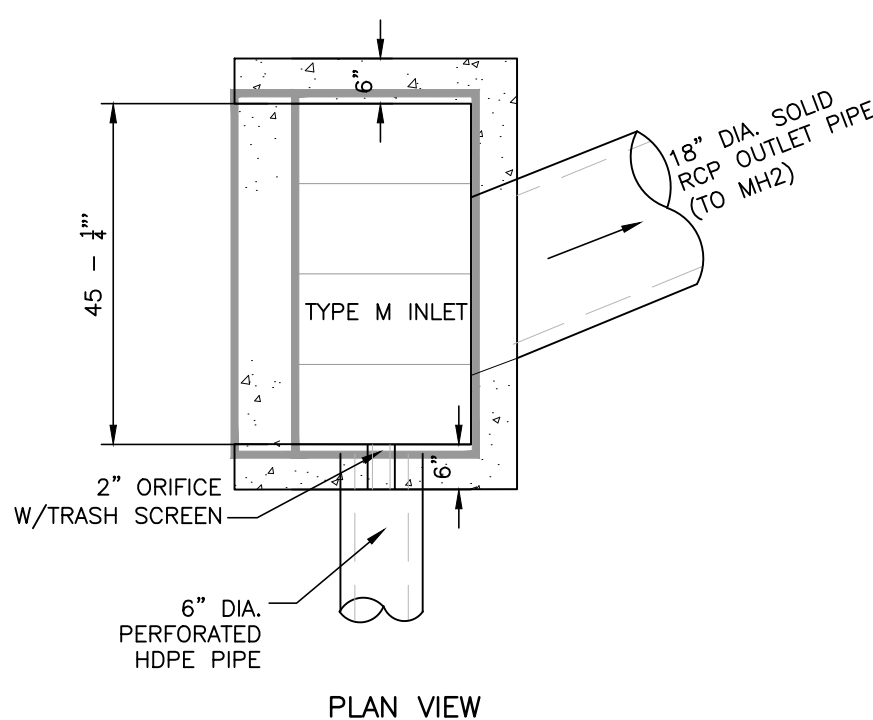
PLAN VIEW

NO SCALE



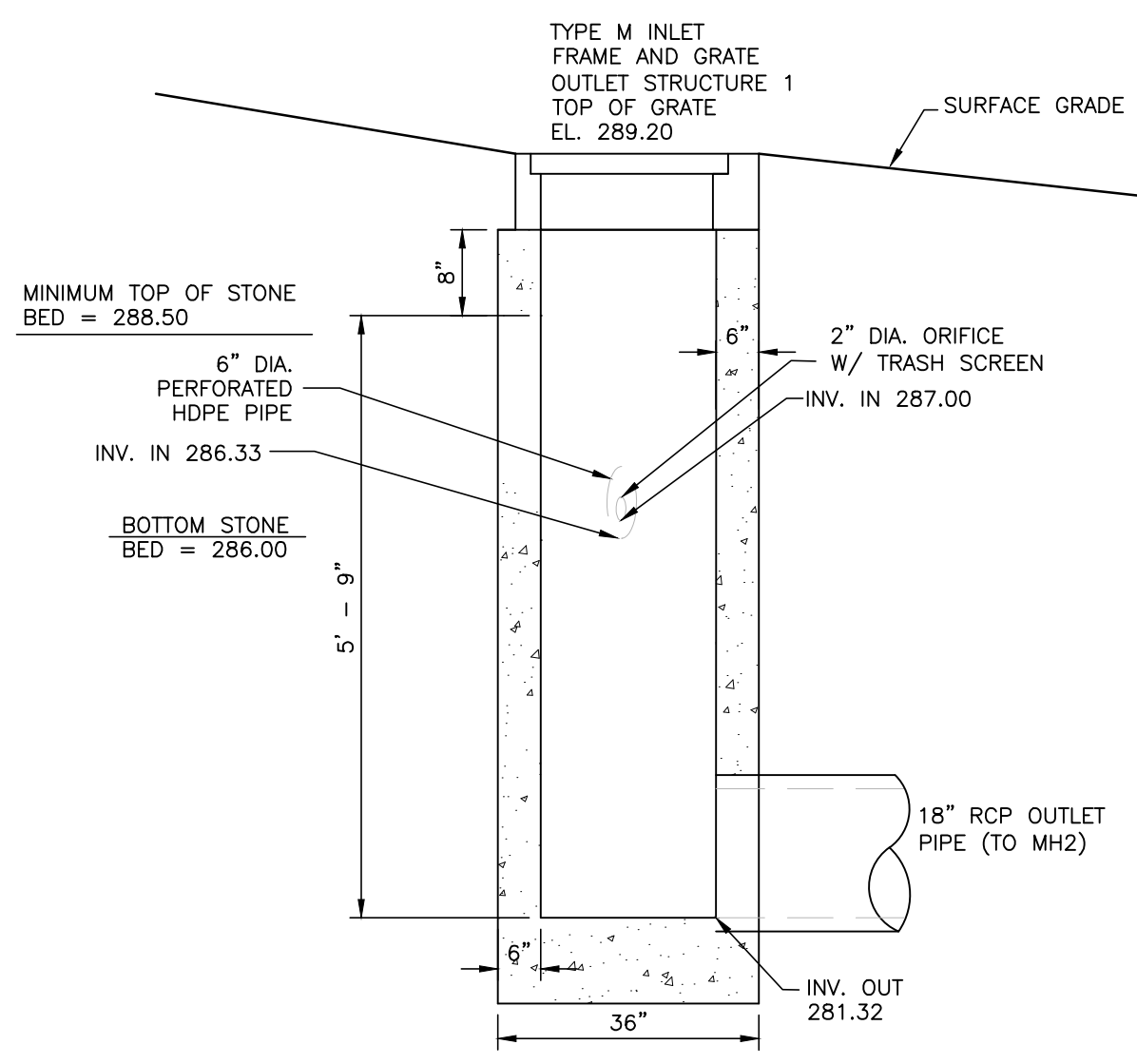
OUTLET STRUCTURE 6 DETAIL - TRAIL WEST

NO SCALE



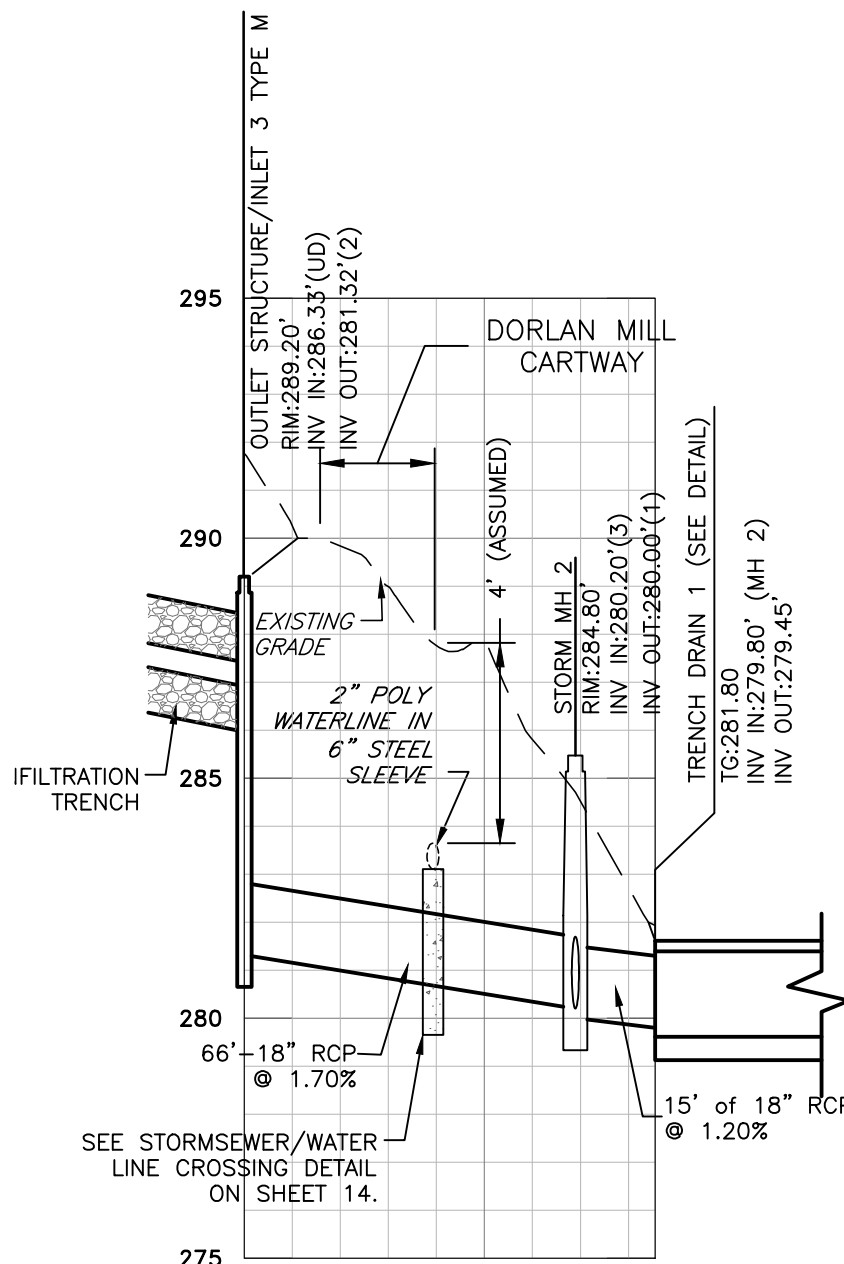
PLAN VIEW

NO SCALE



OUTLET STRUCTURE 3 DETAIL - TRAIL EAST

NO SCALE

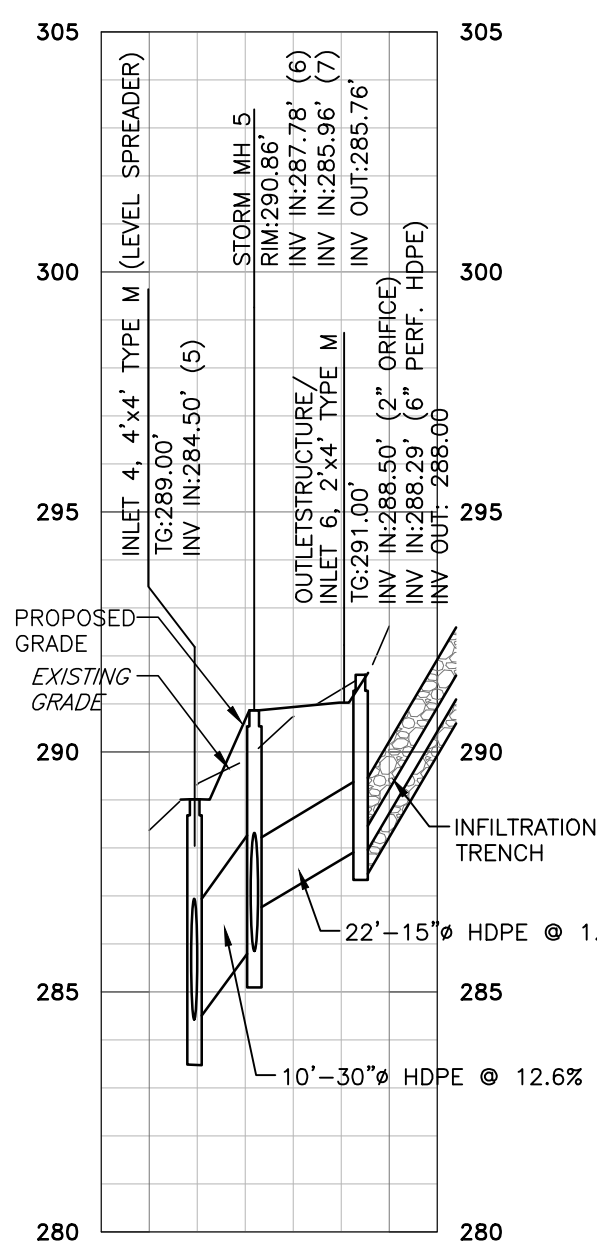


STORM PROFILE:
INLET 3 TO TRENCH DRAIN 1

PROFILE SCALE:

HORIZ: 1"=40'

VERT: 1"=4'



STORM PROFILE:
INLET 4 TO INLET 6

PROFILE SCALE:

HORIZ: 1"=40'

VERT: 1"=4'

NOTE:

THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS / SUBMITTALS OF ALL MATERIALS TO BE USED ON THE PROJECT.

NO.	REVISION	DATE	BY	APP.
4.	REVISIONS PER GILMORE ASSOC. COMMENTS DATED 5/4/2023	5/17/23	AJK	
3.	REVISIONS PER GILMORE ASSOC. COMMENTS DATED 4/18/2023	4/26/23	AJK	
2.	REVISIONS PER GILMORE ASSOC. REVIEW DATED 2/3/2023	4/5/23	AJK	
1.	REVISIONS PER OWNER AND TOWNSHIP CONSULTANTS REVIEWS	12/21/22	AJK	

SEAL	SEAL
------	------

MANAGER	NEF
DESIGN	KK
DRAFT	AJK
FILE	CHE-22
NOTES	SCALE



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2129 East High Street
Pottstown, PA 19464
610-323-4040

Southampton Office
706 Lakeside Drive
Southampton, PA 18966

www.bursich.com

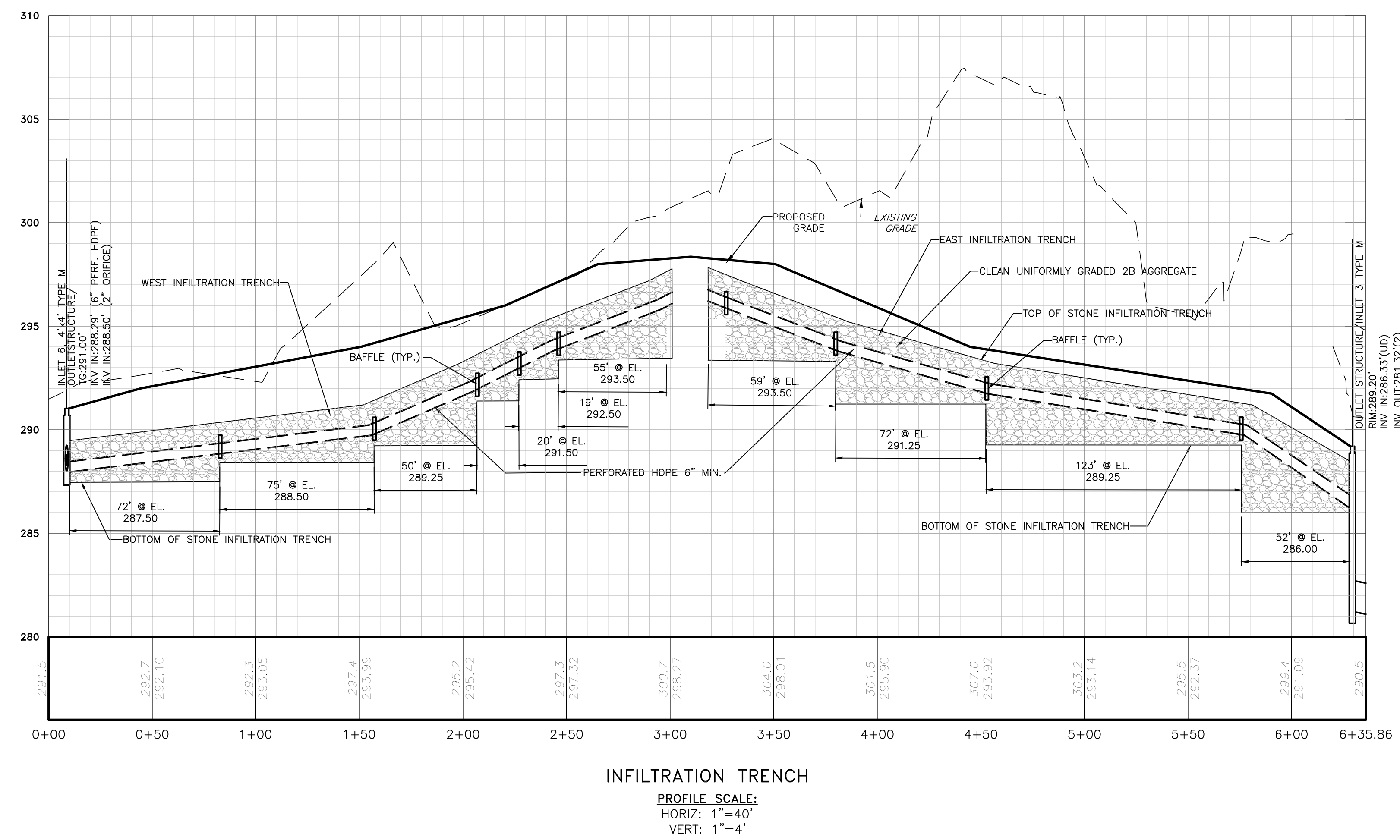
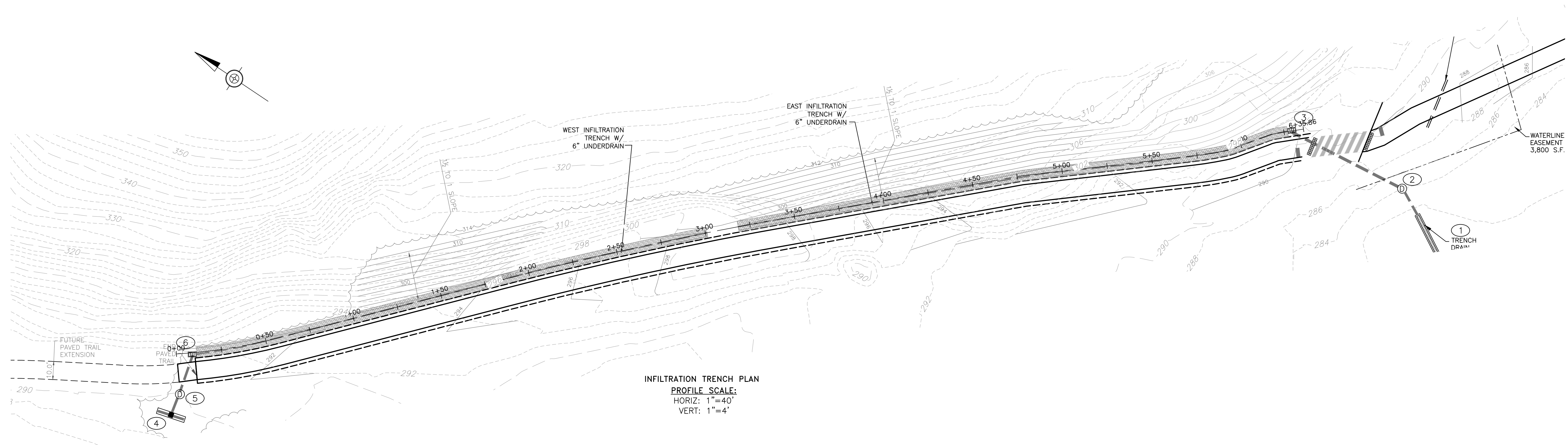
CLIENT
CHESTER COUNTY, DEPARTMENT OF FACILITIES
313 W. MARKET STREET
SUITE 5402
P.O. BOX 2748
WEST CHESTER, PA 19380

SUBJECT
STORMWATER MANAGEMENT DETAILS AND
OPERATION & MAINTENANCE PLAN
RECORD PLAN 8 OF 9

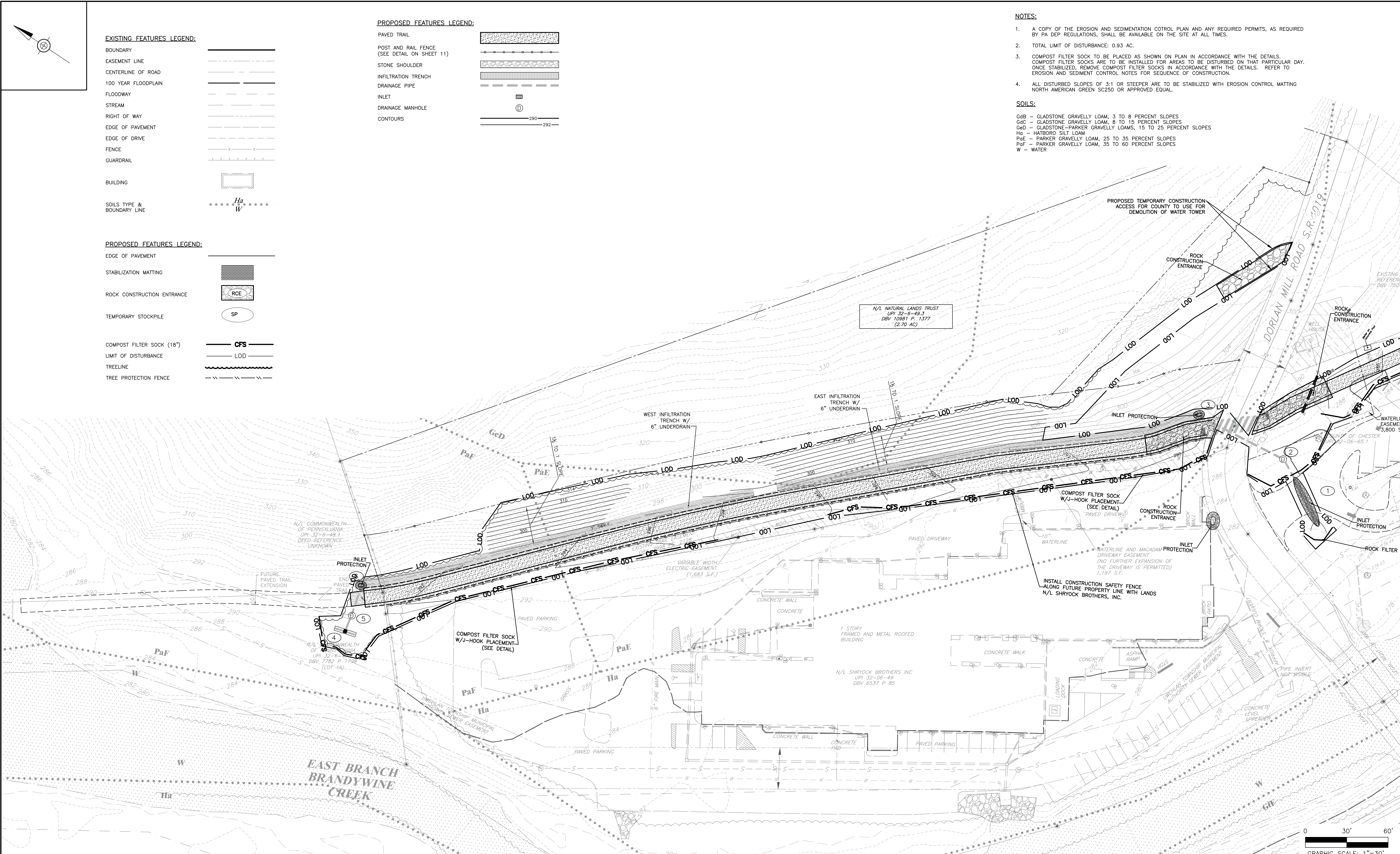
STRUBLE TRAIL
EXTENSION II

UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA

JOB NO.	137340.01A
SHEET NO.	15 OF 19
DWG. NO.	CD237340-1A



			SEAL	SEAL	MANAGER NEF _____	<div><div><div>BURSICH</div><div>Sharing your Vision</div></div><div><div>Corporate Headquarters</div><div>2729 East High Street</div><div>Pottstown, PA 19464</div><div>610-323-4040</div></div><div><div>Southampton Office</div><div>705 Lakeside Drive</div><div>Southampton, PA 18966</div></div><div>www.bursich.com</div></div>	CLIENT	<div>STORMWATER MANAGEMENT DETAILS AND OPERATION & MAINTENANCE PLAN RECORD PLAN 9 OF 9</div> <div>STRUBLE TRAIL EXTENSION II</div> <div>UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA</div>	JOB NO.	
					DESIGN KK		CHKD. BY			137340.01A
4.	REVISIONS PER GILMORE ASSOC. COMMENTS DATED 5/4/2023	5/17/23	AJK		DRAFT AJK		CHKD. BY			SHEET NO.
3.	REVISIONS PER GILMORE ASSOC. COMMENTS DATED 4/18/2023	4/26/23	AJK		FILE CHE-22		DATE MAY 1, 2019			16 OF 19
2.	REVISIONS PER GILMORE ASSOC. REVIEW DATED 2/3/2023	4/5/23	AJK		NOTES		SCALE			DWG. NO.
1.	REVISIONS PER OWNER AND TOWNSHIP CONSULTANTS REVIEWS	12/21/22	AJK						CD437340-1A	
NO.	REVISION	DATE	AJK	APP.						



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EXISTING FEATURES LEGEND:

- BOUNDARY
- EASEMENT LINE
- CENTERLINE OF ROAD
- 100 YEAR FLOODPLAIN
- FLOODWAY
- STREAM
- RIGHT OF WAY
- EDGE OF PAVEMENT
- EDGE OF DRIVE
- FENCE
- GUARDRAIL
- BUILDING
- SOILS TYPE & BOUNDARY LINE

PROPOSED FEATURES LEGEND:

- PAVED TRAIL
- POST AND RAIL FENCE (SEE DETAIL ON SHEET 11)
- STONE SHOULDER
- INFILTRATION TRENCH
- DRAINAGE PIPE
- INLET
- DRAINAGE MANHOLE
- CONTOURS

PROPOSED FEATURES LEGEND:

- EDGE OF PAVEMENT
- STABILIZATION MATTING
- ROCK CONSTRUCTION ENTRANCE
- TEMPORARY STOCKPILE
- COMPOST FILTER SOCK (18")
- LIMIT OF DISTURBANCE
- TREELINE
- TREE PROTECTION FENCE

NOTES:

- A COPY OF THE EROSION AND SEDIMENTATION CONTROL PLAN AND ANY REQUIRED PERMITS, AS REQUIRED BY PA DEP REGULATIONS, SHALL BE AVAILABLE ON THE SITE AT ALL TIMES.
- TOTAL LIMIT OF DISTURBANCE: 0.93 AC.
- COMPOST FILTER SOCK TO BE PLACED AS SHOWN ON PLAN IN ACCORDANCE WITH THE DETAILS. ONCE STABILIZED, REMOVE COMPOST FILTER SOCKS IN ACCORDANCE WITH THE DETAILS. REFER TO EROSION AND SEDIMENT CONTROL NOTES FOR SEQUENCE OF CONSTRUCTION.
- ALL DISTURBED SLOPES OF 3:1 OR STEEPER ARE TO BE STABILIZED WITH EROSION CONTROL MATTING NORTH AMERICAN GREEN SC250 OR APPROVED EQUAL.

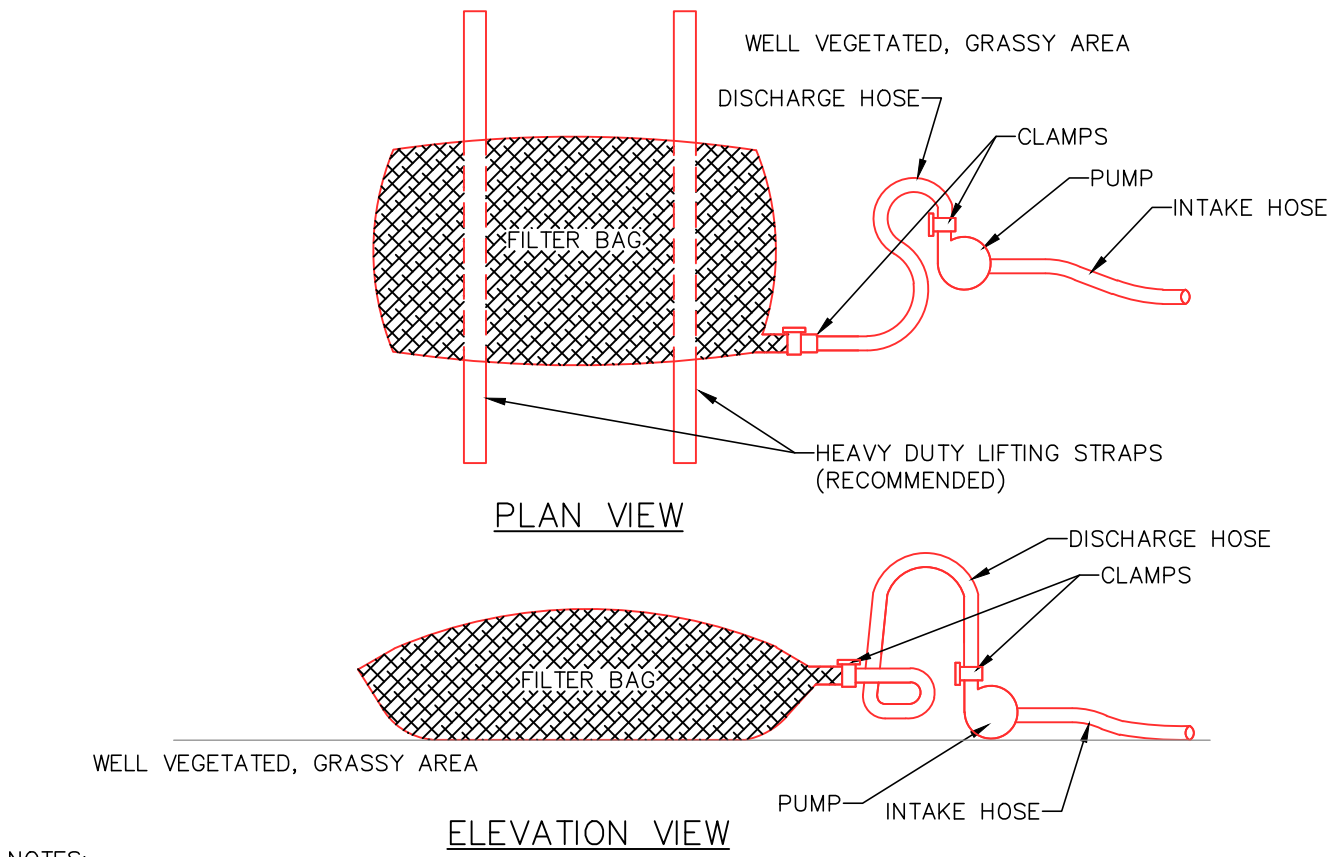
SOILS:

- GdB - GLADSTONE GRAVELLY LOAM, 3 TO 8 PERCENT SLOPES
- GdC - GLADSTONE GRAVELLY LOAM, 8 TO 15 PERCENT SLOPES
- GeD - GLADSTONE-PARKER GRAVELLY LOAMS, 15 TO 25 PERCENT SLOPES
- Ha - HATBORO SILT LOAM
- PaE - PARKER GRAVELLY LOAM, 25 TO 35 PERCENT SLOPES
- PaF - PARKER GRAVELLY LOAM, 35 TO 60 PERCENT SLOPES
- W - WATER

					SEAL	SEAL	MANAGER NEF	<div><div><div><div><div></div><div>BURSICH</div><div>Sharing your Vision</div></div><div><div>Corporate Headquarters</div><div>2129 East High Street</div><div>Pottstown, PA 19464</div><div>610-323-4040</div></div><div><div>Southampton Office</div><div>706 Lakeside Drive</div><div>Southampton, PA 18966</div></div></div><div>www.bursich.com</div></div></div>	CLIENT CHESTER COUNTY, DEPARTMENT OF FACILITIES 313 W. MARKET STREET SUITE 5402 P.O. BOX 2748 WEST CHESTER, PA 19380	SUBJECT EROSION AND SEDIMENT CONTROL PLAN STRUBLE TRAIL EXTENSION II UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA	JOB NO. 137340.01A SHEET NO. 17 OF 19 DWG. NO. ES137340-1
4.	REVISIONS PER GILMORE ASSOC. COMMENTS DATED 5/4/2023	5/17/23	AJK				DESIGN KK		CHKD. BY		
3.	REVISIONS PER GILMORE ASSOC. COMMENTS DATED 4/18/2023	4/26/23	AJK				DRAFT AJK		CHKD. BY		
2.	REVISIONS PER GILMORE ASSOC. REVIEW DATED 2/3/2023	4/5/23	AJK				FILE CHE-22		DATE MAY 1, 2019		
1.	REVISIONS PER OWNER AND TOWNSHIP CONSULTANTS REVIEWS	12/21/22	AJK				NOTES		SCALE 1"=30'		
NO.	REVISION	DATE	BY	APP.							

SEQUENCE OF CONSTRUCTION

1. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.
2. AT LEAST 7 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE OWNER SHALL INVITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES INCLUDING BUT NOT LIMITED TO: THE LANDOWNER AND ALL APPROPRIATE MUNICIPAL OFFICIALS FOR AN ON SITE PRE-CONSTRUCTION MEETING.
3. DELINEATE "LIMITS OF DISTURBANCE" IN THE FIELD AND INSTALL TREE PROTECTION MEASURES PRIOR TO ANY EARTH DISTURBANCE. INSTALL CONSTRUCTION SAFETY FENCE ALONG ENTIRE PROPERTY LINE WITH LANDS N/F SHRYOCK BROTHERS, INC.
4. INSTALL ROCK CONSTRUCTION ENTRANCE(S).
5. INSTALL COMPOST FILTER SOCKS AS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN AND IN ACCORDANCE WITH THE DETAILS AND NOTES PROVIDED.
6. REMOVE ALL EXISTING SITE FEATURES THAT ARE TO BE RELOCATED AND STORE IN A SAFE PLACE. NO ONSITE BURNING IS ALLOWED.
7. REMOVE TREES AND BRUSH AS NECESSARY. MINIMIZE DISTURBANCE WHERE POSSIBLE. REMOVED TREES ARE THE PROPERTY OF THE CONTRACTOR.
8. PLACE EROSION AND SEDIMENT CONTROL MEASURES ABOVE AND BELOW THE AREA OF THE TRENCH DRAIN INSTALLATION ON THE SOUTH SIDE OF DORLAN MILL ROAD AS SHOWN.
9. CONSTRUCT TRENCH DRAIN WITHIN THE EXISTING DRIVEWAY AS SHOWN ON THE PLANS. IMMEDIATELY PLACE PERMANENT STABILIZATION ON ALL DISTURBED AREAS. PLACE INLET PROTECTION ON TRENCH DRAIN UNTIL ALL AREAS TRIBUTARY TO THE DRAIN HAVE BEEN COMPLETELY STABILIZED.
10. EXCAVATE AND ROUGH GRADE FOR TRAIL CONSTRUCTION ON BOTH NORTH AND SOUTH SIDE OF DORLAN MILL ROAD AS SHOWN ON PLANS.
11. INSTALL PROPOSED STONE TRENCH INCLUDING INLETS AND DISCHARGE PIPES IN ACCORDANCE WITH THE PLANS AND PROVIDED DETAILS. WRAP STONE TRENCH AND EXTEND GEOTEXTILE FABRIC OVER TOP OF 18" WIDE OPEN RIVER ROCK BED UNTIL THE TRAIL HAS BEEN PAVED AND ALL AREAS TRIBUTARY TO THE BED HAVE PERMANENTLY STABILIZED.
12. CONSTRUCT TRAIL IN ACCORDANCE WITH THE DETAILS PROVIDED ON THE PLANS.
13. INSTALL ALL OTHER SITE FEATURES INCLUDING BENCH, STEEL GATES, BOLLARDS SIGNING AND PAVEMENT MARKINGS ALONG TRAIL AND TRAILHEAD.
14. UPON COMPLETION OR TEMPORARY CESSATION OF THE EARTH DISTURBANCE ACTIVITY THAT WILL EXCEED 4 DAYS, OR ANY STAGE THEREOF, THE PROJECT SITE SHALL BE IMMEDIATELY STABILIZED WITH THE APPROPRIATE TEMPORARY OR PERMANENT STABILIZATION. HYDROSEED IS NOT CONSIDERED STABILIZATION UNTIL IT GERMINATES.
15. PRIOR TO REMOVING ANY EROSION AND SEDIMENTATION CONTROLS THE CONTRACTOR SHALL CONSULT WITH THE MUNICIPALITY.
16. REMOVE EROSION AND SEDIMENT CONTROL MEASURES ONCE THE DISTURBED AREA IS STABILIZED.
17. PLACE TOPSOIL, SEED, AND MULCH AS NECESSARY.
18. CLEAN SITE SO THAT NO MATERIALS ARE LEFT BEHIND.



NOTES:

LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:

PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. WIDE WIDTH STRENGTH	ASTM D-4884	60 LB/IN
GRAB TENSILE	ASTM D-4632	205 LB
PUNCTURE	ASTM D-4833	110 LB
MULLEN BURST	ASTM D-3786	350 PSI
UV RESISTANCE	ASTM D-4355	70%
AOS % RETAINED	ASTM D-4751	80 SIEVE

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.

BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS, WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5% FOR SLOPES EXCEEDING 5%, CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.

NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HO OR EV WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.

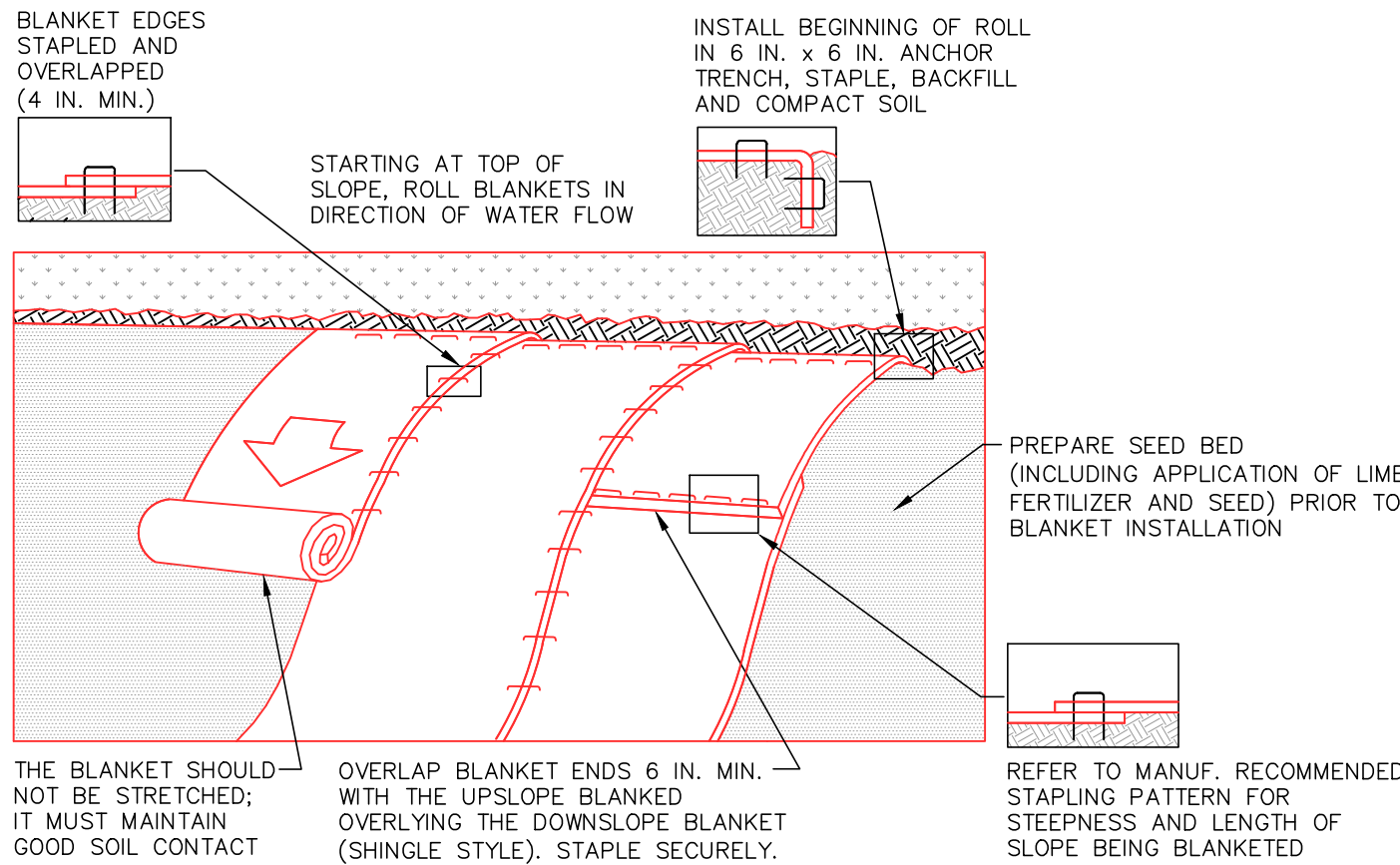
THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.

THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.

FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

STANDARD CONSTRUCTION DETAIL #3-16
PUMPED WATER FILTER BAG

NOT TO SCALE



NOTES:

SEED AND SOIL AMENDMENTS SHALL BE APPLIED ACCORDING TO THE RATES IN THE PLAN DRAWINGS PRIOR TO INSTALLING THE BLANKET.

PROVIDE ANCHOR TRENCH AT TOE OF SLOPE IN SIMILAR FASHION AS AT TOP OF SLOPE.

SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS, AND GRASS.

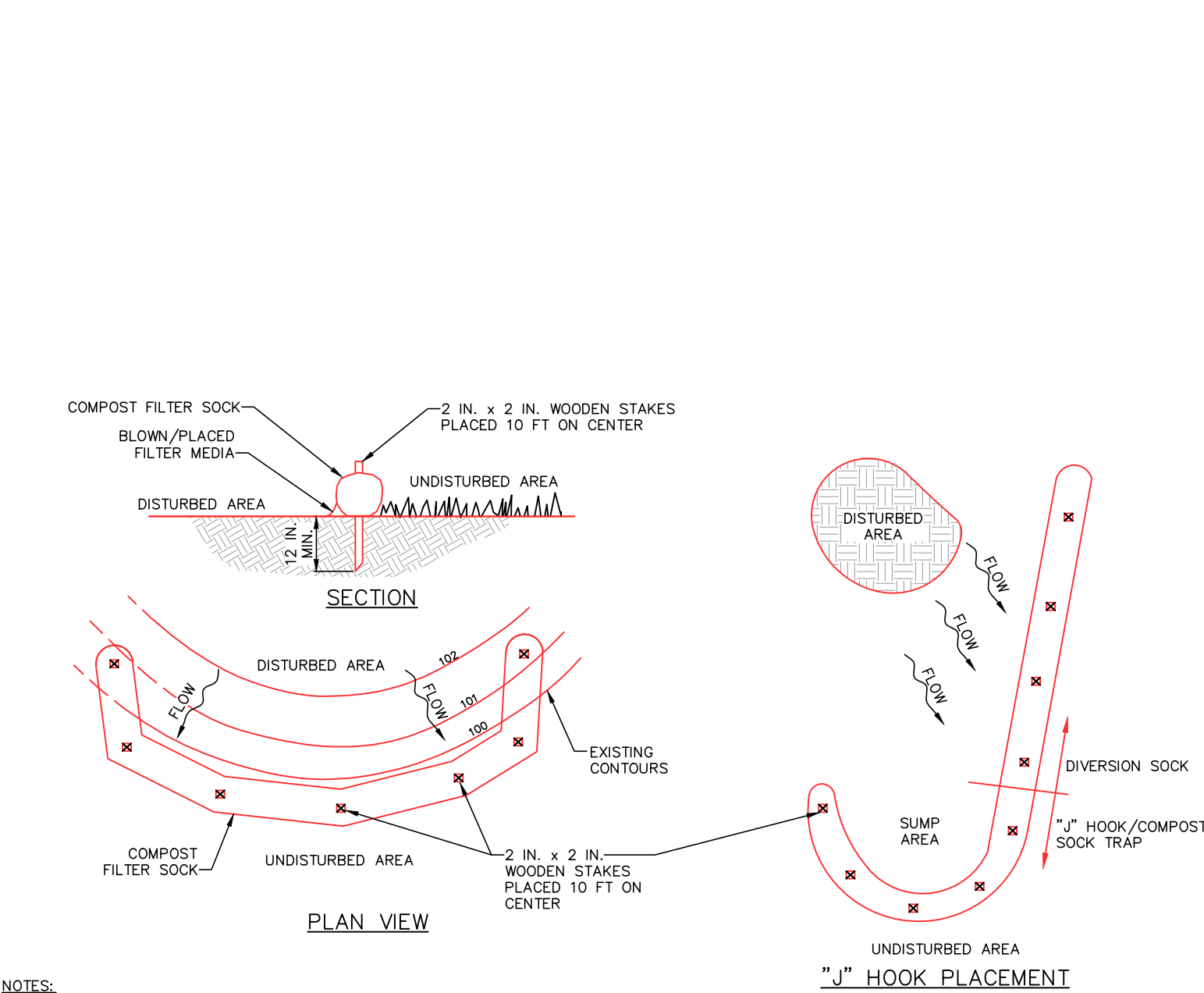
BLANKET SHALL HAVE GOOD CONTINUOUS CONTACT WITH UNDERLYING SOIL THROUGHOUT ENTIRE LENGTH. LAY BLANKET LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH SOIL. DO NOT STRETCH BLANKET.

THE BLANKET SHALL BE STAPLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

BLANKETED AREAS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERENNIAL VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA. DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 4 CALENDAR DAYS.

STANDARD CONSTRUCTION DETAIL #11-1
EROSION CONTROL BLANKET INSTALLATION

NOT TO SCALE



NOTES:

SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.

COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.

TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.

ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.

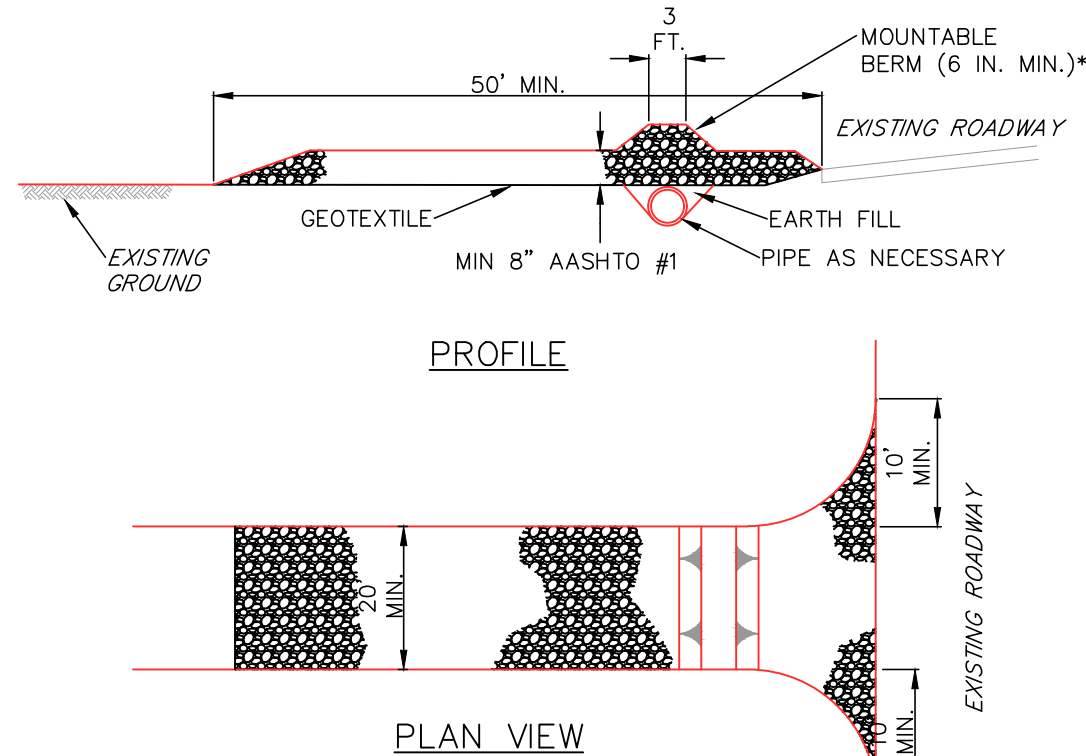
COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.

BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

STANDARD CONSTRUCTION DETAIL #4-1
COMPOST FILTER SOCK

NOT TO SCALE



* MOUNTABLE BERM USED TO PROVIDE PROPER COVER FOR PIPE

NOTES:

REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.

RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.

MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.

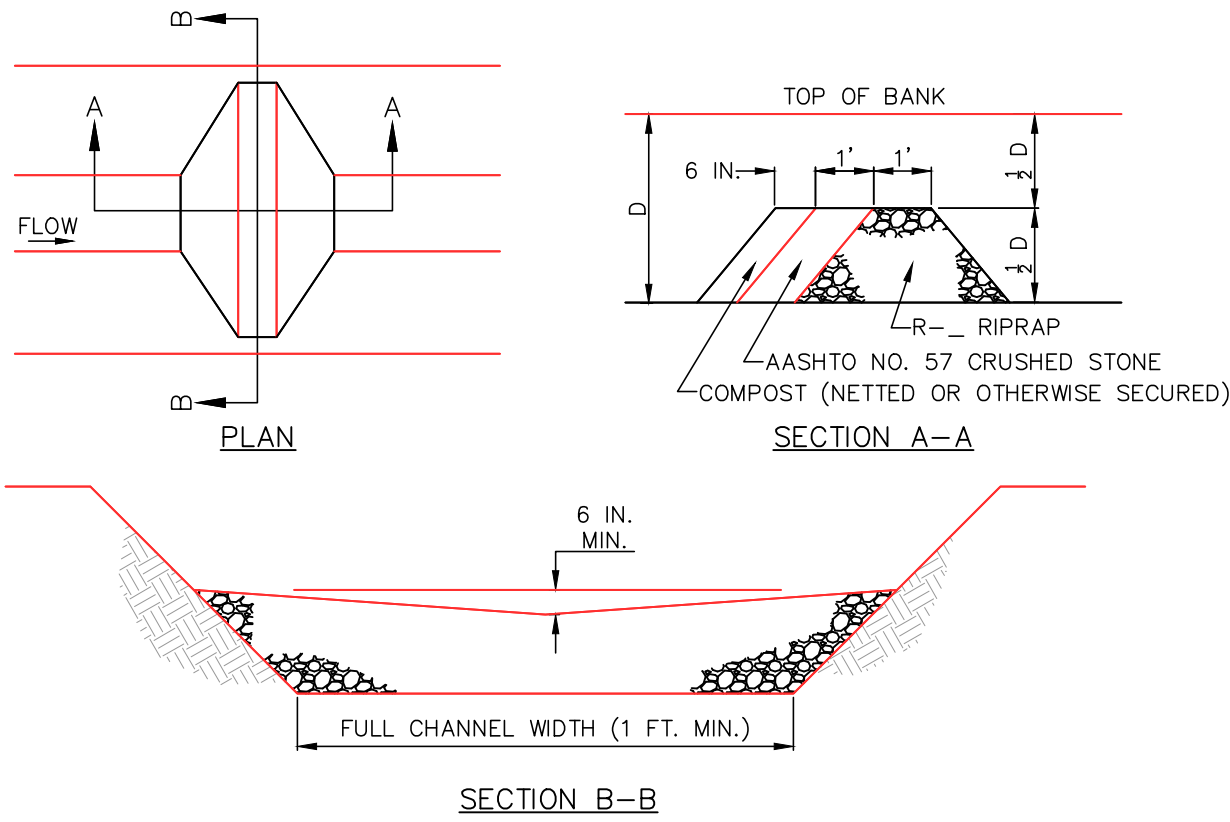
MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

STANDARD CONSTRUCTION DETAIL #3-1
ROCK CONSTRUCTION ENTRANCE

NOT TO SCALE

TABLE 4.1 – COMPOST SOCK FABRIC MINIMUM SPECIFICATIONS					
MATERIAL TYPE	3 MIL HDPE	5 MIL HDPE	5 MIL HDPE	MULTI-FILAMENT POLYPROPYLENE (MFPP)	HEAVY DUTY MULTI-FILAMENT POLYPROPYLENE (HMFPP)
MATERIAL CHARACTERISTICS	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE	BIO-DEGRADABLE	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE
SOCK DIAMETERS	12" 18"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"	18" 24" 32"
MESH OPENING	3/8"		3/8"	3/8"	1/8"
TENSILE STRENGTH		26 PSI	26 PSI	44 PSI	202 PSI
ULTRAVIOLET STABILITY % ORIGINAL STRENGTH (ASTM G-155)	% AT 1000 HR	23% AT 1000 HR		100% AT 1000 HR	100% AT 1000 HR
MINIMUM FUNCTIONAL LONGEVITY	6 MONTHS	9 MONTHS	6 MONTHS	1 YEAR	2 YEARS
TWO-PLY SYSTEMS					
INNER CONTAINMENT NETTING	HDPE BIAXIAL NET				
	CONTINUOUSLY WOUND				
	FUSION-WELED JUNCTURES				
	3/4" X 3/4" MAX. APERTURE SIZE				
OUTER FILTRATION MESH	COMPOSITE POLYPROPYLENE FABRIC (WOVEN LAYER & NON-WOVEN FLEECE MECHANICALLY FUSED VIA NEEDLE PUNCH)				
	3/16" MAX. APERTURE SIZE				
SOCK FABRICS COMPOSED OF BURLAP MAY BE USED ON PROJECTS LASTING 6 MONTHS OR LESS					

TABLE 4.2 - COMPOST STANDARDS	
ORGANIC MATTER CONTENT	25% - 100% (DRY WEIGHT BASIS)
ORGANIC PORTION	FIBROUS AND ELONGATED
PH	5.5 - 8.5
MOISTURE CONTENT	30% - 60%
PARTICLE SIZE	30%-50% PASS THROUGH 3/8\"/>
SOLUBLE SALT CONCENTRATION	5.0ds/m (mmhos/cm) MAXIMUM



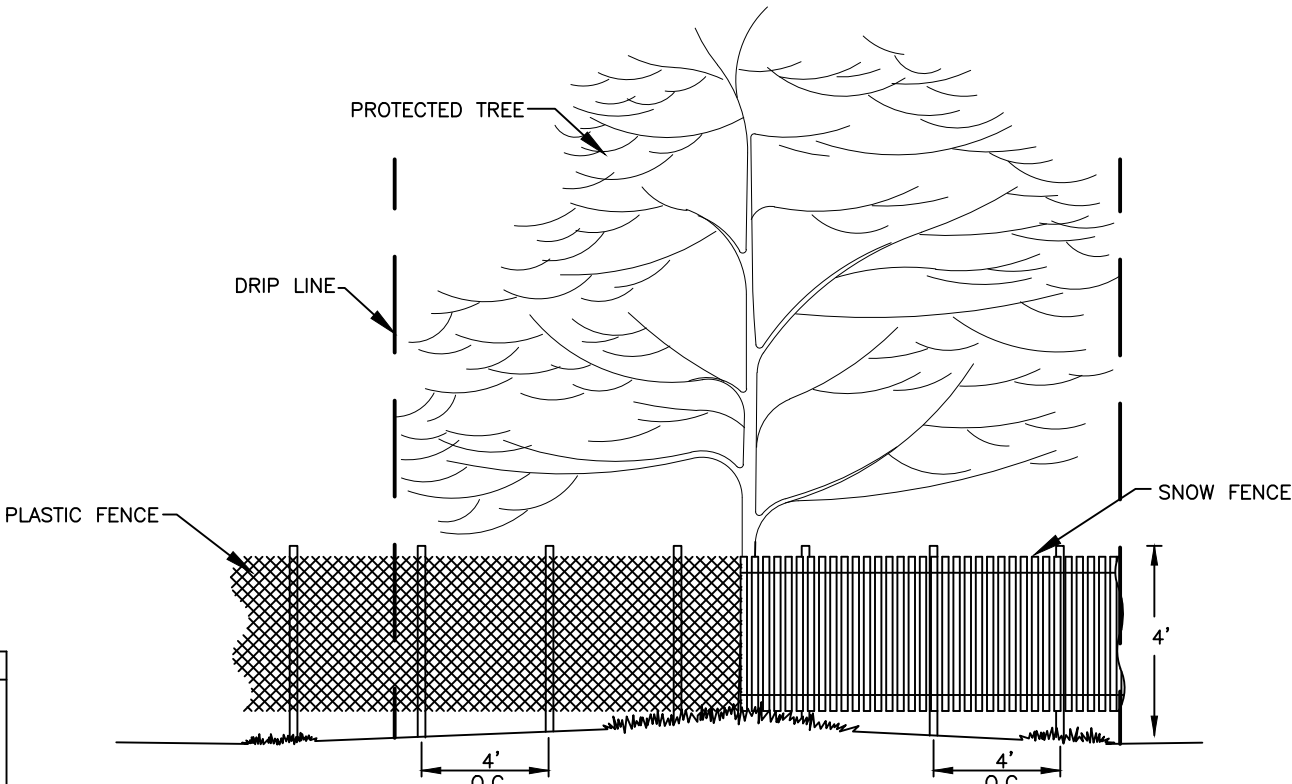
NOTES:

SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/2 THE HEIGHT OF THE FILTERS.

IMMEDIATELY UPON STABILIZATION OF EACH CHANNEL, REMOVE ACCUMULATED SEDIMENT, REMOVE ROCK FILTER, AND STABILIZE DISTURBED AREAS.

STANDARD CONSTRUCTION DETAIL #4-14
ROCK FILTER

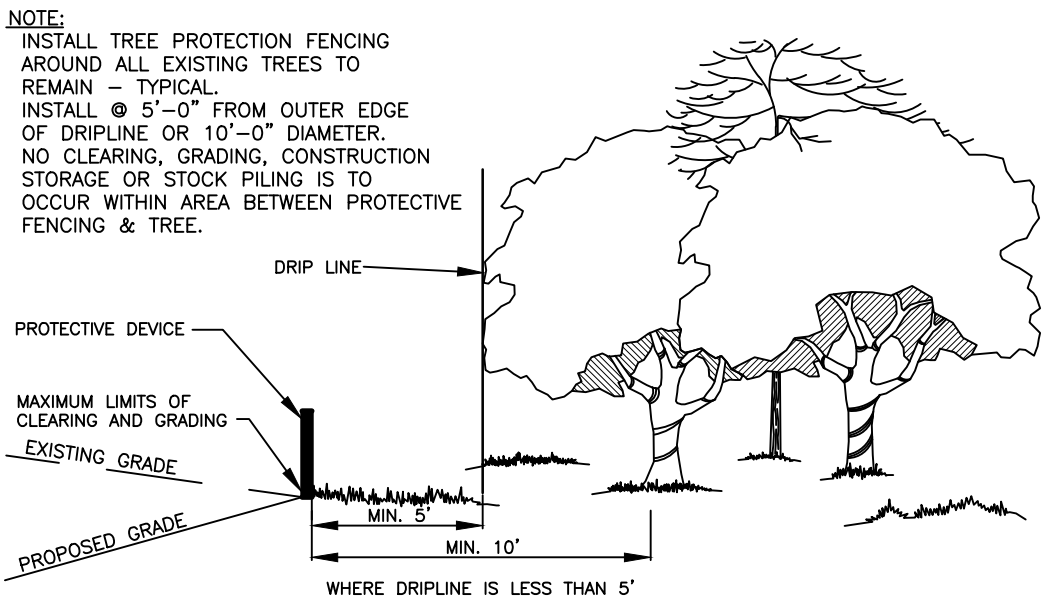
NOT TO SCALE



- NOTES:
1. MARK TREE TO BE PROTECTED WITH RIBBON PRIOR TO CONSTRUCTION.
 2. INSTALL CONSTRUCTION FENCE 1 FT OUTSIDE THE PERIMETER OF THE DRIP LINE OF THE MARKED TREES.(FOR TREE CLUSTERS INSTALL ALONG COMBID PERIMETER.)
 3. WHEN CONSTRUCTION IS COMPLETED, REMOVE FENCING.
 4. ANY DAMAGE, DESTRUCTION OF FALLING OF A TREE SLATED FOR PROTECTION SHALL REQUIRE REPLACEMENT WITH A TREE OF SIMILAR CALIPER OR SUCH NUMBER OF TREES AS ARE REQUIRED TO EQUAL THE CIRCUMFERENCE OF THE AFFECTED TREE.

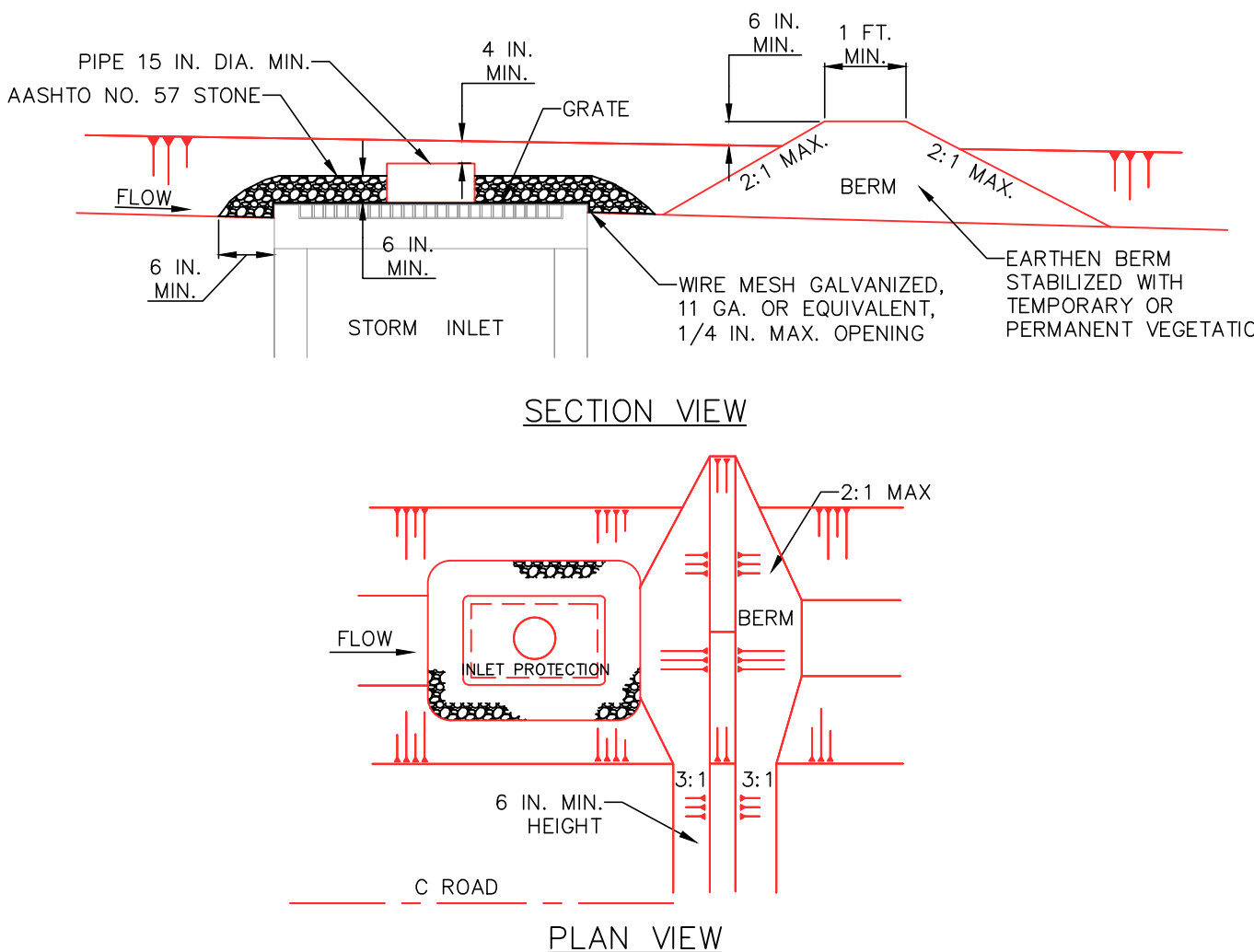
TREE PROTECTION FENCING

N.T.S.



CONSTRUCTION OPERATIONS RELATIVE
TO THE LOCATION OF PROTECTED TREES

N.T.S.



NOTES:

INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS NOT LOCATED AT A LOW POINT.

ROLLED EARTHEN BERM IN ROADWAY SHALL BE PROVIDED AND MAINTAINED IMMEDIATELY DOWN GRADIENT OF THE PROTECTED INLET UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM ON ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. EARTHEN BERM IN CHANNEL SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED OR TO REMAIN PERMANENTLY.

STONE INLET PROTECTION AND BERM FOR A TYPE M INLET CAN BE USED IN ONE ACRE MAXIMUM DRAINAGE AREA WITH 15 IN. OVERFLOW PIPE AND 4 IN. HEAD. A PERFORATED PLATE WELDED TO A METAL RISER MAY NOT BE SUBSTITUTED FOR THE WIRE MESH. A SLOTTED PLATE WELDED TO THE RISER MAY BE USED IN CONJUNCTION WITH THE WIRE MESH IF CALCULATIONS ARE PROVIDED TO SHOW SUFFICIENT CAPACITY OF THE INLET TO ACCEPT THE PEAK RUNOFF FOR A 2-YEAR STORM EVENT FROM THE TRIBUTARY DRAINAGE AREA. TOP OF PIPE SHALL BE AT LEAST 6 INCHES BELOW ADJACENT ROADWAY IF PONDED WATER WOULD POSE A SAFETY HAZARD TO TRAFFIC. EARTHEN BERM SHALL BE ROLLED.

SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE HEIGHT OF THE STONE. DAMAGED OR CLOGGED INSTALLATIONS SHALL BE REPAIRED OR REPLACED IMMEDIATELY.

FOR SYSTEMS DISCHARGING TO HO OR EV SURFACE WATER, A 6 IN. THICK COMPOST LAYER SHALL BE SECURELY ANCHORED ON OUTSIDE AND OVER TOP OF STONE. COMPOST SHALL MEET THE STANDARDS IN TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.

DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

STANDARD CONSTRUCTION DETAIL #4-20
STONE INLET PROTECTION AND BERM - TYPE M INLET

NOT TO SCALE

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JOSEPH E. BRION, ESQUIRE

p: 610.436.4400 Ext# 1010

e: jbrion@buckleyllp.com

118 W. Market Street, Suite 300

West Chester, PA 19382-2928

May 22, 2023

VIA ELECTRONIC MAIL

Upper Uwchlan Township
Board of Supervisors
Attention: Gwen Jonik, Township Secretary
140 Pottstown Pike
Chester Springs, PA 19425

RE: Conditional Use Application – Natural Lands Trust, Inc.
780 Dorlan Mill Road, Upper Uwchlan Township

Dear Gwen:

This Firm has been recently retained by Natural Lands Trust, Inc. (“NLT”) with respect to the subject matter. On its behalf, we enclose the following:

1. Conditional Use Application.
2. Struble Trail Extension II Site Plan for reference.

Please accept this letter as NLT’s withdrawal of their Conditional Use Application dated March 11, 2022 and previously submitted to the Township. Kindly apply the fees previously submitted to the enclosed application. If any additional fees are required, please let me know.

If possible, it would be our request to have this application considered by the Planning Commission simultaneously with the County of Chester’s application on Thursday, June 8, 2023 and scheduled for hearing before the Board of Supervisors on Monday, June 19, 2023. Please let me know if that is a possibility.

Should you require hard copies of the Application, kindly advise. Thanks for your attention and courtesies.

Respectfully,

Joseph E. Brion

Joseph E. Brion

JEB/rac

Enclosures

cc: Kevin McKenna, Esquire
Natural Lands Trust, Inc.



UPPER UWCHLAN TOWNSHIP
140 Pottstown Pike
Chester Springs, PA 19425
610-458-9400 Fax 610-458-0307

CONDITIONAL USE APPLICATION

Tax Parcel Number: 32-6-49.3 Date: May 22, 2023
Name of Applicant: Natural Lands Trust, Inc.
Address: 1031 Palmers Mill Road, Media, PA 19063
Telephone: 484.368.9961 Email: jstefferud@natlands.org

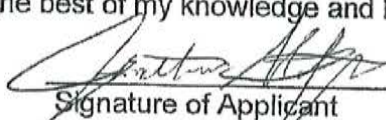
Owner of Parcel: Natural Lands Trust, Inc.
Address / Location of Parcel: 780 Dorlan Mill Road
Zoning District: LI Limited Industrial Existing Use: No use - open land
Article / Section Authorizing Conditional Use: 200-44.1 (10)
Description of Proposed Conditional Use: Governmental Use as public recreational use and open space.

This Application shall be accompanied by: Previously submitted

1. A fee of \$500.00 for Non-Commercial or \$1,000.00 for Commercial/Industrial;
 2. Four (4) printed copies and an electronic copy of:
 - parcel plot plans (half of which can be of reduced size, i.e. 11 x 17)
 3. Three (3) printed copies and an electronic copy of:
 - impact statements (if applicable pursuant to the Township's Zoning Ordinance §200-83),
 - and any other information pursuant to Zoning Ordinance §200-116, §200-117 (Conditional Uses, Conditional Use Standards).
- The Applicant will be responsible for reimbursing the Township for Consultants' Fees and Legal Fees, and if additional Hearings are necessary, a Fee will be charged for each Additional Hearing:
Non-Commercial \$250.00/Hearing; Commercial/Industrial \$500.00/Hearing

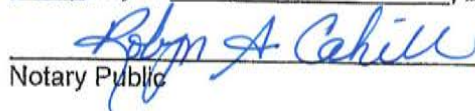
I hereby depose and say that all of the above statements, and the statements contained in any papers submitted herewith, are true to the best of my knowledge and belief.

Natural Lands Trust, Inc.
Printed Name of Applicant


Signature of Applicant

By: Joseph E. Brion, Esquire
Buckley, Brion, McGuire & Morris, LLP
Attorneys for Applicant

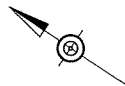
COMMONWEALTH OF PENNSYLVANIA
COUNTY OF CHESTER
Sworn to and subscribed before me this
22nd day of May, 2023.


Notary Public

Commonwealth of Pennsylvania - Notary Seal
Robyn A. Cahill, Notary Public
Chester County
My commission expires November 16, 2025
Commission number 1021755

Member, Pennsylvania Association of Notaries

Form Revised August 2021



PROPOSED FEATURES LEGEND:

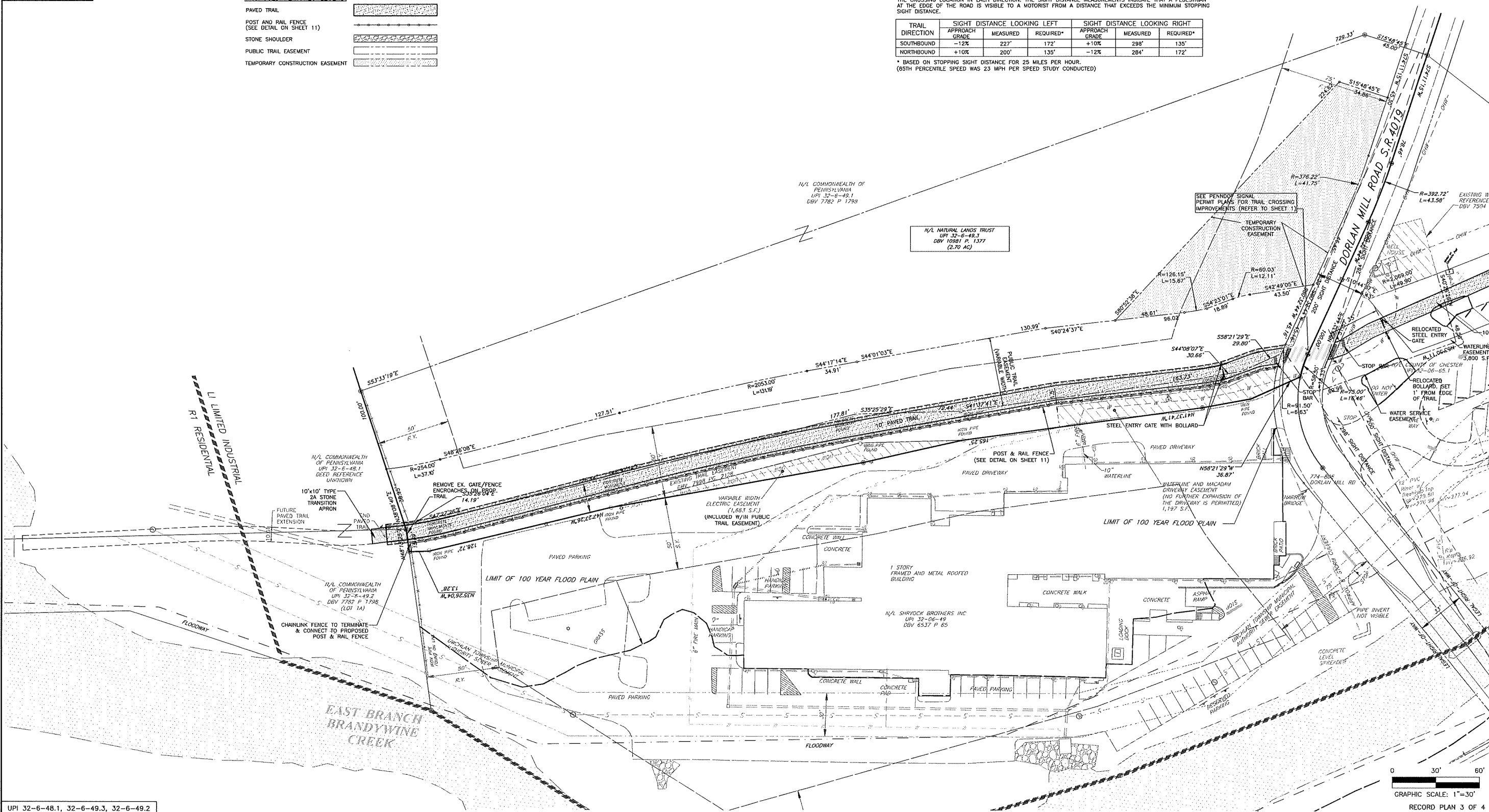
PAVED TRAIL	
POST AND RAIL FENCE (SEE DETAIL ON SHEET 11)	
STONE SHOULDER	
PUBLIC TRAIL EASEMENT	
TEMPORARY CONSTRUCTION EASEMENT	

TRAIL SIGHT DISTANCE TABLE:

SIGHT DISTANCE MEASURED FROM THE EDGE OF THE ROAD, BASED ON THE EDGE LINE PAVEMENT MARKINGS, AT THE CROSSING LOCATION IN EACH DIRECTION. THE SIGHT DISTANCE MEASUREMENTS INDICATE THAT A PEDESTRIAN AT THE EDGE OF THE ROAD IS VISIBLE TO A MOTORIST FROM A DISTANCE THAT EXCEEDS THE MINIMUM STOPPING SIGHT DISTANCE.

TRAIL DIRECTION	SIGHT DISTANCE LOOKING LEFT			SIGHT DISTANCE LOOKING RIGHT		
	APPROACH GRADE	MEASURED	REQUIRED*	APPROACH GRADE	MEASURED	REQUIRED*
SOUTHBOUND	-12%	227'	172'	+10%	298'	135'
NORTHBOUND	+10%	200'	135'	-12%	284'	172'

* BASED ON STOPPING SIGHT DISTANCE FOR 25 MILES PER HOUR.
(85TH PERCENTILE SPEED WAS 23 MPH PER SPEED STUDY CONDUCTED)



UPI 32-6-48.1, 32-6-49.3, 32-6-49.2

NO.	REVISION	DATE	BY	APP.
4.	REVISIONS PER GILMORE ASSOC. COMMENTS DATED 5/4/2023	5/17/23	AJK	
3.	REVISIONS PER GILMORE ASSOC. COMMENTS DATED 4/18/2023	4/26/23	AJK	
2.	REVISIONS PER GILMORE ASSOC. REVIEW DATED 2/3/2023	4/5/23	AJK	
1.	REVISIONS PER OWNER AND TOWNSHIP CONSULTANTS REVIEWS	12/21/22	AJK	

SEAL	SEAL

MANAGER	
DESIGN	CHKD. BY
DRAFT	CHKD. BY
FILE	DATE
NOTES	SCALE

BURSICH
Sharing your Vision

Corporate Headquarters
2129 East High Street
Pottstown, PA 19464
610-323-4040

Southampton Office
708 Lakeside Drive
Southampton, PA 18966

www.bursich.com

CLIENT
CHESTER COUNTY, DEPARTMENT OF FACILITIES
313 W. MARKET STREET
SUITE 5402
P.O. BOX 2748
WEST CHESTER, PA 19380

SUBJECT	JOB NO.
STRUBLE TRAIL EXTENSION II	137340.01A
UPPER UCHLAN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA	SHEET NO.
	3 OF 19
	DWG. NO.
	L0137340-1A

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GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

May 30, 2023

File No. 23-01086

VIA E-MAIL ONLY

Mr. Tony Scheivert
Upper Uwchlan Township Manager
140 Pottstown Pike
Chester Springs, PA 19425

Reference: Eagleview Lot 1A –The Hankin Group
Proposed Flex Use Building Development
Preliminary Land Development Application - 2nd Review
Upper Uwchlan Township, Chester County, PA

Dear Tony:

Gilmore & Associates, Inc. (G&A) is in receipt of the following documents:

- Letter from Chester Valley Engineers to Upper Uwchlan Township dated April 25, 2023, outlining submitted items and responding to G&A's March 3, 2023 review.
- Plan set consisting of twenty (20) sheets titled "Preliminary / Final Land Development Plan Eagleview Lot 1A," prepared by Chester Valley Engineers, Inc., dated February 2, 2023 and revised April 25, 2023.
- Post Construction Stormwater Management Report for Eagleview Corporate Lot 1A, prepared by Chester Valley Engineers, Inc., dated February 2, 2023 and revised April 25, 2023.
- Letter Report / Traffic Analysis prepared by Traffic Planning and Design, Inc. dated March 24, 2023.
- "Will Serve" letter from Aqua to Chester Valley Engineers dated April 14, 2023.

G&A, along with the other Township Consultants, have completed our second review of the above referenced land development application for compliance with the

BUILDING ON A FOUNDATION OF EXCELLENCE

184 W. Main Street | Suite 300 | Trappe, PA 19426
Phone: 610-489-4949 | Fax: 610-489-8447
www.gilmore-assoc.com

Reference: Eagleview Lot 1A –The Hankin Group
Proposed Flex Use Building Development
Preliminary Land Development Application- 2nd Review
Upper Uwchlan Township, Chester County, PA

File No. 03-0987.16

May 30, 2023

applicable sections of the Township's Zoning, Subdivision and Land Development, and Stormwater Management Ordinance, and wish to submit the following comments for your consideration.

Comments in *italics* are from our previous review letter, and comments in **bold text** require resolution by the applicant. Previous comments which have been satisfactorily addressed are not repeated herein. Comments preceded by a (GW) indicate a waiver has been granted from that section by The Board of Supervisors.

I. OVERVIEW

The site is 13.645 acres in size and contains woodlands, a stream and wetlands. The site has access from Arrowhead Drive and is located within the PI (Planned Industrial / Office) Zoning District.

The Applicant is proposing to construct a one-story, 60,600 SF Flex Use office / warehouse building as well as paved access drives, parking areas, retaining walls and stormwater management. One (1) underground infiltration basin and one (1) above ground infiltration basin are proposed to manage the post construction runoff.

II. ZONING ORDINANCE REVIEW

1. *Section 200-50.C – A minimum of 5% of the total net tract area must be set aside for any active or passive recreation. The applicant has provided the requisite area of land; however, it should be indicated how the area can be accessed.*

A four-foot wide mulch walking trail has been added to the plans. **However, the trail is located within the area of potential “Future Parking”. A note should be added to the record plan indicating should the parking ever be constructed, a new access to the open space area shall be provided. In addition, the shading should be included in the Legend.**

2. *Section 200-73.B(3) – Pedestrian paths shall be provided from all parking areas to the entrances of buildings. Pedestrian walks crossing any parking and driveway aisles shall be delineated by either stripes or a different paving material. Show pedestrian paths on the plans.*

Reference: Eagleview Lot 1A –The Hankin Group
Proposed Flex Use Building Development
Preliminary Land Development Application- 2nd Review
Upper Uwchlan Township, Chester County, PA

File No. 03-0987.16

May 30, 2023

A Crosswalk has been provided across driveway entrance. However, we would recommend a sidewalk be provided from the western parking spaces (along the detention basin) to allow safe access to the building entrance.

III. SUBDIVISION & LAND DEVELOPMENT ORDINANCE REVIEW

1. (GW) Sections 162-7.B.(2), 162-8.B and 162-8.C(1) – *The applicant is seeking a waiver to permit concurrent approval of preliminary and final land development plans. We have no objection to this request. The list of waivers request on Sheet 2 should be revised to reflect these sections.*

The Applicant received a waiver from the Board of Supervisors at their March 20, 2023 meeting to allow the application to be reviewed as a “preliminary / final” application.

2. (GW) Section 162-52 – *No topsoil shall be disposed of, by sale or otherwise, off the site of the construction. Please add General Erosion & Sediment Control Note #5 to the Record Plan.*

The Applicant received a waiver from the Board of Supervisors at their March 20, 2023 meeting to allow removal of topsoil from the site.

3. (GW) Section 162-55.B – *A waiver has been requested from this section but it is not clear specifically what is being requested. Plans shall be revised to demonstrate compliance with all applicable requirements in this section or an indication of what sections relief is being sought from. The Site Analysis Table on Sheet 3 indicates 6.25 acres of woodland area is proposed to be disturbed; clarify the area of removal vs. disturbance.*

The Applicant received a waiver from this section from the Board of Supervisors at their March 20, 2023 meeting.

4. Section 162-58.C(1) – *Illumination levels: Sidewalk light levels are not provided.*

Reference: Eagleview Lot 1A –The Hankin Group
Proposed Flex Use Building Development
Preliminary Land Development Application- 2nd Review
Upper Uwchlan Township, Chester County, PA

File No. 03-0987.16

May 30, 2023

Levels shall be in accordance with IES RP-43-22. Note on Plan Sheet 19 provides an average to minimum ratio for sidewalks in front of the building. IES light level requirements are based on an average maintained value, not an average to minimum ratio. Additional information shall be provided for review.

5. *Section 162-58.D(1)(a) – Site plan shall show all lighting including building and architectural lighting. The plan does not indicate any additional lighting beyond the proposed area lights. Applicant shall verify that no additional architectural lighting is proposed.*

It is noted that architectural building lighting is not included with the site lighting information provided. Plan notes indicate that architectural building lighting will be provided at a later date. Any additional architectural site lighting will be subject to review & approval.

IV. STORMWATER MANAGEMENT ORDINANCE REVIEW

1. *The Applicant is proposing an underground infiltration bed, which discharges into an existing above ground basin on the adjacent lot, and an above ground infiltration basin to control post-development runoff.*
2. (GW) *Section 301.T - Disturbance of existing ground cover during construction of the proposed Regulated Activity is prohibited within seventy-five (75) feet of top-of-bank of all perennial and intermittent waterways, water bodies and wetlands. Show the 75-foot no disturbance setback on the plans. We note that disturbance, including a detention basin, is proposed within this setback.*

The Applicant received a waiver from this section from the Board of Supervisors at their March 20, 2023 meeting.

Mr. Tony Scheivert
Upper Uwchlan Township Manager

Page - 5 -

Reference: Eagleview Lot 1A –The Hankin Group
Proposed Flex Use Building Development
Preliminary Land Development Application- 2nd Review
Upper Uwchlan Township, Chester County, PA

File No. 03-0987.16

May 30, 2023

V. GENERAL COMMENTS

1. *Add the notation "Record Plan Sheet ____ of ____" on all sheets to be recorded.*

The Applicant's response letter indicates that all sheets are to be recorded. **However, this has not been referenced on the plan as requested. Please add the requested notation.**

2. Please remove General Note #20 on Sheet 2 regarding topsoil not leaving the site as the applicant obtained a waiver from 162-50 to allow for topsoil to be disposed of offsite
3. Three (3) light fixtures appear to be proposed directly adjacent to a proposed retaining wall (plan west). We question the constructability of these locations due to potential conflicts between light base footings, geogrid reinforcement, fencing and guardrail. Applicant has indicated that the features will be "installed and coordinated with footings and other potential conflict areas", however has not provided any additional construction details or cross sections to show how this will be accomplished. It is recommended that this information be provided to ensure that the proposed locations for lights are feasible.
4. The light base detail provided on Sheet 19 has "AHJ" referenced for the dimensions of the base. Dimensional information shall be provided to understand the size/space requirements of the proposed light pole footing.
5. Retaining wall design drawings and computations shall be submitted for review and approval prior to any site construction.

VI. TOWNSHIP TRAFFIC CONSULTANT MCMAHON ASSOCIATES, INC.

1. We agree that the trip generation for the current mix of uses within the Upper Uwchlan portion of the Eagleview Corporate Center (including Lot 1A) is less than the total trip generation contained in the original master plan traffic study. However, please keep in mind that future trip generation

Reference: Eagleview Lot 1A –The Hankin Group
Proposed Flex Use Building Development
Preliminary Land Development Application- 2nd Review
Upper Uwchlan Township, Chester County, PA

File No. 03-0987.16

May 30, 2023

evaluations for the Upper Uwchlan portion of the Eagleview Corporate Center should be based on the trip generation equation methodology in order to be consistent with ITE procedures. It is not necessary to make this revision as part of this application, as it would not change the conclusion that the total trip generation to date is less than the total trip generation assumed in the original master plan traffic study.

3. ZO Section 200-75.H(3) – The required sight distance for traffic exiting the proposed access onto Arrowhead Drive looking to the right appears to be based PennDOT's safe stopping sight distance criteria with an approach grade of +6.0%; however, it appears that the approach grade is not +6.0%. As such, as previously requested, please verify required sight distance calculation for traffic exiting the proposed access looking to the right along Arrowhead Drive. We do not have concerns about the availability of sight distance looking to the right, since traffic approaching from the right is required to stop from the neighboring driveway; however, as a condition of approval, the required sight distance calculation should be verified and updated as needed on the plan. If appropriate, please also update the sight distance note on Sheet 4.
3. We question the location of the end of the proposed 6.5-foot wide walking trail/ADA ramp at the Arrowhead Drive cul-de-sac, as it terminates into the Arrowhead Drive cartway. Ideally, this trail should connect with other pedestrian facilities, or at a logical crossing location, or even within a refuge/shoulder area. We question whether other terminus locations were considered. We recommend further discussion with the Planning Commission regarding the trail terminus.
4. The proposed 6.5-foot wide asphalt walking trail extends outside of the Arrowhead Drive right-of-way, but it is located within the existing 20-foot wide utility easement. Please verify that the intended use and description of the utility easement is sufficient to provide access to the 6.5-foot wide walking trail.
5. The Lot 1A development is subject to a transportation contribution equal to \$0.35 per square-foot of office space and \$0.20 per square-foot of warehouse space, and this contribution must be paid at the time of building permit issuance.

Mr. Tony Scheivert
Upper Uwchlan Township Manager

Page - 7 -

Reference: Eagleview Lot 1A –The Hankin Group
Proposed Flex Use Building Development
Preliminary Land Development Application- 2nd Review
Upper Uwchlan Township, Chester County, PA

File No. 03-0987.16

May 30, 2023

Upon resubmission, the applicant's engineer should compose a response letter that describes how each comment has been addressed and where any plan and/or report revisions are located. Additional comments regarding the traffic improvements and/or land development plans may follow upon receipt of future submissions.

VII. TOWNSHIP LAND PLANNER
BRANDYWINE CONSERVANCY

Below is a summary of municipal planning documents and ordinances for the Township's consideration relevant to the intent of the proposed application land development.

Comprehensive Plan (2014)

1. The proposed development is consistent with the vision of the Comprehensive Plan for the existing Eagleview Corporate Park. The subject property is located within the area identified as the "Suburban Employment" future land use category in the Comprehensive Plan. This category has been applied to those areas of the township that will play a major economic role in the future. Lands so designated house the township's employers or producers of significant goods and services and include vacant or underdeveloped lands determined to be appropriate for additional employment, institutional, and/or manufacturing uses. The land within this future designation includes the Eagleview Corporate Park, which is comprised of light industrial or office development and vacant land suitable for additional development. Recommendations for future development include public water, public or community sewage disposal systems, road improvements along the frontage and access, protection of existing natural and cultural resources on undeveloped sites, and innovative stormwater management, and buffering of adjoining properties with lesser intensive uses.

Additionally, the Comprehensive Plan is in support of the continued build-out of the Eagleview Corporate Center with the hope that new tenants

Reference: Eagleview Lot 1A –The Hankin Group
Proposed Flex Use Building Development
Preliminary Land Development Application- 2nd Review
Upper Uwchlan Township, Chester County, PA

File No. 03-0987.16

May 30, 2023

offering employment opportunities draw heavily from Upper Uwchlan' s highly skilled and educated work force.

Open Space, Recreation & Environmental Resources Plan (2009)

2. A portion of the property, specifically along the existing unnamed tributary to March Creek, is designated as protected land, and includes hydric soils and extensive woodlands. The Plan recommends strengthening safeguards for the Township's remaining woodlands, especially along sensitive and valuable streams in the Marsh Creek watershed. *We note that waiver requests were granted to allow for reduced woodland replacement on the project and to allow a reduced number of replacement plantings and instead install taller and larger caliper trees.*
3. A portion of the property is located within the designated Jerry Run Greenway that is within the Marsh Creek watershed. The Plan recommends the application for new land development projects incorporate greenway corridors into the proposed layout, as appropriate. *We note that the revised plan includes the incorporation of a short walking trail within the recreational open space area. To encourage use of this trail, we suggest the incorporation of a bench or similar structure toward the end of the trail to allow respite and the enjoyment of the area.*

Zoning Ordinance

4. *We note the addition of an asphalt walking trail on the eastern side of the proposed driveway to facilitate future active transportation connections within the office park and beyond.*
5. The applicant depicted a designated open space on the site plan to be 0.68 acres or 5% of the total net tract area. *We note the addition of a short nature trail within the recreational open space area. However, as noted above, we recommend consideration of a bench or similar to increase use of the area. We also recommend the applicant consider options to increase the length of the proposed trail (possibly creating a loop) to make it more attractive as an amenity to employees.*

Mr. Tony Scheivert
Upper Uwchlan Township Manager

Page - 9 -

Reference: Eagleview Lot 1A –The Hankin Group
Proposed Flex Use Building Development
Preliminary Land Development Application- 2nd Review
Upper Uwchlan Township, Chester County, PA

File No. 03-0987.16

May 30, 2023

6. *While we note in their response letter the applicant notes the open space area will be owned and maintained by the property owner, we see no mention of this on the Overall record Plan (Sheet 2), the Site Layout Plan (Sheet 4), or the Landscape Plan (Sheet 18). We suggest this notation be added where appropriate.*

Subdivision and Land Development Ordinance

7. *We note that the applicant has received waivers for items relating to tree removal and replacement that were originally noted in our first review letter dated March 3, 2023.*
8. *We note that in their response letter dated April 25, 2023, the applicant has filed a NPDES permit application to the Chester County Conservation District and expects the riparian buffer management will be a condition of approval. We suggest the applicant provide said management plan to the Township's consultants for clarification upon receipt.*
9. We recommend that the Township verify that the applicant is compliant with §162-57 B, Landscape plan.
10. *The landscape plan mentions that groundcover shall be planted in uniform rows throughout all groundcover bed areas, yet it is unclear which plants in the plant lists are being used as groundcovers. In addition, it is unclear what the hatching shown in the planting areas refers to. Are these areas to be planted in ground cover or is this indicating turfgrass? Suggest clarifying with either a legend or notation on the landscape plan. Given the proximity to existing natural areas, we suggest the applicant give careful consideration to the transition of plant material and composition on the western side of the property to best mimic the natural surroundings. A selection of native groundcovers would minimize the need for mulch in future years (if the hatching indicates mulched areas) and provide greater environmental benefits than turfgrass alone.*

Mr. Tony Scheivert
Upper Uwchlan Township Manager

Page - 10 -

Reference: Eagleview Lot 1A –The Hankin Group
Proposed Flex Use Building Development
Preliminary Land Development Application- 2nd Review
Upper Uwchlan Township, Chester County, PA

File No. 03-0987.16

May 30, 2023

VIII. TOWNSHIP SEWER CONSULTANT COMMENTS
ARRO CONSULTING, INC.

1. The Applicant is proposing to construct a 60,600 square feet (SF) proposed flex building. In accordance with the Act 537 Plan, wastewater generated on this property is to be conveyed to and treated at the Eagleview Wastewater Treatment Plant which is located in Uwchlan Township. As such Uwchlan Township should have the opportunity to review since they will be responsible for wastewater conveyance and treatment. The Applicant's engineer has indicated that the plans have been submitted to Uwchlan Township for review.
2. All sanitary sewer improvements shall be design and constructed in accordance with the Uwchlan Township Municipal Authority Specifications. The Applicant's engineer has indicated that the plans have been submitted to Uwchlan Township for review.
3. A completed Sewage Facilities Planning Mailer has been provided, prior to completing Item 8d, the Uwchlan Township Municipal Authority shall provide a letter indicating that the facilities proposed for use have capacity and that no overload exists or is projected within 5 years. The Applicant's engineer has indicated that the Mailer has been submitted to Uwchlan Township for review.

This concludes our 2nd review of the above-referenced application. We would recommend the plans be revised to address the above-referenced comments as well as any raised by the Planning Commission and the Board of Supervisors. If you have any questions, please do not hesitate to contact me.

Sincerely,

David N. Leh

David N. Leh, P.E.
Vice President
Gilmore & Associates, Inc.

Mr. Tony Scheivert
Upper Uwchlan Township Manager

Page - 11 -

Reference: Eagleview Lot 1A –The Hankin Group
Proposed Flex Use Building Development
Preliminary Land Development Application- 2nd Review
Upper Uwchlan Township, Chester County, PA

File No. 03-0987.16

May 30, 2023

cc: Upper Uwchlan Township Planning Commission Members
Upper Uwchlan Township Board of Supervisors
Gwen Jonik – Township Secretary
Rhys Lloyd – Director of Code Enforcement
Anthony Campbell – Zoning Officer
Richard Ruth – Township Fire Marshall
Kristin Camp, Esq. – Buckley, Brion, McGuire, & Morris LLP
Rob Daniels, Brandywine Conservancy
Christopher J. Williams, P.E., McMahon Associates, Inc.
G. Mathew Brown, P.E., ARRO Consulting, Inc.
David Schlott, P.E., ARRO Consulting, Inc.
Neal Fisher, The Hankin Group, Owners/Applicant
Richard F. Stratton, P.E., Chester Valley Engineers, Inc.



SUBDIVISION / LAND DEVELOPMENT APPLICATION

☒ Preliminary Submittal

☐ Final Submittal

The undersigned hereby applies for review of the Plan submitted herewith and described below:

1. Name of Subdivision / Development: Eagleview Lot 1A
2. Plan Dated: December 1, 2022 County Deed Book/Page No. Book 188, Page 275
3. Name of property owner(s): Hankin Group

Address: 707 Eagleview Boulevard, Suite 400, Exton

State/Zip: PA 19341 Phone No.: (610) 458-1900

Email: neal.fisher@hankinggroup.com

4. Name of Applicant (If other than owner):

Address: _____

State/Zip: _____ Phone No.: _____

Email: _____

5. Applicant's interest (If other than owner): _____

6. Engineer, Architect, Surveyor, or Landscape Architect responsible for Plan.
Chester Valley Engineers

Address: PO Box 447, Paoli

State/Zip: PA 19301 Phone No.: (610) 644-4623

Email: rstratton@chesterv.com

7. Total acreage: 13.6 Number of Lots: 1
8. Acreage of adjoining land in same ownership: (If any) N/A
9. Describe Type of Development Planned: Development of flex building, parking, loading areas, drives, utility connections, stormwater management, landscaping, lighting and associated site improvements.

140 Pottstown Pike, Chester Springs, PA 19425
Phone: (610) 458-9400 • Fax: (610) 458-0307
www.upperuwchlan-pa.gov

10. This Application shall be accompanied by: the Application Fee as listed below, an aerial image of the property, and the quantity of plans/supporting information as detailed in the Township Code §162-8.B.(1)(b) and/or §162-8.C.(1)(d).

[One-half of the required plan submissions may be of a reduced size, i.e. 11 x 17]

11. List all subdivision and zoning standards or requirements which have not been met and for which a waiver or change is requested.

162-41.G Sidewalk expansion joints

162-55.B(3)(a), 162-55.B(6), 162-55.B(7), 162-55.B(8), 162-55.B(9) Woodland Disturbance

162-7.B.2 - Combined Preliminary/Final Land Development

12. The Applicant or his/her agent shall enter into a Subdivision / Land Development Review Escrow Agreement (attached) and place into escrow with the Township at the time of application an amount estimated by the Township to cover all costs of engineering and professional planning reviews (not including County application fee), legal services and other professional services used by the Township in connection with the application.

Signature of Property Owner or Applicant:

By: NEAL FISHER
Date: 2/2/23

*Development subject to ACT 209 Impact Fee.

*Park & Recreation Fee per residence is levied. Contact Township Offices to determine amount.

SUBDIVISION / LAND DEVELOPMENT APPLICATION FEE

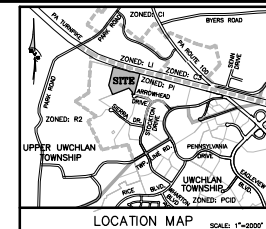
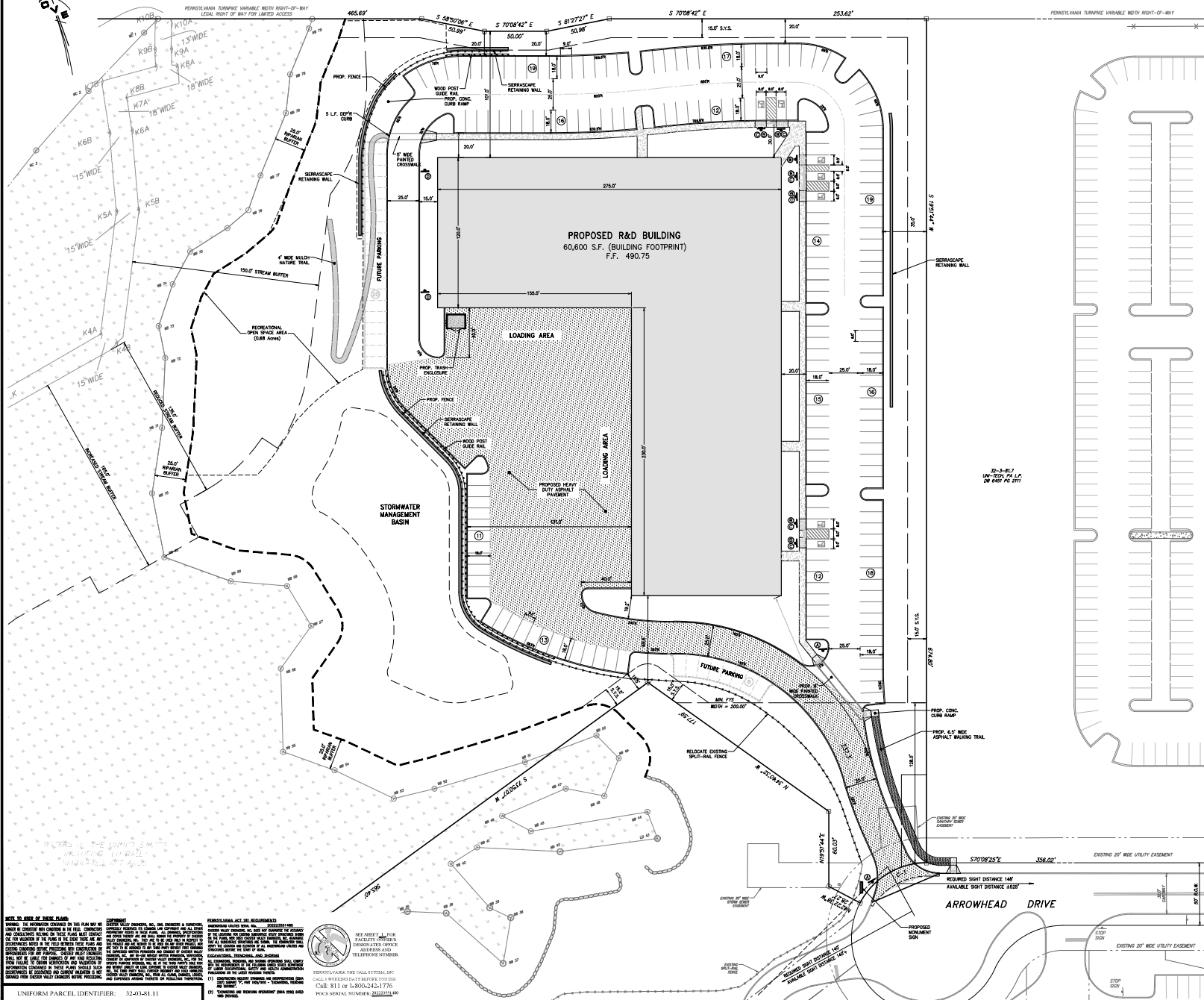
1-2 Lots \$250


















3-5 Lots \$500
Plus \$25 for each Lot over 3

Over 5 Lots \$1000
Plus \$50 for each Lot over 5

Form revised January 2015

140 Pottstown Pike, Chester Springs, PA 19425
Phone: (610) 458-9400 • Fax: (610) 458-0307
www.upperuwchlan-pa.gov



- ### LEGEND
- | | |
|---|-----------------------------|
|  | EXISTING BUILDINGS |
|  | EXISTING ADJOINING LOT LINE |
|  | EXISTING TRACT BOUNDARY |
|  | EXISTING EDGE OF PAVING |
|  | EXISTING RIGHT-OF-WAY |
|  | PROPOSED SETBACK LINE |
|  | REQUIRED RIGHT-OF-WAY |
|  | EXISTING HWY (IND.) |
|  | EXISTING EDGE LINE |
|  | EXISTING EDGE OF PAVING |
|  | EXISTING CURB |
|  | PROPOSED EASEMENT |
|  | PROPOSED CURB |
|  | PROPOSED CONC. SIDEWALK |
|  | PROPOSED HANDICAP RAMPS |
|  | PROPOSED BUILDING |
|  | HEAVY DUTY ASPHALT PAVEMENT |

- SIGN LEGEND**
- | | |
|-----|--------------------------------------|
| (A) | STOP SIGN 30"x30" (R1-1) |
| (B) | RESERVED PARKING SIGN 12"x18" (R7-8) |
| (C) | VAN ACCESSIBLE SIGN 12"x18" (R7-8B) |
| (D) | NO PARKING FIRE LANE SIGN 12"x18" |

NOTE: ALL SIGHT DISTANCE OBSTRUCTIONS (INCLUDING BUT NOT LIMITED TO EMBARCMENTS AND VEGETATION) MUST BE REMOVED BY THE PERMITTEE TO PROVIDE A MINIMUM OF 140 FEET OF SIGHT DISTANCE TO THE LEFT AND 148 FEET OF SIGHT DISTANCE TO THE RIGHT FOR A DRIVER DURING THE PROPOSED DRIVEWAY ONTO THE THROUGH HIGHWAY. THE DRIVER MUST BE CONSIDERED TO BE POSITIONED TEN FEET FROM THE NEAR EDGE OF THE CLOSEST HIGHWAY TRAVEL LANE (FROM THE CURBLINE IF CURBING IS PRESENT) AT AN EYE HEIGHT OF THREE FEET SIX INCHES (3'6") ABOVE THE PAVEMENT SURFACE LOCATED IN THE CENTER OF THE CLOSEST HIGHWAY TRAVEL LANE DESIGNATED FOR USE BY APPROACHING TRAFFIC. THIS SIGHT DISTANCE SHALL BE MAINTAINED BY THE PERMITTEE.

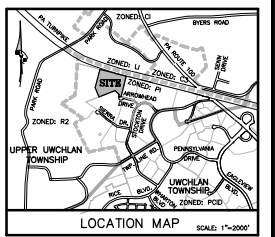
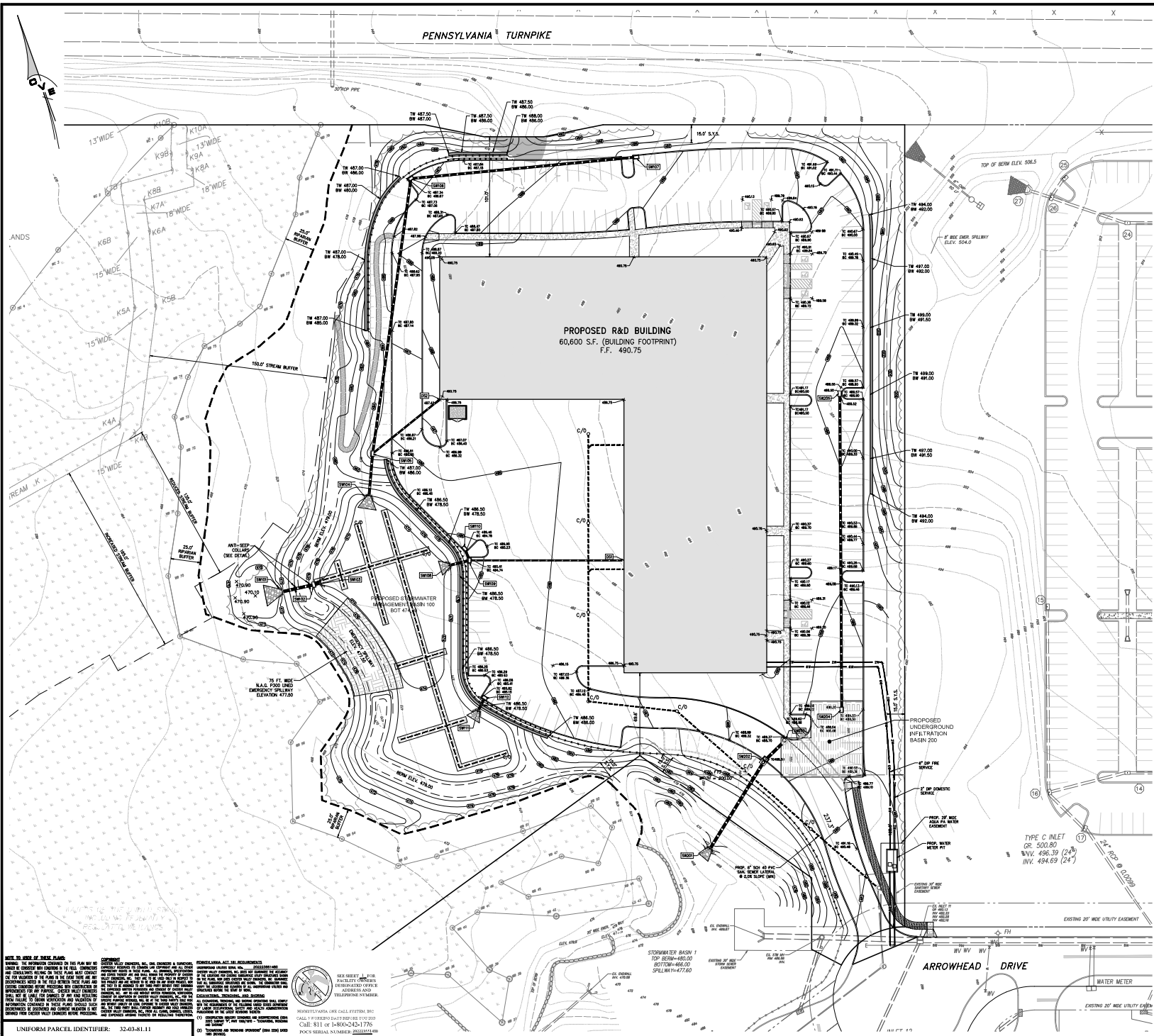
OWNER / APPLICANT

THE HANKIN GROUP
CONTACT: NEAL FISHER
VICE PRESIDENT OF DEVELOPMENT
Phone: 810.458.1500
Email: neal.fisher@hankingroup.com
707 EAGLEMEADOW BOULEVARD
EXTON, PA 19341



SITE LAYOUT PLAN

[illegible]



- EXISTING FEATURES LEGEND**
- EXISTING BUILDING
 - EXISTING TRACT BOUNDARY
 - EXISTING ADJOINING LOT LINE
 - EXISTING RIGHT-OF-WAY LINE
 - EXISTING RIGHT-OF-WAY LINE
 - EXISTING STREAM CENTERLINE
 - EXISTING 10' INDEX CONTOUR
 - EXISTING 2' CONTOUR
 - EXISTING SPOT ELEVATION
 - 15% - 20% PRECAUTIONARY SLOPES
 - 20% OR GREATER PROPOSED SLOPES
 - SOLID TYPES AND SOLID BOUNDARY LINES
 - EXISTING FENCE LINE
 - EXISTING EDGE OF PAVING
 - EXISTING CURB
 - EXISTING METAL AND BOUNDARY
 - EXISTING STORM INLET AND PIPE
 - EXISTING STORM MANHOLE AND PIPE
 - EXISTING STORM ENDWALL AND PIPE
 - EXISTING SHED
 - EXISTING UTILITY POLE
 - EXISTING UNDERGROUND WATER MAIN
 - EXISTING SANITARY SEWER
 - EXISTING MANHOLE CHAMBER
 - EXISTING GAS WATER
 - EXISTING TELEPHONE, ETC.
- PROPOSED FEATURES LEGEND**
- PROPOSED 2' CONTOUR
 - PROPOSED 10' CONTOUR
 - PROPOSED SANITARY SEWER LINE
 - PROPOSED STORM PIPE W/ TYPE A INLET
 - PROPOSED STORM PIPE W/ TYPE C INLET
 - PROPOSED 8" DP WATER MAIN
 - PROPOSED 4" DOMESTIC WATER LATERAL
 - PROPOSED 6" FIRE WATER LATERAL
 - PROPOSED SPOT ELEVATION (PAYMENT ELEVATION)
 - PROPOSED CURB
 - PROPOSED BUILDING
 - PROPOSED LOT LINE
 - PROPOSED SETBACK LINE
 - PROPOSED ROADWAY CENTERLINE
 - PROPOSED CURB
 - PROPOSED CONCRETE SIDEWALK
 - PROPOSED EASEMENT

CERTIFICATION OF ACCURACY
I HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE UPPER UWCHLAN TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

DATE: RICHARD F. STRATTON, P.E.



OWNER / APPLICANT
THE HANKIN GROUP
CONTACT: NEAL FISHER
VICE PRESIDENT OF DEVELOPMENT
Phone: (610) 494-0000
Email: neal.fisher@hankingroup.com
707 EAGLEVIEW BOULEVARD
EXTON, PA 19341

REVISIONS FOR TOWNSHIP REVIEW COMMENTS	
NO. / DATE	REVISIONS FOR TOWNSHIP REVIEW COMMENTS
1 / 08/24/2021	REVISIONS FOR TOWNSHIP REVIEW COMMENTS
PRELIMINARY / FINAL LAND DEVELOPMENT PLAN	
EAGLEVIEW LOT 1A	
THE HANKIN GROUP	
UPPER UWCHLAN TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA	
21921	
SHEET 5 OF 20	

UWCHLAN TOWNSHIP FIRE TRUCK CIRCULATION PLAN
SCALE: 1" = 50'

UWCHLAN TOWNSHIP FIRE TRUCK DETAIL
NOT TO SCALE

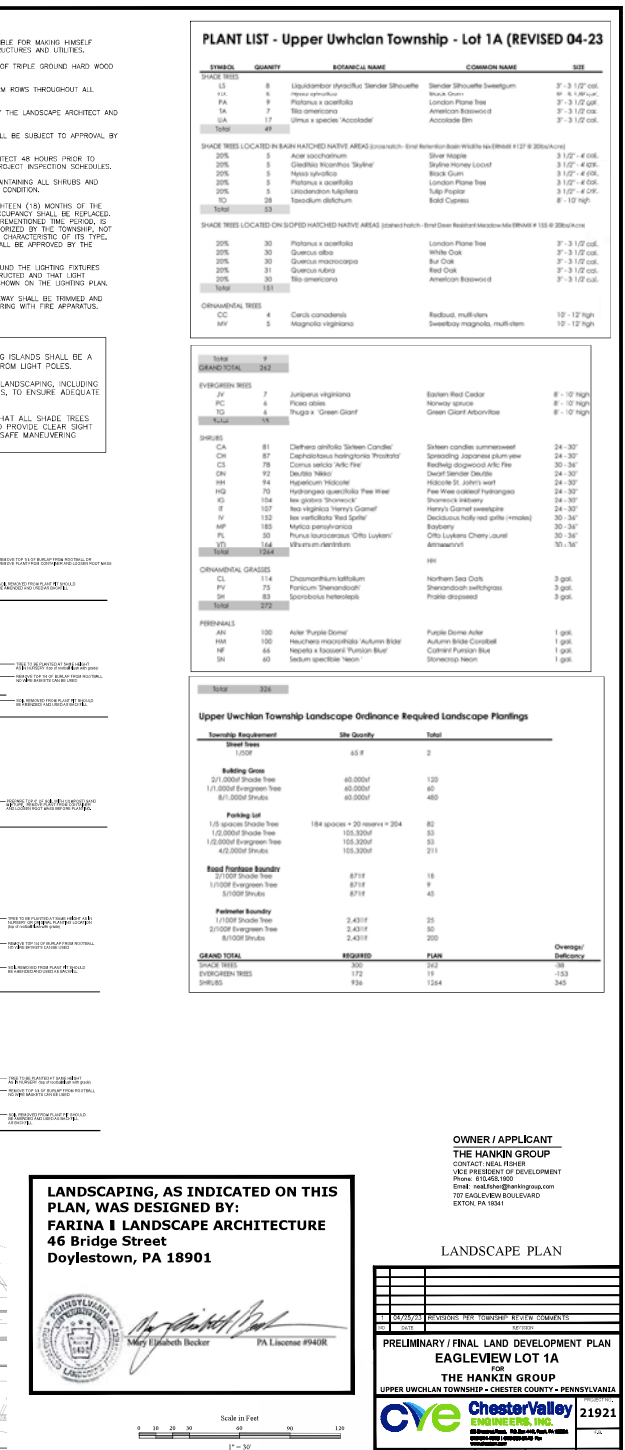
DELIVERY TRUCK WB-50 CIRCULATION PLAN
SCALE: 1" = 50'

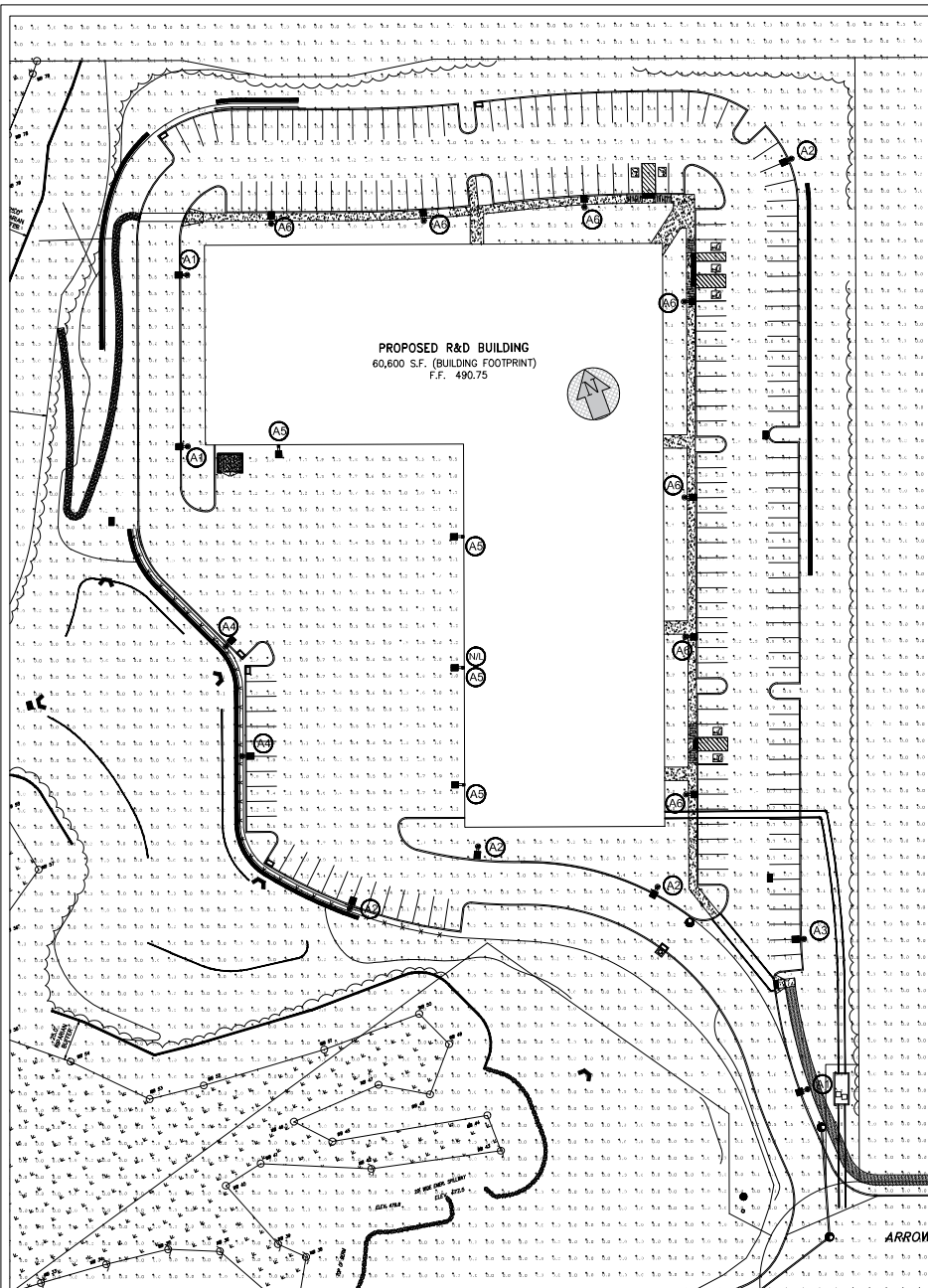
WB-50 TRUCK DETAIL
SCALE 1"=80'

OWNER / APPLICANT
THE HANKIN GROUP
CONTACT: NEAL FISHER
VICE PRESIDENT OF DEVELOPMENT
Phone: 610.459.1900
Email: neal.fisher@hankingroup.com
707 EAGLEVIEW BOULEVARD
EXTON, PA 19341

VEHICLE CIRCULATION PLAN

[illegible]



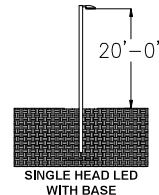


1 SITE LIGHTING
19 SCALE - 1"=30'-0"

PLAN NOTES:

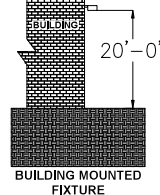
- ARCHITECTURAL LIGHTING TBD, FIXTURES SHALL MEET IES FULL CUTOFF CRITERIA AS WELL AS TOWNSHIP REQUIREMENTS, BUILDING ENTRANCE CALCULATIONS SHALL BE DONE AT THAT TIME.
- SIDEWALK UNIFORMITY RATIO AVG/MIN=3.88FC
- ADDITIONAL LIGHTING TO BE PROVIDED IN THE EVENT THAT RESERVED SPACE ARE CONSTRUCTED.

TYPE A1, A2, A3, A4, A6
20'-0" AFG



SINGLE HEAD LED
WITH BASE

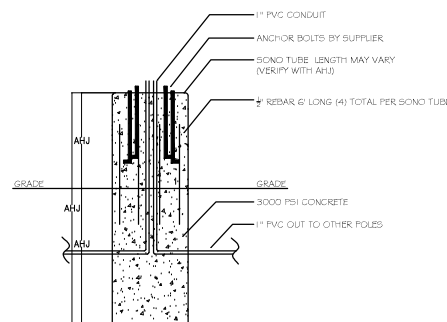
TYPE A5
20'-0" AFG



BUILDING MOUNTED
FIXTURE

POLE BASE SHALL BE ADDED TO ANY POLE THAT IS WITHIN 5 FEET OF CURB AND IN ANY AREA VULNERABLE TO BEING STRUCK BY VEHICLES.

2 FIXTURE TYPES
19 SCALE - N/A



BASE DETAIL NOTE:
30" HIGH BASE SHALL BE ON ANY LIGHT POLE THAT IS WITHIN 5' OF THE PAVED AREA AND IN ANY AREA VULNERABLE TO BEING STRUCK BY VEHICLES

3 BASE DETAIL
19 SCALE - N/A

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
Parking Lot	Illuminance	Fc	1.13	3.3	0.3	3.77

Luminaire Schedule						
Symbol	Tag	Qty	Label	Arrangement	Total Lamp Lumens	LLF
⊙	A1	3	PRV-A15-D-UNV-T2-SA-BZ-7030-HSS	SINGLE	N.A.	0.9
⊙	A2	4	PRV-A15-D-UNV-T3-SA-BZ-7030-HSS	SINGLE	N.A.	0.9
⊙	A3	1	PRV-A15-D-UNV-T4-SA-BZ-7030-HSS	SINGLE	N.A.	0.9
⊙	A4	2	PRV-A25-D-UNV-T4-SA-BZ-7030-HSS	SINGLE	N.A.	0.9
⊙	A5	4	PRV-A25-D-UNV-T4-WM-BZ-7030-HSS	SINGLE	N.A.	0.9
⊙	A6	7	PRV-A40-D-UNV-T4-SA-BZ-7030-HSS	SINGLE	N.A.	0.9

LIGHTING NOTES:

- N/L = NIGHT LIGHT FIXTURE CONTROLLED VIA PHOTOCELL DUSK TO DAWN
ALL HEADS ON DESIGNATED POLES WILL BE NIGHT LIGHT CONTROLLED.
- ALL OTHER LIGHTING TO BE EXTINGUISHED AT 11:00 PM.
- ALL SITE LIGHTING COMES ON AT DUSK VIA PHOTOCELL.
3.1. PHOTOCELL ON = TIMECLOCK OFF.
- THE TOWNSHIP RESERVES THE RIGHT TO CONDUCT A POST INSTALLATION NIGHTTIME INSPECTIONS TO VERIFY COMPLIANCE WITH LIGHTING ORDINANCE REQUIREMENTS, AND IF APPROPRIATE, TO REQUIRE REMEDIAL ACTION AT NO EXPENSE TO THE TOWNSHIP.
- ALTERATIONS TO APPROVE LAND DEVELOPMENT LIGHTING PLANS OR INTENDED SUBSTITUTIONS FOR LAND DEVELOPMENT APPROVED LIGHTING EQUIPMENT SHALL BE SUBMITTED TO THE TOWNSHIP FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- INSTALLER SHALL NOTIFY THE TOWNSHIP ZONING OFFICER TO ARRANGE FOR INSPECTION AND APPROVAL OF ALL EXTERIOR LIGHTING EQUIPMENT, INCLUDING BUILDING MOUNTED FIXTURES, PRIOR TO FIXTURE INSTALLATION.
- ALL PROPOSED BUILDING EXTERIOR AND SITE LIGHTING SHALL BE INSTALLED AND MAINTAINED BY THE PROPERTY OWNER.
- SITE-LIGHTING PLAN SHOWS ALL PROPOSED PARKING LOT LIGHTING.
- ALL EXTERIOR BUILDING LIGHTS SHALL BE FULL CUTOFF.

TYPE A1 (Pole Mount)

IES File: PRV-A15-D-UNV-T2-SA-BZ-7030-488.HES
Catalog No: PRV-A15-D-UNV-T2-SA-BZ-7030-488
Test Number: P178402
Initial Lumens: 5289
Light Loss Factor: 0.9
Fixture Watts: 57
Total Number Of Luminaire: 3
CCT: 3000K

TYPE A2 (Pole Mount)

IES File: PRV-A15-D-UNV-T3-SA-BZ-7030-488.HES
Catalog No: PRV-A15-D-UNV-T3-SA-BZ-7030-488
Test Number: P178429
Initial Lumens: 5289
Light Loss Factor: 0.9
Fixture Watts: 57
Total Number Of Luminaire: 4
CCT: 3000K

TYPE A3 (Pole Mount)

IES File: PRV-A15-D-UNV-T4-SA-BZ-7030-488.HES
Catalog No: PRV-A15-D-UNV-T4-SA-BZ-7030-488
Test Number: P178456
Initial Lumens: 5279
Light Loss Factor: 0.9
Fixture Watts: 57
Total Number Of Luminaire: 1
CCT: 3000K

TYPE A4 (Pole Mount)

IES File: PRV-A25-D-UNV-T4-SA-BZ-7030-488.HES
Catalog No: PRV-A25-D-UNV-T4-SA-BZ-7030-488
Test Number: P178455
Initial Lumens: 8774
Light Loss Factor: 0.9
Fixture Watts: 87
Total Number Of Luminaire: 2
CCT: 3000K

TYPE A5 (Building Mount)

IES File: PRV-A25-D-UNV-T4-WM-BZ-7030-488.HES
Catalog No: PRV-A25-D-UNV-T4-WM-BZ-7030-488
Test Number: P178455
Initial Lumens: 8774
Light Loss Factor: 0.9
Fixture Watts: 87
Total Number Of Luminaire: 4
CCT: 3000K

TYPE A6 (Pole Mount)

IES File: PRV-A40-D-UNV-T4-SA-BZ-7030-488.HES
Catalog No: PRV-A40-D-UNV-T4-SA-BZ-7030-488
Test Number: P178454
Initial Lumens: 15286
Light Loss Factor: 0.9
Fixture Watts: 143
Total Number Of Luminaire: 1
CCT: 3000K

Seal

ULTRA SERVICES, INC.
1000 VALLEY PARKWAY
SUITE 202
MALVERN, PA 19355

EAGLEVIEW LOT 1A
UPPER UWCHLAN TOWNSHIP, PA

EAGLEVIEW LOT 1A

SITE LIGHTING LAYOUT

Revisions:

REV 1: 1/27/2023
REV 2: 4/21/2023
REV 3: 4/25/2023

Drawn RC

Drawn Date: 12/06/2022
Scale: AS SHOWN

19 of 20

Dep: JRS

SITE LIGHTING



UPPER UWCHLAN TOWNSHIP

Planning Commission Meeting

April 13, 2023

6:00 p.m. Workshop,

7:00 p.m. Meeting

Minutes

Draft

LOCATION: Township Building, 140 Pottstown Pike, Chester Springs PA 19425

6:00 p.m. Workshop

Attendees:

Sally Winterton, Chair; Chad Adams, Jim Dewees, Jeff Smith
Gwen Jonik, Planning Commission Secretary

Sally Winterton called the Workshop to order at 6:16 p.m. The group reviewed the current residential district uses. Discussion included: the concept of an agriculture preservation overlay; affordable housing – is that subsidized housing, perhaps in the Planned Industrial/Office (PI/O) district, are there grants for that; in-law quarters – allowed if attached to an existing house; if detached, can that be considered a customary residential accessory use? For family only and detached, there should be additional approvals required. Make sure the references are crossing each residential district.

The Workshop was adjourned at 6:56 p.m.

7:00 p.m. Meeting

Attendees:

Sally Winterton, Chair; Chad Adams, Jim Dewees, Ravi Mayreddy, Jeff Smith
MaryLou Lowrie, P.E., Gilmore & Associates
Gwen Jonik, Planning Commission Secretary

Absent: David Colajezzi, Stephen Fean, Joe Stoyack

Sally Winterton called the Meeting to order at 7:00 PM as a quorum was present. There were 7 citizens in attendance.

301 Park Road / P.J. Reilly Headquarters – Revised Preliminary Land Development Plan

Monica Sweeney, P.E., Wilkinson & Associates, summarized the project, then discussed Gilmore's April 7, 2023 review letter, which included all of the consultants' comments.

The parcel currently contains a ranch house. PennDOT recently expanded the turnpike bridge adjacent to the parcel. The project is to construct a building to consolidate P.J. Reilly's work and office space – part office space, part garage, and will include a storage yard for equipment, public water and public sewer, stormwater management on site, with a retaining wall around the site and slightly into the existing basin. There will be 1 above-ground basin and 3 in-ground basins, with an Operation & Maintenance Agreement for the basin. They'll seek variances for encroaching the rear yard setback, for the front parking lot being within 25' of the ultimate right-of-way and for the storage area in the front yard. They have approximately 40 employees – about half work in the office, the other half go right to the job sites. They will seek waivers from providing sidewalks, as the trail is across the road, regarding the stormwater management setback – they're proposing a larger basin to retain the water and release it slower, and from providing all the required landscaping as there isn't enough room. They propose fewer plantings but plants with larger caliper and taller and include existing plants in the count. Commission members suggested a tree inventory be done, determine

what trees would remain, and to make sure the storage area is well-screened. They discussed the Applicant seeking the variances with the Zoning Hearing Board before the Commission considers any recommendations to the Board.

Jeff Smith moved that the Planning Commission recognizes the Applicant's waivers and variances, that the Commission has no objections, no contest, to the variances and agrees with the waivers, and that the Applicant will comply with all other comments in Gilmore's review letter. The waivers include no sidewalks and to not provide all the required plantings, but screening to the fullest extent on the Lot. Jim Dewees seconded, and the motion carried unanimously.

Ms. Sweeney advised they will seek the variances from the Zoning Hearing Board before returning to the Planning Commission.

100 Greenridge Road Preliminary Land Development Plan

Alyson Zarro, Esq., representing Toll Mid-Atlantic, introduced Toll's Preliminary Land Development Plan for 100 Greenridge Road, proposing 64 single family dwellings. The Zoning Hearing regarding construction in steep and prohibitive slopes began last evening and will continue May 31, 2023. The Preliminary Plan has much more detail than the plans that were submitted for the conditional use hearings and the zoning hearing. There are 8 waivers requested.

Ms. Zarro/Toll have provided a waiver from the MPC plan review clock. Ms. Zarro highlighted the changes to the plan since receiving conditional use approval: the spine road width has been reduced to 28' wide, there are only 3 houses proposed at the entrance near Greenridge Road – the other lot has been moved to the top, there's a village green and tot lot, some trails were removed, the western property line will have a 50' undisturbed buffer – all grading will stop at the property lines, sidewalks are on both sides of the streets, there's a 10' landscaped buffer along the Shea Lane properties, the existing wire fence will remain and be the responsibility of the homeowners association, the emergency access from Lauren Lane is delineated with bollards which will be coordinated with the fire marshal or fire company, the grade of the road will be 10% or 11%, and the extra disposal field is to be kept in reserve.

Gerry Stein, Greenridge Road resident, questioned the waivers, approval process, and difference between waivers and variances. Commission members and Ms. Zarro answered his questions.

Steve Egnaczyk, Stonehedge resident, commented the topographic map he was viewing was outdated and Toll should have to update it for accuracy of existing conditions. Ms. Zarro will check with Toll about the latest survey and the data it was based upon.

Sue Quake, Lauren Lane resident, questioned the number of waivers. Ms. Zarro advised that the number of waivers is dependent on the size and complexity of each development.

Chad Adams moved, seconded by Jim Dewees, to accept the Preliminary Plan for consultants' review. The motion carried unanimously.

Approval of Minutes

Jeff Smith moved, seconded by Jim Dewees, to approve as presented the minutes of the March 9, 2023 Planning Commission meeting. The motion carried unanimously.

Gerry Stein questioned the result of the discussion regarding Airbnbs. He was advised that it was just a discussion, no result.

Meeting Updates

Environmental Advisory Council (EAC). Jeff Smith reported the EAC is investigating a single-use plastic ban but they're concerned what that would mean for local businesses; an E-waste and shredding event is scheduled for May 20; they're looking into adopting a road for cleanup.

Historical Commission (HC). Gerry Stein reported in David Colajezzi's absence that the stucco has been removed from the Fetters farmhouse; the HC is working on an historic resource protection plan and whether it'll be for the villages or township-wide; Sally Winterton advised the Township will again be on the County's Town and Village Walk summer program; and Gerry reported the HC will also participate in The Life & Times of the Struble Trail in May and the Township Block Party in June.

Active Transportation Plan (ATP). Sally Winterton reported in Steve Fean's absence that a public survey will be crafted for residents to complete regarding traffic issues -- trail connections, fitting in bicycle lanes, swapping Route 100 with Graphite Mine Road, etc. There will be a public meeting May 17 to start the process.

Gerry Stein asked if the Commission had reviewed the draft Historic Resource Protection Plan. Gwen Jonik advised that several Commission members had comments and they would be forwarded to the HC.

Sally Winterton announced the next scheduled meeting is May 11, 2023. Gwen Jonik advised she wouldn't be in attendance.

Open Session

Sally Winterton commented that with increased interest in community gardens, is that topic for the homeowners' associations (HOA) to promote and 'install'. It is believed that each HOA would have to determine the level of interest and where it could be located.

Adjournment

Jim Dewees moved, seconded by Chad Adams, to adjourn at 8:57 p.m. All were in favor.

Respectfully submitted,

Gwen Jonik,
Planning Commission Secretary



UPPER UWCHLAN TOWNSHIP
PLANNING COMMISSION MEETING

May 11, 2023
6:00 Workshop
MINUTES
Draft

LOCATION: Township Building, 140 Pottstown Pike, Chester Springs, PA 19425

6:00 PM Workshop

In attendance:

Joe Stoyack, Vice-Chair; Chad Adams, David Colajezzi, Sandy Diffendal

Joe called the Workshop to order at 6:10 PM

At the last session of the Planning Commission, Zoning Districts R1 & R2 were discussed, and affordable housing was mentioned. Anthony Campbell, Upper Uwchlan Township Zoning Officer had discussed in-law quarters and whether they could be attached or detached. Also, can they be rented? But there is no way to register rentals, so the ownership would be questioned. Can they be subdivided? He gets requests for in-law suites with kitchenette. These must be attached, but we cannot enforce the number of people living there.

R-1 has 2-acre limits; there could be a guest house, pool house, an apartment over a garage.
R-2 must keep the limit at 1 acre.

How can we prevent someone from renting a room in a house? We do not want to encourage people to rent rooms, we want to discourage that. If it does happen, can we address it in a way to clean up properties.

Air B & B's

Apparently, people are renting rooms. It should be okay as long as the underlying zoning is kept up with. Chad suggested make it 'Conditional Use' to make it easier. The next issue was to consider wastewater - what would be the capacity for sewer? Would there be an additional sewer fee? There was discussion about setting up a registry. They would have to get a permit and show the setback.

Possibly allow single family homes to be rented. Possibly allow Air B&B's to be short term rental.

How would we enforce the requirements? There would be neighbors 'telling on them' if there were problems. There would only be 2 bulk items for each property as it is now. With more families, there would be more bulk. How do we enforce that? These items need more discussion.

Regarding the Agricultural District west of Marsh Creek, a tax incentive to property owners could be offered for 10 acres or more.

Affordable Housing issue

Chad began the discussion by stating that he did not think it was a zoning issue. There could be multifamily homes, single family homes, rental rates and possibly housing could be maintained at a set price. The Township could apply for some applicable grants, and then the Township could take over development and/or management. Joe mentioned that Oregon, Washington state, and California prohibit single family housing. They allow for duplexes, quads, and six family structures. David remarked that South Dakota is trying to create more affordable housing. Joe suggested that they investigate more studies, and try to create a model, and do more background investigation.

Joe called for a recess at 6:50 p.m.

7:00 PM Meeting

Joe Stoyack Vice-Chair called the regular meeting to order at 7:00 p.m. Present at the meeting were Jeff Smith, Chad Adams, David Colajezzi, Ravi Mayreddy, Stephen Fean, Jim Dewees Tony Scheivert, Township Manager Sandy Diffendal (for Gwen Jonik)

Alyson Zarro and Neal Fisher were in attendance.

Re-development and re-zoning were reviewed but no decisions were made.

260 Sierra Drive Conditional Use Application

Neal Fisher asked for the Planning Commission's vote of confidence to the Board of Supervisors for the Conditional Use Application for the 260 Sierra Drive property, also known as Lot 1B in the Eagleview Corporate Center. The property is zoned PI, Planned Industrial/Office District, and has been improved with a 79,005 s.f. flex building which is currently used for manufacturing, warehousing, a laboratory for scientific research and development, and offices. All of these uses, except manufacturing, are permitted by right in the PI District. Manufacturing is permitted by Conditional Use.

In June 2016, the Hankin Group was granted conditional use approval for manufacturing of silicone hydrogel by DSM Biomedical (DSM) within a maximum 30,000 s.f. of the building. DSM anticipated utilizing 20,500 s.f. In 2023, less than the total square footage approved was utilized.

The applicant is now seeking to use a portion of the existing space DSM occupies in the building for a different manufacturing use. The product is Seprafilm, which is now being manufactured in Massachusetts. That manufacturing operation would move to the Property. The total square footage of manufacturing in the portion of the building used by DSM would be 28,060 s.f., which would include the existing silicone hydrogel and the proposed Seprafilm.

The Applicant is proposing to construct an addition which would be utilized for warehousing. A total of 224 parking spaces are required for the 4 uses. The existing site conditions, parking changes

and a place to keep electrical equipment are on the Conditional Use application prepared by Chester Valley Engineers, Inc. dated April 19, 2023.

After this explanation, Mr. Fisher introduced several DSM employees - John Witkowski, President of DSM Biomedical, Harry Pickar, Process Engineer, David Frantz, Project Manager, Luis Colon, Facilities Manager - who took time to explain what the product is and how it will be used.

Joe Stoyack asked for an Ordinance review for hazardous waste. Mr. Fisher replied that everything complies with all building and safety codes. Joe said that the prior conditional use had specific chemicals.

Jim Dewees mentioned the noise level. Neal said that there will be no excess equipment to generate any more noise. There will be 2 shifts working possibly 10-hour shifts.

The prior conditional use that was granted had an MSPS sheet to make sure we would know about what chemicals are being used and what the fire requirements will be. The plant would have to pass periodic inspections. OSHA would have the right to access, as would the Fire Marshall.

Jeff Smith moved that the Board of Supervisors start the process to approve the Conditional Use application. Dave Colajezzi seconded the motion. All were in favor, the motion carried unanimously.

Approval of Minutes

Joe Stoyack noticed that there was a duplicate sentence regarding the number of citizens in attendance. They will be approved when corrected.

Other Business

Jeff Smith was not able to determine what the EAC's proposed plastic bag ban would mean for local businesses. He is working on a litter pickup for Graphite Mine Road and will work on a plastic ordinance.

There is an Active Transportation Plan public workshop coming up at Pickering Valley Elementary School. Joe suggested that someone from that meeting could give the Planning Commission an overview.

Dave Colajezzi suggested that the Commission take a break from 6:00 Workshops in the summer.

Also discussed were the warehouse additions that will be built in Uwchlan Township. Steve Fean said that was not the Planning Commission's responsibility. There was a suggestion that standards be put into place quickly so that does not happen in Upper Uwchlan Township.

Adjournment

Joe Stoyack moved to adjourn the meeting at 7:46 p.m. Jim Dewees seconded. All in favor.

Respectfully submitted,

Sandy Diffendal