



UPPER UWCHLAN TOWNSHIP
PLANNING COMMISSION
AGENDA
January 12, 2023

6:00 p.m. – Work Session
7:00 p.m. -- Meeting

LOCATION

Upper Uwchlan Township Building, 140 Pottstown Pike, Chester Springs PA 19425

- | | | Packet Page # |
|-------|--|---------------|
| I. | 6:00 PM Work Session
Discuss Upper Uwchlan's and regional commercial and industrial districts uses. | |
| II. | 7:00 PM Meeting Call To Order | |
| III. | Reorganization for 2023
Nominate, elect Chair, Vice-Chair, Secretary | |
| IV. | Eagle Animal Hospital Land Development Plan
Accept plan for consultants' review | 20 |
| V. | Struble Trail Extension Phase 2 ~ Revised Plans
Accept for consultants' review | 64 |
| VI. | 500 Pottstown Pike – Zoning Amendment Petition | 103 |
| VII. | Approval of Minutes: December 8, 2022 Meeting | 113 |
| VIII. | Meeting Updates ~ Reports
A. Environmental Advisory Council (EAC)
B. Historical Commission (HC)
C. Active Transportation Plan (ATP) | |
| IX. | Next Meeting Date: February 9, 2023 7:00 p.m. | |
| X. | Open Session | |
| XI. | Adjournment | |

12/09/2022

Category	C-1 Zoning District
Purpose	A. Preserve the historical development patterns of the villages of Eagle and Byers <u>Station Historic District</u> , and establish standards for new development and coordinated street, <u>parking, and</u> landscape improvements and pedestrian amenities, so as to complement the village setting and provide for safe and convenient access; B. Provide for a variety of uses in a manner which facilitates and promotes pedestrian travel within the village setting.
By-Right	<p><u>(1)</u> (1) Business or professional office, bank or other financial institution, provided that no drive-through, outside walk-up ATM or other outside service shall be permitted by right.</p> <p>(2) Individual retail store, shop or establishment for the sale of drugs, dry goods, clothing, furnishings and other household supplies, variety, electronic goods and supplies, general merchandise, hardware, and garden supplies, provided that no adult-oriented use <u>is provided</u>, and no dispensing of g</p> <p><u>(2)</u> asoline shall be permitted and no drive through, outside walk up, or other outside service shall be permitted by right.</p> <p>(3) Individual retail store, shop or establishment for the sale of groceries and food without table service, including catering establishment, bakery, or confectionery shop, provided that no drive-through, outside walk up or other outside service shall be permitted by right.</p> <p>(4) Personal service establishment, including but not limited to barbershop, beautician, tailor, dressmaker, shoe repair, repair of small appliances or electronic goods, or dry-cleaning service with a closed-loop system.</p> <p>(5) (Reserved)</p> <p>(6) Medical marijuana dispensary.</p> <p><u>(7) Restaurant. Including Outdoor Dining in accordance with Section XXXX.</u></p>
Conditional Use	<p><u>(1)</u> (1) Educational or religious use.</p> <p>(2) Cultural studio or facility.</p> <p>(3) Day-care center.</p> <p>(4) Bank or other financial institution with drive through, walk up ATM or other outside service, provided that such service shall not be permitted within direct view from any dedicated public street. <u>Reserved.</u></p> <p>(5) Individual retail store, shop or establishment otherwise permitted as provided in Subsection A(2) or (3) above, with drive through, walk up or outside counter or curb service, provided that such service shall not be permitted within direct view from any dedicated public street. <u>Reserved.</u></p> <p>(6) Mixed-use dwelling.</p> <p>(7) Bed-and-breakfast inn.</p> <p>(8) Eating and/or drinking establishment with inside and/or outside table service and with or without indoor or outdoor counter service for consumption on or off site but excluding drive-through service.</p> <p>(9) On tracts located adjacent to <u>the Route 100 Bypass Graphite Mine Road</u> and south of Byers Road only, any use permitted by right, conditional use, or special exception in the C-3 Highway Commercial District and not otherwise permitted in the C-1 Village District. For the purposes of this section, the term "adjacent" shall apply to tracts with direct frontage on <u>the Route 100 Bypass Graphite Mine Road</u>, whether or not access to <u>the Bypass Graphite Mine Road</u> is provided, as well as tracts contiguous to such tracts, where contiguous tracts are developed together with the tract(s) having direct frontage, under common authority and in accordance with a unified development plan. Contiguous tracts shall share a common boundary and shall not be separated by any public street. Conditional use approval hereunder shall not confer a right of direct access to <u>the Bypass Graphite Mine Road</u> where such is not otherwise specifically approved.</p> <p>(10) Any two or more principal uses otherwise permitted by right, conditional use, or special exception as provided herein. As a condition of conditional use approval, the Board of Supervisors may require that any application for a combination of two or more principal uses comply with the</p>

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	provisions of § 200-70 of this chapter, as deemed applicable by the Board. (11) Adaptive reuse for historic preservation where indicated as a use subject to approval by the Board of Supervisors as a conditional use in accordance with § 200-72.1.
Accessory Use	(1) Bed and breakfast establishment as set forth in § 200-62B(5) Reserved. (2) Home occupation as set forth in § 200-62B(4) Reserved. (3) Any other customary residential or commercial accessory use <u>only</u> , subject to all applicable provisions of § 200-62.
Special Exception	(1) Municipal or public uses; governmental or public utility building or uses. (2) Conversion of dwellings as set forth in § 200-63 Reserved.
Other	Adaptive reuse for historic preservation where indicated as a use by right in accordance with § 200-72.1.

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Category	C-2 Zoning District (Merge with PI)
Purpose	In the C-2 Limited Commercial District, the use regulations, area and bulk regulations, community facility provisions, and design standards set forth in Article XII for the PI Planned Industrial/Office District shall apply.
By-Right	
Conditional Use	
Accessory Use	
Special Exception	
Other	

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Category	C-3 Zoning District
Purpose	to provide for retail and service uses in an area of the Township accessible to a regional highway system. The C-3 District establishes standards for a unified and organized arrangement of buildings, service and parking areas, to facilitate access management and provide for safe, convenient and attractive commercial activity in the Township.
By-Right	<p>(1) Business or professional office, bank or other financial institution, passenger station for public transportation.</p> <p>(2) Individual retail store or shop for sale of food, groceries, drugs, dry goods, clothing, furnishings and other household supplies, variety, electronic goods and supplies, automotive supplies, general merchandise, hardware and garden supplies, provided that no sale or dispensing of gasoline or other fuels and no adult-oriented use shall be permitted.</p> <p>(3) Eating and drinking establishment, confectionery shop, bakery, or other place serving food or beverages.</p> <p>(4) Personal service establishment, including but not limited to barbershop, beauty salon, shoe repair, tailor, dressmaker, repair of small appliances or electronic goods, or dry-cleaning service.</p> <p>(5) Retail or wholesale establishment for the sale of plumbing and heating equipment and supplies, lumber yard, including the customary storage and work yards incidental thereto.</p> <p>(6) Educational or religious use.</p> <p>(7) Cultural studio or facility.</p> <p>(8) Medical marijuana dispensary.</p> <p>(9) By-Right Uses allowed in the C1 district</p> <p>(10) Passenger station for public transportation.</p>
Conditional Use	<p>(1) (1) Any two or more principal uses otherwise permitted by right, conditional use, or special exception as provided herein. As a condition of conditional use approval, the Board of Supervisors may require that any application for a combination of two or more principal uses comply with the provisions of § 200-70 of this chapter, as deemed applicable by the Board.</p> <p>(2) Day-care center.</p> <p>(3) Hotel or motel.</p> <p>(4) Bed-and-breakfast inn.</p> <p>(5) Bowling lanes, indoor theater, and other place of indoor amusement or recreation.</p> <p>(6) Sale or dispensing of gasoline as a principal or accessory use.</p> <p>(7) Vehicular sales establishment and sale of farming equipment in operable condition, provided that any used motor vehicle and any used trailer over 1,000 pounds shall bear a current state inspection sticker.</p> <p>(8) Sale or bulk storage of coal, petroleum or other fuels, excluding, however, combustible trash or waste.Reserved.</p> <p>(9) Vehicular service establishment; service and minor repairs to motor-driven vehicles and farming equipment, but not including body or fender repair, painting or major overhauling.</p> <p>(10) Car wash.</p> <p>(11) Adaptive reuse for historic preservation where indicated as a use subject to approval by the Board of Supervisors as a conditional use in accordance with Section 200-72.1.</p> <p>(12) Mixed-use dwelling.</p> <p>(13) Laboratory for scientific research and development.</p> <p>(14) Public recreational facilities, not accessory to a residential use, such as swim clubs, tennis courts and similar facilities, excluding however outdoor athletic fields</p>
Accessory Use	Accessory uses. In the C-3 Highway Commercial District, a building may be erected, altered or used, and a lot may be used or occupied for any customary commercial accessory use(s) provided that they are incidental to any permitted principal use

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Special Exception	(1) Municipal or public uses; governmental or public utility building or uses. (2) Conversion of dwellings as set forth in § 200-63 Reserved.
Other	Adaptive reuse for historic preservation where indicated as a use by right in accordance with § 200-72.1.

Category	Limited Industrial District
Purpose	to provide for limited industrial and other related intensive activities in the Township, to encourage the establishment of industrial uses which will offer additional employment opportunities and an increased tax base for the Township ; to establish reasonable standards governing industrial development to ensure its compatibility with the character of the area and adjacent land uses, and to locate industrial uses within close proximity to major roads in order to provide safe and efficient access by industrial-related traffic.
By-Right	<p>A. Assembly of office equipment and electrical appliances and supplies; and similar processes not to include the manufacturing of iron, steel, other metals or alloys, or metal processing.</p> <p>B. Manufacture of light industrial products from already prepared materials (such as wood, metal, cloth, leather, paper, plastic, glass); manufacture of professional, scientific, or electronic instruments; jewelry; watches, small appliances, and similar products.</p> <p>B.1. Medical marijuana grower/processor.</p> <p>C. Research, engineering, or testing laboratories.</p> <p>D. Public utility operating facilities.</p> <p>E. Printing or publishing establishment.</p> <p>F. Office building.</p> <p>G. Wholesale warehouse, and distribution.</p> <p>H. Churches/religious uses.</p> <p><u>I. By-Right Uses allowed in the C1 and C3 districts</u></p>
Conditional Use	<p><u>(1) (4)</u> Surface mining operations.</p> <p>(2) Sanitary landfills.</p> <p>(3) Junkyard.</p> <p>(4) Recycling collection center, excluding processing or transfer station.</p> <p>(5) Motor vehicle body or fender repair, including painting or major overhauling.</p> <p>(6) A helicopter landing pad as an accessory use to any of the uses permitted by right, by conditional use or by special exception, when such accessory use is authorized by conditional use procedure and providing that any such accessory use shall comply with the following: {(a) – (f) Helicopter specific requirements, not included in this summary}</p> <p>(7) Indoor health spas, fitness centers, indoor bowling lanes, indoor tennis courts and indoor skating rinks subject to all applicable requirements of the L-1 District and all other requirements of the Township's existing ordinances.</p> <p>(8) Tower-based wireless communication facilities.</p> <p>(9) Adult-oriented use, where located not less than 500 feet from any similar use and from any residence, church, or public or private school or day-care facility.</p> <p>(10) Municipal or public uses; governmental or public utility building or uses.</p> <p><u>(11) Laboratory for scientific research and development.</u></p> <p><u>(12) Public recreational facilities, not accessory to a residential use, such as swim clubs, tennis courts and similar facilities, excluding however outdoor athletic fields</u></p> <p>the following additional uses shall be permitted when established on a property designated by the Township as a Class I or Class II Historic Resource, where historical building(s) shall be adaptively re-used, and where an economic development license has been issued by the Board of Supervisors for the purpose of local economic</p>

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	development: (1) Bakeries. (2) Retail sales. (3) Restaurants; including tavern, brew pub, confectionary, ice cream stand, diner, sandwich or pizza parlor providing both dining and take-out service. (4) Adaptive reuse for historic preservation where indicated as a use subject to approval by the Board of Supervisors as a conditional use in accordance with Section 200-72.1.
Accessory Use	(1) Customary industrial accessory uses.
Special Exception	Any use similar to the above permitted uses not specifically provided for herein, provided that the use meets the performance requirements of § 200-82 of this chapter <u>Reserved.</u>
Other	Adaptive reuse for historic preservation where indicated as a use by right in accordance with § 200-72.1.

Category	R-1 Zoning District
Purpose	to support the preservation of critical natural resources, such as streams, floodplains, wet soils, variable groundwater yield areas, and conditionally suitable for on-lot sewage disposal systems; to encourage continued agricultural, open space and conservation uses; to provide for continued low density residential development that is compatible with established use patterns; and to encourage and promote phased development throughout the Township by permitting low density residential uses in the R-1 District until other areas of the Township more accessible to adequate services and transportation are fully developed in medium and high density residential uses. The R-1 District establishes maximum density standards which provide for low density residential uses and promote the conservation of surface water and groundwater supplies, soils for on-lot sewage disposal systems, and the control of soil erosion and flooding.
By-Right	A. Single-family detached dwelling and group home. B. Agriculture
Conditional Use	(1) Nursery, excluding retail sales and landscaping business, provided that they are situated no less than 100 feet from an adjoining property line or public right-of-way. (2) Educational or religious use. (3) Recreation uses, provided that no commercial activity or use such as amusement park, driving ranges, pitch and putt or miniature golf course, or similar use customarily carried on as a business, shall be permitted (see § 200-68). (4) Bed-and-breakfast [see § 200-62B(5)]. (5) (Reserved) (6) Adaptive reuse for historic preservation where indicated as a use subject to approval by the Board of Supervisors as a conditional use in accordance with § 200-72.1.
Accessory Use	(1) Customary residential accessory uses. (2) Customary agricultural accessory uses. (3) Private swimming pools
Special Exception	(1) Municipal or public uses; governmental or public utility building or uses. (2) Cemetery. (3) Kennels. (4) Home occupations
Other	Adaptive reuse for historic preservation where indicated as a use by right in accordance with § 200-72.1.

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Category	R-2 Zoning District
Purpose	to provide for low to moderate density residential development in areas of the Township which are not generally characterized by steep slopes or floodplains, but which nevertheless contain soils conditional for on-lot sewage disposal systems and variable groundwater yields; to encourage continued agricultural, open space and conservation uses in the R-2 District while also permitting low to moderate density residential development compatible with established use patterns; and to encourage and promote phased development throughout the Township by permitting low to moderate density residential uses in the R-2 District until other areas of the Township more accessible to adequate services and transportation are fully developed in medium and high density residential uses. The R-2 District establishes maximum density standards which provide the conservation of surface water and groundwater supplies, soils for on-lot sewage disposal systems, and the control of soil erosion and flooding.
By-Right	Any use permitted by right in the R-1 District.
Conditional Use	(1) Educational or religious use. (2) Cemetery. (3) Adaptive reuse for historic preservation where indicated as a use subject to approval by the Board of Supervisors as a conditional use in accordance with § 200-72.1.
Accessory Use	Any accessory use permitted in the R-1 District.
Special Exception	None
Other	Adaptive reuse for historic preservation where indicated as a use by right in accordance with § 200-72.1.

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Category	R-3 Zoning District
Purpose	to encourage medium to high density residential development which is compatible with established use patterns; located in areas of the Township which contain environmental features generally suitable for such development; and accessible to transportation systems and community facilities appropriate for such development. The R-3 District is designed: (1) To provide a transition between areas of low and high density residential; and (2) To supply additional flexibility and opportunity for accommodating multifamily units at a lower density than permitted in other zoning districts of the Township.
By-Right	In addition to those uses permitted by right in the R-1 District, the following uses shall be permitted: (1) Single-family semidetached dwelling (twin). (2) Two-family detached dwelling (duplex).
Conditional Use	(1) Multifamily dwellings. (2) Mobile home park. (3) Nursing or convalescent home (see § 200-66). (4) Cemetery. (5) Municipal or public uses; governmental or public utility building or use. (6) Adaptive reuse for historic preservation where indicated as a use subject to approval by the Board of Supervisors as a conditional use in accordance with § 200-72.1.
Accessory Use	Any accessory use permitted in the R-1 District.
Special Exception	None
Other	Adaptive reuse for historic preservation where indicated as a use by right in accordance with § 200-72.1.

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Category	R-4 Zoning District
Purpose	to provide the opportunity for high density residential development to occur in areas which are compatible with established use patterns; located in areas of the Township which contain environmental features generally suitable for such development; and accessible to transportation systems and community facilities appropriate for such development. The R-4 District is designed to provide the opportunity for accommodating multifamily units at a density consistent with the character of the Township.
By-Right	Any use permitted by right in the R-3 District.
Conditional Use	(1) Multifamily dwellings. (2) Adaptive reuse for historic preservation where indicated as a use subject to approval by the Board of Supervisors as a conditional use in accordance with § 200-72.1.
Accessory Use	Any accessory use permitted in the R-1 District.
Special Exception	
Other	Adaptive reuse for historic preservation where indicated as a use by right in accordance with § 200-72.1.

Regional Township Zoning

West Pikeland	No commercial or industrial districts
West Vincent	Planned Commercial / Limited Industrial
West Vincent	Ludwigs Village Center Commercial
West Vincent	Village Center Residential Overlay
West Vincent	Route 100 Overlay
West Vincent	Municipal District
Uwchlan	Planned Commercial
Uwchlan	Planned Commercial 2
Uwchlan	Planned Industrial Commercial
Uwchlan	Planned Commercial Industrial Development
Uwchlan	Planned Industrial
East Nantmeal	Agricultural Preservation District
East Nantmeal	Agricultural Residential District
East Nantmeal	Commercial District
East Nantmeal	Industrial / Agricultural - 1
East Nantmeal	Industrial / Agricultural -2
East Nantmeal	Educational / Institutional

District	Allowed By Right
Commercial	Retail establishment for sale of dry goods, drugs, food, jewelry, variety and general merchandise, hardware, household furnishings and supplies, instruments, electronic appliances, including repair service.
Commercial	Restaurant, tearoom, cafe, confectionery or other place serving food or beverages, provided that no curb service shall be permitted.
Commercial	Personal service shop, including barber, beauty salon, shoe repair, tailor, dressmaking, pickup station for laundry and dry cleaning.
Commercial	Passenger station for public transportation, bank, savings and loan association or other financial institution, business or professional office, offices or office building for administrative, executive and professional activity, and similar activities involving the performance or rendering of professional services, such as mortician, the sale of real estate and business office
Commercial	Automatic self-service laundry and dry-cleaning establishment with certificates of approval by the public health agency having jurisdiction, with regard to waste disposal, and by the Fire Marshall, with regard to compliance with all safety regulations.
Commercial	Churches.
Commercial	Public uses, structures or buildings owned or operated by the Township, a Municipal Authority organized by the Township or an Authority of which the Township is a member.
Commercial	Dispensary, provided that such use shall not be permitted closer than 1,000 linear feet from a school or day-care center, and subject to all applicable requirements of the Medical Marijuana Act.
Commercial - Industrial	Manufacturing, wholesaling, processing, warehousing and distributing, provided that no bulk storage of liquid or gaseous fuels shall be permitted except for consumption on the premises.
Commercial - Industrial	Laboratory for scientific research and development.
Commercial - Industrial	Passenger station for public transportation; electric substations; telephone central office.
Commercial - Industrial	Theater (movie or performing) within a permanent building; library, civic or cultural center.
Commercial	Indoor retail uses for the sale of retail products or services such as restaurants.
Commercial	Small office uses, defined as office buildings or complexes that, in aggregate, provide no more than 10,000 square feet of gross leasable floor area.
Commercial	Bank or financial institutions.
Commercial	Township municipal use
Commercial	Public recreational facilities, not accessory to a residential use, such as golf or country clubs, swim clubs, tennis courts and similar facilities, excluding however athletic fields

Commercial - Industrial	Retail establishment for sale of dry goods, drugs, food, jewelry, variety and general merchandise, hardware, household furnishings and supplies, instruments, electronic appliances, including repair service, job printing.
Commercial - Industrial	Restaurant, tearoom, cafe, confectionery or other place serving food or beverages, provided that no curb service shall be permitted.
Commercial - Industrial	Automobile court or motel, bowling lanes or other similar place of indoor recreation.
Commercial - Industrial	Personal service shop, including barber, beauty salon, shoe repair, tailor, dressmaking, pickup station for laundry and dry cleaning.
Commercial - Industrial	Frozen food lockers, wholesaling, warehousing, distributing, provided that all parking, loading and unloading shall be in the rear of the building and screened from a side street if on a corner lot.
Commercial - Industrial	Offices or office building for administrative, executive and professional activity, and similar activities involving the performance or rendering of professional service, such as a bank, financial institution, mortician, the sale of real estate and business office
Commercial - Industrial	Wholesale establishment for the sale and distribution of dry goods, drugs, foods, variety and general merchandise, hardware, household furnishing, electrical appliances and supplies, job printing.
Commercial - Industrial	Wholesale establishment for the sale of plumbing and heating equipment and supplies, lumberyard, including the customary storage and work yards incidental thereto when screened by a fence, wall or planting screen.
Commercial - Industrial	Automatic self-service laundry and dry-cleaning establishment with certificates of approval by the public health agency having jurisdiction, with regard to waste disposal, and by the Fire Marshal, with regard to compliance with all safety regulations.
Commercial - Industrial	Public uses, structures, or buildings owned or operated by the Township, a Municipal Authority organized by the Township or an Authority of which the Township is a member.
Commercial - Industrial	Manufacturing, assembling and/or servicing electronic equipment.
Commercial - Industrial	Passenger station for public transportation; electric substation; telephone central office.
Commercial - Industrial	Hotel and/or conference center.
Commercial - Industrial	Professional and other business offices.
Commercial - Industrial	Restaurant, cafeteria or recreational facilities designed for the comfort and convenience of employees, provided such facilities are located inside the confines of the building and are not offered for use by the general public.
Commercial - Industrial	Churches.
Commercial - Industrial	Public uses, structures, or buildings owned, operated or subsidized by the Township, a Municipal Authority organized by the Township or an Authority of which the Township is a member.

Commercial - Industrial	Indoor recreational facilities containing amenities such as a swimming pool, spa, indoor track, nautilus equipment, handball courts and facilities typical of a YMCA facility.
Commercial - Industrial	Laboratory for scientific research and development, excluding animal research for cosmetics purposes.
Commercial - Industrial	Day-care centers.
Commercial - Industrial	Wholesaling, warehousing and distributing, provided that there shall be no exterior evidence of such, and, further, no bulk storage of liquid or gaseous fuel or chemicals shall be permitted except for immediate consumption on the premises.

District	Accessory Use
Commercial	off street parking
Commercial	signs
Commercial	incidental to primary use
Commercial	A single dwelling unit constructed over or behind an indoor retail or office use.
Commercial	Wholesale use when accessory to a retail use on the same lot.
Commercial	Other uses accessory to permitted principal uses.
Commercial	Class I or class II home occupation.
Commercial - Industrial	Off-street parking, provided that, where a parking space abuts a grass median of at least two feet in width, or four feet in width where parking spaces are on each side of the median, the minimum length of the parking space may be 18 feet.
Commercial - Industrial	Signs
Commercial - Industrial	Other accessory uses, structures or building, provided such are clearly incidental to the principal use.
Commercial - Industrial	Private parking areas
Commercial - Industrial	Signs
Commercial - Industrial	Other accessory uses, structures or buildings, provided such are clearly incidental to the principal use.

District	Conditional Use
Commercial	Shopping centers, except gas stations
Commercial	Hotel adjacent to arterial hwy
Commercial	Any other use determined by BoS to be of same general character as permitted use
Commercial	Multiple permitted uses on the same lot
Commercial	Passenger transportation terminals.
Commercial	Offices, defined as office buildings or complexes that, in aggregate, provide more than ten thousand (10,000) square feet but less than twenty five thousand (25,000) square feet of gross leasable floor area.
Commercial	Antenna support structures for personal wireless service and public broadcast
Commercial - Industrial	Shopping centers
Commercial - Industrial	Structures over 2 1/2 stories or 35 feet in height up to 65 feet in height may be permitted
Commercial - Industrial	Public and private wireless communication facilities.
Commercial - Industrial	Facilities for outdoor recreation, not including shooting or archery ranges, motor vehicle racing or amusement parks.
Commercial - Industrial	Any other use as determined by the Board of Supervisors to be the same general character as the permitted uses.
Commercial - Industrial	Off-premises outdoor advertising signs
Commercial - Industrial	Hospitals
Commercial - Industrial	Any legitimate use not specifically provided for in any zoning district and which is not inherently objectionable.
Commercial - Industrial	Convenience centers. Principal uses except that no gasoline service stations, garages (private or public) or drive-in food establishments shall be permitted.
Commercial - Industrial	Theater (movie or performing) within a permanent building; library, civic or cultural center.
Commercial - Industrial	Automatic self-service laundry and dry-cleaning establishment.
Commercial - Industrial	Manufacturing and processing, provided that there shall be no bulk storage of liquid or gaseous fuels or chemicals except for immediate consumption on the premises, and no raw materials or finished products shall be permitted on the exterior of the building.
Commercial - Industrial	Restaurant, tearoom, cafe, confectionery or other place serving food or beverages, provided that no curb service shall be permitted.

Commercial - Industrial	Any nonresidential buildings in excess of three stories but not more than five stories or 65 feet in height, provided that:
Commercial - Industrial	Wagering and gambling facilities, provided that no such use shall be located on any lot or parcel of land unless said lot or parcel of land or any part thereof is separated by either (a) a distance of 1,500 feet (except for a hotel) or (b) the right-of-way of a limited access highway, from any lot or parcel of land which is used for residential purposes (except for a hotel) in the Township or an adjoining Township; or which is included in whole or in part within a residential zoning district of the Township or an adjoining Township.
Commercial - Industrial	Hospitals.
Commercial - Industrial	Off-premises outdoor advertising signs
Commercial - Industrial	Any other use as determined by the Board of Supervisors to be the same general character as the permitted uses.
Commercial - Industrial	Planned life care facility

District	Special Exception
Commercial	Automobile court or motel, indoor theater, bowling lanes or other similar place of indoor recreation.
Commercial	Living quarters for a proprietor, building manager, caretaker or watchman, if employed on the premises, as an accessory use within a principal building.
Commercial	A private-use helistop as an accessory use to a permitted principal use subject to Planning Commission review and recommendation and conformance to the general standards prescribed in XXX.
Commercial	Accessory uses, structures, or buildings not located on the same lot with the permitted principal use
Commercial	Outdoor retail uses for the sale of retail products or services such as nurseries and automobile sales. The sale and display of such uses may occur anywhere on the premises except within the buffer area.
Commercial	Drive-in facilities such as fast food restaurants, and public garages, automobile service stations and mechanical repair shops.
Commercial	Hotels, motels or inns
Commercial	Multiple dwelling units over indoor retail or office use
Commercial	Car wash.
Commercial	Self-storage facilities
Commercial - Industrial	A private-use helistop as an accessory use to a permitted principal use subject to Planning Commission review and recommendation and conformance to the general standards prescribed in § 610.
Commercial - Industrial	Accessory uses not located on the same lot with the permitted principal use.
Commercial - Industrial	Gasoline service station, provided that no station be located closer than a five-hundred-foot radius from the next nearest gasoline service station property line.
Commercial - Industrial	Living quarters for a proprietor, building manager, caretaker or watchman, if employed on the premises, as an accessory use within a principal building.
Commercial - Industrial	Commercial uses or activities which are customarily and directly related to the comfort and convenience of the traveling public, including rest facilities designed and operated exclusively for licensed truckers, when maintained in strict accordance with the regulations of the Pennsylvania Department of Labor and Industry, and any other public agency having jurisdiction.
Commercial - Industrial	A private-use helistop as an accessory use to a permitted principal use subject to Planning Commission review and recommendation and conformance to the general standards.

RECEIVED

DEC 13 2022



UPPER UWCHLAN TWP
ADMINISTRATIVE OFFICES

SUBDIVISION / LAND DEVELOPMENT APPLICATION



Preliminary Submittal



Final Submittal

The undersigned hereby applies for review of the Plan submitted herewith and described below:

1. Name of Subdivision / Development: Eagle Animal Hospital
2. Plan Dated: 12/9/22 County Deed Book/Page No. 7355/455
3. Name of property owner(s): G Coffman Associates, LP

Address: 211 Byers Rd Chester Springs

State/Zip: PA 19425 Phone No.: x 610-485-8789

Email: x jgmaturise@comcast.net

4. Name of Applicant (If other than owner):

SAME AS ABOVE

Address: _____

State/Zip: _____ Phone No.: _____

Email: _____

5. Applicant's interest (If other than owner): OWNER

6. Engineer, Architect, Surveyor, or Landscape Architect responsible for Plan.

Linn Architects c/o Adam Powell, PE

Address: 1140 N. Providence Rd Media

State/Zip: PA 19063 Phone No.: 610-566-7044

Email: apowell@yahoo.com

7. Total acreage: 1.40 ACRES Number of Lots: 1

8. Acreage of adjoining land in same ownership: (If any) 0

9. Describe Type of Development Planned: Building addition to existing veterinary clinic

10. This Application shall be accompanied by: the Application Fee as listed below, an aerial image of the property, and the quantity of plans/supporting information as detailed in the Township Code §162-8.B.(1)(b) and/or §162-8.C.(1)(d).

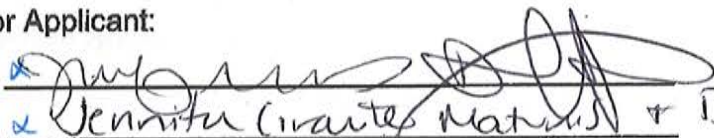
[One-half of the required plan submissions may be of a reduced size, i.e. 11 x 17]

11. List all subdivision and zoning standards or requirements which have not been met and for which a waiver or change is requested.

Waiver: Subd 162-8.B - Preliminary Plan Requirement.
Applicant is requesting a waiver to allow the project to
be reviewed as preliminary/final.

12. The Applicant or his/her agent shall enter into a Subdivision / Land Development Review Escrow Agreement (attached) and place into escrow with the Township at the time of application an amount estimated by the Township to cover all costs of engineering and professional planning reviews (not including County application fee), legal services and other professional services used by the Township in connection with the application.

Signature of Property Owner or Applicant:

By:  Jennifer Cravette Matulis + David Matulis
Date: 12/12/2012

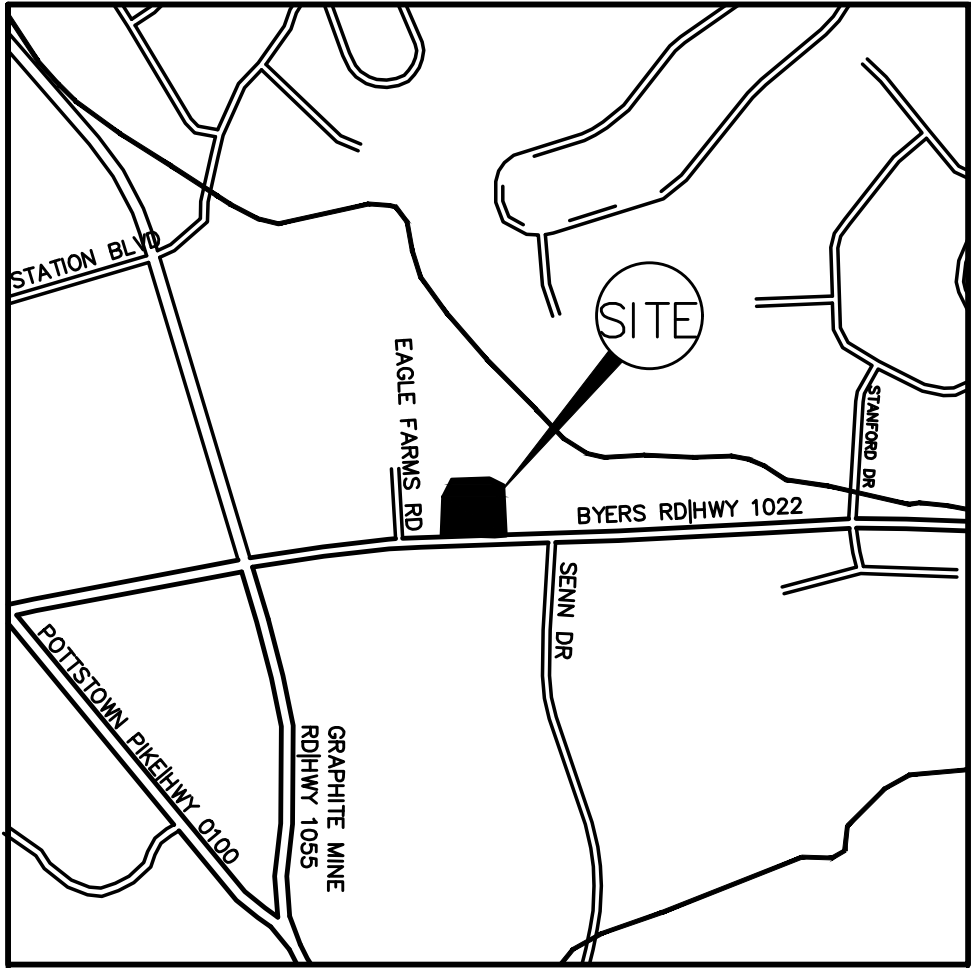
*Development subject to ACT 209 Impact Fee.

*Park & Recreation Fee per residence is levied. Contact Township Offices to determine amount.

SUBDIVISION / LAND DEVELOPMENT APPLICATION FEE

1-2 Lots	<u>\$250</u>
3-5 Lots	\$500
Plus \$25 for each Lot over 3	
Over 5 Lots	\$1000
Plus \$50 for each Lot over 5	

Form revised January 2015



LOCATION MAP
1" = 1,000'

NOTES

- THIS PLAN IS BASED ON A PLAN BY HOWELLKLINE SURVEYING, ENTITLED TOPOGRAPHIC AND PHYSICAL IMPROVEMENTS SURVEY, DATED MAY 19, 2022.
- ELEVATIONS REFER TO CONTOURS FROM FIELD SURVEY BASED ON GPS SYSTEM, NORTH AMERICAN DATUM OF 1988.
- BOUNDARY FROM A PLAN BY HOWELLKLINE SURVEYING LLC, ENTITLED TOPOGRAPHIC AND PHYSICAL IMPROVEMENTS SURVEY, DATED MAY 19, 2022.
- PROPERTY IS IDENTIFIED IN THE HISTORIC ORDINANCE AS HRP NO. 057, KEY NO. 065814, CLASS 1.
- ADJOINER INFORMATION TAKEN FROM CURRENT TAX RECORDS.
- UTILITY INFORMATION FROM OBSERVED SURFACE EVIDENCE. ALL UTILITY LOCATIONS AND DEPTHS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE 'X' OF THE FLOOD INSURANCE RATE MAP, MAP No. 42029C00950, COMMUNITY PANEL No. 95 OF 380, WHICH BEARS AN EFFECTIVE DATE OF SEPTEMBER 29, 2017.
- SOIL DELINEATION LINES TAKEN FROM USDA NATIONAL COOPERATIVE SOIL SURVEY THROUGH THE NATURAL RESOURCES CONSERVATION SERVICE CUSTOM SOIL RESOURCE REPORT FOR THIS PROJECT DATED JANUARY 14TH, 2022.
- SITE IS CURRENTLY SERVICED BY PRIVATE SEWER AND PUBLIC WATER.
- ALL LANDSCAPING SHOWN ON THE PLANS SHALL BE MAINTAINED AND KEPT CLEAN OF ALL DEBRIS, RUBBISH, WEEDS, AND TALL GRASS.
- A BLANKET EASEMENT IS GRANTED TO UPPER UWCHLAN TOWNSHIP TO ALLOW FOR THE INSPECTION OF THE STORMWATER FACILITY. IN THE EVENT THE HOMEOWNER/PROPERTY OWNER FAILS TO PROPERLY MAINTAIN THOSE FACILITIES, AFTER NOTICE TO THE OWNER OF ITS INTENT TO DO SO (WHICH NOTICE SHALL NOT BE REQUIRED IN ANY EMERGENCY), THE TOWNSHIP MAY (BUT IS NOT OBLIGATED TO) ENTER ONTO THE PROPERTY TO INSPECT AND PERFORM ANY SUCH MAINTENANCE. IN SUCH EVENT, THE TOWNSHIP MAY CHARGE THE COSTS THEREOF, WHETHER DIRECT OR INDIRECT, INCLUDING LABOR, EQUIPMENT, MATERIALS, SUPPLIES AND ANY FEES, TO THE OWNER, AND MAY PLACE A LIEN ON THE PROPERTY TO RECOVER ANY CHARGED COSTS THAT REMAIN UNREIMBURSED AND ANY COSTS OF COLLECTION, FEE AND INTEREST.
- THERE WAS NO OBSERVED EVIDENCE OF GAS SERVICE ON THE SURVEYED PREMISES.
- ALL BUILDING MATERIALS AND WASTES MUST BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT OF ENVIRONMENTAL PROTECTION'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ. AND 260.1 ET SEQ. NO BUILDING MATERIAL SHALL BE BURIED, DUMPED OR DISCHARGED FROM THE SITE.
- AN AS-BUILT SURVEY OF ALL STORMWATER BMP'S AND AN EXPLANATION OF ANY DISCREPANCIES WITH THE OPERATION AND MAINTENANCE PLAN SHALL BE PROVIDED TO UPPER UWCHLAN TOWNSHIP.
- ALL SANITARY SEWERS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE UPPER UWCHLAN TOWNSHIP MUNICIPAL AUTHORITY SPECIFICATIONS.
- THE AUTHORITY ENGINEER MUST BE NOTIFIED 48 HOURS PRIOR TO THE BEGINNING OF SANITARY SEWER CONSTRUCTION.
- A SEWER LATERAL AS-BUILT PLAN MUST BE SUBMITTED TO THE AUTHORITY ENGINEER.

PRELIMINARY/FINAL
LAND DEVELOPMENT PLAN
EAGLE ANIMAL HOSPITAL

DRAWING INDEX

SHEET NO.	DESCRIPTION
C-1	SITE PLAN
C-2	EXISTING CONDITIONS AND DEMOLITION PLAN
C-3	GRADING AND UTILITY PLAN
C-4	LANDSCAPE PLAN
C-5	EROSION, SEDIMENTATION CONTROL AND CONSERVATION
C-6	CONSTRUCTION DETAILS AND NOTES
C-7	CONSTRUCTION DETAILS
C-8	POST CONSTRUCTION STORMWATER MANAGEMENT
S1	HOWELL KLINE SURVEY

ZONING DATA C-1 VILLAGE ZONING DISTRICT			
REQUIREMENT - SINGLE		EXISTING	PROPOSED
LOT AREA (GROSS)		61,201 S.F.	61,201 S.F.
LOT AREA (NET)	10,000 S.F.	58,423 S.F.	58,423 S.F.
MAX. BLDG. HEIGHT	35 FT.	>35 FT.	>35 FT.
LOT WIDTH	100 FT.	271.7 FT.	271.7 FT.
BUILDING SETBACKS			
FRONT YARD:	20 FT. MIN	15.8 FT.*	15.8 FT.**
SIDE YARD:	10 FT. MIN	18.5 FT.	18.5 FT.
REAR YARD	40 FT. MIN	39.7 FT.*	105.3 FT.
IMPERVIOUS COVERAGE	60%	12,037 S.F. (20.6%)	16,960 S.F. (29.0%)
BUILDING COVERAGE	30%	4,344 S.F. (7.4%)	5,108 S.F. (8.7%)

*EXISTING LEGAL NON-CONFORMITY
**CONTINUATION OF EXISTING LEGAL NON-CONFORMITY

PA ONE CALL INFORMATION

COMPANY: AQUA PENNSYLVANIA INC
ADDRESS: 762 W LANCASTER AVE
BRYN MAWR, PA 19010
CONTACT: THOMAS WADDY
EMAIL: TWADDY@AQUAAMERICA.COM

COMPANY: COMCAST
ADDRESS: 1004 CORNERSTONE BLVD
DOWNTOWN, PA. 19335
CONTACT: TOM RUSSO
EMAIL: tom_russo@comcast.com

COMPANY: PECO AN EXELON COMPANY C/O USIC
ADDRESS: 450 S HENDERSON ROAD SUITE B
KING OF PRUSSIA, PA. 19406
CONTACT: NIKKIA SIMPKINS
EMAIL: NIKKIASIMPKINS@USICLLC.COM

COMPANY: UPPER UWCHLAN TOWNSHIP UPPER
UWCHLAN MUNICIPAL AUTHORITY
ADDRESS: 140 POTTSTOWN PIKE
CHESTER SPRINGS, PA. 19425
CONTACT: MICHAEL HECKMAN
EMAIL: MHECKMAN@UPPERUWCHLAN-PA.GOV

COMPANY: VERIZON BUSINESS FORMERLY MCI
ADDRESS: 7000 WESTON PKWY
CARY, NC. 27513
CONTACT: VICTOR WOOD
EMAIL: victor.s.wood@verizon.com

EXISTING TO PROPOSED PARKING

THE EXISTING FACILITY IS SUPPORTED BY 13 UNSTRIPED PARKING SPACES. THE PROPOSED SITE WILL CONTAIN 22 PARKING SPACES FOR AN INCREASE OF 9 SPACES.

PARKING ANALYSIS

A) EXISTING FACILITY

TOTAL = 13 SPACES PROVIDED

B) PROPOSED USES

USE AND ASSOCIATE PARKING REQUIREMENTS

1) OFFICE USE

5 SPACE PER 1,000 S.F. GROSS FLOOR AREA OF ADDITION
1,673 S.F. GROSS FLOOR AREA IN ADDITION = 8 SPACES

TOTAL = 21 SPACES REQUIRED

TOTAL PARKING PROVIDED = 22 SPACES

CONCLUSION

THE PARKING REQUIREMENTS FROM PRE-DEVELOPMENT TO POST DEVELOPMENT HAS A NET INCREASE OF 8 PARKING SPACES, AND WE HAVE ADDED 12 SPACES, WHICH SATISFIES THE NEW PARKING REQUIREMENT OF 22 SPACES.

PUBLIC SEWER SERVICE NOTE

APPLICANT IS PROPOSING TO CONNECT TO PUBLIC SEWER LOCATED IN BYERS ROAD AS A PART OF THIS PROJECT.

DEMOLITION NOTE

BUILDINGS, PAVEMENT, CURBING, TREES, LIGHTS, TRANSFORMERS, POLES, CONCRETE PADS, DRAINAGE PIPING AND OTHER OBJECTS INTERFERING WITH THE SITE IMPROVEMENTS SHALL BE REMOVED AND DISPOSED OF PROPERLY. ALSO ALL UTILITIES SERVICES TO AND ON THE SITE SHALL BE PERMANENTLY TERMINATED OR TEMPORARILY SHUT OFF IN ACCORDANCE WITH UTILITY COMPANY OR AUTHORITY REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR ANY AND ALL DEMOLITION, INCLUDING HAZARDOUS MATERIAL IN ACCORDANCE WITH PADEP REQUIREMENTS. ALL MATERIALS AND WASTES SHALL BE DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 260.1 ET. SEQ. AND 267.1 ET. SEQ.

LEGEND

EXISTING	PROPOSED

POSTED SPEED LIMITS		
STREET	POSTED	SPEED LIMIT
BYERS ROAD	35	MPH
SENA DRIVE	35	MPH

STORMWATER MANAGEMENT AGREEMENT

I ACKNOWLEDGE THE STORMWATER MANAGEMENT SYSTEM TO BE A PERMANENT FIXTURE THAT CAN BE ALTERED OR REMOVED ONLY AFTER APPROVAL OF A REVISED PLAN BY THE TOWNSHIP AND A REVISED EROSION CONTROL PLAN MUST BE SUBMITTED TO THE CONSERVATION DISTRICT FOR A DETERMINATION OF ADEQUACY.

SIGNATURE _____

DATE _____

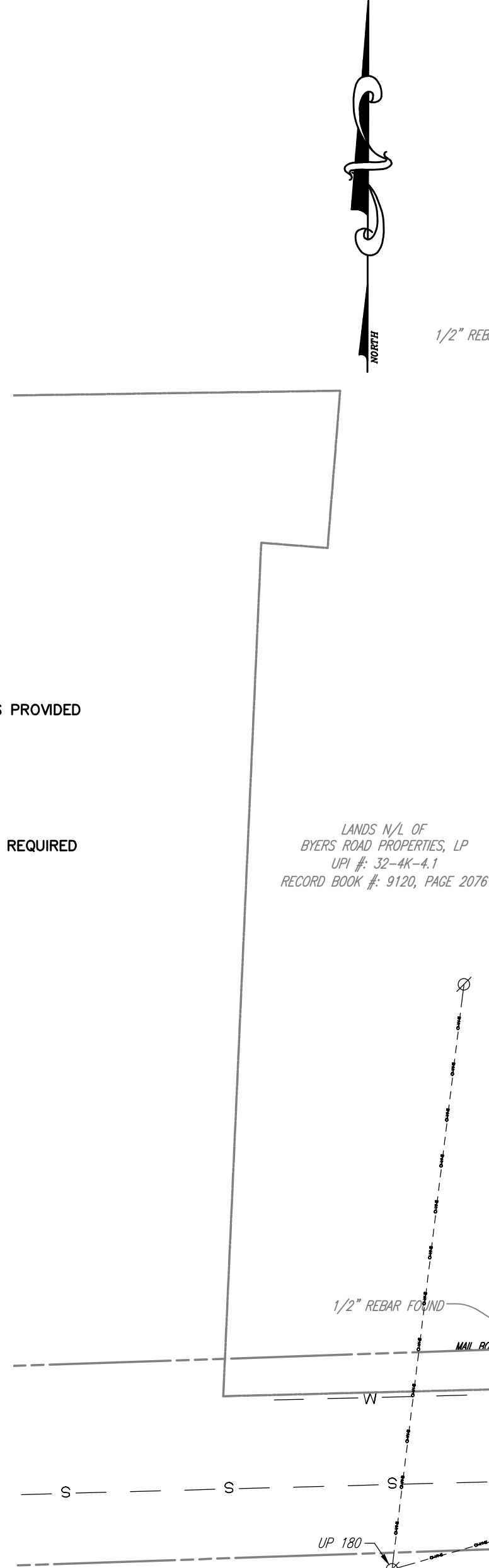
ENGINEER'S CERTIFICATION

I, ADAM B. POWELL, P.E., ON THIS DATE _____ HEREBY CERTIFY THAT THE DRAINAGE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE UPPER UWCHLAN STORMWATER MANAGEMENT ORDINANCE.

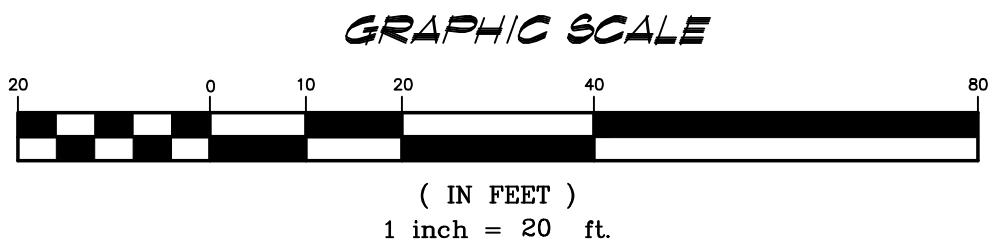
SIGNATURE OF ENGINEER _____

DATE _____

BUILDING COVERAGE TABLE	
EXISTING OFFICE	2,511 S.F.
EXISTING SHED TO REMAIN	211 S.F.
EXISTING SHED TO BE REMOVED	120 S.F.
EXISTING GREENHOUSE TO BE REMOVED	751 S.F.
EXISTING OUTHOUSE TO BE REMOVED	38 S.F.
EXISTING BUILDING COVERAGE:	4,344 S.F.
ADDITION (FRONT)	61 S.F.
ADDITION (REAR)	1,612 S.F.
TOTAL BUILDING COVERAGE:	5,108 S.F.



BYERS ROAD
(33' WIDE, S.R. 1022)



LAND DEVELOPMENT STATEMENT OF INTENT

THE PURPOSE OF THIS PLAN IS TO SHOW THE REQUIREMENTS NECESSARY TO CONSTRUCT AN ADDITION FOR AN ANIMAL HOSPITAL. THE PLAN INCLUDES THE IMPROVEMENTS ASSOCIATED WITH THE PROPOSED ADDITION SUCH AS GRADING, LANDSCAPING, AND STORMWATER MANAGEMENT FACILITIES.

WAIVER REQUESTED

UPPER UWCHLAN SALDO §162-8.B. THE APPLICANT IS REQUESTING A WAIVER FROM THE PRELIMINARY PLAN SUBMISSION REQUIREMENT TO SUBMIT AS A PRELIMINARY/FINAL PLAN DUE TO THE SCALE AND SCOPE OF THE PROJECT.

CERTIFICATION OF OWNER AND
ACKNOWLEDGEMENT OF LAND DEVELOPMENT PLANS

ON THIS, THE _____ DAY OF _____, 20____, BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED _____ WHO BEING DULY SWORN ACCORDING TO THE LAW, DEPOSES AND SAYS THAT HE/SHE IS THE OWNER OF THE PROPERTY SHOWN ON THIS PLAN, AND THAT HE/SHE ACKNOWLEDGES THE SAME TO BE HIS/HER ACT AND PLAN AND DESIRES THE SAME RECORDED AS SUCH ACCORDING TO LAW.

WITNESS MY HAND AND SEAL THE DAY AND DATE ABOVE WRITTEN.

MY COMMISSION EXPIRES: _____

SIGNATURE OF OWNER _____

NOTARY PUBLIC OR OTHER OFFICER _____

SIGNATURE OF OWNER _____

REVIEWED BY THE PLANNING COMMISSION OF UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA THIS _____ DAY OF _____, 20____

CHAIRPERSON _____

MEMBER _____

MEMBER _____

APPROVED BY THE TOWNSHIP SUPERVISORS OF UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA THIS _____ DAY OF _____, 20____

CHAIRPERSON _____

MEMBER _____

MEMBER _____

REVIEWED BY THE CHESTER COUNTY PLANNING COMMISSION THIS _____ DAY OF _____, 20____

SECRETARY _____

REVIEWED BY THE UPPER UWCHLAN TOWNSHIP ENGINEER THIS _____ DAY OF _____, 20____

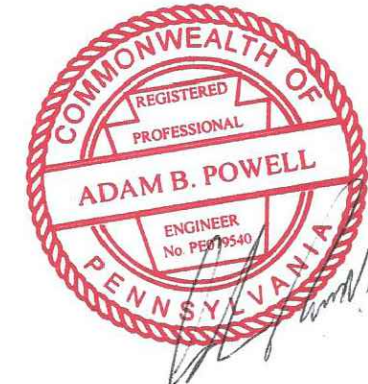
TOWNSHIP ENGINEER _____

CALL BEFORE YOU DIG!

PENNSYLVANIA LAW REQUIRES THREE (3) WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND TEN (10) WORKING DAYS FOR DESIGN STAGE. UTILITY INFORMATION IDENTIFIED THROUGH THE ONE-CALL PROCESS IS VALID FOR 90 DAYS FROM THE DATE OF THE CALL. Pennsylvania One Call System, Inc.

800-242-1776

SERIAL# 20222912121
ONE-CALL DATE: 10/18/2022



ARCHITECTS

140 N. PROVIDENCE ROAD
MEDIA, PENNSYLVANIA 19063
TEL: 610-566-7044
FAX: 610-566-3258

ARCHITECTURE

ENGINEERING
SITE PLANNING
INTERIOR DESIGN

SITE PLAN

FOR

EAGLE ANIMAL HOSPITAL

211 BYERS ROAD

UPPER UWCHLAN TOWNSHIP CHESTER COUNTY, PA

REVISIONS

DESCRIPTION

NO.

DATE

1

2

3

4

DATE: 12/09/2022

SCALE: 1"=20'

DRAWN BY: SCL

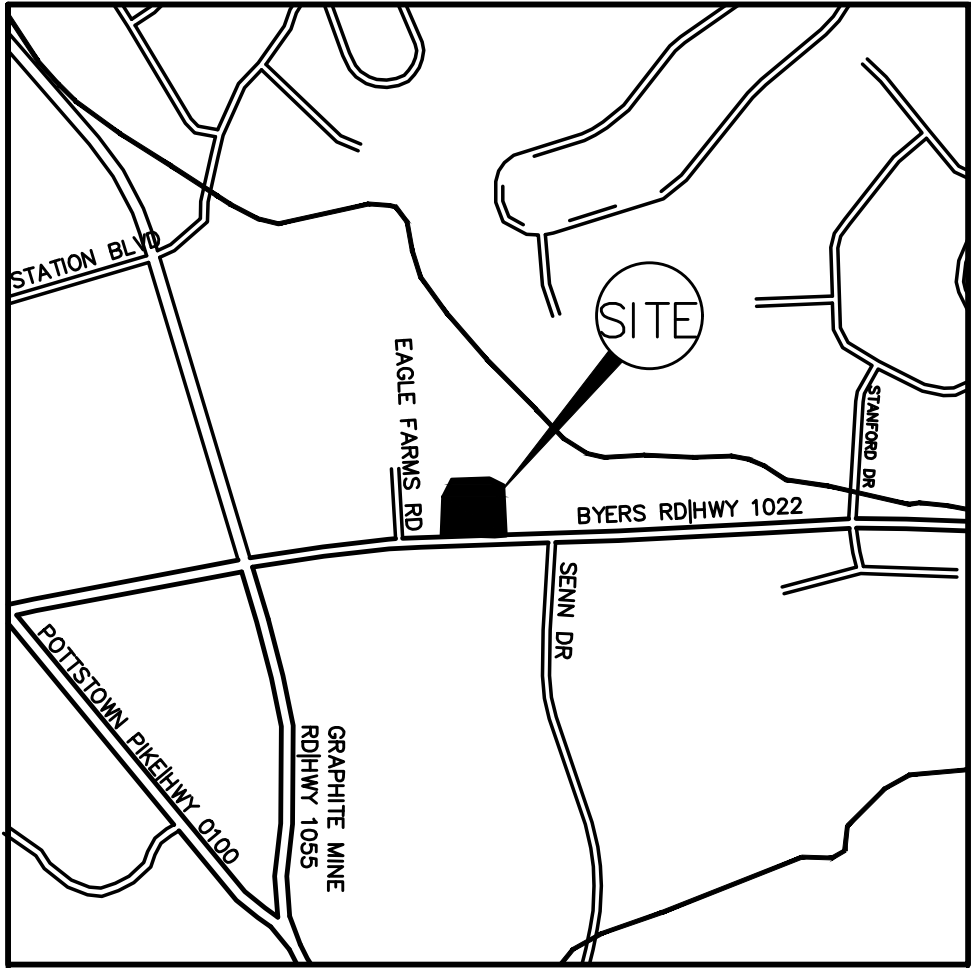
CHECKED BY: SCL

PROJ. NO.: 22222

SHEET NO.

C-1

SHEET 1 OF 9



LOCATION MAP
1" = 1,000'

NOTES

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17. A SEWER LATERAL AS-BUILT PLAN MUST BE SUBMITTED TO THE AUTHORITY ENGINEER.

CHAPTER 93 CLASSIFICATION:

THE SITE DRAINS TO PICKERING CREEK. CHAPTER 93 CLASSIFICATION IS HQ-TSF, MF.

SOILS TABLE

(FROM UNITED STATES DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE)

SOIL TYPE: CoB-Califon loam
DRAINAGE CLASS: Moderately Well Drained
SLOPE RANGE: 3-8
HYDROLOGIC GROUP: D
FRAGIPAN DEPTH: 20-30 inches
BEDROCK DEPTH: 72-99 inches
SEASONAL WATER TABLE: 6-36 inches
FLOODING POTENTIAL: None
PROFILE PERMEABILITY: Moderately low to moderately high

SOIL TYPE: Ha-Hatboro silt loam
DRAINAGE CLASS: Poorly Drained
SLOPE RANGE: 0-3
HYDROLOGIC GROUP: B/D
BEDROCK DEPTH: 60-99 inches
SEASONAL WATER TABLE: 0-6 inches
FLOODING POTENTIAL: Non-Frequent
PROFILE PERMEABILITY: Moderately high to high

SOIL TYPE: UuG-Urban land-Udortheents, schist and gneiss complex
DRAINAGE CLASS: Moderately low to moderately high
SLOPE RANGE: 0-8
HYDROLOGIC GROUP: C
BEDROCK DEPTH: 20-70 inches
SEASONAL WATER TABLE: 60 inches
FLOODING POTENTIAL: None
PROFILE PERMEABILITY: Moderately low to moderately high

EXISTING ZONING DATA		
C-1 VILLAGE ZONING DISTRICT		
REQUIREMENT - SINGLE		EXISTING
LOT AREA (GROSS)		61,201 S.F.
LOT AREA (NET)	10,000 S.F.	58,423 S.F.
MAX. BLDG. HEIGHT	35 FT.	>35 FT.
LOT WIDTH	100 FT.	271.7 FT.
BUILDING SETBACKS		
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SIDE YARD:	10 FT. MIN	18.5 FT. MIN
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IMPERVIOUS COVERAGE	60%	12,037 S.F. (20.6%)
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DEMOLITION NOTE

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PA ONE CALL INFORMATION

COMPANY: AQUA PENNSYLVANIA INC
ADDRESS: 762 W LANCASTER AVE
BRYN MAWR, PA 19010
CONTACT: THOMAS WADDY
EMAIL: TBWADDY@AQUAAMERICA.COM

COMPANY: COMCAST
ADDRESS: 1004 CORNERSTONE BLVD
DOWNTOWN, PA. 19335
CONTACT: TOM RUSSO
EMAIL: tom_russo@comcast.com

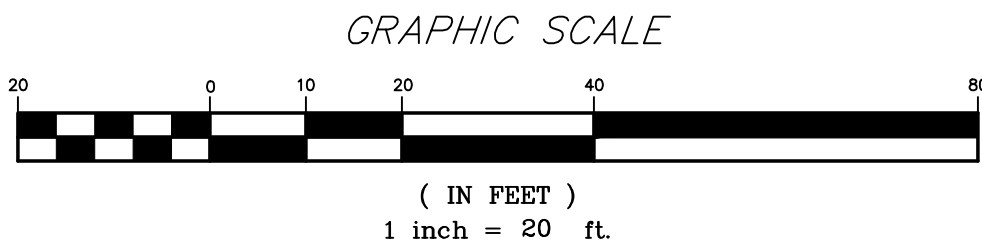
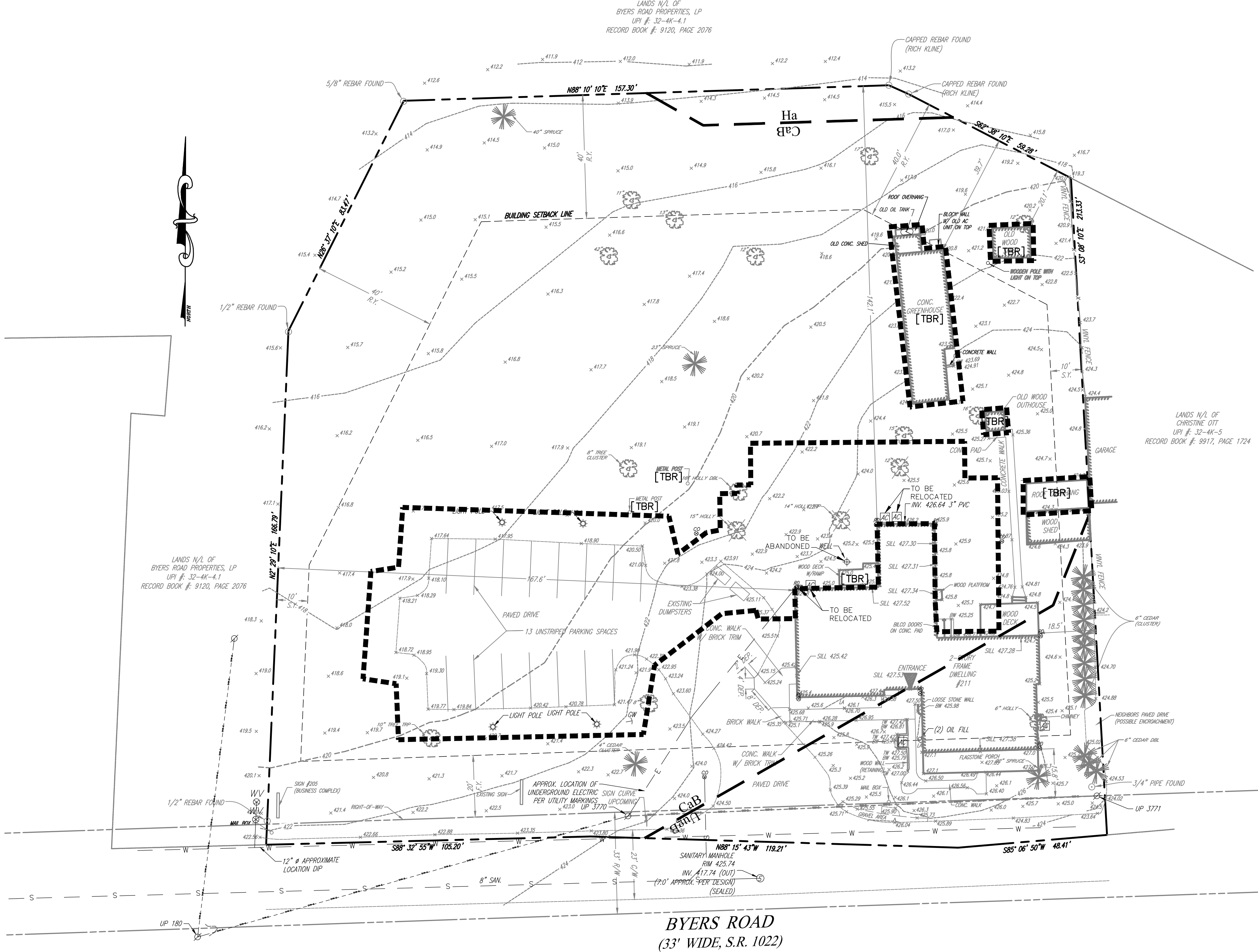
COMPANY: PECO AN EXELON COMPANY C/O
ADDRESS: 450 S HENDERSON ROAD SUITE B
KING OF PRUSSIA, PA. 19406
CONTACT: NIKKIA SIMPKINS
EMAIL: NIKKIASIMPKINS@USILCLC.COM

COMPANY: UPPER UWCHLAN TOWNSHIP UPPEI
UWCHLAN MUNICIPAL AUTHORITY
ADDRESS: 140 POTTSTOWN PIKE
CHESTER SPRINGS, PA. 19425
CONTACT: MICHAEL HECKMAN
EMAIL: MHECKMAN@UPPERUWCHLAN-PA.GOV

COMPANY: VERIZON BUSINESS FORMERLY MCI
ADDRESS: 7000 WESTON PKWY
CARY, NC. 27513
CONTACT: VICTOR WOOD
EMAIL: victor.s.wood@verizon.com

LEGEND

	CONCRETE CURB
	CONC. SIDEWALK
	FENCELINE
	CONTOURS
	RIGHT OF WAY
	PROPERTY LINE
	SIGN
	IRON PIN
	MONUMENT
	SANITARY SEWER W/ M.H.
	WATER LINE
	GAS LINE
	GAS VALVE
	WATER VALVE
	CLEAN-OUT
	FIRE HYDRANT
	OVERHEAD WIRE
	UTILITY POLE
	AREA OF DEMOLITION
	ITEM TO BE REMOVED
	TREE
	REMOVE FOR DEVELOPMENT

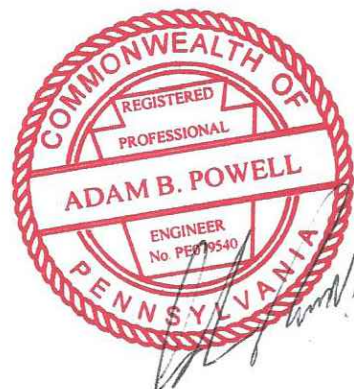


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800-242-1776

SERIAL# 20222912121
ONE-CALL DATE: 10/18/2022



ARCHITECTS

140 N. PROVIDENCE ROAD
MEDIA, PENNSYLVANIA 19063
TEL: 610-566-7044
FAX: 610-566-3258

EXISTING CONDITIONS AND DEMOLITION PLAN

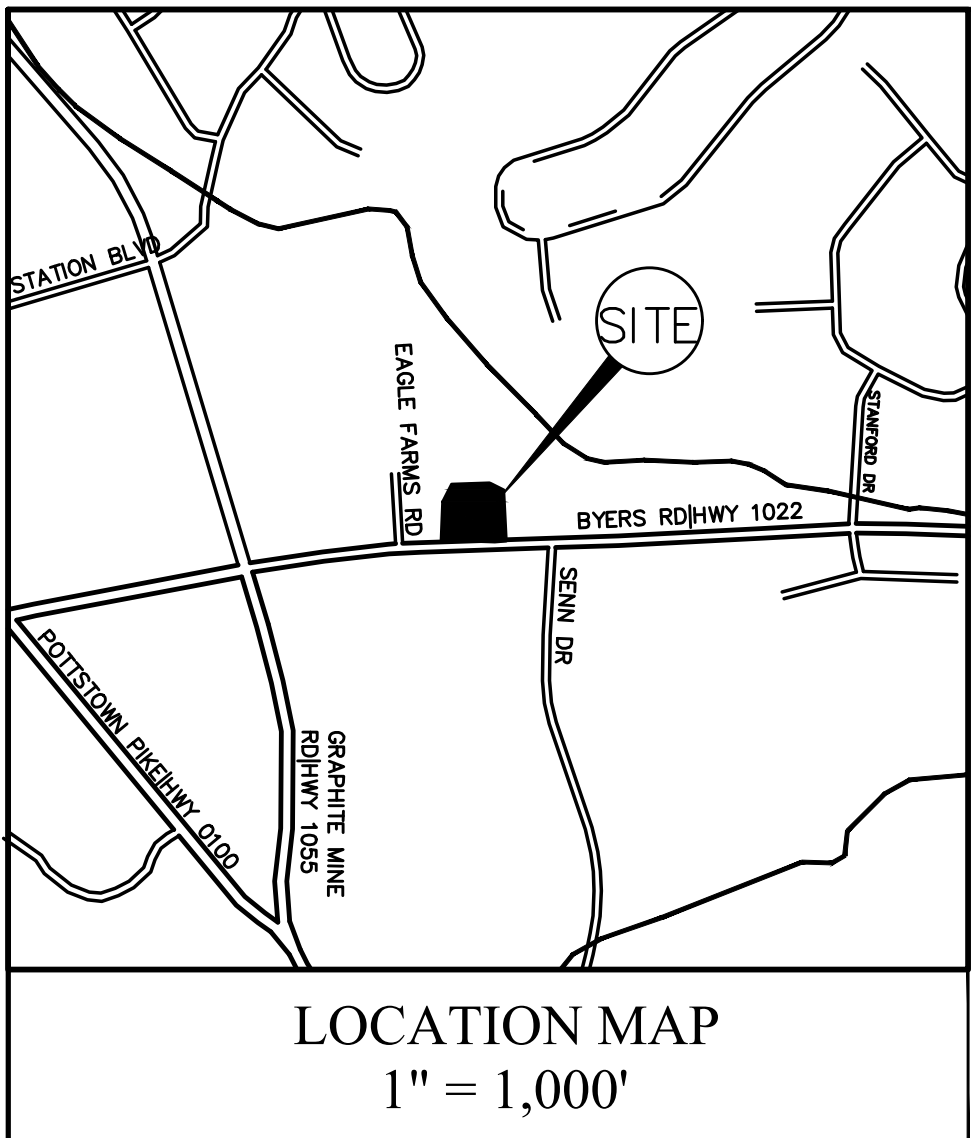
FOR

EAGLE ANIMAL HOSPITAL

211 BYERS ROAD

UPPER UWCHLAN TOWNSHIP CHESTER COUNTY, PA

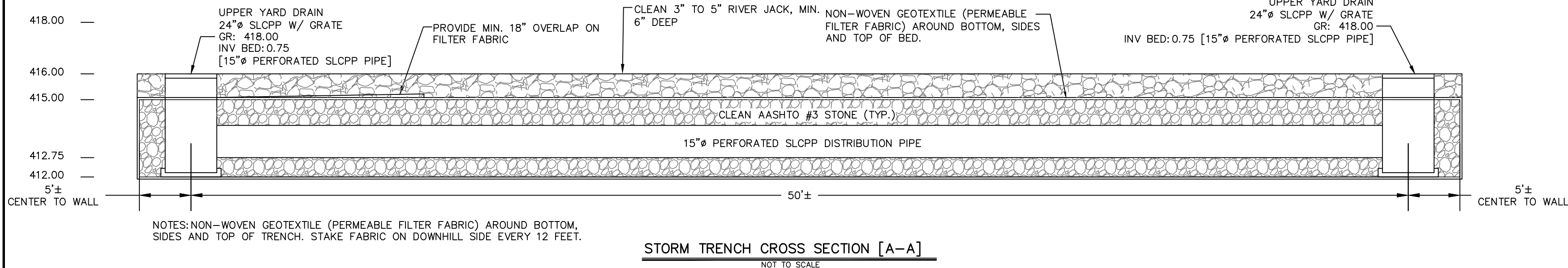
DATE	REVISIONS	DESCRIPTION	DATE	NO.
12.09.2022	1	SCALE: 1"=20'		
	2	DRAWN BY: SCL		
	3	CHECKED BY:		
	4	PROJ. NO.: 22222		
SHEET NO.				9
C-2				2



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 - SITE IS CURRENTLY SERVICED BY PRIVATE SEWER AND PUBLIC WATER.
 - ALL LANDSCAPING SHOWN ON THE PLANS SHALL BE MAINTAINED AND KEPT CLEAN OF ALL DEBRIS, RUBBISH, WEEDS, AND TALL GRASS.
 - A BLANKET EASEMENT IS GRANTED TO UPPER UWCHLAN TOWNSHIP TO ALLOW FOR THE INSPECTION OF THE STORMWATER FACILITY. IN THE EVENT THE HOMEOWNER/PROPERTY OWNER FAILS TO PROPERLY MAINTAIN THOSE FACILITIES, AFTER NOTICE TO THE OWNER OF ITS INTENT TO DO SO (WHICH NOTICE SHALL NOT BE REQUIRED IN ANY EMERGENCY), THE TOWNSHIP MAY (BUT IS NOT OBLIGATED TO) ENTER ONTO THE PROPERTY TO INSPECT AND PERFORM ANY SUCH MAINTENANCE. IN SUCH EVENT, THE TOWNSHIP MAY CHARGE THE COSTS THEREOF, WHETHER DIRECT OR INDIRECT, INCLUDING LABOR, EQUIPMENT, MATERIALS, SUPPLIES AND ANY FEES, TO THE OWNER, AND MAY PLACE A LIEN ON THE PROPERTY TO RECOVER ANY CHARGED COSTS THAT REMAIN UNREIMBURSED AND ANY COSTS OF COLLECTION, FEE AND INTEREST.
 - THERE WAS NO OBSERVED EVIDENCE OF GAS SERVICE ON THE SURVEYED PREMISES.
 - ALL BUILDING MATERIALS AND WASTES MUST BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT OF ENVIRONMENTAL PROTECTION'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ. AND 287.1 ET SEQ. NO BUILDING MATERIAL SHALL BE BURIED, DUMPED OR DISCHARGED FROM THE SITE.
 - AN AS-BUILT SURVEY OF ALL STORMWATER BMP'S AND AN EXPLANATION OF ANY DISCREPANCIES WITH THE OPERATION AND MAINTENANCE PLAN SHALL BE PROVIDED TO UPPER UWCHLAN TOWNSHIP.
 - ALL SANITARY SEWERS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE UPPER UWCHLAN TOWNSHIP MUNICIPAL AUTHORITY SPECIFICATIONS.
 - THE AUTHORITY ENGINEER MUST BE NOTIFIED 48 HOURS PRIOR TO THE BEGINNING OF SANITARY SEWER CONSTRUCTION.
 - A SEWER LATERAL AS-BUILT PLAN MUST BE SUBMITTED TO THE AUTHORITY ENGINEER.

STORMWATER SEQUENCE OF CONSTRUCTION

- STAKE OUT FOOTPRINT OF THE SEEPAGE BED. ENSURE THAT AREA DOWNGRADIENT OF SEEPAGE BED CONSTRUCTION IS PROTECTED BY EROSION CONTROL MEASURE (SILT FENCE) AS INDICATED ON APPROVED EROSION CONTROL PLAN. ALL TRIBUTARY INLETS, YARD DRAINS, ETC. CONNECTED TO SEEPAGE BED TO BE SEALED WATERTIGHT TO PREVENT INTRUSION OF SEDIMENT-LADEN RUNOFF INTO BED.
- EXCAVATE AREA FOR SEEPAGE BED. NOTIFY MUNICIPAL/DESIGN ENGINEER IN ADVANCE TO ALLOW ENGINEER TO INSPECT THE PLACEMENT OF FABRIC AND STONE. INSTALLATION OF FABRIC AND STONE SHALL BE APPROVED BY THE MUNICIPAL ENGINEER SITE INSPECTOR. ALL SEDIMENT SHALL BE REMOVED AND OR FABRIC AND STONE REPLACED IF SEDIMENT ENTERS THE SEEPAGE BED.
- INSTALL GEOTEXTILE FABRIC (CONFORMING TO SPECIFICATIONS ON DESIGN DETAILS) ON BOTTOM AND SIDES OF EXCAVATION AND PLACE INITIAL LAYER OF STONE ON BOTTOM OF BED.
- INSTALL PERFORATED PIPE AND OTHER SEEPAGE BED ELEMENTS AND BACKFILL WITH STONE AS INDICATED ON DESIGN DETAILS. ONCE STONE REACHES TOP ELEVATION, WRAP GEOTEXTILE FABRIC.
- PLACE BACKFILL ON TOP OF WRAPPED BED TO ACHIEVE FINAL GRADE OR PAVEMENT SUBGRADE.
- ORANGE CONSTRUCTION FENCE AND EROSION CONTROL MEASURES SHALL BE REMOVED ONCE TRIBUTARY AREAS ARE STABILIZED. IMMEDIATELY STABILIZE ALL AREAS DISTURBED BY THIS OPERATION.
- ONCE ALL TRIBUTARY AREAS ARE FULLY STABILIZED, REMOVE WATERTIGHT SEALS FROM ALL INLETS AND YARD DRAINS TRIBUTARY TO SEEPAGE BED. INSPECT THESE STRUCTURES AND IMMEDIATELY REMOVE ANY SEDIMENT AND/OR DEBRIS THAT MAY HAVE COLLECTED IN BOTTOM OF SUCH STRUCTURES, TO PREVENT MIGRATION OF SEDIMENT AND/OR DEBRIS INTO SEEPAGE BED PIPING.



STORM TRENCH CROSS SECTION [A-A]

GRADING & UTILITY GENERAL NOTES:

- PRIOR TO STARTING CONSTRUCTION, ALL UTILITY SERVICES IN THE AREA SHALL BE LOCATED AND MEASURES TAKEN TO PROTECT THE EXISTING FACILITIES. ANY DAMAGE TO THE EXISTING FACILITIES SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE UTILITY "ONE-CALL" NUMBER 72 HOURS PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITIES ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES IF NECESSARY.
- LOCATIONS OF EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM FIELD SURVEY AND EXISTING RECORDS. COMPLETENESS AND ACCURACY OF EXISTING UTILITY INFORMATION IS NOT GUARANTEED. PRIOR TO THE START OF ANY CONSTRUCTION, THE CONTRACTOR SHALL ACCURATELY FIELD MEASURE LOCATION AND ELEVATION OF EXISTING UTILITIES AT POINTS OF CONNECTION AND POTENTIAL CONFLICT.
- CONSTRUCTION SHALL BE LOCATED, AND MEASURES TAKEN TO PROTECT THE EXISTING FACILITIES IN ACCORDANCE WITH PENNSYLVANIA ACT 187. ANY DAMAGE TO EXISTING FACILITIES RESULTING FROM THE NEGLIGENCE OF THE CONTRACTOR SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT ALL PERSONS, VEHICLES AND BUILDINGS WITHIN THE CONSTRUCTION AREAS FROM INJURY AND DAMAGE DURING THE COURSE OF WORK.
- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS.
- CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 1.0% MIN. SLOPE ON ASPHALT AND 2.0% MIN. ON GRASS, TO PREVENT PONDING. ANY DISCREPANCIES THAT MAY AFFECT THE PUBLIC SAFETY OR PROJECT COST, MUST BE IDENTIFIED TO THE ENGINEER IN WRITING IMMEDIATELY. PROCEEDING WITH CONSTRUCTION WITH DESIGN DISCREPANCIES IS DONE SO AT THE CONTRACTOR'S OWN RISK.
- ALL SITE IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE LOCAL, COUNTY, STATE AND FEDERAL STATUTES AND REGULATIONS.
- ALL TRENCHING, SHORING AND EXCAVATION OPERATIONS SHALL BE PERFORMED IN COMPLIANCE WITH THE REQUIREMENTS OF THE U.S. DEPARTMENT OF LABOR, OCCUPATION, SAFETY AND HEALTH ADMINISTRATION (OSHA).
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE LOCAL AUTHORITY OR GOVERNING AGENCY OF THE BEGINNING DATE OF CONSTRUCTION AND TO ENSURE THAT NO WORK IS PERFORMED WITHOUT THE REQUIRED PERMITS AND INSPECTIONS BY THE LOCAL AUTHORITY OR GOVERNING AGENCY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED TRAFFIC CONTROL, SHEETING, SHORING AND BARRICADING OF OPEN EXCAVATIONS.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND BE SOLELY RESPONSIBLE FOR AND HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, SAFETY PRECAUTIONS, AND PROGRAMS IN CONNECTION WITH THE WORK AND FOR COORDINATION OF ALL PORTIONS OF THE WORK UNDER CONTRACT.
- IN ANY AREA SUBJECT TO VEHICULAR ACTIVITY DURING CONSTRUCTION, A MINIMUM OF 18 INCHES OF COVER SHALL BE MAINTAINED FOR ALL UNDERGROUND UTILITIES (STORMWATER, SANITARY SEWER, WATER, ELECTRIC, GAS, ETC.).
- ALL FILL SHALL BE COMPACTED TO PROVIDE STABILITY OF MATERIAL AND TO PREVENT UNDESIRABLE SETTLEMENTS. THE FILL SHALL BE SPREAD IN A SERIES OF LAYERS, NOT EXCEEDING EIGHT INCHES IN THICKNESS, AND BE COMPACTED BY A SHEETPILE ROLLER OR OTHER APPROVED METHOD AFTER EACH LAYER IS SPREAD. THE TOWNSHIP ENGINEER MAY REQUIRE COMPACTION TESTS AND REPORTS.
- ALL STORM SEWER SHALL BE INSTALLED IN ACCORDANCE WITH UPPER UWCHLAN TOWNSHIP STANDARDS AND PENNDOT PUBLICATION 408 SPECIFICATIONS.
- ALL OTHER UTILITY LINES, INCLUDING, BUT NOT LIMITED TO, ELECTRIC, GAS, STREETLIGHT SUPPLY, CABLE TELEVISION, AND TELEPHONE, SHALL BE PLACED UNDERGROUND. INSTALLATION OF UTILITIES SHALL BE IN STRICT ACCORDANCE WITH THE ENGINEERING STANDARDS AND SPECIFICATIONS OF THE TOWNSHIP OR PUBLIC UTILITY CONCERNED. UNDERGROUND UTILITIES SHALL BE PUT IN PLACE, CONNECTED, AND APPROVED BEFORE THE STREETS ARE CONSTRUCTED WHERE SUCH UTILITIES LIE UNDER THE PROPOSED CARRYWAY AND BEFORE ANY PERSON IS PERMITTED TO OCCUPY ANY BUILDING SERVED BY SUCH FACILITIES.
- THE STORMWATER MANAGEMENT SYSTEMS HAVE BEEN DESIGNED ASSUMING THE IMPERVIOUS COVER DEPICTED ON THIS PLAN. IF FUTURE IMPERVIOUS IS ADDED, SEPARATE STORMWATER MANAGEMENT MUST BE DESIGNED AT THAT TIME, AS REQUIRED BY THE TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.
- CLEANOUTS SHALL BE PLACED AT ALL GRADE CHANGES OR CHANGES IN ALIGNMENT OF THE RAIN WATER CONDUCTORS AND SANITARY SEWER LATERALS.
- ALL LATERALS SHALL BE INSTALLED WITH A MINIMUM OF 1/4-INCH PER FOOT SLOPE.
- 9 COFFMAN ASSOCIATES, LP SHALL COMPLY WITH THE REGULATIONS FOR THE DISCHARGE OF NON-RESIDENTIAL WASTE INTO THE UPPER UWCHLAN TOWNSHIP MUNICIPAL AUTHORITY'S SEWAGE SYSTEM, RESOLUTION #10-20-04-15, DATED OCTOBER 20, 2004.
- IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERCEDE IN ALL CASES. NOTIFY ENGINEER OF ANY CONFLICT.
- CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OR CONSTRUCTION.
- REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS. WHERE CONFLICTS EXIST WITH THESE SITE PLANS, ENGINEER IS TO BE NOTIFIED PRIOR TO CONSTRUCTION TO RESOLVE SAME. SERVICE SIZES TO BE DETERMINED BY ARCHITECT.
- ALL EXISTING CAPS, LIDS, RIMS, ETC. TO REMAIN SHALL BE RESET FLUSH WITH PROPOSED GRADE.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
- ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN CHANGES.
- SOLID WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.

PA ONE CALL INFORMATION

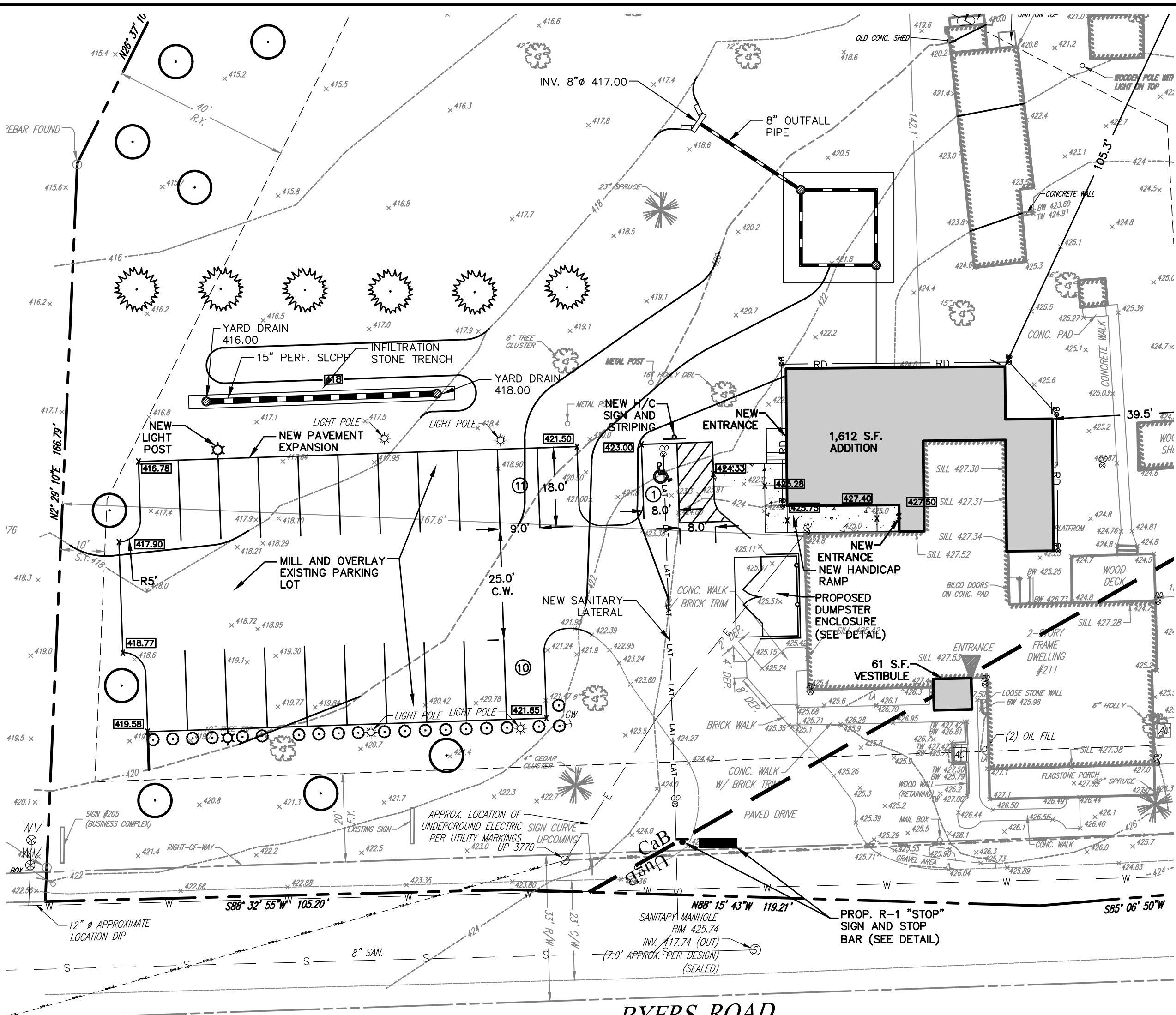
COMPANY: AQUA PENNSYLVANIA INC
ADDRESS: 762 W LANCASTER AVE
BRYN MAWR, PA 19010
CONTACT: THOMAS WADY
EMAIL: TBWADY@AQUAAMERICA.COM

COMPANY: COMCAST
ADDRESS: 1004 CORNERSTONE BLVD
DOWNTOWN, PA 19335
CONTACT: TOM RUSSO
EMAIL: tom_russo@comcast.com

COMPANY: PECO AN EXELON COMPANY C/O USOC
ADDRESS: 450 S HENDERSON ROAD SUITE B
KING OF PRUSSIA, PA 19406
CONTACT: NIKKIA SIMPKINS
EMAIL: NIKKIASIMPKINS@USOCLLC.COM

COMPANY: UPPER UWCHLAN TOWNSHIP UPPER UWCHLAN MUNICIPAL AUTHORITY
ADDRESS: 140 POTTSTOWN PIKE
CHESTER SPRINGS, PA 19425
CONTACT: MICHAEL HECKMAN
EMAIL: MHECKMAN@UPPERUWCHLAN-PA.GOV

COMPANY: VERIZON BUSINESS FORMERLY MCI
ADDRESS: 7000 WESTON PKWY
CARY, NC 27513
CONTACT: VICTOR WOOD
EMAIL: victor.s.wood@verizon.com



DEMOLITION NOTE

BUILDINGS, PAVEMENT, CURBING, TREES, LIGHTS, TRANSFORMERS, POLES, CONCRETE PADS, DRAINAGE PIPING AND OTHER OBJECTS INTERFERING WITH THE SITE IMPROVEMENTS SHALL BE REMOVED AND DISPOSED OF PROPERLY. ALSO ALL UTILITIES SERVICES TO AND ON THE SITE SHALL BE PERMANENTLY TERMINATED OR TEMPORARILY SHUT OFF IN ACCORDANCE WITH UTILITY COMPANY OR AUTHORITY REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR ANY AND ALL DEMOLITION, INCLUDING HAZARDOUS MATERIAL IN ACCORDANCE WITH PADEP REQUIREMENTS. ALL MATERIALS AND WASTES SHALL BE DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 260.1 ET. SEQ. AND 287.1 ET. SEQ.

OWNER

9 COFFMAN ASSOCIATES, LP
211 BYERS RD
TAX MAP: 32-4K-4
DB/PG: 7355/455

SITE INFORMATION

211 BYERS RD
TAX MAP: 32-4K-4
DB/PG: 7355/455

CHAPTER 93 CLASSIFICATION:

THE SITE DRAINS TO PICKERING CREEK. CHAPTER 93 CLASSIFICATION IS HQ-TSF, MF.

CALL BEFORE YOU DIG!

PENNSYLVANIA LAW REQUIRES THREE (3) WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND TEN (10) WORKING DAYS FOR DESIGN STAGE. UTILITY INFORMATION IDENTIFIED THROUGH THE ONE-CALL PROCESS IS VALID FOR 90 DAYS FROM THE DATE OF THE CALL.

800-242-1776

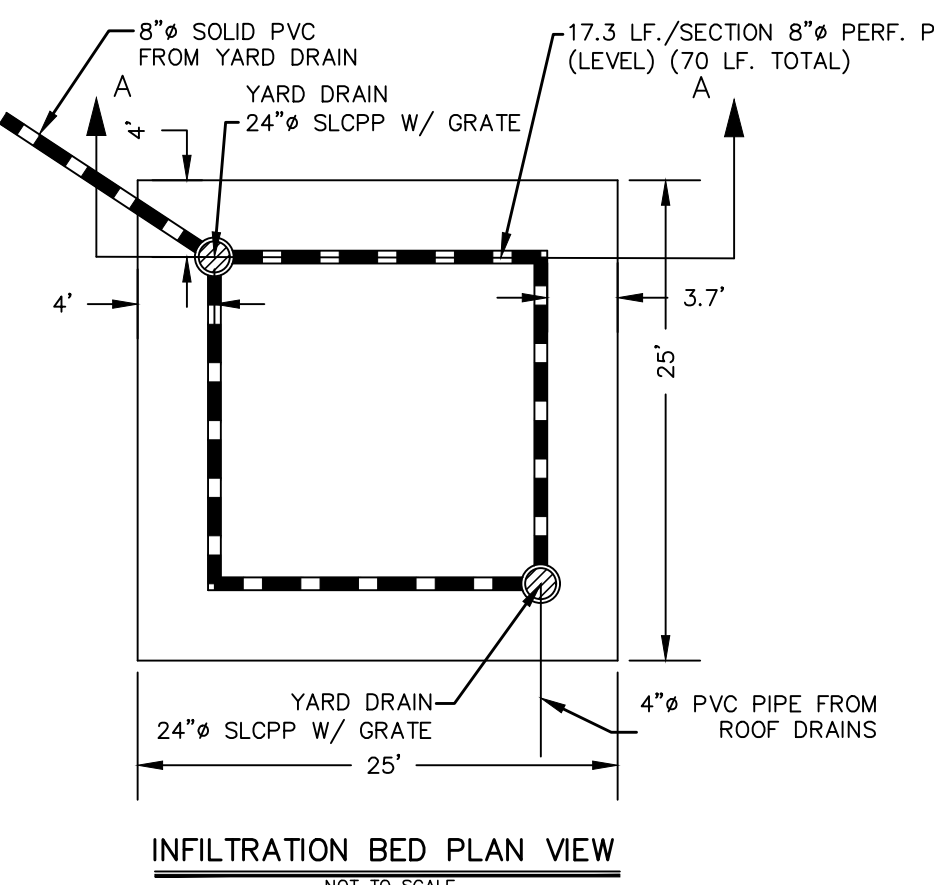
SERIAL# 20222912121
ONE-CALL DATE: 10/18/2022

NON-WOVEN GEOTEXTILE

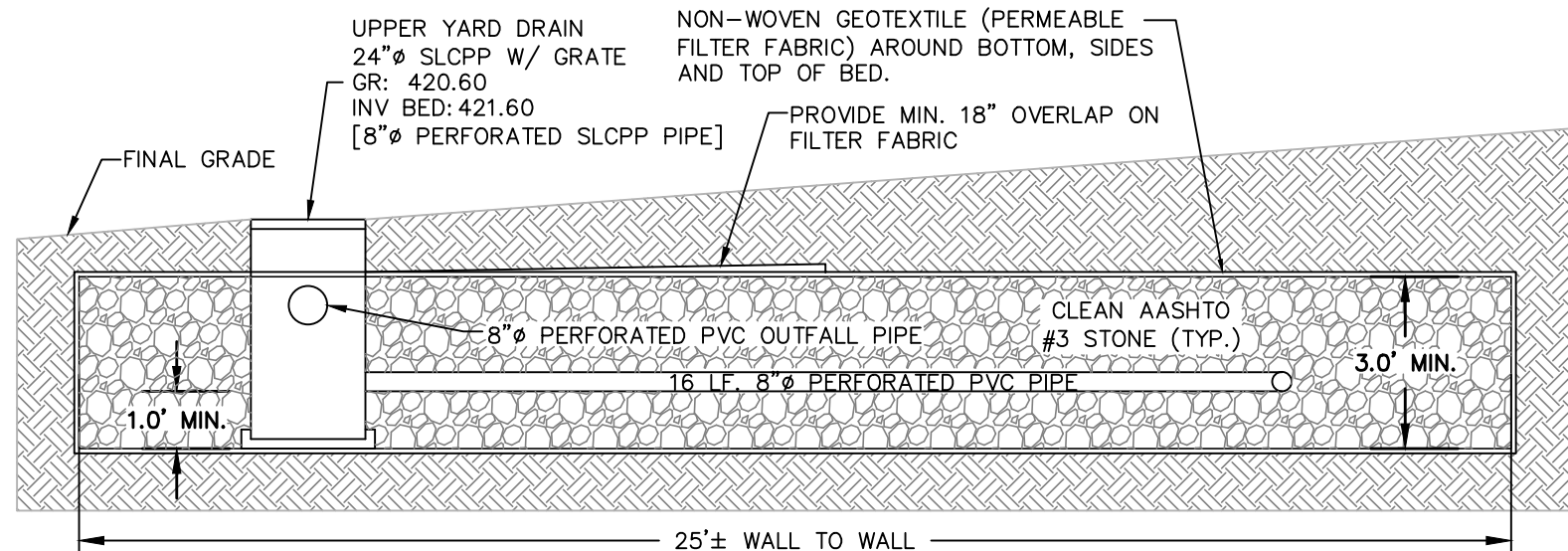
GEOTEXTILE FABRIC TO LINE BOTTOM, SIDES, AND TOP OF INFILTRATION BED SHALL CONSIST OF NEEDED NON-WOVEN POLYPROPYLENE FIBERS AND MEET THE FOLLOWING PROPERTIES:

- GRAB TENSILE STRENGTH (ASTM-D4632) 120 LBS
- MULLEN BURST STRENGTH (ASTM-D3786) 225 PSI
- FLOW RATE (ASTM-D4491) 95 GAL/MIN/FT²
- UV RESISTANCE AFTER 500 HOURS (ASTM-D4355): 70%
- HEAT-SET OR HEAT-CALENDARED FABRICS ARE NOT PERMITTED

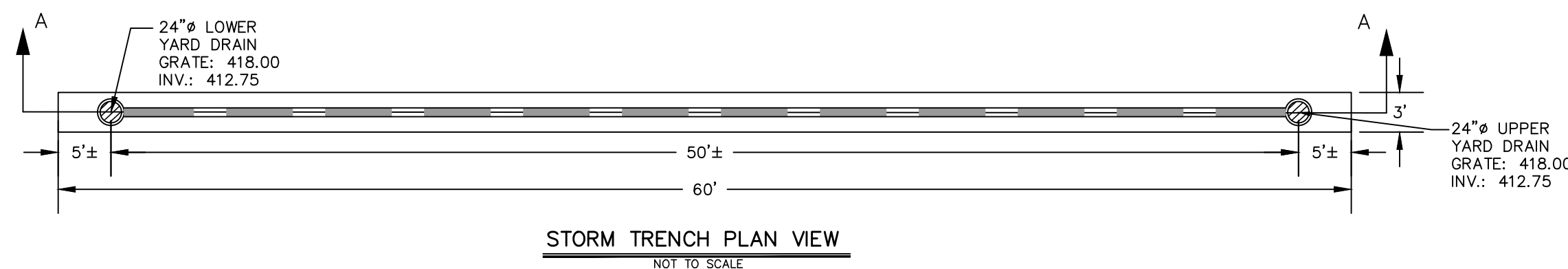
ACCEPTABLE TYPES INCLUDE: MIRAFI 140N, AMOCO 4547, GEOTEX 451



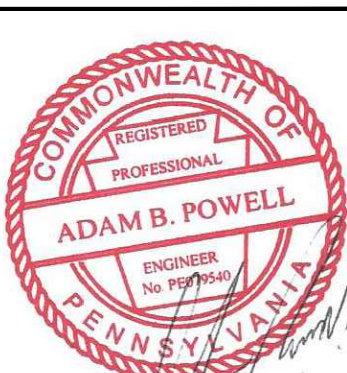
INFILTRATION BED PLAN VIEW



INFILTRATION BED CROSS SECTION [A-A]



STORM TRENCH PLAN VIEW



ARCHITECTS

140 N. PROVIDENCE ROAD
MEDIA, PENNSYLVANIA 19063
TEL: 610-566-7044
FAX: 610-566-3258

ARCHITECTURE

ENGINEERING
SITE PLANNING
INTERIOR DESIGN

FOR GRADING AND UTILITY PLAN

EAGLE ANIMAL HOSPITAL
211 BYERS ROAD
UPPER UWCHLAN TOWNSHIP

REVISIONS

DATE: 12.09.2022
SCALE: 1"=20'
DRAWN BY: SDL
CHECKED BY: SDL
PROJ. NO.: 22222

SHEET NO.

C-3

SHEET 3 OF 9

Plotted: 12-07-22 8:3:04pm By: slinn

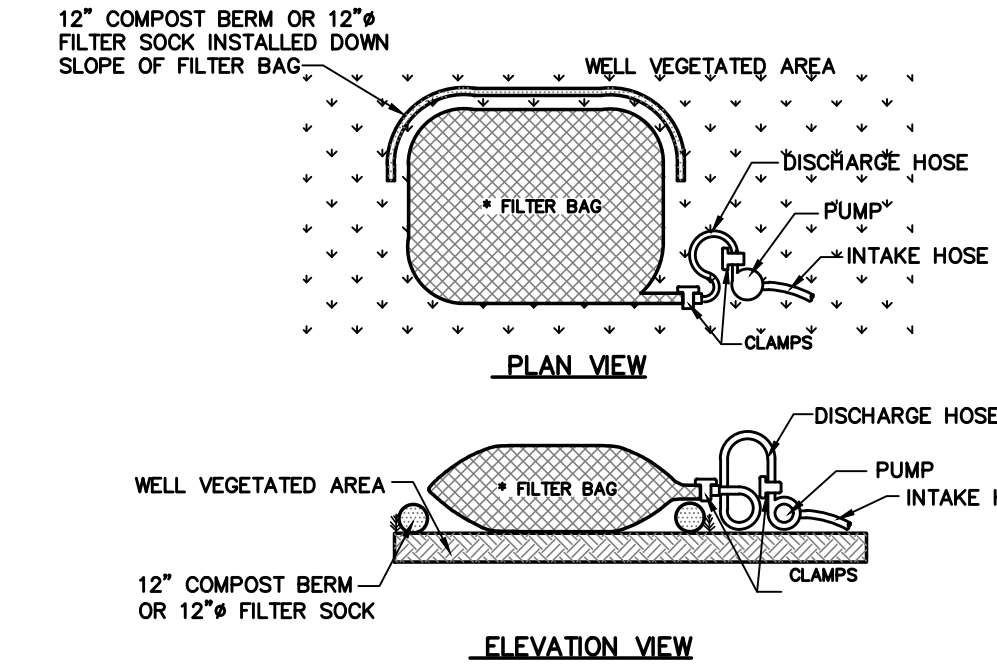
EROSION CONTROL AND MAINTENANCE NOTES

- ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS, SIGNED AND DATED BY THE REVIEWING AGENCY MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE REVIEWING AGENCY SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE REVIEWING AGENCY MAY REQUIRE A REVISION SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
- AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARER, THE PCSM PLAN PREPARER, THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN, TO AN ON-SITE PRECONSTRUCTION MEETING.
- AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE DESIGN ENGINEER.
- AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL.
- CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E&S BMPs SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS E&S PLAN.
- AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN MAP(S) IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS. STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SLOPES SHALL BE 2H:1V OR FLATTER.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE DESIGN ENGINEER.
- ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 2801 ET SEQ., 271.1, AND 287.1 ET. SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL. FORM PP-001 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING.
- THE DEFINITIONS FOR THE FOLLOWING TERMS ARE LISTED AND ARE TAKEN FROM THE DEPARTMENT OF ENVIRONMENTAL PROTECTION PERMIT SUMMARY SHEET ON PAGE 6.

CLEAN FILL: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DRESSED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT THAT HAS BEEN PROCEEDED FOR RE-USE.)

ENVIRONMENTAL DUE DILIGENCE: INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS.
- ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER UNDISTURBED VEGETATED AREAS.
- UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRAVING, RESEEDING, REMULCHING AND RENETTING MUST BE PERFORMED IMMEDIATELY. IF THE E&S BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
- A LOG SHOWING DATES THAT E&S BMPs WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.
- SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEEPED INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.
- ALL SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS.
- AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES - 6 TO 8 INCHES ON COMPACTED SOILS - PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTSLOPES SHALL HAVE A MINIMUM OF 2 INCHES OF TOPSOIL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
- FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
- FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REFINISHED FINISHED GRADE. FINISHES IN COMPACT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDING AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN.
- IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS. DURING NON-GERMINATING MONTHS, MULCH OR PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN 1 YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION

- SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN 1 YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.
- PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS.
 - E&S BMPs SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP.
 - AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPs MUST BE REMOVED OR CONVERTED TO PERMANENT POST CONSTRUCTION STORMWATER MANAGEMENT BMPs. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE BMPs SHALL BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SUCH REMOVAL/CONVERSIONS ARE TO BE DONE ONLY DURING THE GERMINATING SEASON.
 - FAILURE TO CORRECTLY INSTALL E&S BMPs, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&S BMPs MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING IMPOSED BY THE DEPARTMENT AS DEFINED IN SECTION 602 OF THE PENNSYLVANIA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.
 - THE PROJECT'S RECEIVING WATERCOURSE PICKERING CREEK AND THE CHAPTER 93 CLASSIFICATION IS HO-TSF, MF.

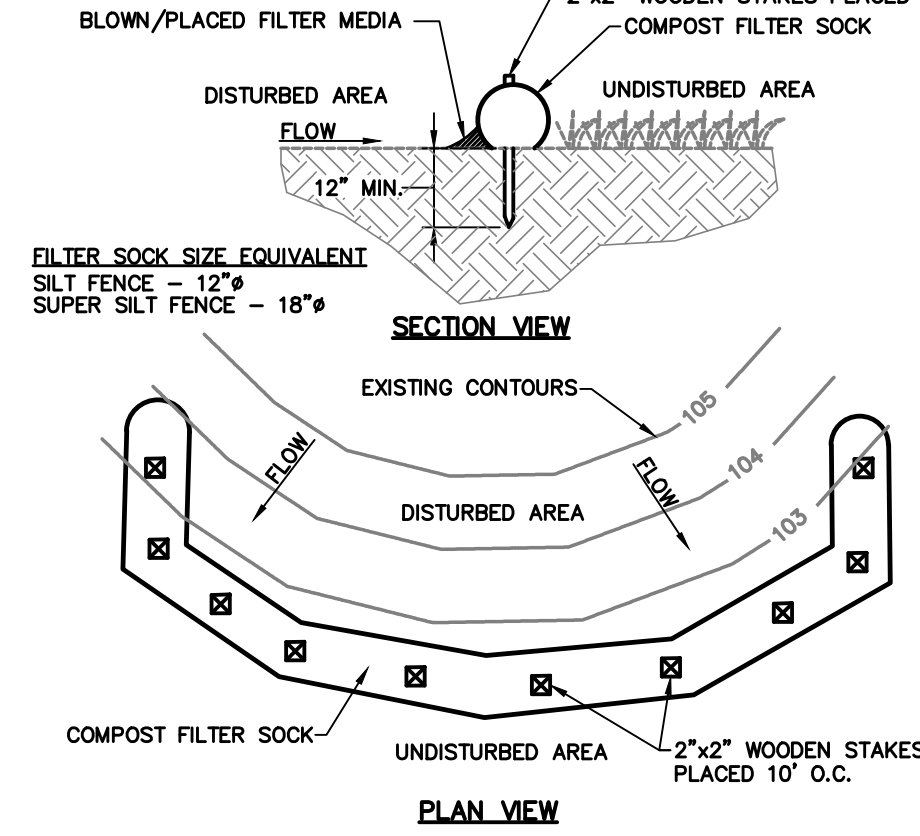


SEDIMENT FILTER BAG FOR PUMPED WATER

NOT TO SCALE

(SDBAG)

- FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS.
- A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES MUST BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED.
- BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE FLOW PATH SHALL BE PROVIDED. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5%.
- MINIMUM 12" COMPOST BERM OR 12" COMPOST FILTER SOCK SHALL BE INSTALLED DOWNSLOPE OF FILTER BAGS.
- THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED.
- THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHOULD BE FLOATING AND SECURELY CLAMPED.
- FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

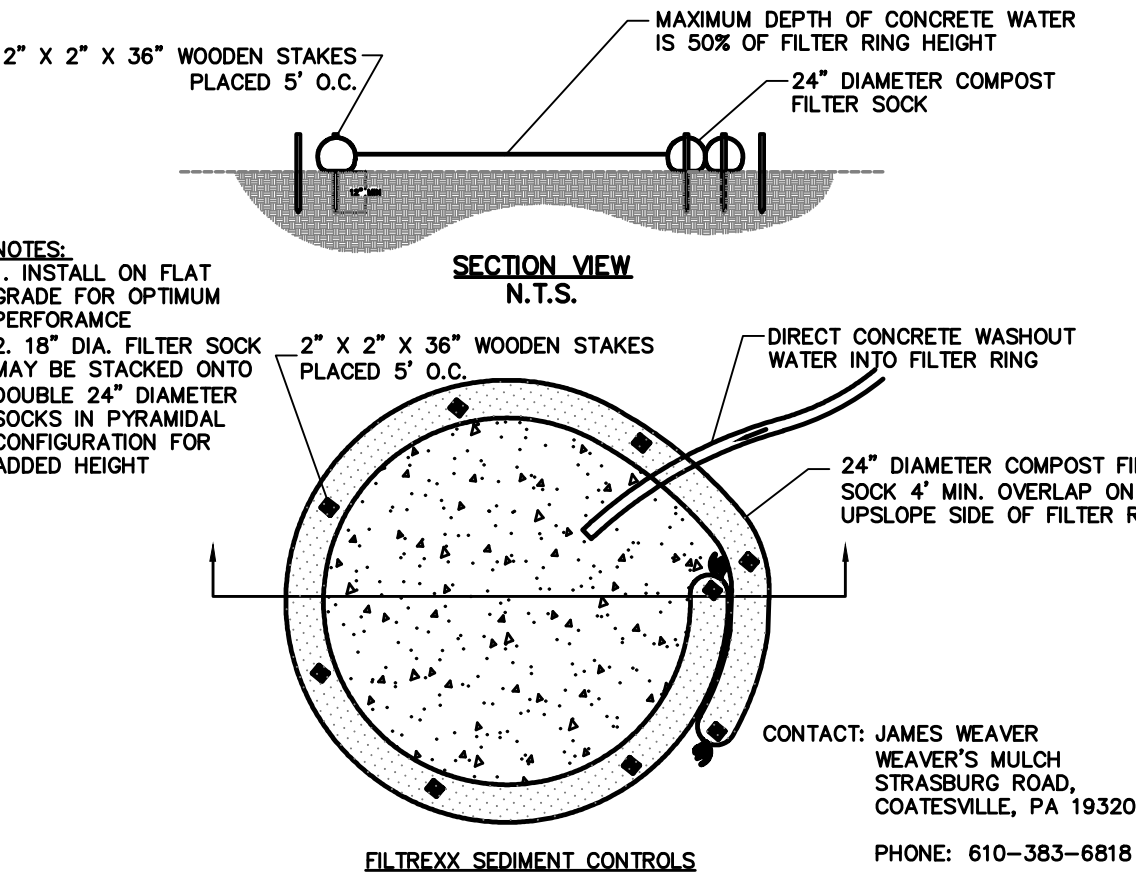


COMPOST FILTER SOCK DETAIL

NOT TO SCALE

NOTES:
PER PA DEP EROSION AND SEDIMENT CONTROL PROGRAM MANUAL
TECH. GUIDANCE No. 363-2134-008

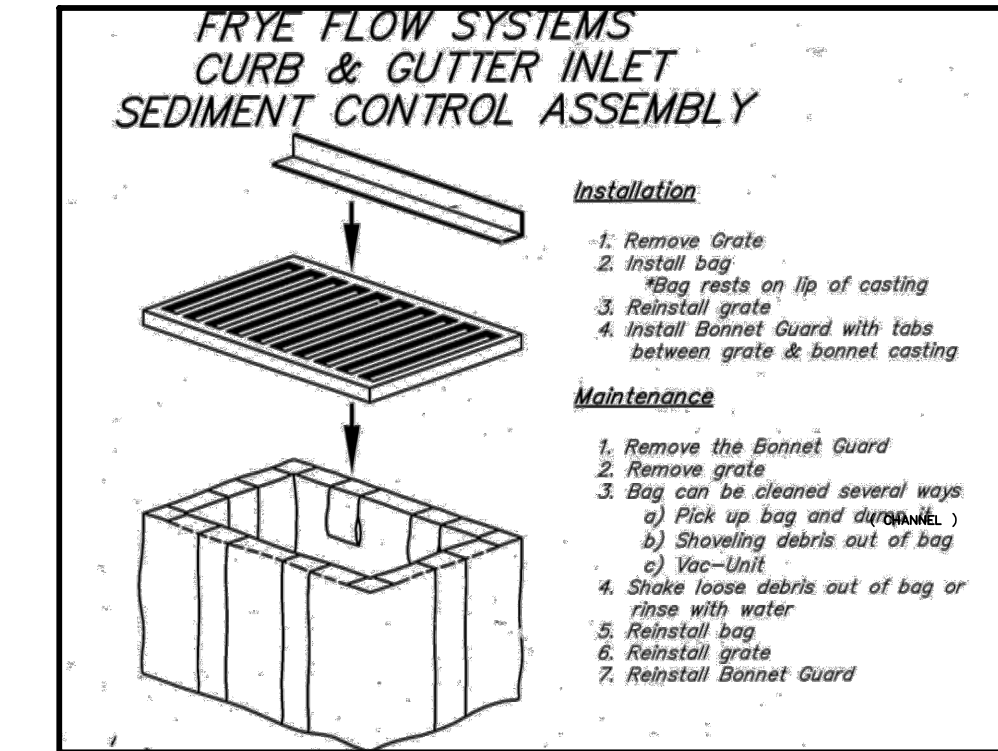
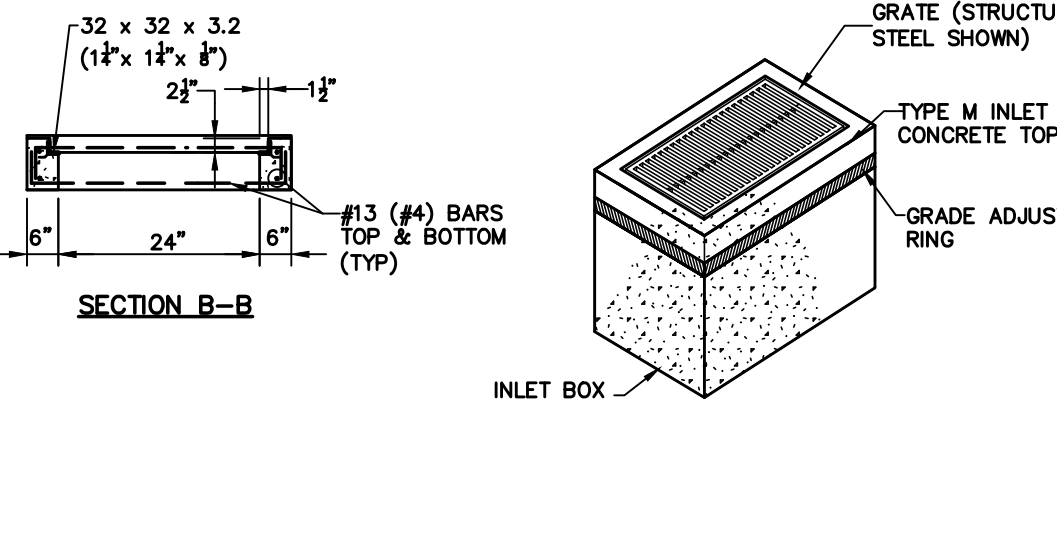
- SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2. COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE SOCK SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN SOCK ALIGNMENT (FIGURE 4.1). MAXIMUM SLOPE LENGTH ABOVE ANY SOCK SHALL NOT EXCEED THAT SHOWN ON FIGURE 4.2. SOIL ON RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS.
- TRAFFIC SHALL NOT BE PERMITTED TO CROSS FILTER SOCKS.
- ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE ABOVEGROUND HEIGHT OF THE SOCK AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.
- SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
- BIODEGRADABLE FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR.
- POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
- UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.



TYPE 'M' INLET TOP

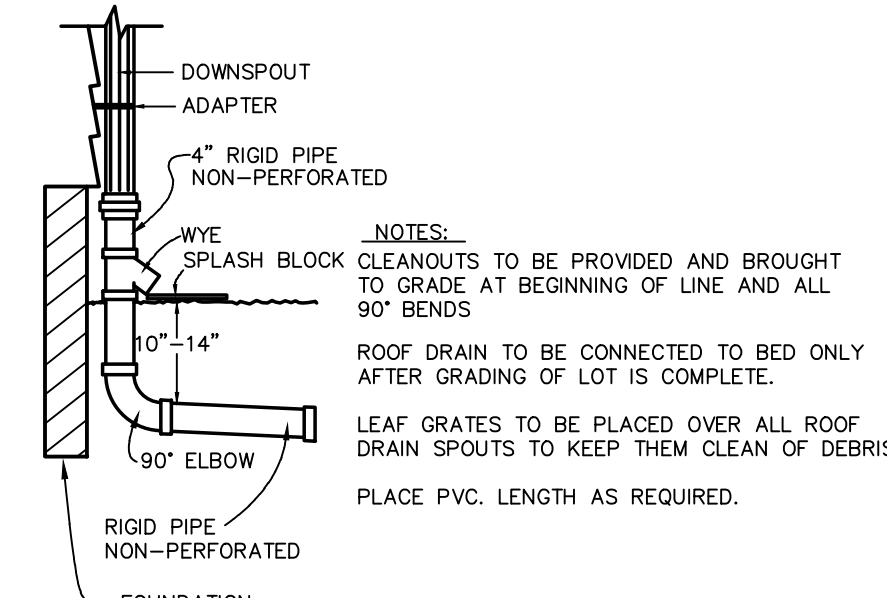
NOT TO SCALE

(MINTOP)



FILTER BAG INLET PROTECTION DETAIL - FRYE FLOW

NOT TO SCALE



DOWNSPOUT CONNECTION DETAIL

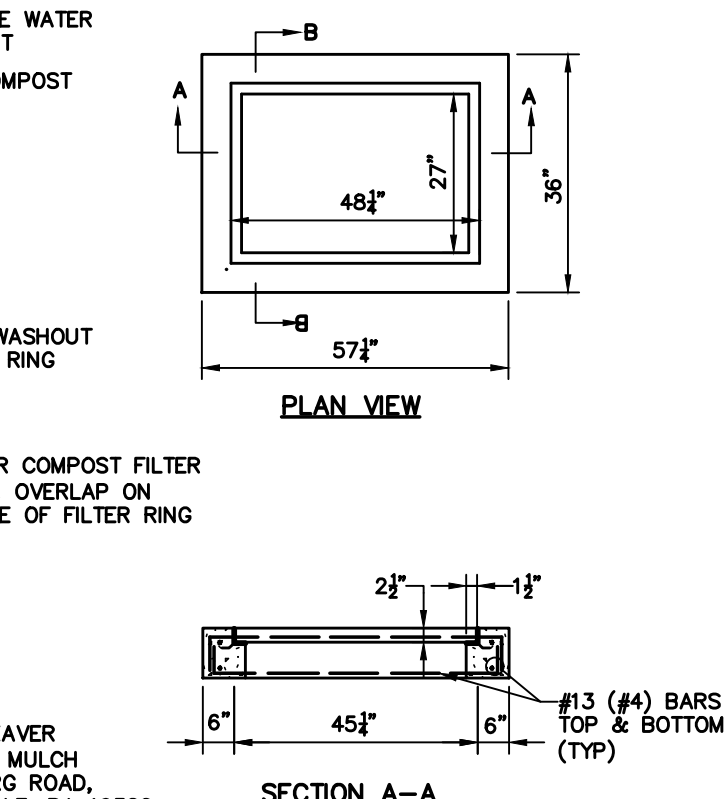
NOT TO SCALE

(DSCONCT)

COMPOST SOCK WASHOUT DETAIL

NOT TO SCALE

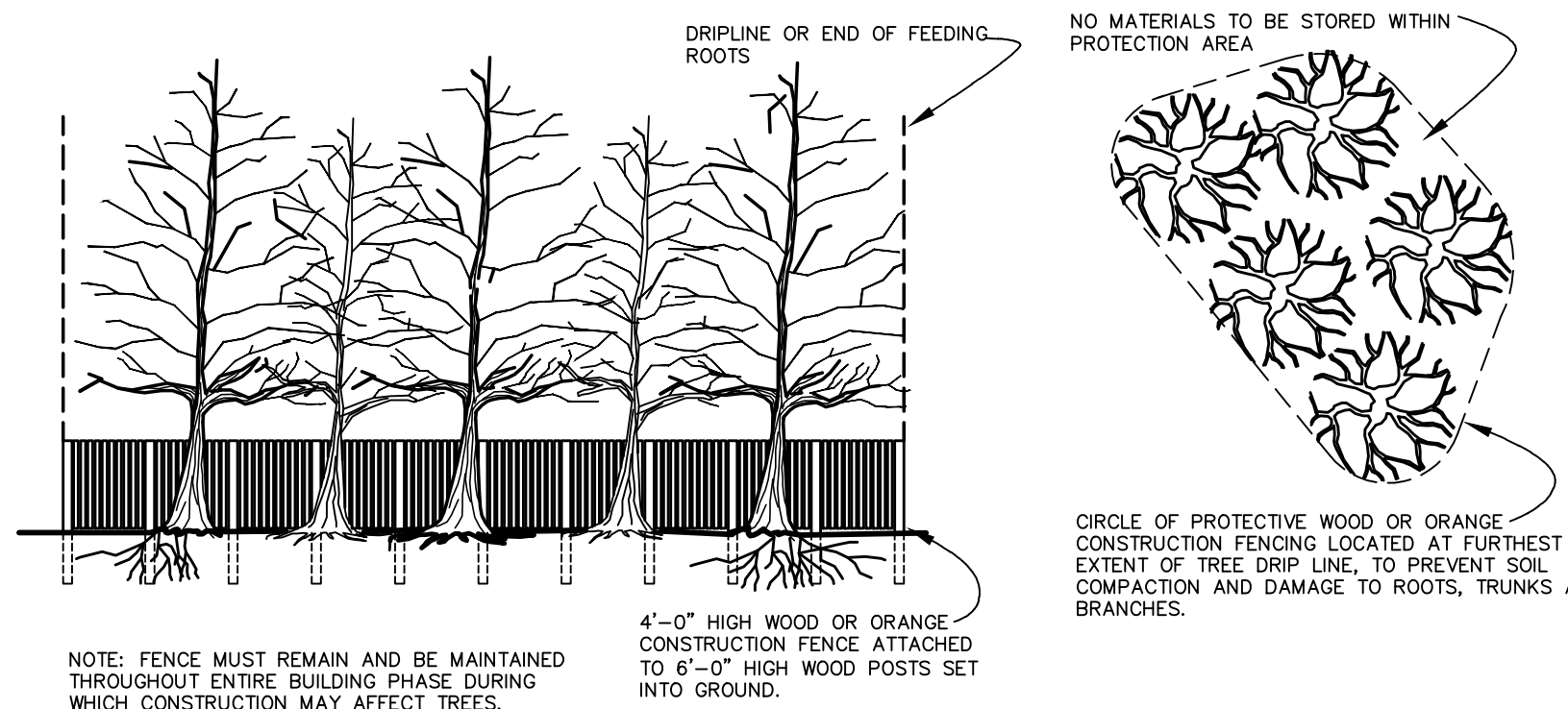
- NOTES:
- WASHOUT FACILITIES SHOULD NOT BE PLACED WITHIN 50 FEET OF STORM DRAINS, OPEN DITCHES, OR SURFACE WATERS.
 - WASHOUT FACILITIES SHOULD BE IN A CONVENIENT LOCATION FOR THE TRUCKS, PREFERABLY NEAR THE PLACE WHERE THE CONCRETE IS BEING POURED, BUT FAR ENOUGH FROM OTHER VEHICULAR TRAFFIC TO MINIMIZE THE POTENTIAL FOR ACCIDENTAL DAMAGE OR SPILLS, WHEREVER POSSIBLE, THEY SHOULD BE LOCATED ON SLOPES NOT EXCEEDING A 2% GRADE.
 - COMPOST SOCKS SHOULD BE STAKED IN THE MANNER RECOMMENDED BY THE MANUFACTURER AROUND PERIMETER OF THE GEOMEMBRANE SO AS TO FORM A RING WITH THE ENDS OF THE SOCK LOCATED AT THE UPSLOPE CORNER. CARE MUST BE TAKEN TO ENSURE CONTINUOUS CONTACT OF THE SOCK WITH THE GEOMEMBRANE AT ALL LOCATIONS. WHERE NECESSARY, SOCKS MAY BE STACKED SO AS TO FORM A TRIANGULAR CROSS-SECTION.
 - PROPER SIGNAGE SHOULD BE PROVIDED TO DRIVERS SO THAT THEY ARE AWARE OF THE PRESENCE OF WASHOUT FACILITIES.



TYPICAL BOLLARD DETAIL

N.T.S.

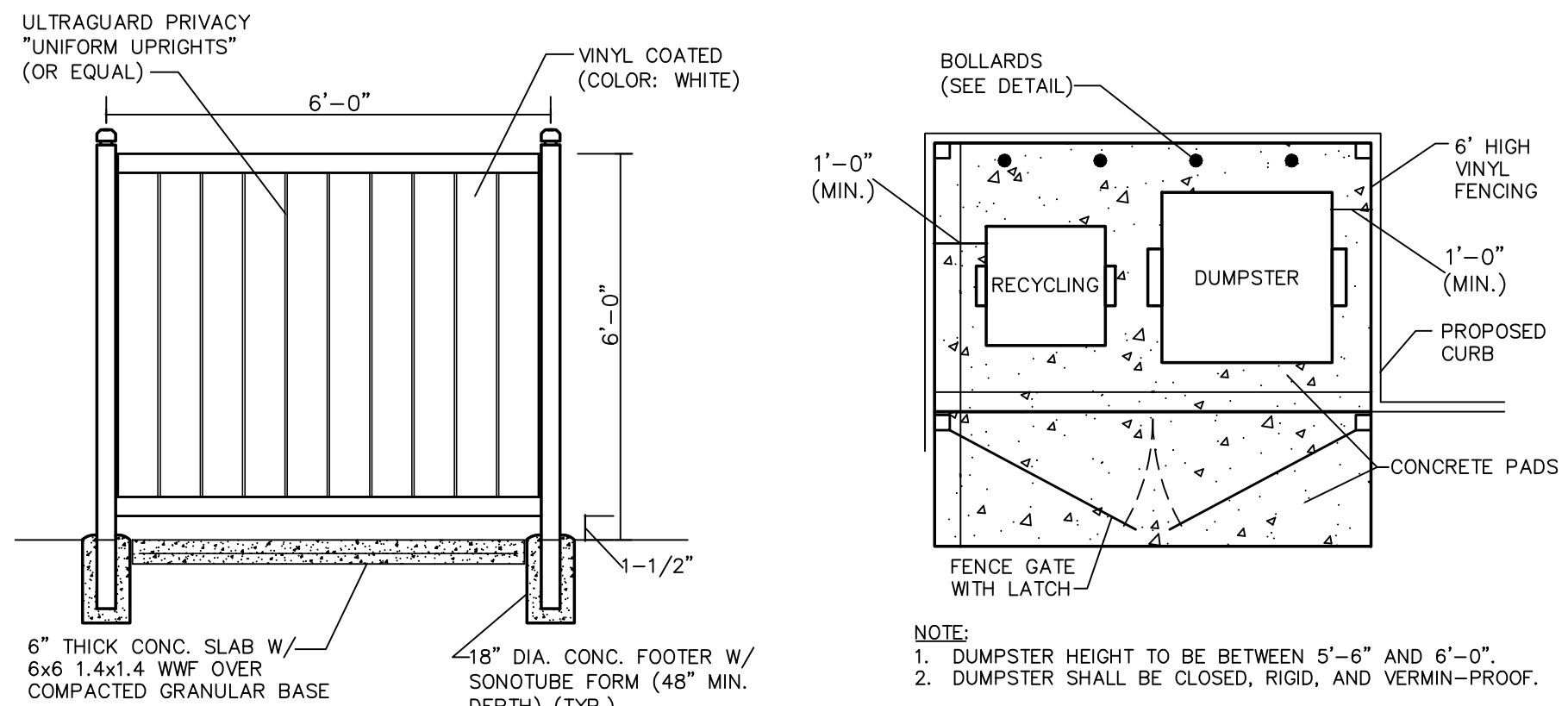
(BOLLARD)



TREE PROTECTION DETAIL (TREE GROUP)

NOT TO SCALE

(TREEPROT)



TRASH ENCLOSURE DETAIL - FENCE AND CONCRETE PAD DETAIL

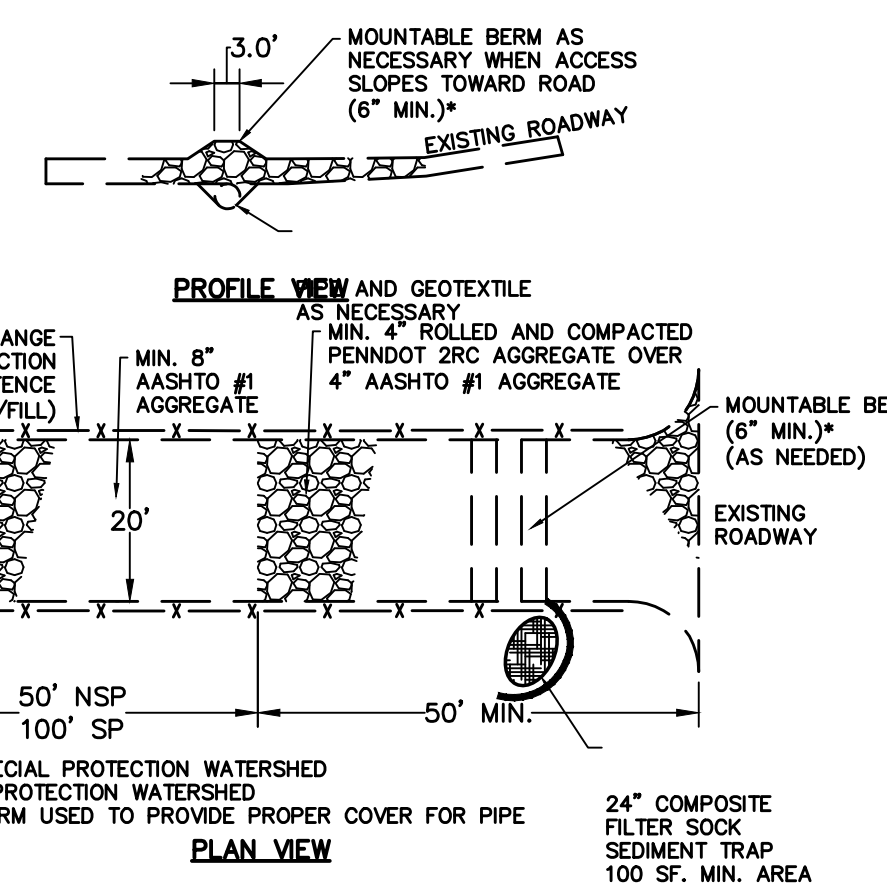
NOT TO SCALE

(TRASHENC)

18" SILT FENCE DETAIL - ALT

NOT TO SCALE

(SILT18)

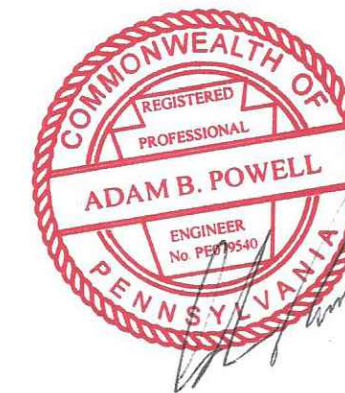


- MAINTENANCE:
- WASH RACK SHALL BE 20 FEET LONG, 4 FEET WIDE, AND 4 FEET HIGH.
 - A WATER SUPPLY SHALL BE MADE AVAILABLE TO WASH THE WHEELS OF ALL VEHICLES EXISTING ON THE SITE.
 - WASH RACK SHALL BE DESIGNED AND CONSTRUCTED TO ACCOMMODATE ANTICIPATED CONSTRUCTION TRAFFIC.
 - ROCK CONSTRUCTION ENTRANCE THICKNESS WILL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE OF ROCK MATERIAL WILL BE MAINTAINED ON THE SITE FOR THIS PURPOSE. AT THE END OF EACH CONSTRUCTION DAY, ALL SEDIMENT DEPOSITED ON PUBLIC ROADWAYS WILL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE.

ROCK CONSTRUCTION ENTRANCE

NOT TO SCALE

(ROCKENTR)



ARCHITECTS

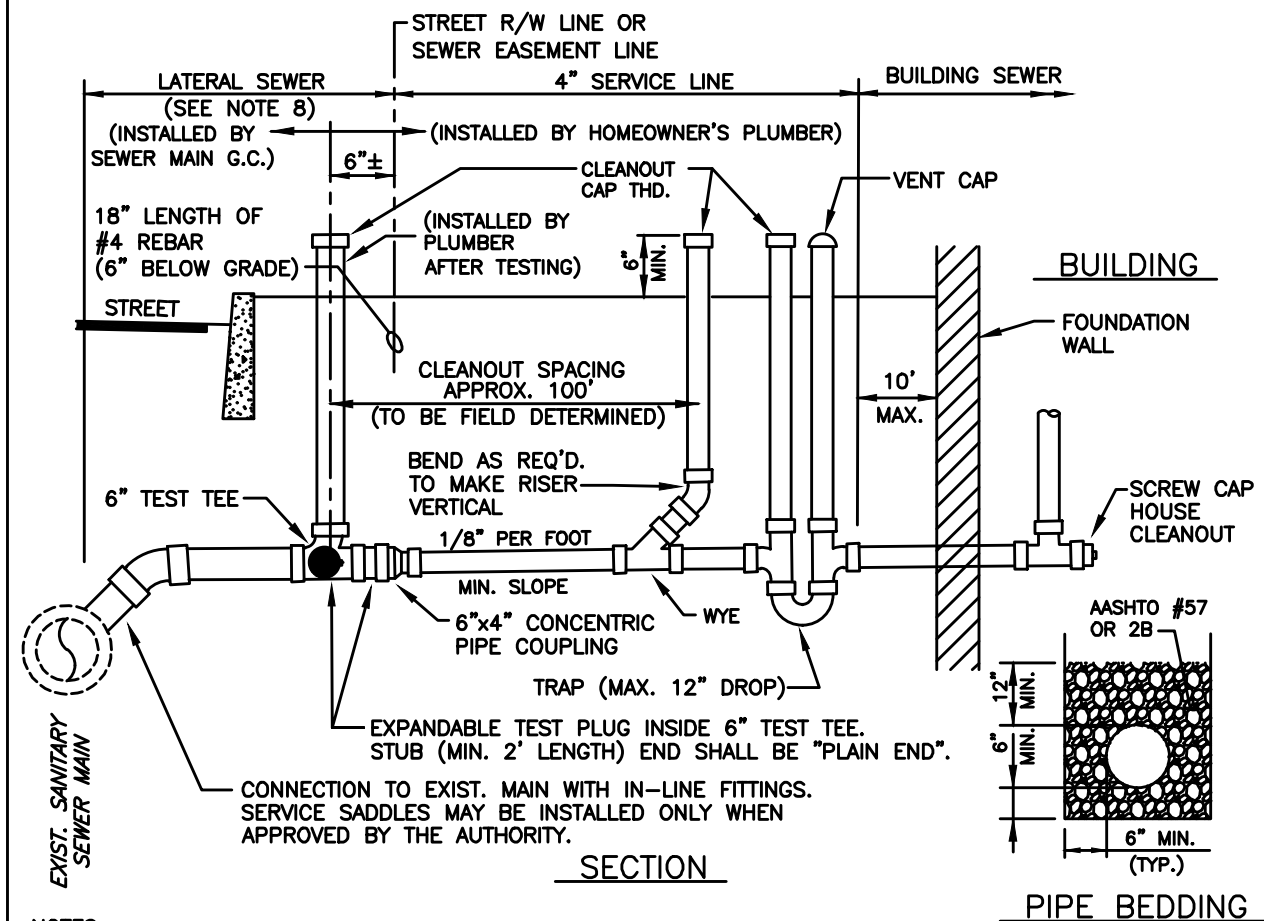
140 N. PROVIDENCE ROAD
MEDIA, PENNSYLVANIA 19063
TEL: 610-566-7044
FAX: 610-566-3258

DETAILS FOR

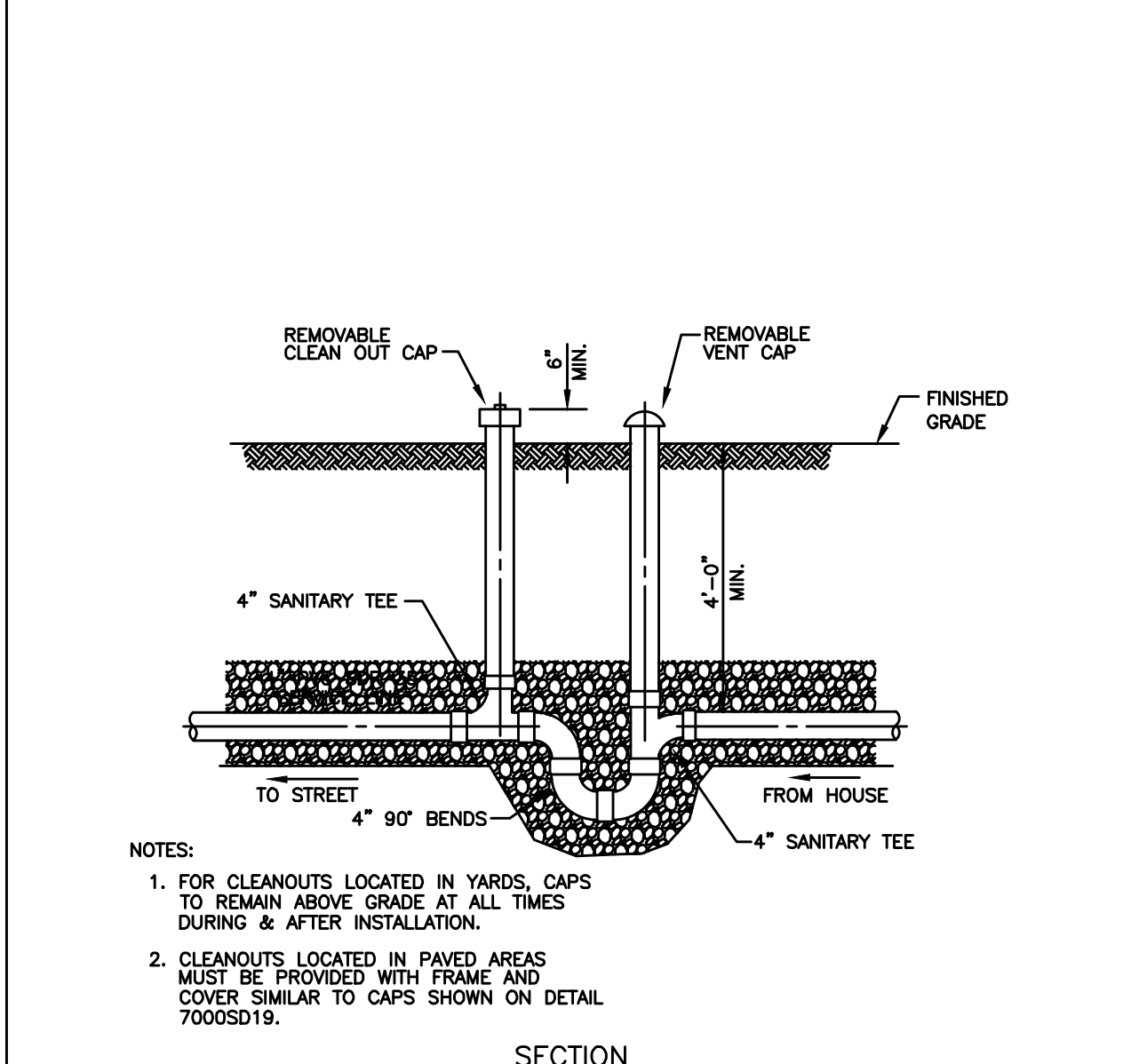
EAGLE ANIMAL HOSPITAL
211 BYERS ROAD
UPPER UWCHELAN TOWNSHIP
CHESTER COUNTY, PA

REVISIONS	DATE	DESCRIPTION	NO.
1	12.09.2022	SCALE: 1"=20'	1
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3	12.09.2022	CHECKED BY: SDL	3
4	12.09.2022	PROJ. NO.: 22222	4

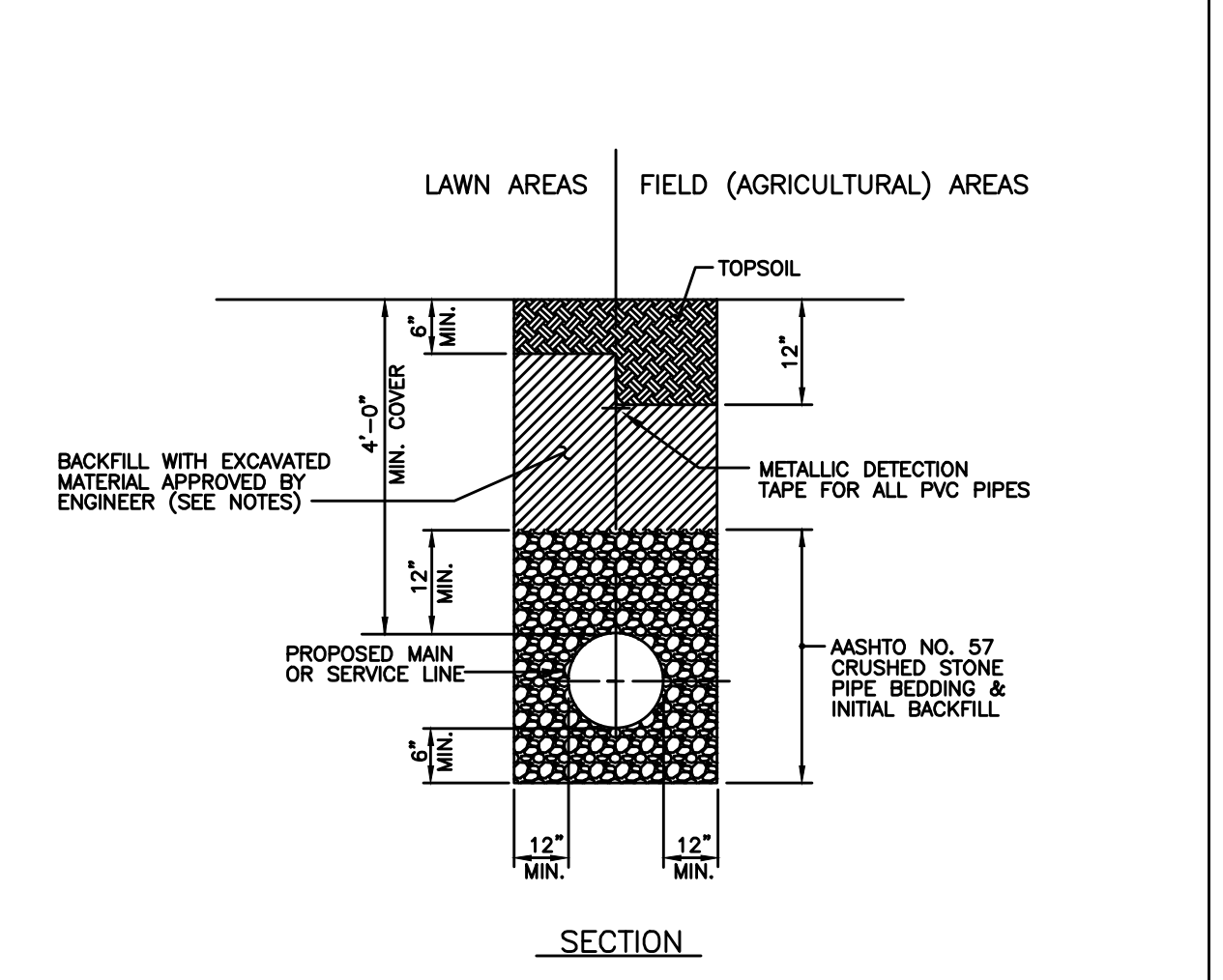
SHEET NO. **C-6** OF 9



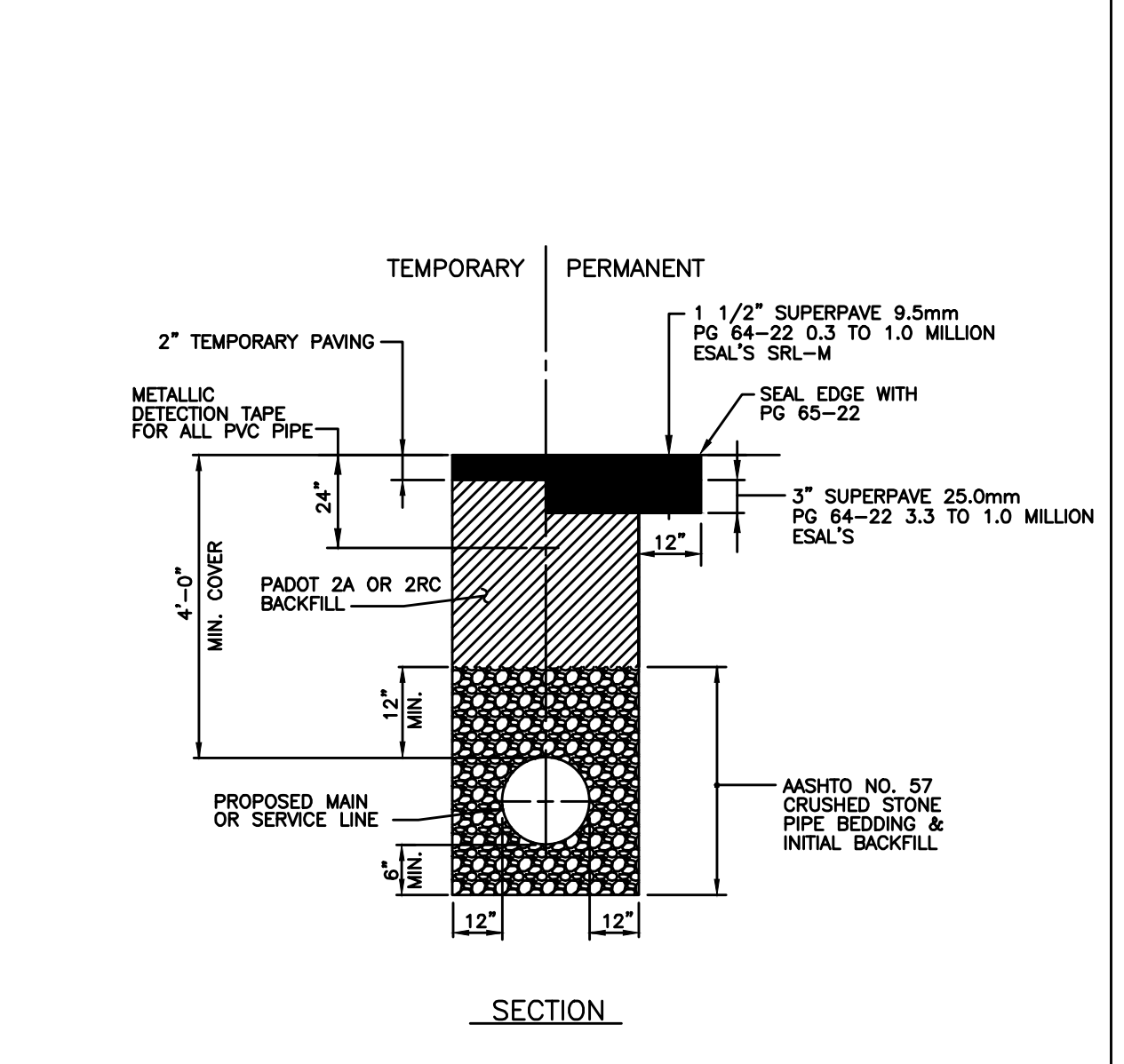
6	4/21	Upper Uwchlan Township Municipal Authority	ARRO
5	9/15	STANDARD DETAIL - SEWER SYSTEM	
4	10/14		
3	1/13		
2	6/05		
1	11/04		
REVISION	DATE	LATERAL & SERVICE LINE	DETAIL: 7000SD17



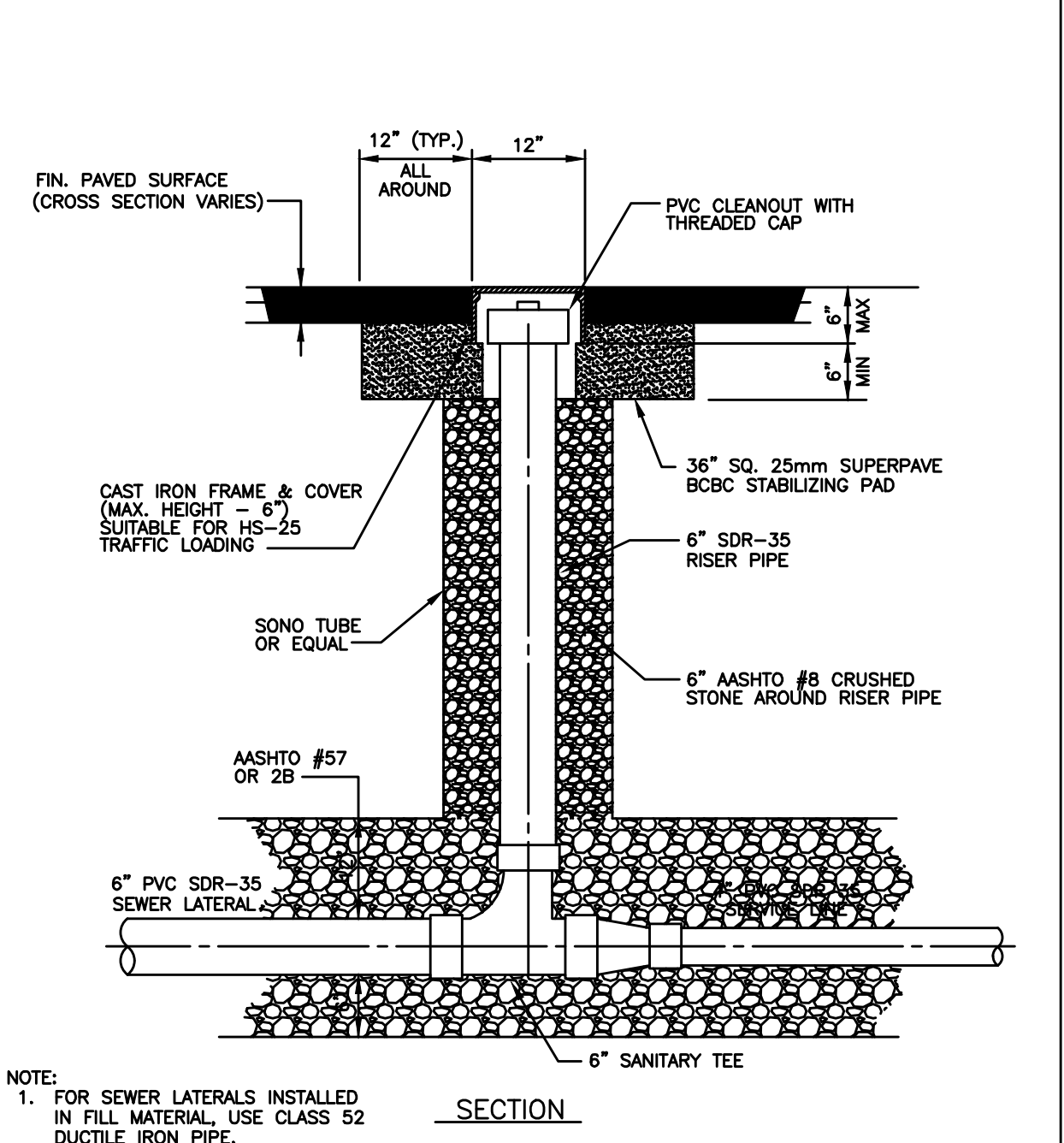
4	4/21	Upper Uwchlan Township Municipal Authority	ARRO
3	1/13	STANDARD DETAIL - SEWER SYSTEM	
2	6/05		
1	11/04		
REVISION	DATE	SERVICE LINE CLEANOUT & VENT	DETAIL: 7000SD18



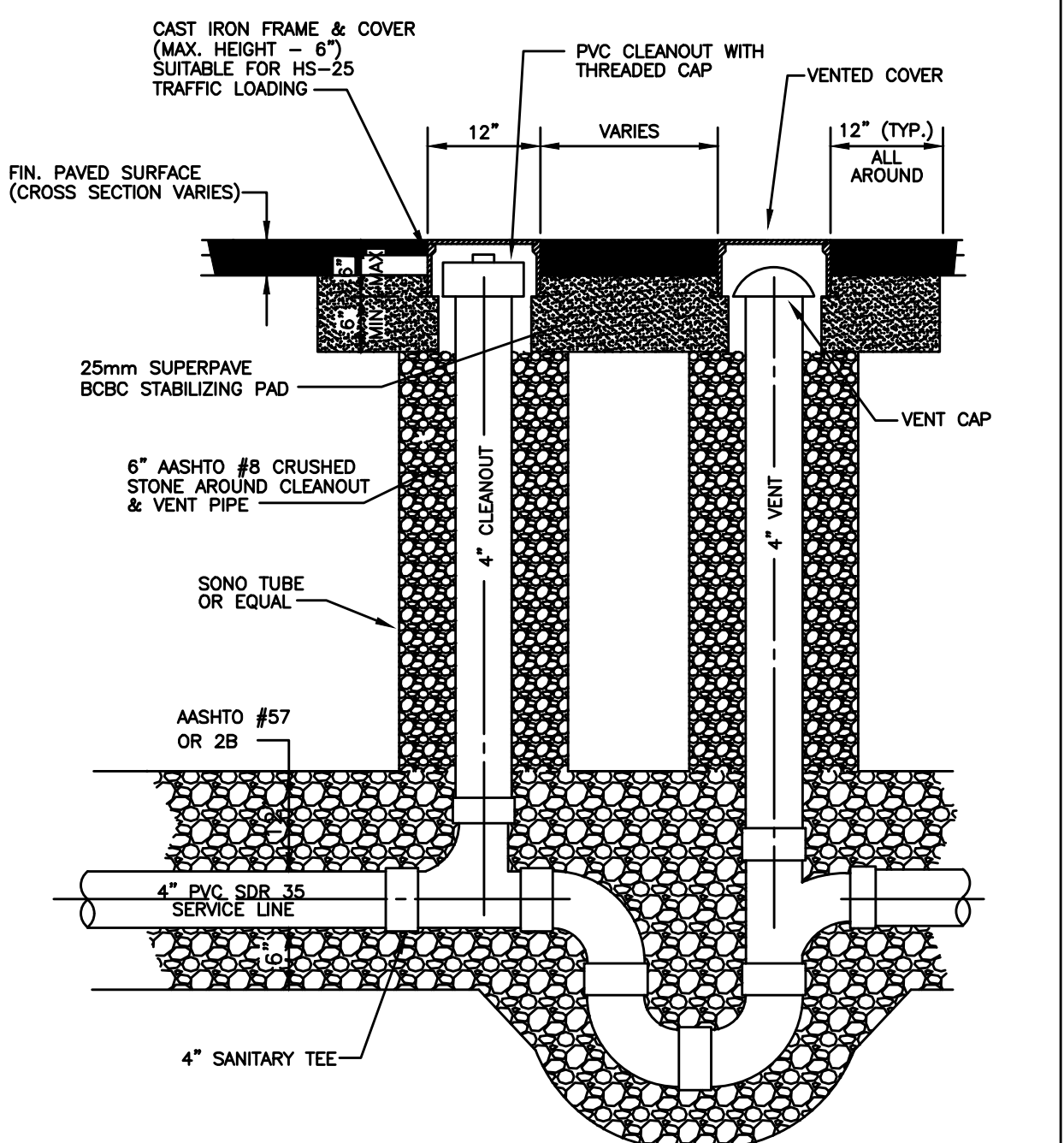
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3	1/13	STANDARD DETAIL - SEWER SYSTEM	
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1	11/04		
REVISION	DATE	TRENCH RESTORATION LAWN/FIELD AREAS	DETAIL: 7000SD29



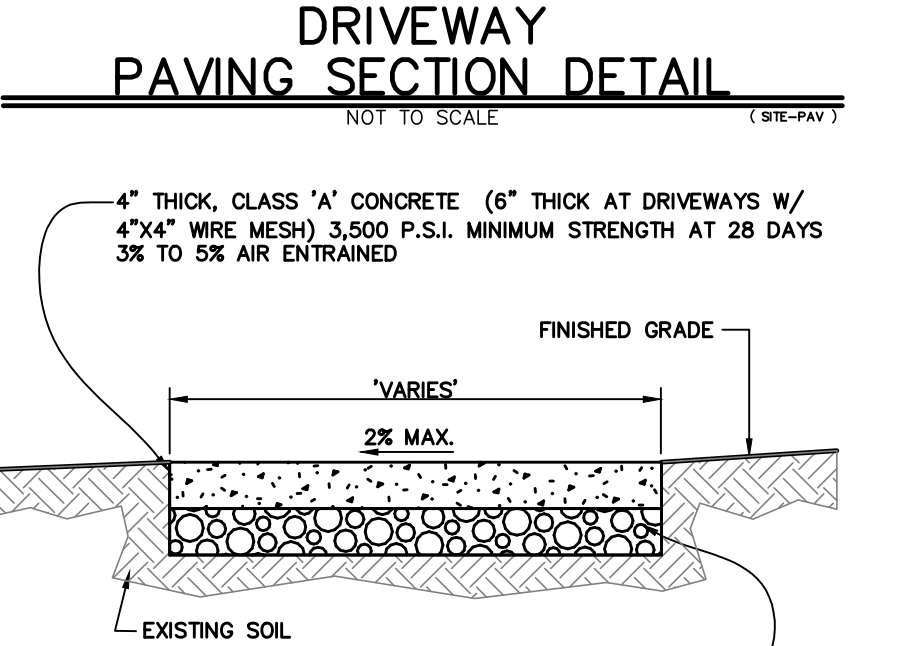
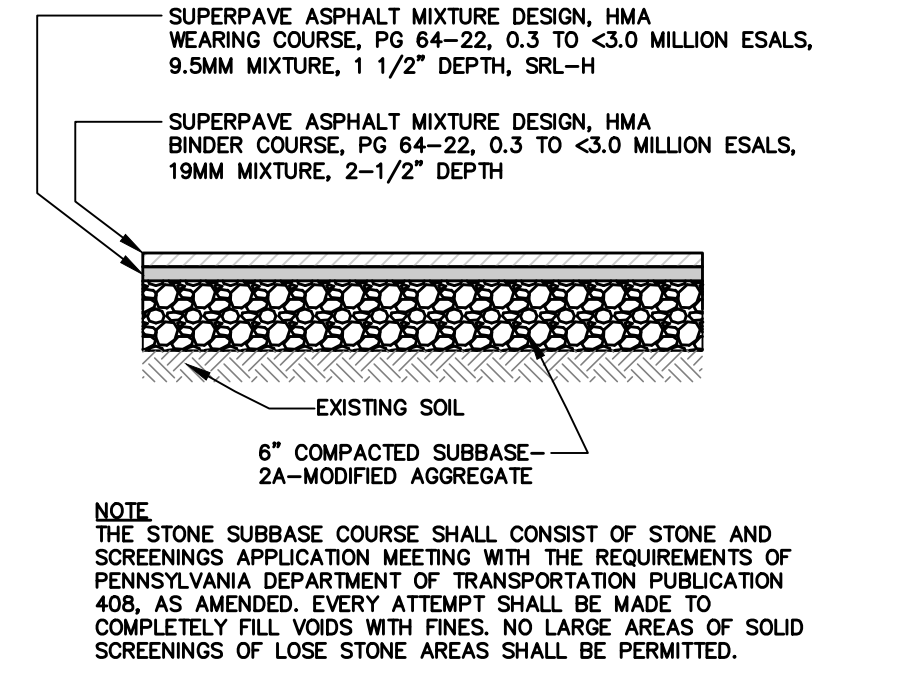
4	4/21	Upper Uwchlan Township Municipal Authority	ARRO
3	1/13	STANDARD DETAIL - SEWER SYSTEM	
2	6/05		
1	11/04		
REVISION	DATE	TRENCH RESTORATION PARKING AREAS & DRIVEWAYS	DETAIL: 7000SD28



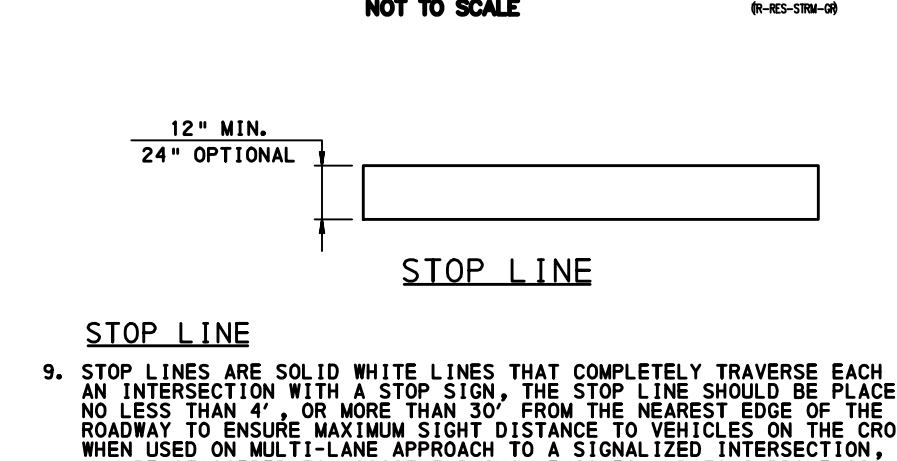
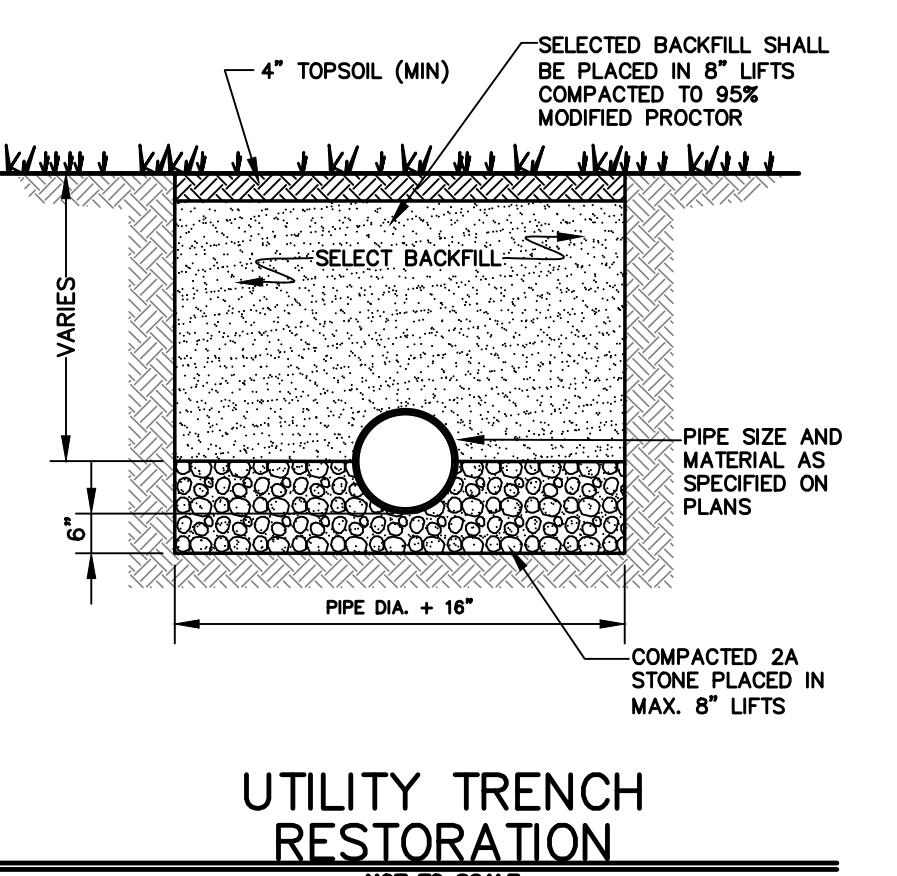
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2	1/13	STANDARD DETAIL - SEWER SYSTEM	
1	6/05		
REVISION	DATE	CLEANOUT/TEST TEE IN PAVED AREAS	DETAIL: 7000SD20



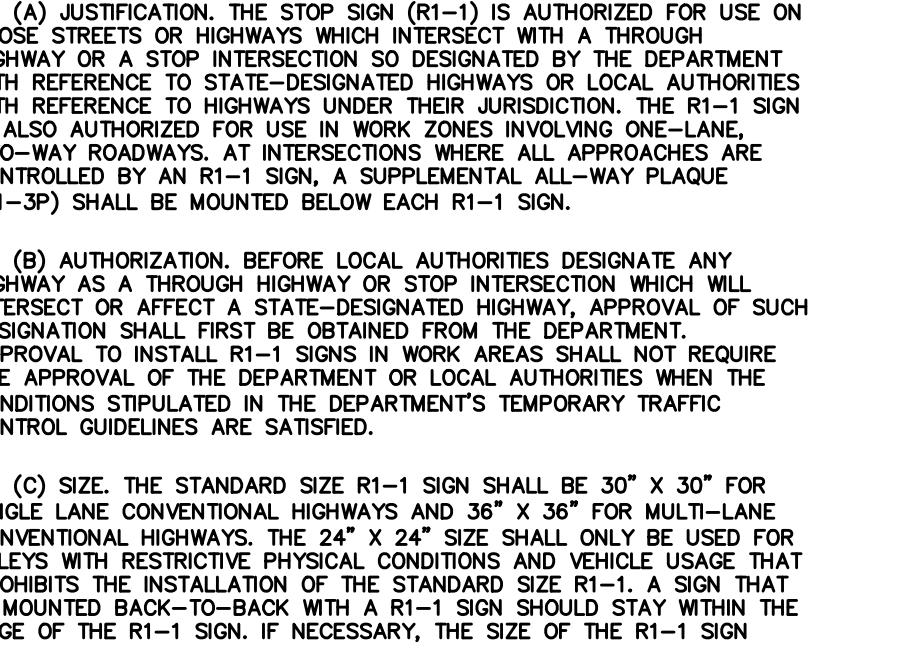
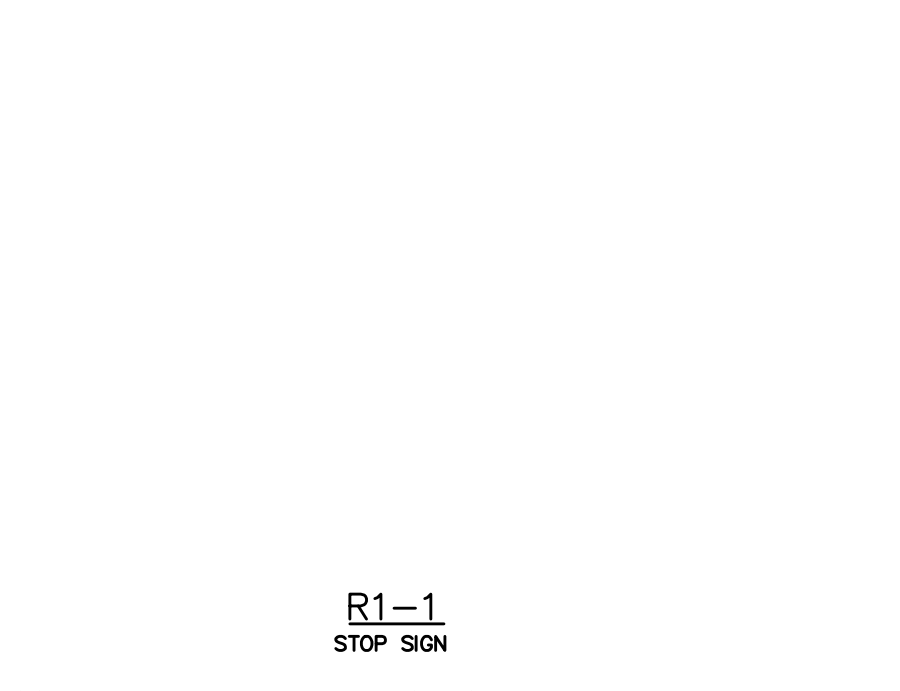
3	4/21	Upper Uwchlan Township Municipal Authority	ARRO
2	1/13	STANDARD DETAIL - SEWER SYSTEM	
1	6/05		
REVISION	DATE	SERVICE LINE CLEANOUT & VENT IN PAVED AREAS	DETAIL: 7000SD19



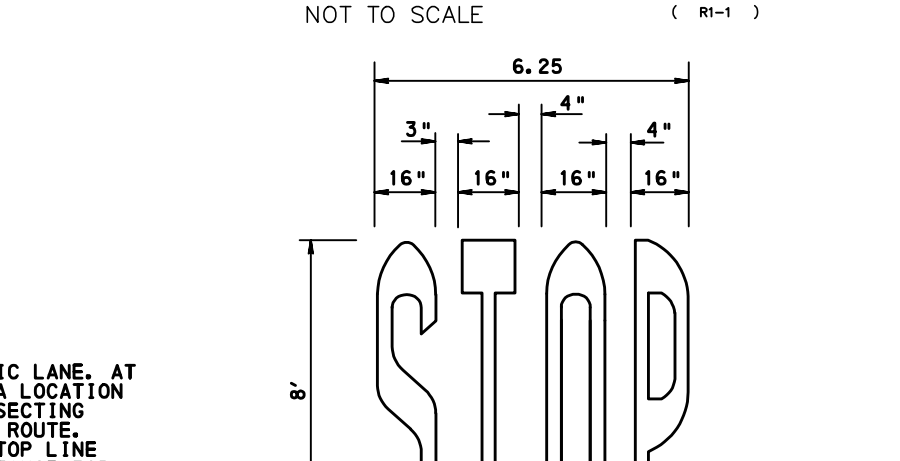
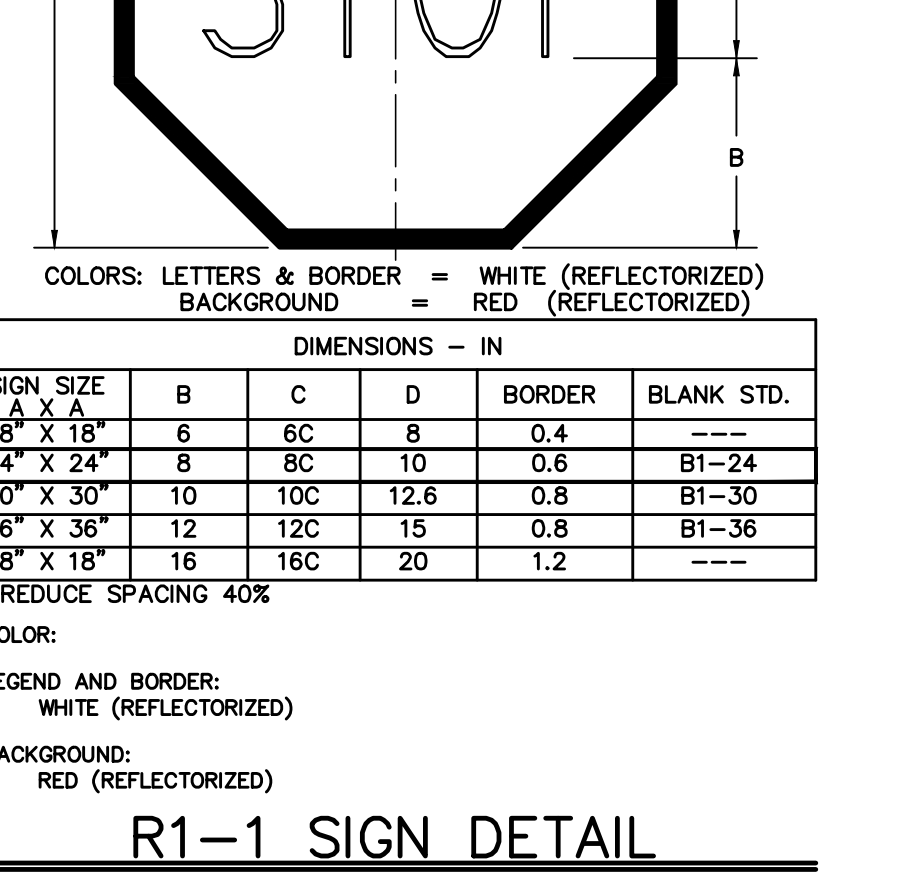
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2	1/13	STANDARD DETAIL - SEWER SYSTEM	
1	6/05		
REVISION	DATE	CONCRETE SIDEWALK SECTION	DETAIL: 7000SD20



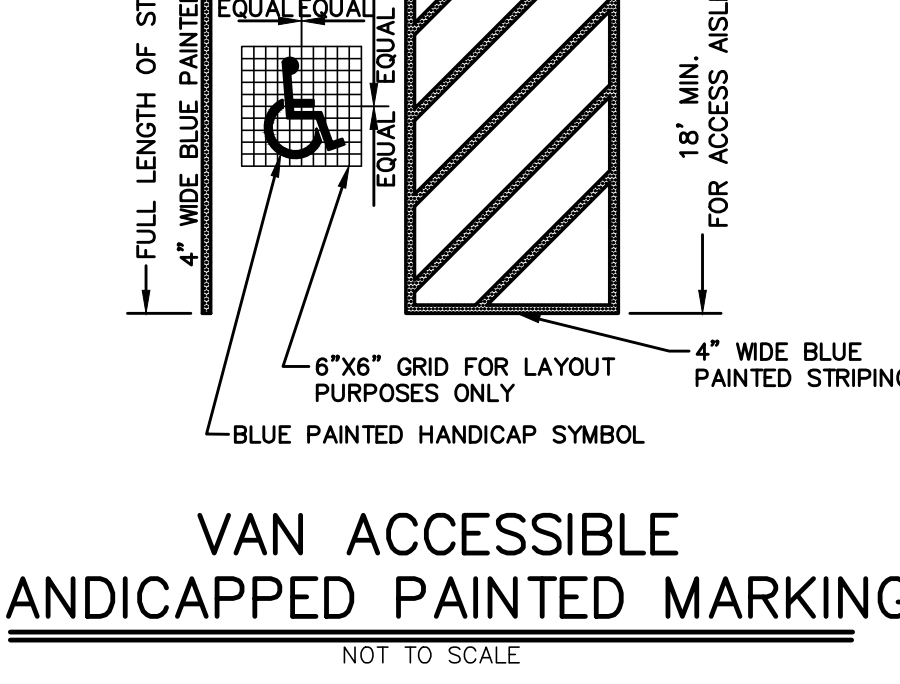
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2	1/13	STANDARD DETAIL - SEWER SYSTEM	
1	6/05		
REVISION	DATE	STOP BAR DETAIL	DETAIL: 7000SD19



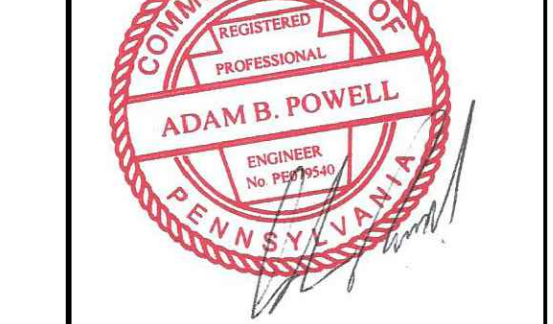
3	4/21	Upper Uwchlan Township Municipal Authority	ARRO
2	1/13	STANDARD DETAIL - SEWER SYSTEM	
1	6/05		
REVISION	DATE	STOP SIGN	DETAIL: 7000SD20



3	4/21	Upper Uwchlan Township Municipal Authority	ARRO
2	1/13	STANDARD DETAIL - SEWER SYSTEM	
1	6/05		
REVISION	DATE	STOP SIGN	DETAIL: 7000SD20



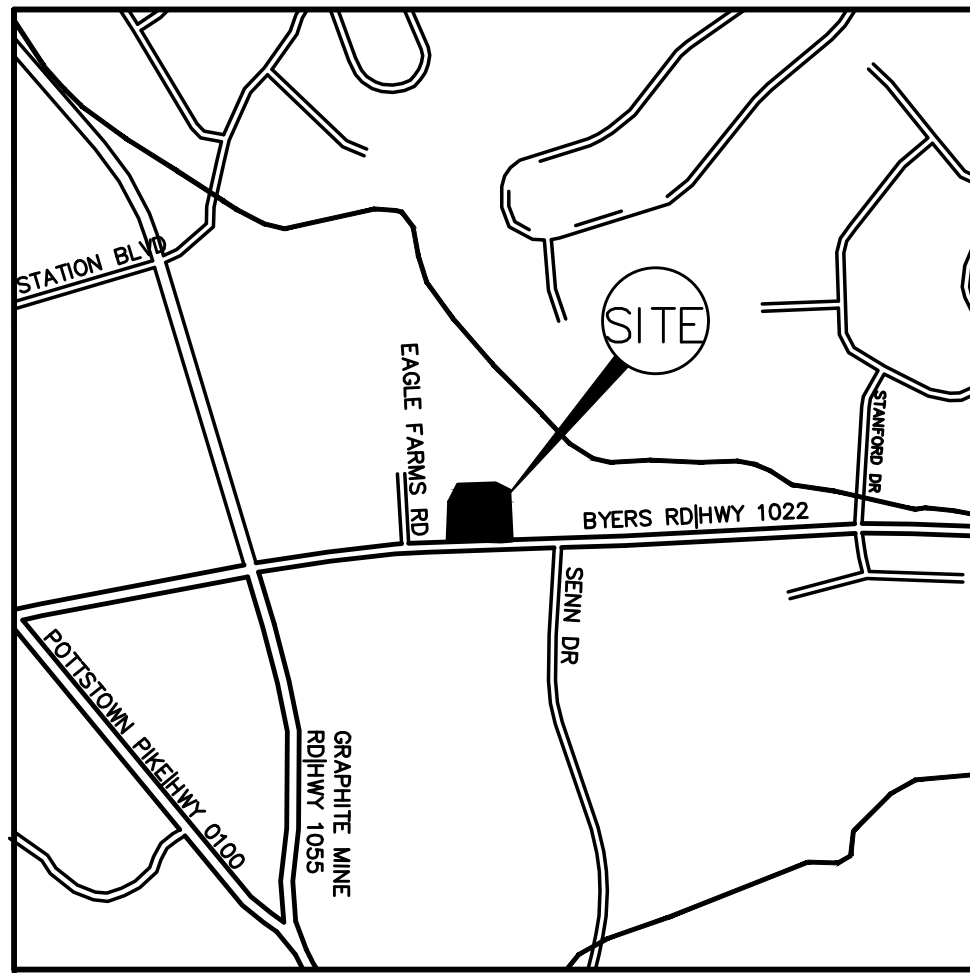
3	4/21	Upper Uwchlan Township Municipal Authority	ARRO
2	1/13	STANDARD DETAIL - SEWER SYSTEM	
1	6/05		
REVISION	DATE	VAN ACCESSIBLE HANDICAPPED PARKING SIGN	DETAIL: 7000SD19



ARCHITECTS	140 N. PROVIDENCE ROAD MEDIA, PENNSYLVANIA 19063 TEL: 610-566-7044 FAX: 610-566-3258
ARCHITECTURE	
ENGINEERING	
SITE PLANNING	
INTERIOR DESIGN	

CONSTRUCTION DETAILS	FOR	EAGLE ANIMAL HOSPITAL	211 BYERS ROAD	CHESTER COUNTY, PA
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DATE	12.09.2022	SCALE	1"=20'	DRAWN BY	SD	CHECKED BY	3	PROJ. NO.	22222	SHEET OF	9
REVISIONS	NO.	DESCRIPTION	DATE								
	1										
	2										
	3										
	4										



LOCATION MAP

1" = 1,000'

NOTES

- THIS PLAN IS BASED ON A PLAN BY HOWELLKLINE SURVEYING, ENTITLED TOPOGRAPHIC AND PHYSICAL IMPROVEMENTS SURVEY, DATED MAY 19, 2022.
- ELEVATIONS REFER TO CONTOURS FROM FIELD SURVEY BASED ON GPS SYSTEM. NORTH AMERICAN DATUM OF 1988.
- BOUNDARY FROM A PLAN BY HOWELLKLINE SURVEYING LLC, ENTITLED TOPOGRAPHIC AND PHYSICAL IMPROVEMENTS SURVEY, DATED MAY 19, 2022.
- PROPERTY IS IDENTIFIED IN THE HISTORIC ORDINANCE AS HRP NO. 057, KEY NO. 065814, CLASS 1.
- ADJOINER INFORMATION TAKEN FROM CURRENT TAX RECORDS.
- UTILITY INFORMATION FROM OBSERVED SURFACE EVIDENCE. ALL UTILITY LOCATIONS AND DEPTHS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE 'X' OF THE FLOOD INSURANCE RATE MAP, MAP No. 42029C00956, COMMUNITY PANEL No. 95 OF 380, WHICH BEARS AN EFFECTIVE DATE OF SEPTEMBER 29, 2017.
- SOIL DELINEATION LINES TAKEN FROM USDA NATIONAL COOPERATIVE SOIL SURVEY THROUGH THE NATURAL RESOURCES CONSERVATION SERVICE CUSTOM SOIL RESOURCE REPORT FOR THIS PROJECT DATED JANUARY 14TH, 2022.
- SITE IS CURRENTLY SERVICED BY PRIVATE SEWER AND PUBLIC WATER.
- ALL LANDSCAPING SHOWN ON THE PLANS SHALL BE MAINTAINED AND KEPT CLEAN OF ALL DEBRIS, RUBBISH, WEEDS, AND TALL GRASS.
- A BLANKET EASEMENT IS GRANTED TO UPPER UWCHLAN TOWNSHIP TO ALLOW FOR THE INSPECTION OF THE STORMWATER FACILITY. IN THE EVENT THE HOMEOWNER/PROPERTY OWNER FAILS TO PROPERLY MAINTAIN THOSE FACILITIES, AFTER NOTICE TO THE OWNER OF ITS INTENT TO DO SO (WHICH NOTICE SHALL NOT BE REQUIRED IN ANY EMERGENCY), THE TOWNSHIP MAY (BUT IS NOT OBLIGATED TO) ENTER ONTO THE PROPERTY TO INSPECT AND PERFORM ANY SUCH MAINTENANCE. IN SUCH EVENT, THE TOWNSHIP MAY CHARGE THE COSTS THEREOF, WHETHER DIRECT OR INDIRECT, INCLUDING LABOR, EQUIPMENT, MATERIALS, SUPPLIES AND ANY FEES, TO THE OWNER, AND MAY PLACE A LIEN ON THE PROPERTY TO RECOVER ANY CHARGED COSTS THAT REMAIN UNREIMBURSED AND ANY COSTS OF COLLECTION, FEE AND INTEREST.
- THERE WAS NO OBSERVED EVIDENCE OF GAS SERVICE ON THE SURVEYED PREMISES.
- ALL BUILDING MATERIALS AND WASTES MUST BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT OF ENVIRONMENTAL PROTECTION'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ. AND 287.1 ET SEQ. NO BUILDING MATERIAL SHALL BE BURIED, DUMPED OR DISCHARGED FROM THE SITE.
- AN AS-BUILT SURVEY OF ALL STORMWATER BMP'S AND AN EXPLANATION OF ANY DISCREPANCIES WITH THE OPERATION AND MAINTENANCE PLAN SHALL BE PROVIDED TO UPPER UWCHLAN TOWNSHIP.
- ALL SANITARY SEWERS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE UPPER UWCHLAN TOWNSHIP MUNICIPAL AUTHORITY SPECIFICATIONS.
- THE AUTHORITY ENGINEER MUST BE NOTIFIED 48 HOURS PRIOR TO THE BEGINNING OF SANITARY SEWER CONSTRUCTION.
- A SEWER LATERAL AS-BUILT PLAN MUST BE SUBMITTED TO THE AUTHORITY ENGINEER.

PA ONE CALL INFORMATION

COMPANY: AQUA PENNSYLVANIA INC
ADDRESS: 782 W LANCASTER AVE
BRYN MAWR, PA 19010
CONTACT: THOMAS WADDY
EMAIL: TWADDY@AQUAAMERICA.COM

COMPANY: COMCAST
ADDRESS: 1004 CORNERSTONE BLVD
DOWNTOWN, PA. 19335
CONTACT: TOM RUSSO
EMAIL: tom_russo@comcast.com

COMPANY: PECO AN EXELON COMPANY C/O USIC
ADDRESS: 450 S HENDERSON ROAD SUITE B
KING OF PRUSSIA, PA. 19406
CONTACT: NIKKIA SIMPKINS
EMAIL: NIKKIASIMP@USICLLC.COM

COMPANY: UPPER UWCHLAN TOWNSHIP
ADDRESS: 140 POTTSTOWN PIKE
CHESTER SPRINGS, PA. 19425
CONTACT: MICHAEL HECKMAN
EMAIL: MHECKMAN@UPPERUWCHLAN-PA.GOV

COMPANY: VERIZON BUSINESS FORMERLY MCI
ADDRESS: 7000 WESTON PKWY
CARY, NC. 27513
CONTACT: VICTOR WOOD
EMAIL: victor.wood@verizon.com

CHAPTER 93 CLASSIFICATION:

THE SITE DRAINS TO PICKERING CREEK. CHAPTER 93 CLASSIFICATION IS HQ-TSF, MF.

SOILS TABLE

(FROM UNITED STATES DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE)

SOIL TYPE: CoB-Califon loam
DRAINAGE CLASS: Moderately Well Drained
SLOPE RANGE: 3-8
HYDROLOGIC GROUP: D
FRAGIPAN DEPTH: 20-30 inches
BEDROCK DEPTH: 72-99 inches
SEASONAL WATER TABLE: 6-36 inches
FLOODING POTENTIAL: None
PROFILE PERMEABILITY: Moderately low to moderately high

SOIL TYPE: Ha-Hatboro silt loam
DRAINAGE CLASS: Poorly Drained
SLOPE RANGE: 0-3
HYDROLOGIC GROUP: B/D
BEDROCK DEPTH: 60-99 inches
SEASONAL WATER TABLE: 0-6 inches
FLOODING POTENTIAL: Non-Frequent
PROFILE PERMEABILITY: Moderately high to high

SOIL TYPE: UuB-Urban land-Udorthents, schist and gneiss complex
DRAINAGE CLASS: Moderately low to moderately high
SLOPE RANGE: 0-8
HYDROLOGIC GROUP: C
BEDROCK DEPTH: 20-70 inches
SEASONAL WATER TABLE: 60 inches
FLOODING POTENTIAL: None
PROFILE PERMEABILITY: Moderately low to moderately high

MAINTENANCE NOTES STORMWATER MANAGEMENT:

- THE OWNER AND/OR OPERATOR OF THE PROPERTY IS RESPONSIBLE FOR THE MAINTENANCE OF THE STORMWATER MANAGEMENT SYSTEM.

STORMWATER FACILITIES SHALL BE INSPECTED BY A REGISTERED PROFESSIONAL ENGINEER LICENSED IN THE COMMONWEALTH OF PENNSYLVANIA ON BEHALF OF THE APPLICANT OR RESPONSIBLE ENTITY (INCLUDING THE TOWNSHIP ENGINEER FOR DEDICATED FACILITIES) ON THE FOLLOWING BASIS:

- ANNUALLY FOR THE FIRST FIVE YEARS.
- ONCE EVERY THREE YEARS THEREAFTER.
- DURING OR IMMEDIATELY AFTER THE CESSATION OF A ONE-HUNDRED-YEAR OR GREATER STORM EVENT.

THE PROFESSIONAL ENGINEER CONDUCTING THE INSPECTION SHALL BE REQUIRED TO SUBMIT A WRITTEN REPORT TO THE TOWNSHIP WITHIN ONE MONTH FOLLOWING COMPLETION OF THE INSPECTION. THE REPORT WILL PRESENT DOCUMENTATION AND INCLUDE PICTURES REGARDING THE CONDITION OF THE FACILITY AND RECOMMEND NECESSARY REPAIRS, IF NEEDED. ANY NEEDED REPAIRS SHALL BE IMPLEMENTED BY THE OWNER WITHIN ONE MONTH OF THE REPORT ISSUANCE DATE.

ACKNOWLEDGEMENT OF RESPONSIBILITY

ON THIS, THE _____ DAY OF _____, 20____, BEFORE ME, THE SUBSCRIBER, PERSONALLY APPEARED _____

KNOWN TO ME OR SATISFACTORILY PROVEN TO BE THE PERSON(S) OR ORGANIZATION WHO, DULY SWORN ACCORDING TO LAW, DEPOSE AND SAY THAT THEY ARE THE OWNERS OF THE PROPERTY SHOWN ON THIS PLAN, AND THAT THEY ACKNOWLEDGE THAT STORMWATER BMP'S ARE PERMANENT FEATURES THAT CAN BE ALTERED AND REMOVED ONLY AFTER APPROVAL BY THE DEP, THE CHESTER COUNTY CONSERVATION DISTRICT AND THE TOWNSHIP

WITNESS MY HAND AND SEAL THE DAY AND DATE ABOVE WRITTEN.

PRINT _____

SIGNATURE OF OWNER _____

NOTARY PUBLIC _____

COUNTY: _____

MY COMMISSION EXPIRES: _____

PROJECT WASTE NOTE - 102.4(b)(5)(iv)

THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIAL AND WASTED IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1 ET SEQ., AND 287.1 ET SEQ. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP, OR DISCHARGE ANY BUILDING MATERIAL OR WASTES AT THE SITE.

HIGH QUALITY-TROUT STOCKING WATERSHED NOTES:

- THE PROJECT IS LOCATED IN A HIGH QUALITY-TROUT STOCKING WATERSHED. THE SPECIAL PROTECTION WATERS IMPLEMENTATION HANDBOOK BEST MANAGEMENT PRACTICES APPLY TO ALL NEW NON-AGRICULTURAL ACTIVITIES/PROJECTS RESULTING IN AN EARTH DISTURBANCE ON HIGH QUALITY OR EXCEPTIONAL VALUE WATERSHEDS. IMPLEMENTATION OF THESE PRACTICES AND THE ADDITIONAL REQUIREMENTS FOR SPECIFIC ACTIVITIES LISTED IN THE HANDBOOK PLUS SELECTED STORMWATER MANAGEMENT PRACTICES DESCRIBED IN SECTION TWO OF THE HANDBOOK CONSTITUTE APPROPRIATE, REASONABLE AND COST EFFECTIVE BEST MANAGEMENT PRACTICES FOR NON-POINT SOURCE CONTROL. PERSONS ENGAGED IN THESE LAND DISTURBANCE ACTIVITIES ARE EXPECTED TO COMPLY WITH BOTH THE GENERAL AND PROGRAM SPECIFIC REQUIREMENTS LISTED IN THIS APPENDIX.
- THE PROJECT IS IN HIGH QUALITY-TROUT STOCKING STREAM DESIGNATION. EXTREME CARE SHOULD BE EXERCISED IN ALL DISTURBANCE ACTIVITIES TO PREVENT DEGRADATION TO THE WATERS OF THE COMMONWEALTH.
- BECAUSE THIS PROJECT IS IN A SPECIFICALLY PROTECTED HIGH QUALITY OR EXCEPTIONAL VALUE WATERSHED, UPON COMPLETION OR TEMPORARY CESSATION OF EARTH DISTURBANCE ACTIVITIES, THE PROJECT SITE MUST BE IMMEDIATELY STABILIZED WITH THE APPROPRIATE TEMPORARY OR PERMANENT STABILIZATION.

THERMAL IMPACTS NOTE - 102.4(b)(5)(iv)

THERMAL IMPACTS ARE BEING MITIGATED DURING CONSTRUCTION PHASE BY ROUTING CONSTRUCTION RUNOFF THROUGH PERIMETER EROSION CONTROL MEASURES, E. COMPOST FILTER SOCKS WHICH ALLOWS FURTHER COOLING BEFORE ENTERING SURFACE WATERS.

THERMAL IMPACTS NOTE - 102.6(b)

THE STORMWATER MANAGEMENT SYSTEMS HAVE BEEN DESIGNED TO MAXIMIZE INFILTRATION BEST MANAGEMENT PRACTICE (BMP) TECHNOLOGIES AND MINIMIZE POINT SOURCE DISCHARGES. THIS PLAN WILL FURTHER ACT TO PERFORM/PROVIDE THE FOLLOWING:

- PRESERVE THE INTEGRITY OF STREAM CHANNELS AND MAINTAIN AND PROTECT THE PHYSICAL, BIOLOGICAL AND CHEMICAL QUALITIES OF THE RECEIVING STREAM.
- PREVENT AN INCREASE IN THE RATE OF STORMWATER RUNOFF
- MINIMIZE ANY INCREASE IN STORMWATER RUNOFF VOLUME
- MINIMIZE IMPERVIOUS AREAS
- MAXIMIZE THE PROTECTION OF EXISTING DRAINAGE FEATURES AND EXISTING VEGETATION
- MINIMIZE LAND CLEARING AND GRADING
- MINIMIZE SOIL COMPACTION
- UTILIZE OTHER STRUCTURAL OR NONSTRUCTURAL BMPs THAT PREVENT OR MINIMIZE CHANGES IN STORMWATER RUNOFF

RECEIVING SURFACE WATERS

*THE PENNSYLVANIA TITLE 25, CHAPTER 93 CLASSIFICATION FOR THE RECEIVING WATERS OF THE COMMONWEALTH UNNAMED TRIBUTARY (UNT) TO PICKERING CREEK IN THE PICKERING CREEK WATERSHED: A HIGH QUALITY-TROUT STOCKING FISHERY (HQ-TSF) WATER COURSE

LONG-TERM OPERATION AND MAINTENANCE:

THE PCSM PLAN, INSPECTION REPORTS, AND MONITORING RECORDS SHALL BE AVAILABLE FOR REVIEW AND INSPECTION BY THE DEPARTMENT OR CONSERVATION DISTRICT.

ALTERATION OF BMPs:

NO PERSON SHALL MODIFY, REMOVE, FILL, LANDSCAPE, ALTER, OR IMPAIR THE EFFECTIVENESS OF ANY STORMWATER BMPs, CONVEYANCES, FACILITIES, AREAS OR STRUCTURES UNLESS THE ACTIVITY IS PART OF AN APPROVED MAINTENANCE PROGRAM, WITHOUT THE WRITTEN APPROVAL OF THE MUNICIPALITY.

NO PARSON SHALL PLACE ANY STRUCTURE, FILL, LANDSCAPING, ADDITIONAL VEGETATION, YARD WASTE, BRUSH CUTTINGS, OR OTHER WASTE OR DEBRIS INTO A BMP OR CONVEYANCE, OR WITHIN A STORMWATER EASEMENT, THAT WOULD LIMIT OR ALTER THE FUNCTIONING OF THE STORMWATER BMP OR CONVEYANCE, WITHOUT THE WRITTEN APPROVAL OF THE MUNICIPALITY.

BMP PROTECTION NOTE: - 102.8(f)(7)

SITE CONTRACTOR SHALL PROVIDE PROTECTION FOR INFILTRATION BMPs UNTIL DRAINAGE AREA IS COMPLETELY STABILIZED.

DRAINAGE AREAS IN BMPs MUST BE 70% STABILIZED BEFORE RUNOFF CAN ENTER THE BMP.

CALL BEFORE YOU DIG!

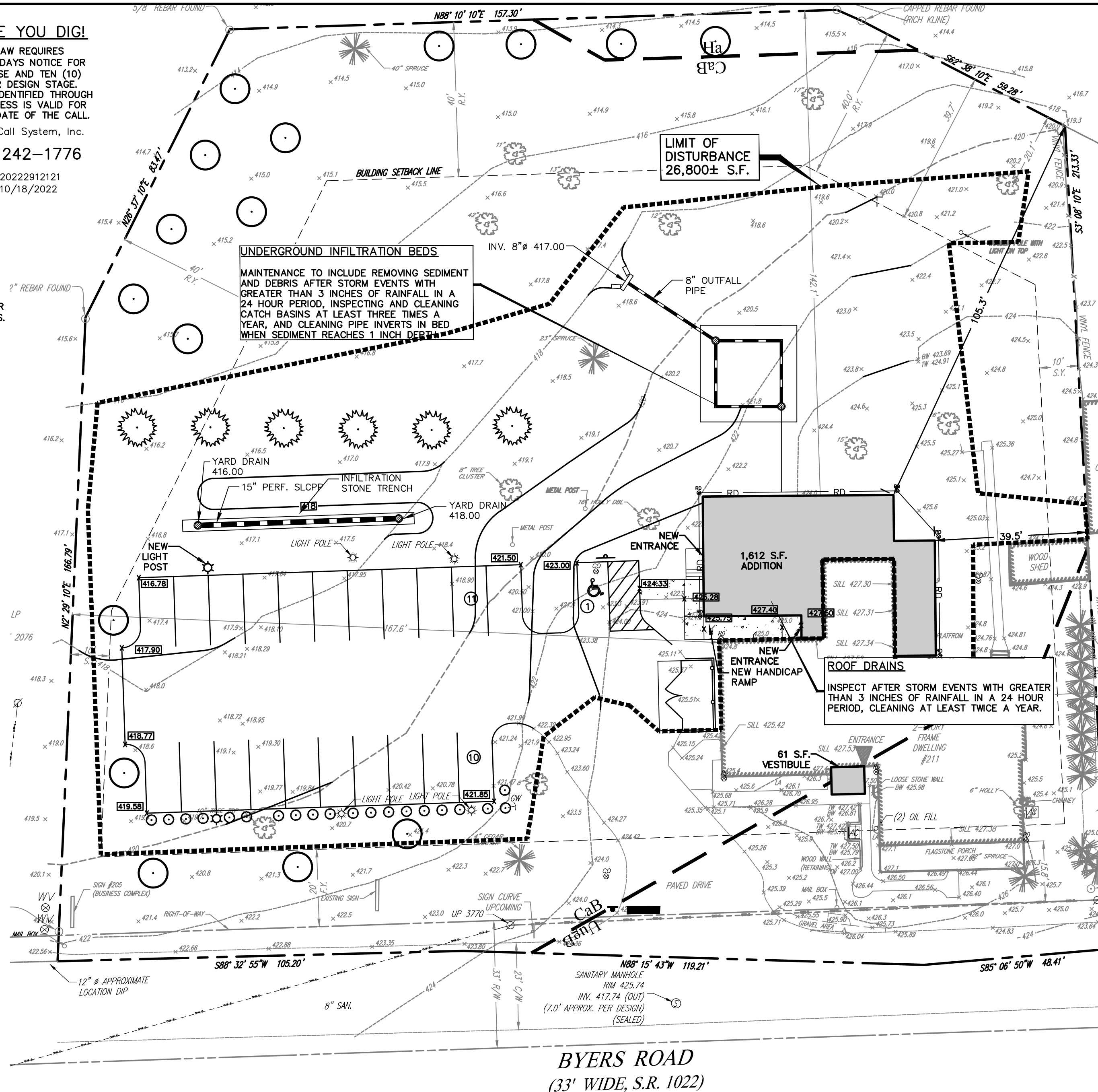
PENNSYLVANIA LAW REQUIRES THREE (3) WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND TEN (10) WORKING DAYS FOR DESIGN STAGE. UTILITY INFORMATION IDENTIFIED THROUGH THE ONE-CALL PROCESS IS VALID FOR 90 DAYS FROM THE DATE OF THE CALL.

Pennsylvania One Call System, Inc.

800-242-1776

SERIAL# 2022912121

ONE-CALL DATE: 10/18/2022



OWNER
9 COFFMAN ASSOCIATES, LP
211 BYERS RD
MAP: 32-4K-4
CHESTER SPRINGS, PA 19425
DB/PG: 7355/455

SITE INFORMATION
211 BYERS RD
MAP: 32-4K-4
DB/PG: 7355/455

CATCH BASIN INSERT MAINTENANCE NOTES:

RECOMMENDED FREQUENCY OF SERVICE:

DRAINAGE PROTECTION SYSTEMS (DPS) RECOMMENDS THAT INSTALLED CATCH BASIN INSERT FILTERS BE SERVICED ON A RECURRING BASIS. ULTIMATELY, THE FREQUENCY DEPENDS ON THE AMOUNT OF RUNOFF, POLLUTANT LOADING AND INTERFERENCE FROM DEBRIS (LEAVES, VEGETATION, CANS, PAPER, ETC.). HOWEVER, IT IS RECOMMENDED THAT EACH INSTALLATION BE SERVICED A MINIMUM OF THREE TIMES PER YEAR, WITH A CHANGE OF FILTER MEDIUM ONCE PER YEAR. DPS TECHNICIANS ARE AVAILABLE TO DO AN ON-SITE EVALUATION, UPON REQUEST.

RECOMMENDED TIMING OF SERVICE:

DPS GUIDELINES FOR THE TIMING OF SERVICE ARE AS FOLLOWS:

- FOR AREAS WITH WINTER SNOW AND SUMMER RAIN: PRIOR TO AND JUST AFTER THE SNOW SEASON AND DURING THE SUMMER RAIN SEASON.

SERVICE PROCEDURES:

- THE CATCH BASIN GRATE SHALL BE REMOVED AND SET TO ONE SIDE. THE CATCH BASIN SHALL BE VISUALLY INSPECTED FOR DEFECTS AND POSSIBLE ILLEGAL DUMPING. IF ILLEGAL DUMPING HAS OCCURRED, THE PROPER AUTHORITIES AND PROPERTY OWNER REPRESENTATIVE SHALL BE NOTIFIED AS SOON AS PRACTICABLE.
- USING AN INDUSTRIAL VACUUM, THE COLLECTED MATERIALS SHALL BE REMOVED FROM THE LINER. (NOTE: DPS USES A TRUCK-MOUNTED VACUUM FOR SERVICING CATCH BASIN INSERTS.)
- WHEN ALL OF THE COLLECTED MATERIALS HAVE BEEN REMOVED, THE FILTER MEDIUM POUCHES SHALL BE REMOVED BY UNSNAPPING THE TETHER FROM THE D-RING AND SET TO ONE SIDE. THE FILTER LINER, GASKETS, STAINLESS STEEL FRAME AND MOUNTING BRACKETS, ETC. SHALL BE INSPECTED FOR CONTINUED SERVICEABILITY. MINOR DAMAGE OR DEFECTS FOUND SHALL BE CORRECTED ON-THE-SPOT AND A NOTATION MADE ON THE MAINTENANCE RECORD. MORE EXTENSIVE DEFICIENCIES THAT AFFECT THE EFFICIENCY OF THE FILTER (TORN LINER, ETC.), IF APPROVED BY THE CUSTOMER REPRESENTATIVE, WILL BE CORRECTED AND AN INVOICE SUBMITTED TO THE REPRESENTATIVE ALONG WITH THE MAINTENANCE RECORD.
- THE FILTER MEDIUM POUCHES SHALL BE INSPECTED FOR DEFECTS AND CONTINUED SERVICEABILITY AND REPLACED AS NECESSARY AND THE POUCH TETHERS RE-ATTACHED TO THE LINER'S D-RING. SEE BELOW.
- THE GRATE SHALL BE REPLACED.

REPLACEMENT AND DISPOSAL OF EXPOSED FILTER MEDIUM AND COLLECTED DEBRIS

THE FREQUENCY OF FILTER MEDIUM POUCH EXCHANGE WILL BE IN ACCORDANCE WITH THE EXISTING DPS-CUSTOMER MAINTENANCE CONTRACT. DPS RECOMMENDS THAT THE MEDIUM BE CHANGED AT LEAST ONCE PER YEAR. DURING THE APPROPRIATE SERVICE, OR IF SO DETERMINED BY THE SERVICE TECHNICIAN DURING A NON-SCHEDULED SERVICE, THE FILTER MEDIUM POUCHES WILL BE REPLACED WITH NEW POUCHES. ONCE THE EXPOSED POUCHES AND DEBRIS HAVE BEEN REMOVED, DPS HAS POSSESSION AND MUST DISPOSE OF IT IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL AGENCY REQUIREMENTS.

DPS ALSO HAS THE CAPABILITY OF SERVICING ALL MANNER OF CATCH BASIN INSERTS AND CATCH BASINS WITHOUT INSERTS, UNDERGROUND OIL/WATER SEPARATORS, STORMWATER INTERCEPTORS AND OTHER SUCH DEVICES. ALL DPS PERSONNEL ARE HIGHLY QUALIFIED TECHNICIANS AND ARE CONFIDENT SPACE TRAINED AND CERTIFIED. CALL US AT (888) 950-8826 FOR FURTHER INFORMATION AND ASSISTANCE.

PCSM REPORTING AND RECORDKEEPING

THE PCSM PLAN, INSPECTION REPORTS AND MONITORING SHALL BE AVAILABLE FOR REVIEW AND INSPECTION BY THE MUNICIPALITY.

CONSTRUCTION OVERSIGHT REQUIREMENTS

THE PERMITTEE SHALL PROVIDE PROFESSIONAL ENGINEERING OVERSIGHT FOR ANY CONSTRUCTION SEQUENCE DESIGNATED AS A CRITICAL PHASE IN ORDER TO ENSURE PROPER INSTALLATION. A LICENSED PROFESSIONAL ENGINEER KNOWLEDGEABLE IN THE DESIGN & CONSTRUCTION OF STORMWATER BMPs, PREFERABLY THE DESIGN ENGINEER, SHALL CONDUCT THE OVERSIGHT.

STORMWATER MANAGEMENT OPERATION & MAINTENANCE STATEMENT

UNDER AND SUBJECT, NEVERTHELESS, TO THE FOLLOWING CONDITIONS AND RESTRICTIONS: PRIOR TO THE CONSTRUCTION OF A DWELLING OR ANY OTHER EARTHMOVING ACTIVITIES, THE PROPERTY OWNER SHALL CONSTRUCT THE PERMANENT STORMWATER MANAGEMENT FACILITIES AS SHOWN ON THE STORMWATER MANAGEMENT PLAN PREPARED BY LINN ARCHITECTS DATED DECEMBER 9, 2022 AND APPROVED BY UPPER UWCHLAN TOWNSHIP; THEREAFTER, THE PROPERTY OWNER, HIS HEIRS, EXECUTORS, ADMINISTRATORS, SUCCESSORS, AND ASSIGNS ("OWNER"), AT HIS OR HER SOLE COST OF EXPENSE, SHALL OPERATE, MAINTAIN AND REPAIR SAID STORMWATER MANAGEMENT FACILITIES ON THE LOT IN ACCORDANCE WITH SAID PLAN, SO THAT THE FACILITIES SHALL AT ALL TIMES CONTINUE TO OPERATE AND FUNCTION IN THE SAME MANNER AND CAPACITY AS THEY WERE DESIGNED. IN THE EVENT OF THE FAILURE OF THE OWNER TO COMPLY WITH THESE CONDITIONS AND RESTRICTIONS, UPPER UWCHLAN TOWNSHIP SHALL HAVE SAID STORMWATER MANAGEMENT FACILITIES REPAIRED OR RESTORED AS REQUIRED, AND THE COST THEREOF SHALL BE ASSESSED TO THE OWNER; SAID ASSESSMENT SHALL BE A CHARGE AND A CONTINUING LIEN UPON THE PROPERTY HEREIN. THE TOWNSHIP BEFORE IT MAY EXERCISE THIS RIGHT, SHALL NOTIFY THE OWNER BY CERTIFIED MAIL OF ITS INTENTION TO TAKE THE AFORESAID ACTION. THE NOTICE SHALL SET FORTH IN WHAT MANNER THE OWNER HAS NEGLECTED THE OPERATION AND MAINTENANCE OF OR REPAIR TO THE STORMWATER MANAGEMENT FACILITIES, AND IF THE OWNER FAILS TO CORRECT OR REPAIR THE ITEMS LISTED IN THE NOTICE FROM THE TOWNSHIP PRIOR TO THE IDENTIFIED DEADLINE, THEN AND ONLY THEN MAY THE TOWNSHIP EXERCISE THIS RIGHT.

(SIGN) _____ (PRINT) _____ (DATE) _____

PROPERTY OWNER

ENGINEER'S CERTIFICATION

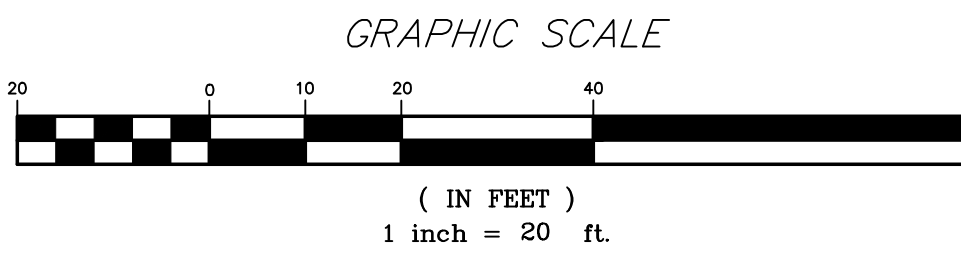
I, ADAM B. POWELL, P.E., ON THIS DATE _____, CERTIFY THAT THE DRAINAGE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE UPPER UWCHLAN STORMWATER MANAGEMENT ORDINANCE.

SIGNATURE OF ENGINEER _____ DATE _____

STORMWATER MANAGEMENT AGREEMENT

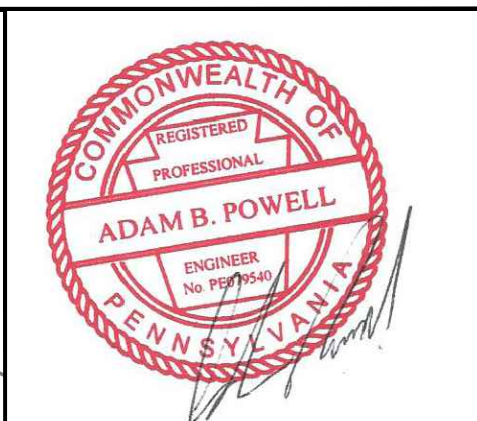
I ACKNOWLEDGE THE STORMWATER MANAGEMENT SYSTEM TO BE A PERMANENT FEATURE THAT CAN BE ALTERED OR REMOVED ONLY AFTER APPROVAL OF A REVISED PLAN BY THE TOWNSHIP AND A REVISED EROSION CONTROL PLAN MUST BE SUBMITTED TO THE CONSERVATION DISTRICT FOR A DETERMINATION OF ADEQUACY.

SIGNATURE _____ DATE _____



LEGEND

EXISTING	PROPOSED
CONCRETE CURB	CONCRETE CURB
CONC. SIDEWALK	CONC. SIDEWALK
CONC. CROSSLWALK	CONC. CROSSLWALK
FENCELINE	FENCELINE
RIGHT OF WAY	RIGHT OF WAY
PROPERTY LINE	PROPERTY LINE
IRON PIN	IRON PIN
MONUMENT	MONUMENT
SPOT GRADES	SPOT GRADES
CONTOURS	CONTOURS
SIGN	SIGN
SANITARY SEWER W/ M.H.	SANITARY SEWER W/ M.H.
SANITARY SEWER STRUCTURE NO.	SANITARY SEWER STRUCTURE NO.
ROOFDRAIN PIPE	ROOFDRAIN PIPE
ELECTRIC LINE	ELECTRIC LINE
WATER LINE	WATER LINE
GAS LINE	GAS LINE
UTILITY POLE	UTILITY POLE
FIRE HYDRANT	FIRE HYDRANT
GAS VALVE	GAS VALVE
WATER VALVE	WATER VALVE
CLEAN-OUT	CLEAN-OUT
WATER METER	WATER METER
GAS METER	GAS METER
ELECTRIC METER	ELECTRIC METER
OVERHEAD WIRE	OVERHEAD WIRE
LIMIT OF DISTURBANCE	LIMIT OF DISTURBANCE
PROJECT AREA	PROJECT AREA



ARCHITECTS

140 N. PROVIDENCE ROAD
MEDIA, PENNSYLVANIA 19063
TEL: 610-566-7044
FAX: 610-566-3258

ARCHITECTURE
ENGINEERING
SITE PLANNING
INTERIOR DESIGN

FOR
POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
EAGLE ANIMAL HOSPITAL
211 BYERS ROAD
UPPER UWCHLAN TOWNSHIP
CHESTER COUNTY, PA

REVISIONS	
NO.	DESCRIPTION
1	
2	
3	
4	

DATE :	12/09/2022
SCALE :	1"=20'
DRAWN BY:	SDL
CHECKED BY:	.
PROJ. NO.:	22222

SHEET NO.	C-8
SHEET 8 OF 9	

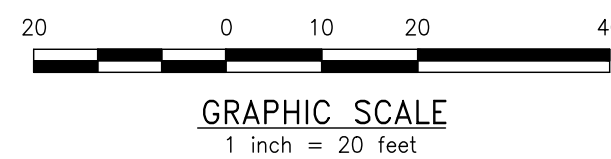
C-8



LEGEND

	UTILITY POLE
	ELECTRIC BOX
	AIR CONDITIONING UNIT
	COMMUNICATIONS BOX
	WATER METER
	ELECTRIC METER
	GAS METER
	WELL
	STREET SIGN
	GAS MANHOLE
	SANITARY MANHOLE
	STORM MANHOLE
	ELECTRIC MANHOLE
	COMMUNICATIONS MANHOLE
	WATER MANHOLE
	GENERAL UTILITY MANHOLE
	STORM INLET TYPE "L"
	STORM INLET TYPE "M"
	STORM INLET TYPE "S"
	CITY STORM INLET
	LIGHT POST
	FIRE HYDRANT
	SANITARY CLEAN OUT
	WATER VALVE
	GAS VALVE
	WETLAND FLAG
	ROOF DRAIN
	MONUMENT FOUND
	MONUMENT SET
	PIPE/REBAR FOUND
	5/8" REBAR SET
	STAKE FOUND
	STAKE SET
	SITE BENCHMARK
	DECIDUOUS TREE
	CONIFER TREE
	SLANTED TEXT-EXISTING
	UPRIGHT TEXT-PROPOSED
	TITLE REPORT NOTE

LANDS N/L OF
BYERS ROAD PROPERTIES, LP
UPI #: 32-4K-4.1
RECORD BOOK #: 9120, PAGE 2076



ZONING REQUIREMENTS*

ZONE C-1 VILLAGE DISTRICT AREA AND BULK REGULATIONS		REQUIRED	EXISTING
MIN. LOT AREA _____	10,000 S.F.		58,423 S.F.
MIN. LOT WIDTH _____	100'		271.7'
BUILDING SETBACKS			
MIN. FRONT YARD _____	20'		15.8' **
MIN. SIDE YARD _____	10'		18.5'
MIN. REAR YARD _____	40'		39.7' **
MAX. BUILDING COVERAGE _____	30%		7.5%
MAX. LOT COVERAGE _____	60%		20.8%
MAX. BUILDING HEIGHT _____	35'		<35'

* SEE GENERAL NOTES FOR ZONING INFORMATION DISCLAIMER
** EXISTING NON-CONFORMING

SITE

LOCATION MAP

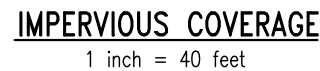
SCALE: 1"= 2000'

GENERAL NOTES

1. RECORD OWNER/SITE ADDRESS:
9 COFFMAN ASSOCIATES, LP
211 BYERS ROAD
CHESTER SPRINGS, PA 19425
2. TAX PARCEL #: 32-4K-4
3. SOURCE OF TITLE: RECORD BOOK 7335, PAGE 455
4. LOT AREA: 1.405 ACRES (GROSS) *
1.341 ACRES (NET OF R/W) *
5. TOPOGRAPHIC AND PHYSICAL IMPROVEMENTS SHOWN ARE FROM FIELD SURVEY BY HOWELL KLINE SURVEYING, LLC. PERFORMED ON 05/19/2022.
6. THIS MAP AND SURVEY WERE PREPARED FROM INFORMATION OF RECORD, FURNISHED AND/OR OBTAINED FROM THE EVIDENCE FOUND ON THE GROUND. THIS PLAN DOES NOT REPRESENT A BOUNDARY SURVEY. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT, WHICH WOULD DISCLOSE ANY RIGHTS, RESERVATIONS, EASEMENTS, ETC... OF RECORD.
7. CONTOURS PLOTTED FROM FIELD TOPOGRAPHIC SURVEY BY HOWELL KLINE SURVEYING, LLC. DATUM: NAD 88 (COMPUTED USING GEOID12A) & NAD 83 (2011) (EPOCH=2010.00000) (AS DETERMINED BY GPS OBSERVATION). SITE BENCH = RIM OF SOUTHWEST MARSHED LOCATED NEAR THE CENTERLINE OF BYERS ROAD. ELEVATION = 425.74'. CONTOUR INTERVAL: 2 FEET.
8. UNDERGROUND UTILITIES SHOWN WERE PLOTTED FROM OBSERVABLE EVIDENCE AT THE TIME OF SURVEY AND QUANTITIES MADE THAT UNDERGROUND UTILITIES ARE ACCURATELY OR COMPLETELY SHOWN HERE.
9. ZONING INFORMATION OBTAINED FROM TOWNSHIP ZONING ORDINANCE (AS POSTED ON THE TOWNSHIP WEBSITE) AT THE TIME OF SURVEY. PROJECT ENGINEER IS RESPONSIBLE FOR CHECKING LATEST TOWNSHIP ORDINANCES FOR ANY & ALL UPDATES OR TOWNSHIP REVISIONS.
10. THIS PROPERTY IS LOCATED WITHIN FLOOD HAZARD ZONE X, AN AREA OF MINIMAL FLOOD HAZARD FOR THE NATIONAL FLOOD INSURANCE RATE MAP FOR CHESTER COUNTY, PA. MAP NO. 42029C00956, PLACE 95 OF 380, DATED SEPTEMBER 29, 2017.

REFERENCE PLANS:

1. PLAN ENTITLED, "PLAN OF BOUNDARY - 211 BYERS ROAD", PREPARED BY HOWELL KLINE & ASSOCIATES, LLC., WEST CHESTER, PA. DATED 01/15/2008.



FOOTNOTE:

* LOT AREA TAKEN FROM DEED OF RECORD AND REFERENCE PLAN #1.

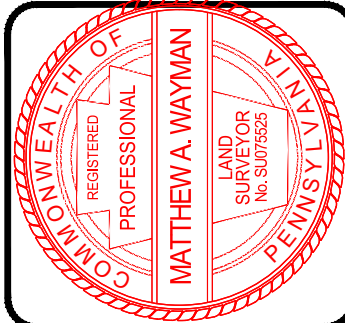


Land Surveying
Boundary / Topographic
Construction / ALTA-NSPS

www.HowellKline.com

HowellKline Surveying, LLC

1250 Wrights Lane
West Chester, PA 19380
Phone: (610) 918-9004
Fax: (610) 918-9005

[illegible]

PLAN OF TOPOGRAPHIC AND PHYSICAL IMPROVEMENTS SURVEY

FIRM: LINN ARCHITECTS
 ADDRESS: 211 BYERS ROAD
 LOCATION: UPPER UWCHLAN TOWNSHIP
 CHESTER COUNTY, PA

DATE: 05/19/202

SCALE:

DRAWN BY:

DATE: 11/11/11	CJC
CHECKED BY:	

CHECKED BY: MAW

PROJECT NO.: 14574

145/4

CAD FILE:

14574 05-19-202

DRAWING NO.: C 1

Si

SHEET 1 OF 1

STORMWATER MANAGEMENT REPORT

for

**EAGLE ANIMAL HOSPITAL
211 BYERS ROAD
UPPER UWCHLAN TWP., CHESTER COUNTY, PA**

Prepared by

Linn Architects
Media, PA 19063

December 9, 2022

Adam Powell, P.E.
PA License No. 079540

TABLE OF CONTENTS

LINN ARCHITECTS

1140 N. PROVIDENCE ROAD
MEDIA, PENNSYLVANIA 19063
TEL: 610.566.7044
FAX: 610.566.3258

PRELIMINARY STORMWATER MANAGEMENT REPORT

211 Byers Road, Upper Uwchlan Twp.

Section 1	■ Narrative	1
	■ Location Map	3
	■ Stormwater Summary Table	4
	■ Precipitation Data	5
	■ Act 167	6
Section 2	Runoff and Routing Calculations	

STORMWATER MANAGEMENT REPORT

for

211 Byers Road

BACKGROUND

The SUBJECT property is a 1.34-acre parcel located off the northern side of Byers Road, in Upper Uwchlan Twp., Chester County, Pennsylvania. The parcel is located in the C-1 Village zoning district and currently contains a two story building, 2 detached wooden sheds, a concrete greenhouse, and a wood outhouse. The Applicant is proposing to construct an addition for the existing two story building. The site drains to Pickering Creek (Chapter 93 classification: HQ-TSF, MF). The USDA Soil Conservation Service Soil Survey classifies soils on-site as Califon Loam (CaB), Hatboro Silt Loam (Ha), and Urban Land-Udorthents, Schist and Gneiss (UugB).

METHODOLOGY

The stormwater computations contained in this report were completed following the guidelines outlined in Technical Release No. 55 (TR-55) *Urban Hydrology for Small Watersheds*, issued by the Soil Conservation Service. The computer program *HydroCAD* 8.5 was utilized to generate the Pre-Developed and Post-Developed hydrographs.

In the pre-developed condition, the site was analyzed as one drainage area, As permitted by the Ordinance, the area was modeled in the Pre-Developed Condition as reflecting the existing surface conditions – impervious driveway paved area and lawn area 50-75% grass cover. With the project consisting of spot construction, a building addition, graded areas, and new pavement the existing and proposed stormwater management only took into account the areas which were disturbed or otherwise modified.

The Upper Uwchlan Twp. Stormwater Management Ordinance requires that stormwater volume controls be utilized to limit the post-development volume of runoff for the 10-year storm to not exceed the same for the Pre-developed 2-year storm.

In the Post-developed condition, drainage was analyzed as one area, which was broken down into Uncontrolled Area, Stormwater bed area, and Infiltration trench area.

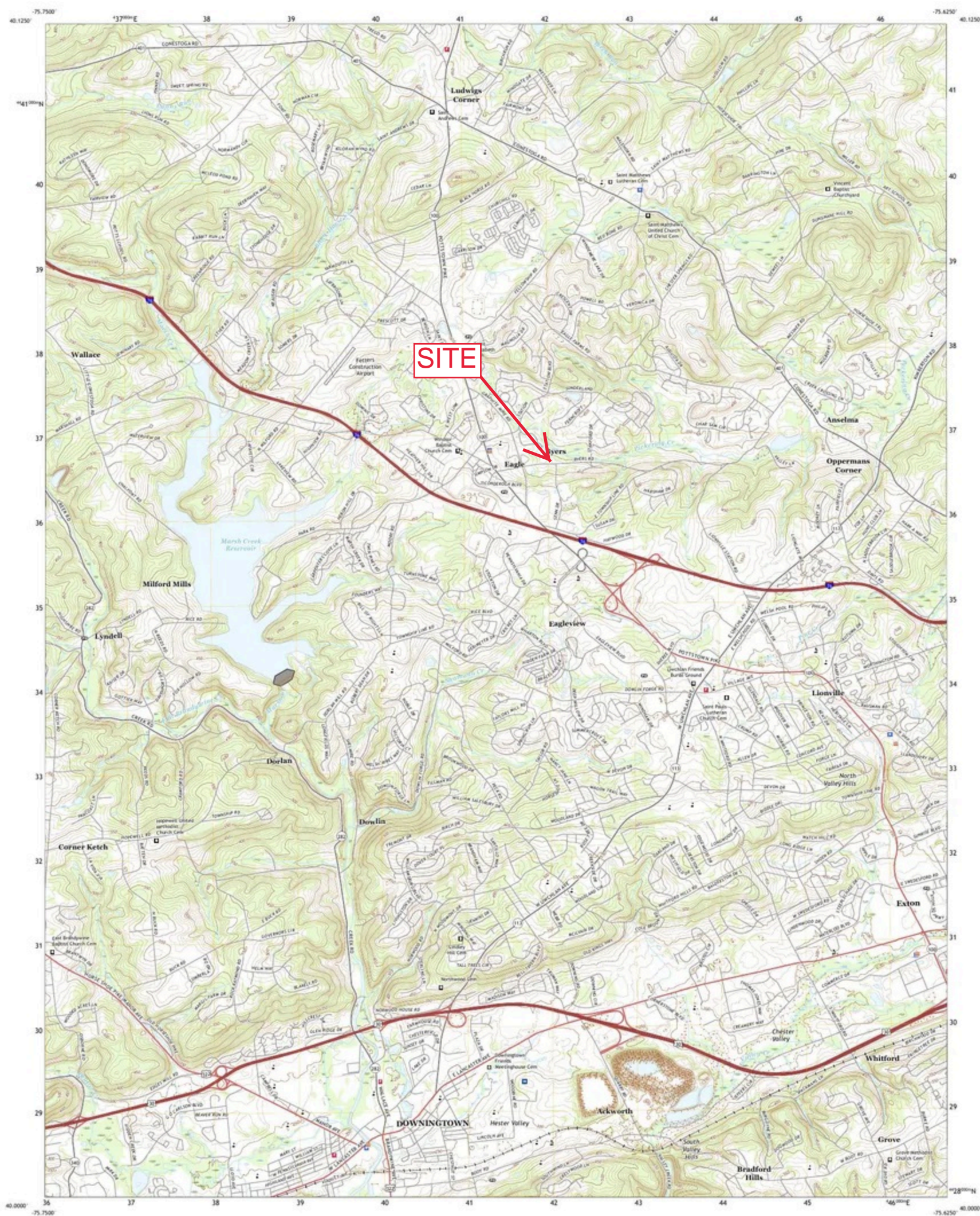
The Stormwater Model assumes a conservative infiltration rate of 0.5 inch per hour. Soil testing will be performed during construction and, if required, this will be modified accordingly and submitted to the Township of review and approval. Double ring infiltrometer tests will be performed under each bed location to determine infiltration rates of the soil. A design infiltration rate will be deduced from the values found.

The proposed bed consists of 8 inch diameter perforated pipe set in a bed of stone, and the proposed storm trench consists of 15 inch diameter perforated pipe set in a bed of stone. Both systems are designed to control the runoff from the proposed site and are

capable of capturing and infiltrating part of the runoff for all design storms and are able to safely release that runoff as to not negatively impact any neighbors.

CONCLUSION

This analysis confirms that the Stormwater Management System proposed for this site is capable of meeting the intent of the requirements contained in the Upper Uwchlan Township Stormwater Management Ordinance.



Produced by the United States Geological Survey

North American Datum of 1983 (NAD83)
World Geodetic System of 1984 (WGS84). Projection and

This map is not a legal document. Boundaries may be

This map is not a legal document. Boundaries may be generalized for this map scale. Private lands within government reservations may not be shown. Obtain permission before

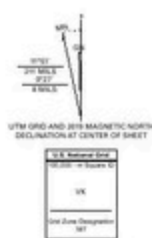
Inventory: 5405 June 2011

Imagery: _____ NASP June 2011
 Roads: _____ U.S. Census
 Names: _____

Hydrography	National Hydrography Data
Contours	National Elevation

Boundaries.....Multiple sources; see metadata file

Wetlands.....FWS National Wetlands Inventory



SCALE 1:24 000



CONTOUR INTERVAL 10 FEET
TO AMERICAN VERTICAL DATUM OF 1988

This map was produced to conform with the

This map was produced to conform with the National Geospatial Program US Taps Product Standard, 2011. A metadata file associated with this product is draft version 2.4.12

A metadata file associated with this product is draft version 2.6.18



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1	2	3	2 Put...
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6	7	8
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6	7	8
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Control - Quadrant 6

1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 2678, 2679, 26

ROAD CLASSIFICATION

Expressway ————— Local Car

Secondary Wey Local Res
Ramp d/d

 Interstate Route
 US Route

DOWNINGTOWN,

2019

DOWNINGTOWN, PA

2019



LINN ARCHITECTS
 1140 N. PROVIDENCE ROAD
 MEDIA, PENNSYLVANIA 19063
 TEL: 610.566.7044
 FAX: 610.566.3258

Project Name: **Eagle Animal Hospital**
 Location: **Upper Uwchlan Township, Chester County, PA**
 Prepared by: **SFP**
 Checked by: **ABP**

Project No: **22222**
 Date: **12.09.22**
 Revised:

STORMWATER RATE SUMMARY - Pickering Creek

Storm Event (year)	Rainfall (in/event)	Existing Condition To Creek	Proposed Condition to Creek								ACT 167 REQUIREMENTS
		Rate (cfs)	Uncontrolled Runoff Rate (cfs)	Infiltration Trench			Infiltration Bed			Total Release (cfs)	
				Rate In (year)	Elevation (ft)	Rate out (cfs)	Rate In (cfs)	Elevation (ft)	Rate out (cfs)		
1	2.69	1.64	0.98	0.54	415.01	0.00	0.25	417.08	0.00	0.98	<= 2-yr Post<1-yr Pre
2	3.24		1.29	0.68	415.51	0.00	0.31	417.44	0.00	1.29	
5	4.06	2.91	1.75	0.88	416.33	0.00	0.41	418.07	0.00	1.75	
10	4.74	3.56	2.13	1.05	417.13	0.00	0.49	418.54	0.00	2.13	
25	5.72	4.49	2.69	1.30	418.00	0.01	0.61	418.63	0.06	2.69	
50	6.54	5.26	3.16	1.50	418.01	0.06	0.71	418.80	0.28	3.16	
100	7.42	6.10	3.67	1.72	418.05	0.21	0.82	418.94	0.55	3.84	
	Area (sf)	26,799	16,130	7,187			3,482			26,799	
	Tc	5	5.0 min	5 min.			5 min.			5 min.	
	CN	87	87	93			90			77	

STORMWATER VOLUME SUMMARY - Pickering Creek

Storm Event (year)	Rainfall (in/event)	Existing Condition Stormwater Runoff	Proposed Condition								Total Release (cf)
		Volume (cf)	Uncontrolled Runoff Volume (cf)	Infiltration Trench			Infiltration Bed				
				Volume (cf)	Volume Infiltrated (cf)	Volume Released (cf)	Volume (cf)	Volume Infiltrated (cf)	Volume Released (cf)		
1	2.68	3,377	2,018	1,193	1,193	0	528	528	0	2,018	
2	3.24	4,428	2,649	1,499	1,499	0	671	671	0	2,649	
5	4.12	6,060	3,630	1,690	1,690	0	892	892	0	3,630	
10	4.85	7,453	4,467	2,353	2,353	0	1,078	1,041	37	4,504	
25	5.94	9,502	5,700	2,921	2,764	157	1,350	1,088	262	6,119	
50	6.87	11,243	6,747	3,400	2,776	624	1,580	1,121	459	7,830	
100	7.89	13,129	7,882	3,916	2,785	1,131	1,828	1,150	678	9,691	

ACT 167 VOLUME CONTROL

2-yr Pre Volume: 3,539 cf*
 2-yr Post Volume: **4,819** cf
 2-yr Net Increase: 1,280 cf

$$WQv = [(P)(Rv)(A)]/12$$

$$WQv = [(1)(0.79)(2.71)]/12$$

$$WQv = 0.178 \text{ acre-ft}$$

$$WQv = 7,771 \text{ cf}$$

$$\text{Provided 2-yr Infiltration Volume: } \mathbf{2,170 \text{ cf}}$$

* The calculated 2-yr Predeveloped Volume accounts for the 20% reduction of the Existing Impervious Surface and all Pervious Surfaces are considered Meadow.

ACT 167 WATER QUALITY CONTROL

P = 1 inch

A = 118,236 sf/43,560 sf = 2.71 Acre

I = 97,534 sf/43,560 sf = 2.23 Acre

Rv = 0.05+0.009(2.23/2.71x100)

Rv = 0.79

DEWATERING TIME

Structure	Storage Volume (cft)	Bottom Surface Area (square feet)	Design Infiltration Rate (inches/hour)	Storage Depth (feet)	Dewatering Time (hours)
Trench	2,466	602	0.500	4.10	98.31
Bed	763	625	0.500	1.22	29.30

Dewatering Calculations

- (1) Storage Volume = Storage capacity below lowflow outlet
- (2) Storage Depth = (Storage Volume) / (Bottom Surface Area)
- (3) Dewatering Time = (Storage Depth) / (Design Infiltration Rate)



NOAA Atlas 14, Volume 2, Version 3
Location name: Chester Springs, Pennsylvania,
USA*
Latitude: 40.0785°, Longitude: -75.6804°
Elevation: 419.82 ft**
* source: ESRI Maps
** source: USGS



POINT PRECIPITATION FREQUENCY ESTIMATES

G.M. Bonnín, D. Martín, B. Lin, T. Parzybok, M.Yekta, and D. Riley

NOAA, National Weather Service, Silver Spring, Maryland

[PF tabular](#) | [PF graphical](#) | [Maps & aeriels](#)

PF tabular

PDS-based point precipitation frequency estimates with 90% confidence intervals (in inches) ¹										
Duration	Average recurrence interval (years)									
	1	2	5	10	25	50	100	200	500	1000
5-min	0.347 (0.318-0.381)	0.414 (0.378-0.454)	0.483 (0.440-0.529)	0.531 (0.484-0.582)	0.586 (0.531-0.642)	0.623 (0.561-0.682)	0.659 (0.590-0.721)	0.689 (0.615-0.755)	0.722 (0.639-0.792)	0.745 (0.656-0.820)
10-min	0.555 (0.507-0.609)	0.662 (0.605-0.727)	0.773 (0.705-0.848)	0.850 (0.773-0.931)	0.934 (0.846-1.02)	0.992 (0.894-1.09)	1.05 (0.938-1.15)	1.09 (0.975-1.20)	1.14 (1.01-1.25)	1.17 (1.03-1.29)
15-min	0.694 (0.634-0.761)	0.832 (0.760-0.913)	0.978 (0.892-1.07)	1.08 (0.978-1.18)	1.18 (1.07-1.30)	1.26 (1.13-1.38)	1.32 (1.19-1.45)	1.38 (1.23-1.51)	1.44 (1.27-1.58)	1.47 (1.30-1.62)
30-min	0.951 (0.869-1.04)	1.15 (1.05-1.26)	1.39 (1.27-1.52)	1.56 (1.42-1.71)	1.75 (1.59-1.92)	1.89 (1.70-2.07)	2.03 (1.82-2.22)	2.14 (1.92-2.35)	2.29 (2.03-2.51)	2.38 (2.10-2.63)
60-min	1.19 (1.08-1.30)	1.44 (1.32-1.58)	1.78 (1.62-1.95)	2.03 (1.85-2.22)	2.34 (2.12-2.56)	2.56 (2.31-2.81)	2.79 (2.50-3.06)	3.01 (2.69-3.30)	3.28 (2.91-3.60)	3.48 (3.07-3.83)
2-hr	1.42 (1.28-1.57)	1.72 (1.55-1.90)	2.13 (1.93-2.37)	2.45 (2.21-2.72)	2.87 (2.57-3.18)	3.20 (2.85-3.54)	3.53 (3.12-3.90)	3.86 (3.39-4.27)	4.30 (3.74-4.76)	4.64 (3.99-5.14)
3-hr	1.54 (1.39-1.71)	1.87 (1.69-2.07)	2.32 (2.10-2.58)	2.67 (2.40-2.96)	3.13 (2.80-3.47)	3.49 (3.10-3.86)	3.85 (3.41-4.25)	4.22 (3.70-4.66)	4.70 (4.07-5.20)	5.07 (4.36-5.62)
6-hr	1.91 (1.72-2.12)	2.30 (2.09-2.56)	2.86 (2.58-3.18)	3.31 (2.98-3.67)	3.92 (3.51-4.34)	4.42 (3.92-4.88)	4.94 (4.35-5.45)	5.48 (4.78-6.05)	6.23 (5.35-6.89)	6.82 (5.78-7.55)
12-hr	2.31 (2.09-2.60)	2.79 (2.52-3.13)	3.48 (3.14-3.90)	4.06 (3.64-4.53)	4.88 (4.34-5.42)	5.57 (4.90-6.17)	6.31 (5.49-7.00)	7.10 (6.11-7.87)	8.24 (6.96-9.14)	9.18 (7.62-10.2)
24-hr	2.69 (2.47-2.96)	3.24 (2.97-3.56)	4.06 (3.71-4.45)	4.74 (4.32-5.19)	5.72 (5.19-6.25)	6.54 (5.91-7.14)	7.42 (6.67-8.09)	8.37 (7.48-9.12)	9.75 (8.62-10.6)	10.9 (9.54-11.9)
2-day	3.12 (2.85-3.45)	3.77 (3.44-4.16)	4.73 (4.30-5.21)	5.50 (5.00-6.06)	6.60 (5.97-7.26)	7.51 (6.76-8.25)	8.47 (7.59-9.31)	9.49 (8.45-10.4)	11.0 (9.66-12.0)	12.1 (10.6-13.3)
3-day	3.29 (3.00-3.64)	3.97 (3.62-4.39)	4.97 (4.52-5.48)	5.77 (5.24-6.37)	6.92 (6.25-7.61)	7.86 (7.07-8.64)	8.85 (7.93-9.73)	9.91 (8.82-10.9)	11.4 (10.1-12.6)	12.6 (11.1-13.9)
4-day	3.46 (3.16-3.83)	4.17 (3.80-4.62)	5.21 (4.74-5.76)	6.05 (5.49-6.67)	7.23 (6.54-7.97)	8.21 (7.39-9.03)	9.24 (8.27-10.2)	10.3 (9.20-11.4)	11.9 (10.5-13.1)	13.1 (11.5-14.5)
7-day	4.05 (3.72-4.43)	4.86 (4.46-5.32)	6.00 (5.50-6.57)	6.94 (6.35-7.59)	8.27 (7.54-9.03)	9.37 (8.50-10.2)	10.5 (9.51-11.5)	11.8 (10.6-12.8)	13.5 (12.1-14.8)	15.0 (13.2-16.3)
10-day	4.62 (4.27-5.02)	5.52 (5.09-6.00)	6.73 (6.20-7.31)	7.69 (7.07-8.35)	9.04 (8.28-9.79)	10.1 (9.24-11.0)	11.2 (10.2-12.2)	12.4 (11.2-13.4)	14.0 (12.6-15.2)	15.3 (13.7-16.6)
20-day	6.25 (5.81-6.73)	7.41 (6.89-7.98)	8.84 (8.21-9.51)	9.95 (9.24-10.7)	11.5 (10.6-12.3)	12.6 (11.7-13.6)	13.8 (12.7-14.8)	15.0 (13.8-16.1)	16.6 (15.2-17.9)	17.8 (16.2-19.2)
30-day	7.77 (7.30-8.28)	9.16 (8.60-9.75)	10.7 (10.0-11.4)	11.8 (11.1-12.6)	13.4 (12.5-14.2)	14.5 (13.6-15.5)	15.7 (14.6-16.7)	16.8 (15.6-17.9)	18.2 (16.9-19.5)	19.3 (17.8-20.6)
45-day	9.86 (9.33-10.4)	11.6 (10.9-12.3)	13.3 (12.6-14.1)	14.6 (13.8-15.5)	16.2 (15.3-17.2)	17.4 (16.5-18.5)	18.6 (17.5-19.7)	19.7 (18.5-20.8)	21.0 (19.7-22.3)	22.0 (20.5-23.3)
60-day	11.8 (11.2-12.5)	13.8 (13.1-14.6)	15.8 (15.0-16.7)	17.2 (16.3-18.2)	19.0 (18.1-20.1)	20.4 (19.3-21.5)	21.6 (20.4-22.8)	22.7 (21.4-24.0)	24.1 (22.7-25.5)	25.1 (23.6-26.5)

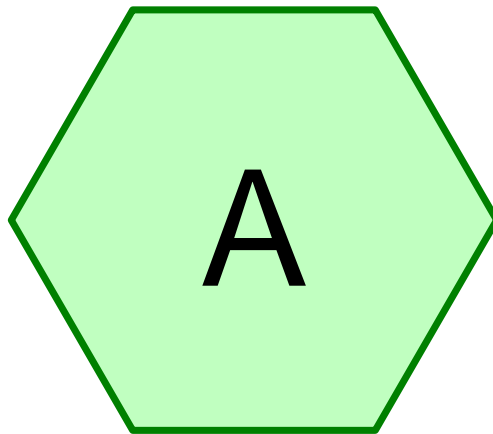
¹ Precipitation frequency (PF) estimates in this table are based on frequency analysis of partial duration series (PDS).

Numbers in parenthesis are PF estimates at lower and upper bounds of the 90% confidence interval. The probability that precipitation frequency estimates (for a given duration and average recurrence interval) will be greater than the upper bound (or less than the lower bound) is 5%. Estimates at upper bounds are not checked against probable maximum precipitation (PMP) estimates and may be higher than currently valid PMP values.

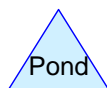
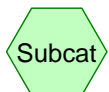
Please refer to NOAA Atlas 14 document for more information.

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PF graphical



Act 167 - Existing Conditions



Routing Diagram for 22222 Eagle Vet

Prepared by {enter your company name here}, Printed 12/6/2022
HydroCAD® 10.00-26 s/n 05292 © 2020 HydroCAD Software Solutions LLC

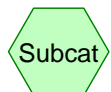
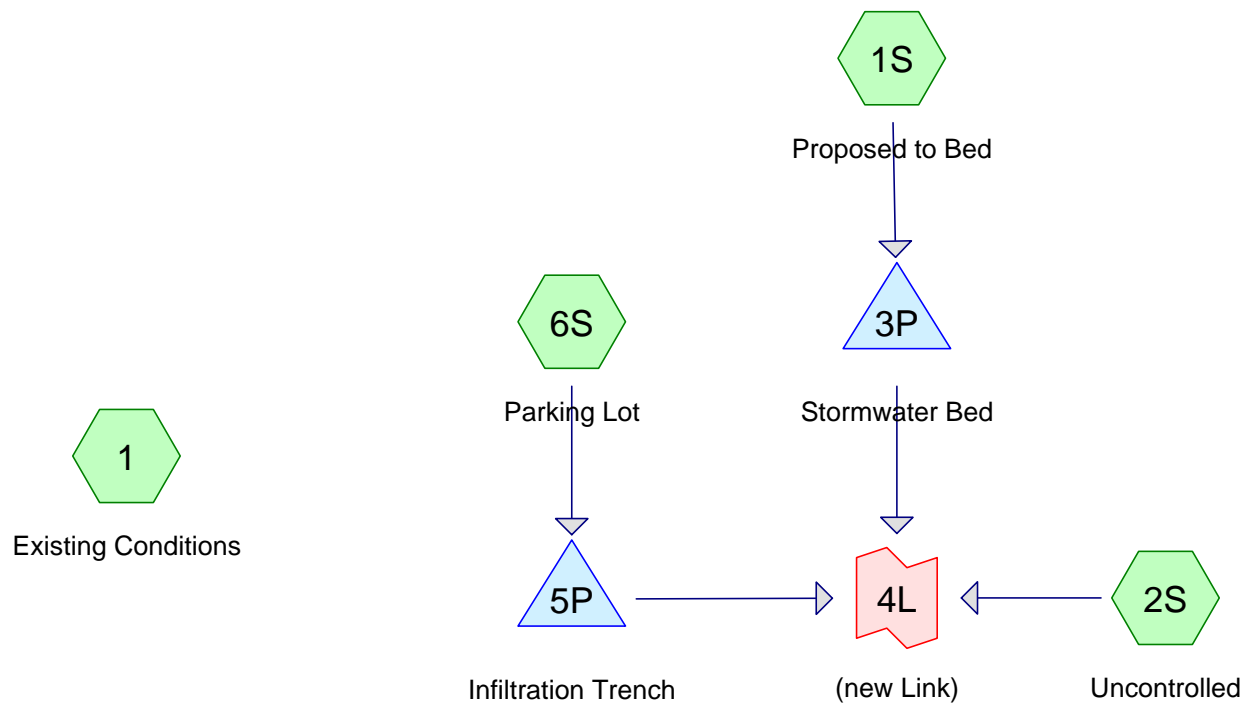
Summary for Subcatchment A: Act 167 - Existing Conditions

Runoff = 1.72 cfs @ 11.96 hrs, Volume= 3,539 cf, Depth= 1.58"

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-120.00 hrs, dt= 0.01 hrs
Type II 24-hr 2-YEAR Rainfall=3.24"

	Area (sf)	CN	Description
*	4,430	98	Paved parking, HSG B (80%)
	22,369	78	Meadow, non-grazed, HSG D
	26,799	81	Weighted Average
	22,369		83.47% Pervious Area
	4,430		16.53% Impervious Area

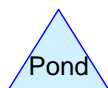
Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,



Subcat



Reach



Pond



Link

Routing Diagram for 22222 Eagle Vet

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HydroCAD® 10.00-26 s/n 05292 © 2020 HydroCAD Software Solutions LLC

Summary for Subcatchment 1: Existing Conditions

Runoff = 1.64 cfs @ 11.96 hrs, Volume= 3,377 cf, Depth= 1.51"

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-120.00 hrs, dt= 0.01 hrs
Type II 24-hr 1-YEAR Rainfall=2.69"

Area (sf)	CN	Description
19,398	84	50-75% Grass cover, Fair, HSG D
4,623	98	Paved parking, HSG D
914	98	Paved parking, HSG B
1,864	84	50-75% Grass cover, Fair, HSG D
26,799	87	Weighted Average
21,262		79.34% Pervious Area
5,537		20.66% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

Summary for Subcatchment 1S: Proposed to Bed

Runoff = 0.25 cfs @ 11.96 hrs, Volume= 528 cf, Depth= 1.82"

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-120.00 hrs, dt= 0.01 hrs
Type II 24-hr 1-YEAR Rainfall=2.69"

Area (sf)	CN	Description
* 1,612	98	Paved parking, HSG B (Roof)
1,870	84	50-75% Grass cover, Fair, HSG D
3,482	90	Weighted Average
1,870		53.70% Pervious Area
1,612		46.30% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

Summary for Subcatchment 2S: Uncontrolled

Runoff = 0.98 cfs @ 11.96 hrs, Volume= 2,018 cf, Depth= 1.50"

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-120.00 hrs, dt= 0.01 hrs
Type II 24-hr 1-YEAR Rainfall=2.69"

22222 Eagle Vet

Type II 24-hr 1-YEAR Rainfall=2.69"

Prepared by {enter your company name here}

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Page 3

Area (sf)	CN	Description
3,183	98	Paved parking, HSG D
10,837	84	50-75% Grass cover, Fair, HSG D
2,110	84	50-75% Grass cover, Fair, HSG D
16,130	87	Weighted Average
12,947		80.27% Pervious Area
3,183		19.73% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

Summary for Subcatchment 6S: Parking Lot

Runoff = 0.54 cfs @ 11.96 hrs, Volume= 1,193 cf, Depth= 1.99"

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-120.00 hrs, dt= 0.01 hrs
Type II 24-hr 1-YEAR Rainfall=2.69"

Area (sf)	CN	Description
1,603	84	50-75% Grass cover, Fair, HSG D
4,377	98	Paved parking, HSG B
1,207	84	50-75% Grass cover, Fair, HSG D
7,187	93	Weighted Average
2,810		39.10% Pervious Area
4,377		60.90% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

Summary for Pond 3P: Stormwater Bed

Inflow Area = 3,482 sf, 46.30% Impervious, Inflow Depth = 1.82" for 1-YEAR event
 Inflow = 0.25 cfs @ 11.96 hrs, Volume= 528 cf
 Outflow = 0.01 cfs @ 11.12 hrs, Volume= 528 cf, Atten= 97%, Lag= 0.0 min
 Discarded = 0.01 cfs @ 11.12 hrs, Volume= 528 cf
 Primary = 0.00 cfs @ 0.00 hrs, Volume= 0 cf

Routing by Stor-Ind method, Time Span= 0.00-120.00 hrs, dt= 0.01 hrs
 Peak Elev= 417.08' @ 13.98 hrs Surf.Area= 625 sf Storage= 271 cf

Plug-Flow detention time= 349.3 min calculated for 528 cf (100% of inflow)
 Center-of-Mass det. time= 349.3 min (1,134.0 - 784.7)

Volume	Invert	Avail.Storage	Storage Description
#1	416.00'	742 cf	25.00'W x 25.00'L x 3.00'H Prismatic 1,875 cf Overall - 21 cf Embedded = 1,854 cf x 40.0% Voids
#2	417.00'	21 cf	8.0" Round Pipe Storage Inside #1 L= 60.0'
		763 cf	Total Available Storage

Device	Routing	Invert	Outlet Devices
#1	Discarded	416.00'	0.500 in/hr Exfiltration over Surface area
#2	Primary	418.50'	8.0" Vert. Orifice/Grate C= 0.600

Discarded OutFlow Max=0.01 cfs @ 11.12 hrs HW=416.03' (Free Discharge)

↑**1=Exfiltration** (Exfiltration Controls 0.01 cfs)

Primary OutFlow Max=0.00 cfs @ 0.00 hrs HW=416.00' (Free Discharge)

↑**2=Orifice/Grate** (Controls 0.00 cfs)

Summary for Pond 5P: Infiltration Trench

Inflow Area = 7,187 sf, 60.90% Impervious, Inflow Depth = 1.99" for 1-YEAR event
 Inflow = 0.54 cfs @ 11.96 hrs, Volume= 1,193 cf
 Outflow = 0.01 cfs @ 9.84 hrs, Volume= 1,193 cf, Atten= 99%, Lag= 0.0 min
 Discarded = 0.01 cfs @ 9.84 hrs, Volume= 1,193 cf
 Primary = 0.00 cfs @ 0.00 hrs, Volume= 0 cf

Routing by Stor-Ind method, Time Span= 0.00-120.00 hrs, dt= 0.01 hrs

Peak Elev= 415.01' @ 18.42 hrs Surf.Area= 602 sf Storage= 792 cf

Plug-Flow detention time= 1,050.7 min calculated for 1,193 cf (100% of inflow)

Center-of-Mass det. time= 1,050.8 min (1,825.7 - 774.9)

Volume	Invert	Avail.Storage	Storage Description
#1	413.50'	164 cf	2.50'W x 60.00'L x 3.00'H Prismatic 450 cf Overall - 39 cf Embedded = 411 cf x 40.0% Voids
#2	414.25'	39 cf	12.0" Round Pipe Storage Inside #1 L= 50.0'
#3	413.50'	2,262 cf	24.00'D x 5.00'H Vertical Cone/Cylinder
		2,466 cf	Total Available Storage

Device	Routing	Invert	Outlet Devices
#1	Discarded	413.50'	0.500 in/hr Exfiltration over Surface area
#2	Primary	418.00'	24.0" Horiz. Orifice/Grate C= 0.600 Limited to weir flow at low heads

Discarded OutFlow Max=0.01 cfs @ 9.84 hrs HW=413.55' (Free Discharge)

↑**1=Exfiltration** (Exfiltration Controls 0.01 cfs)

Primary OutFlow Max=0.00 cfs @ 0.00 hrs HW=413.50' (Free Discharge)

↑**2=Orifice/Grate** (Controls 0.00 cfs)

Summary for Link 4L: (new Link)

Inflow Area = 26,799 sf, 34.23% Impervious, Inflow Depth = 0.90" for 1-YEAR event
 Inflow = 0.98 cfs @ 11.96 hrs, Volume= 2,018 cf
 Primary = 0.98 cfs @ 11.96 hrs, Volume= 2,018 cf, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-120.00 hrs, dt= 0.01 hrs

Summary for Subcatchment 1: Existing Conditions

Runoff = 2.15 cfs @ 11.96 hrs, Volume= 4,428 cf, Depth= 1.98"

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-120.00 hrs, dt= 0.01 hrs
Type II 24-hr 2-YEAR Rainfall=3.24"

Area (sf)	CN	Description
19,398	84	50-75% Grass cover, Fair, HSG D
4,623	98	Paved parking, HSG D
914	98	Paved parking, HSG B
1,864	84	50-75% Grass cover, Fair, HSG D
26,799	87	Weighted Average
21,262		79.34% Pervious Area
5,537		20.66% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

Summary for Subcatchment 1S: Proposed to Bed

Runoff = 0.31 cfs @ 11.96 hrs, Volume= 671 cf, Depth= 2.31"

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-120.00 hrs, dt= 0.01 hrs
Type II 24-hr 2-YEAR Rainfall=3.24"

Area (sf)	CN	Description
* 1,612	98	Paved parking, HSG B (Roof)
1,870	84	50-75% Grass cover, Fair, HSG D
3,482	90	Weighted Average
1,870		53.70% Pervious Area
1,612		46.30% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

Summary for Subcatchment 2S: Uncontrolled

Runoff = 1.29 cfs @ 11.96 hrs, Volume= 2,649 cf, Depth= 1.97"

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-120.00 hrs, dt= 0.01 hrs
Type II 24-hr 2-YEAR Rainfall=3.24"

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Type II 24-hr 2-YEAR Rainfall=3.24"

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Area (sf)	CN	Description
3,183	98	Paved parking, HSG D
10,837	84	50-75% Grass cover, Fair, HSG D
2,110	84	50-75% Grass cover, Fair, HSG D
16,130	87	Weighted Average
12,947		80.27% Pervious Area
3,183		19.73% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

Summary for Subcatchment 6S: Parking Lot

Runoff = 0.68 cfs @ 11.96 hrs, Volume= 1,499 cf, Depth= 2.50"

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-120.00 hrs, dt= 0.01 hrs
Type II 24-hr 2-YEAR Rainfall=3.24"

Area (sf)	CN	Description
1,603	84	50-75% Grass cover, Fair, HSG D
4,377	98	Paved parking, HSG B
1,207	84	50-75% Grass cover, Fair, HSG D
7,187	93	Weighted Average
2,810		39.10% Pervious Area
4,377		60.90% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

Summary for Pond 3P: Stormwater Bed

Inflow Area = 3,482 sf, 46.30% Impervious, Inflow Depth = 2.31" for 2-YEAR event
 Inflow = 0.31 cfs @ 11.96 hrs, Volume= 671 cf
 Outflow = 0.01 cfs @ 10.75 hrs, Volume= 671 cf, Atten= 98%, Lag= 0.0 min
 Discarded = 0.01 cfs @ 10.75 hrs, Volume= 671 cf
 Primary = 0.00 cfs @ 0.00 hrs, Volume= 0 cf

Routing by Stor-Ind method, Time Span= 0.00-120.00 hrs, dt= 0.01 hrs
 Peak Elev= 417.44' @ 14.92 hrs Surf.Area= 625 sf Storage= 369 cf

Plug-Flow detention time= 478.7 min calculated for 671 cf (100% of inflow)
 Center-of-Mass det. time= 478.8 min (1,259.4 - 780.6)

Volume	Invert	Avail.Storage	Storage Description
#1	416.00'	742 cf	25.00'W x 25.00'L x 3.00'H Prismatic 1,875 cf Overall - 21 cf Embedded = 1,854 cf x 40.0% Voids
#2	417.00'	21 cf	8.0" Round Pipe Storage Inside #1 L= 60.0'
		763 cf	Total Available Storage

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Type II 24-hr 2-YEAR Rainfall=3.24"

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Device	Routing	Invert	Outlet Devices
#1	Discarded	416.00'	0.500 in/hr Exfiltration over Surface area
#2	Primary	418.50'	8.0" Vert. Orifice/Grate C= 0.600

Discarded OutFlow Max=0.01 cfs @ 10.75 hrs HW=416.03' (Free Discharge)↑**1=Exfiltration** (Exfiltration Controls 0.01 cfs)**Primary OutFlow** Max=0.00 cfs @ 0.00 hrs HW=416.00' (Free Discharge)↑**2=Orifice/Grate** (Controls 0.00 cfs)**Summary for Pond 5P: Infiltration Trench**

Inflow Area = 7,187 sf, 60.90% Impervious, Inflow Depth = 2.50" for 2-YEAR event
 Inflow = 0.68 cfs @ 11.96 hrs, Volume= 1,499 cf
 Outflow = 0.01 cfs @ 8.97 hrs, Volume= 1,499 cf, Atten= 99%, Lag= 0.0 min
 Discarded = 0.01 cfs @ 8.97 hrs, Volume= 1,499 cf
 Primary = 0.00 cfs @ 0.00 hrs, Volume= 0 cf

Routing by Stor-Ind method, Time Span= 0.00-120.00 hrs, dt= 0.01 hrs

Peak Elev= 415.51' @ 19.72 hrs Surf.Area= 602 sf Storage= 1,054 cf

Plug-Flow detention time= 1,365.8 min calculated for 1,499 cf (100% of inflow)

Center-of-Mass det. time= 1,365.9 min (2,137.0 - 771.0)

Volume	Invert	Avail.Storage	Storage Description
#1	413.50'	164 cf	2.50'W x 60.00'L x 3.00'H Prismatic 450 cf Overall - 39 cf Embedded = 411 cf x 40.0% Voids
#2	414.25'	39 cf	12.0" Round Pipe Storage Inside #1 L= 50.0'
#3	413.50'	2,262 cf	24.00'D x 5.00'H Vertical Cone/Cylinder
		2,466 cf	Total Available Storage

Device	Routing	Invert	Outlet Devices
#1	Discarded	413.50'	0.500 in/hr Exfiltration over Surface area
#2	Primary	418.00'	24.0" Horiz. Orifice/Grate C= 0.600 Limited to weir flow at low heads

Discarded OutFlow Max=0.01 cfs @ 8.97 hrs HW=413.55' (Free Discharge)↑**1=Exfiltration** (Exfiltration Controls 0.01 cfs)**Primary OutFlow** Max=0.00 cfs @ 0.00 hrs HW=413.50' (Free Discharge)↑**2=Orifice/Grate** (Controls 0.00 cfs)**Summary for Link 4L: (new Link)**

Inflow Area = 26,799 sf, 34.23% Impervious, Inflow Depth = 1.19" for 2-YEAR event
 Inflow = 1.29 cfs @ 11.96 hrs, Volume= 2,649 cf
 Primary = 1.29 cfs @ 11.96 hrs, Volume= 2,649 cf, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-120.00 hrs, dt= 0.01 hrs

Summary for Subcatchment 1: Existing Conditions

Runoff = 2.91 cfs @ 11.96 hrs, Volume= 6,060 cf, Depth= 2.71"

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-120.00 hrs, dt= 0.01 hrs
Type II 24-hr 5-YEAR Rainfall=4.06"

Area (sf)	CN	Description
19,398	84	50-75% Grass cover, Fair, HSG D
4,623	98	Paved parking, HSG D
914	98	Paved parking, HSG B
1,864	84	50-75% Grass cover, Fair, HSG D
26,799	87	Weighted Average
21,262		79.34% Pervious Area
5,537		20.66% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

Summary for Subcatchment 1S: Proposed to Bed

Runoff = 0.41 cfs @ 11.96 hrs, Volume= 892 cf, Depth= 3.07"

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-120.00 hrs, dt= 0.01 hrs
Type II 24-hr 5-YEAR Rainfall=4.06"

Area (sf)	CN	Description
* 1,612	98	Paved parking, HSG B (Roof)
1,870	84	50-75% Grass cover, Fair, HSG D
3,482	90	Weighted Average
1,870		53.70% Pervious Area
1,612		46.30% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

Summary for Subcatchment 2S: Uncontrolled

Runoff = 1.75 cfs @ 11.96 hrs, Volume= 3,630 cf, Depth= 2.70"

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-120.00 hrs, dt= 0.01 hrs
Type II 24-hr 5-YEAR Rainfall=4.06"

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Type II 24-hr 5-YEAR Rainfall=4.06"

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Area (sf)	CN	Description
3,183	98	Paved parking, HSG D
10,837	84	50-75% Grass cover, Fair, HSG D
2,110	84	50-75% Grass cover, Fair, HSG D
16,130	87	Weighted Average
12,947		80.27% Pervious Area
3,183		19.73% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

Summary for Subcatchment 6S: Parking Lot

Runoff = 0.88 cfs @ 11.96 hrs, Volume= 1,963 cf, Depth= 3.28"

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-120.00 hrs, dt= 0.01 hrs
Type II 24-hr 5-YEAR Rainfall=4.06"

Area (sf)	CN	Description
1,603	84	50-75% Grass cover, Fair, HSG D
4,377	98	Paved parking, HSG B
1,207	84	50-75% Grass cover, Fair, HSG D
7,187	93	Weighted Average
2,810		39.10% Pervious Area
4,377		60.90% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

Summary for Pond 3P: Stormwater Bed

Inflow Area = 3,482 sf, 46.30% Impervious, Inflow Depth = 3.07" for 5-YEAR event
 Inflow = 0.41 cfs @ 11.96 hrs, Volume= 892 cf
 Outflow = 0.01 cfs @ 10.20 hrs, Volume= 892 cf, Atten= 98%, Lag= 0.0 min
 Discarded = 0.01 cfs @ 10.20 hrs, Volume= 892 cf
 Primary = 0.00 cfs @ 0.00 hrs, Volume= 0 cf

Routing by Stor-Ind method, Time Span= 0.00-120.00 hrs, dt= 0.01 hrs
 Peak Elev= 418.07' @ 15.94 hrs Surf.Area= 625 sf Storage= 531 cf

Plug-Flow detention time= 681.1 min calculated for 892 cf (100% of inflow)
 Center-of-Mass det. time= 681.1 min (1,456.8 - 775.7)

Volume	Invert	Avail.Storage	Storage Description
#1	416.00'	742 cf	25.00'W x 25.00'L x 3.00'H Prismatic 1,875 cf Overall - 21 cf Embedded = 1,854 cf x 40.0% Voids
#2	417.00'	21 cf	8.0" Round Pipe Storage Inside #1 L= 60.0'
		763 cf	Total Available Storage

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Type II 24-hr 5-YEAR Rainfall=4.06"

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Device	Routing	Invert	Outlet Devices
#1	Discarded	416.00'	0.500 in/hr Exfiltration over Surface area
#2	Primary	418.50'	8.0" Vert. Orifice/Grate C= 0.600

Discarded OutFlow Max=0.01 cfs @ 10.20 hrs HW=416.03' (Free Discharge)↑**1=Exfiltration** (Exfiltration Controls 0.01 cfs)**Primary OutFlow** Max=0.00 cfs @ 0.00 hrs HW=416.00' (Free Discharge)↑**2=Orifice/Grate** (Controls 0.00 cfs)**Summary for Pond 5P: Infiltration Trench**

Inflow Area = 7,187 sf, 60.90% Impervious, Inflow Depth = 3.28" for 5-YEAR event
 Inflow = 0.88 cfs @ 11.96 hrs, Volume= 1,963 cf
 Outflow = 0.01 cfs @ 7.79 hrs, Volume= 1,963 cf, Atten= 99%, Lag= 0.0 min
 Discarded = 0.01 cfs @ 7.79 hrs, Volume= 1,963 cf
 Primary = 0.00 cfs @ 0.00 hrs, Volume= 0 cf

Routing by Stor-Ind method, Time Span= 0.00-120.00 hrs, dt= 0.01 hrs
 Peak Elev= 416.33' @ 24.02 hrs Surf.Area= 602 sf Storage= 1,475 cf

Plug-Flow detention time= 1,858.0 min calculated for 1,963 cf (100% of inflow)

Center-of-Mass det. time= 1,858.1 min (2,624.6 - 766.5)

Volume	Invert	Avail.Storage	Storage Description
#1	413.50'	164 cf	2.50'W x 60.00'L x 3.00'H Prismaoid 450 cf Overall - 39 cf Embedded = 411 cf x 40.0% Voids
#2	414.25'	39 cf	12.0" Round Pipe Storage Inside #1 L= 50.0'
#3	413.50'	2,262 cf	24.00'D x 5.00'H Vertical Cone/Cylinder
		2,466 cf	Total Available Storage

Device	Routing	Invert	Outlet Devices
#1	Discarded	413.50'	0.500 in/hr Exfiltration over Surface area
#2	Primary	418.00'	24.0" Horiz. Orifice/Grate C= 0.600 Limited to weir flow at low heads

Discarded OutFlow Max=0.01 cfs @ 7.79 hrs HW=413.55' (Free Discharge)↑**1=Exfiltration** (Exfiltration Controls 0.01 cfs)**Primary OutFlow** Max=0.00 cfs @ 0.00 hrs HW=413.50' (Free Discharge)↑**2=Orifice/Grate** (Controls 0.00 cfs)**Summary for Link 4L: (new Link)**

Inflow Area = 26,799 sf, 34.23% Impervious, Inflow Depth = 1.63" for 5-YEAR event
 Inflow = 1.75 cfs @ 11.96 hrs, Volume= 3,630 cf
 Primary = 1.75 cfs @ 11.96 hrs, Volume= 3,630 cf, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-120.00 hrs, dt= 0.01 hrs

Summary for Subcatchment 1: Existing Conditions

Runoff = 3.56 cfs @ 11.96 hrs, Volume= 7,453 cf, Depth= 3.34"

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-120.00 hrs, dt= 0.01 hrs
Type II 24-hr 10-YEAR Rainfall=4.74"

Area (sf)	CN	Description
19,398	84	50-75% Grass cover, Fair, HSG D
4,623	98	Paved parking, HSG D
914	98	Paved parking, HSG B
1,864	84	50-75% Grass cover, Fair, HSG D
26,799	87	Weighted Average
21,262		79.34% Pervious Area
5,537		20.66% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

Summary for Subcatchment 1S: Proposed to Bed

Runoff = 0.49 cfs @ 11.96 hrs, Volume= 1,078 cf, Depth= 3.71"

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-120.00 hrs, dt= 0.01 hrs
Type II 24-hr 10-YEAR Rainfall=4.74"

Area (sf)	CN	Description
* 1,612	98	Paved parking, HSG B (Roof)
1,870	84	50-75% Grass cover, Fair, HSG D
3,482	90	Weighted Average
1,870		53.70% Pervious Area
1,612		46.30% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

Summary for Subcatchment 2S: Uncontrolled

Runoff = 2.13 cfs @ 11.96 hrs, Volume= 4,467 cf, Depth= 3.32"

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-120.00 hrs, dt= 0.01 hrs
Type II 24-hr 10-YEAR Rainfall=4.74"

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Type II 24-hr 10-YEAR Rainfall=4.74"

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Area (sf)	CN	Description
3,183	98	Paved parking, HSG D
10,837	84	50-75% Grass cover, Fair, HSG D
2,110	84	50-75% Grass cover, Fair, HSG D
16,130	87	Weighted Average
12,947		80.27% Pervious Area
3,183		19.73% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

Summary for Subcatchment 6S: Parking Lot

Runoff = 1.05 cfs @ 11.96 hrs, Volume= 2,353 cf, Depth= 3.93"

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-120.00 hrs, dt= 0.01 hrs
Type II 24-hr 10-YEAR Rainfall=4.74"

Area (sf)	CN	Description
1,603	84	50-75% Grass cover, Fair, HSG D
4,377	98	Paved parking, HSG B
1,207	84	50-75% Grass cover, Fair, HSG D
7,187	93	Weighted Average
2,810		39.10% Pervious Area
4,377		60.90% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

Summary for Pond 3P: Stormwater Bed

Inflow Area = 3,482 sf, 46.30% Impervious, Inflow Depth = 3.71" for 10-YEAR event

Inflow = 0.49 cfs @ 11.96 hrs, Volume= 1,078 cf

Outflow = 0.01 cfs @ 14.49 hrs, Volume= 1,078 cf, Atten= 98%, Lag= 152.1 min

Discarded = 0.01 cfs @ 9.67 hrs, Volume= 1,041 cf

Primary = 0.00 cfs @ 14.49 hrs, Volume= 37 cf

Routing by Stor-Ind method, Time Span= 0.00-120.00 hrs, dt= 0.01 hrs

Peak Elev= 418.54' @ 14.49 hrs Surf.Area= 625 sf Storage= 647 cf

Plug-Flow detention time= 790.2 min calculated for 1,078 cf (100% of inflow)

Center-of-Mass det. time= 790.2 min (1,562.6 - 772.3)

Volume	Invert	Avail.Storage	Storage Description
#1	416.00'	742 cf	25.00'W x 25.00'L x 3.00'H Prismatic 1,875 cf Overall - 21 cf Embedded = 1,854 cf x 40.0% Voids
#2	417.00'	21 cf	8.0" Round Pipe Storage Inside #1 L= 60.0'
		763 cf	Total Available Storage

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Type II 24-hr 10-YEAR Rainfall=4.74"

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Device	Routing	Invert	Outlet Devices
#1	Discarded	416.00'	0.500 in/hr Exfiltration over Surface area
#2	Primary	418.50'	8.0" Vert. Orifice/Grate C= 0.600

Discarded OutFlow Max=0.01 cfs @ 9.67 hrs HW=416.03' (Free Discharge)↑**1=Exfiltration** (Exfiltration Controls 0.01 cfs)**Primary OutFlow** Max=0.00 cfs @ 14.49 hrs HW=418.54' (Free Discharge)↑**2=Orifice/Grate** (Orifice Controls 0.00 cfs @ 0.64 fps)**Summary for Pond 5P: Infiltration Trench**

Inflow Area = 7,187 sf, 60.90% Impervious, Inflow Depth = 3.93" for 10-YEAR event
 Inflow = 1.05 cfs @ 11.96 hrs, Volume= 2,353 cf
 Outflow = 0.01 cfs @ 6.69 hrs, Volume= 2,353 cf, Atten= 99%, Lag= 0.0 min
 Discarded = 0.01 cfs @ 6.69 hrs, Volume= 2,353 cf
 Primary = 0.00 cfs @ 0.00 hrs, Volume= 0 cf

Routing by Stor-Ind method, Time Span= 0.00-120.00 hrs, dt= 0.01 hrs
 Peak Elev= 417.13' @ 24.04 hrs Surf.Area= 602 sf Storage= 1,848 cf

Plug-Flow detention time= 2,285.1 min calculated for 2,353 cf (100% of inflow)

Center-of-Mass det. time= 2,285.4 min (3,048.8 - 763.5)

Volume	Invert	Avail.Storage	Storage Description
#1	413.50'	164 cf	2.50'W x 60.00'L x 3.00'H Prismaoid 450 cf Overall - 39 cf Embedded = 411 cf x 40.0% Voids
#2	414.25'	39 cf	12.0" Round Pipe Storage Inside #1 L= 50.0'
#3	413.50'	2,262 cf	24.00'D x 5.00'H Vertical Cone/Cylinder
		2,466 cf	Total Available Storage

Device	Routing	Invert	Outlet Devices
#1	Discarded	413.50'	0.500 in/hr Exfiltration over Surface area
#2	Primary	418.00'	24.0" Horiz. Orifice/Grate C= 0.600 Limited to weir flow at low heads

Discarded OutFlow Max=0.01 cfs @ 6.69 hrs HW=413.55' (Free Discharge)↑**1=Exfiltration** (Exfiltration Controls 0.01 cfs)**Primary OutFlow** Max=0.00 cfs @ 0.00 hrs HW=413.50' (Free Discharge)↑**2=Orifice/Grate** (Controls 0.00 cfs)**Summary for Link 4L: (new Link)**

Inflow Area = 26,799 sf, 34.23% Impervious, Inflow Depth = 2.02" for 10-YEAR event
 Inflow = 2.13 cfs @ 11.96 hrs, Volume= 4,504 cf
 Primary = 2.13 cfs @ 11.96 hrs, Volume= 4,504 cf, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-120.00 hrs, dt= 0.01 hrs

Summary for Subcatchment 1: Existing Conditions

Runoff = 4.49 cfs @ 11.96 hrs, Volume= 9,502 cf, Depth= 4.25"

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-120.00 hrs, dt= 0.01 hrs
Type II 24-hr 25-YEAR Rainfall=5.72"

Area (sf)	CN	Description
19,398	84	50-75% Grass cover, Fair, HSG D
4,623	98	Paved parking, HSG D
914	98	Paved parking, HSG B
1,864	84	50-75% Grass cover, Fair, HSG D
26,799	87	Weighted Average
21,262		79.34% Pervious Area
5,537		20.66% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

Summary for Subcatchment 1S: Proposed to Bed

Runoff = 0.61 cfs @ 11.96 hrs, Volume= 1,350 cf, Depth= 4.65"

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-120.00 hrs, dt= 0.01 hrs
Type II 24-hr 25-YEAR Rainfall=5.72"

Area (sf)	CN	Description
* 1,612	98	Paved parking, HSG B (Roof)
1,870	84	50-75% Grass cover, Fair, HSG D
3,482	90	Weighted Average
1,870		53.70% Pervious Area
1,612		46.30% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

Summary for Subcatchment 2S: Uncontrolled

Runoff = 2.69 cfs @ 11.96 hrs, Volume= 5,700 cf, Depth= 4.24"

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-120.00 hrs, dt= 0.01 hrs
Type II 24-hr 25-YEAR Rainfall=5.72"

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Type II 24-hr 25-YEAR Rainfall=5.72"

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Area (sf)	CN	Description
3,183	98	Paved parking, HSG D
10,837	84	50-75% Grass cover, Fair, HSG D
2,110	84	50-75% Grass cover, Fair, HSG D
16,130	87	Weighted Average
12,947		80.27% Pervious Area
3,183		19.73% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

Summary for Subcatchment 6S: Parking Lot

Runoff = 1.30 cfs @ 11.96 hrs, Volume= 2,921 cf, Depth= 4.88"

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-120.00 hrs, dt= 0.01 hrs
Type II 24-hr 25-YEAR Rainfall=5.72"

Area (sf)	CN	Description
1,603	84	50-75% Grass cover, Fair, HSG D
4,377	98	Paved parking, HSG B
1,207	84	50-75% Grass cover, Fair, HSG D
7,187	93	Weighted Average
2,810		39.10% Pervious Area
4,377		60.90% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

Summary for Pond 3P: Stormwater Bed

Inflow Area = 3,482 sf, 46.30% Impervious, Inflow Depth = 4.65" for 25-YEAR event
 Inflow = 0.61 cfs @ 11.96 hrs, Volume= 1,350 cf
 Outflow = 0.07 cfs @ 12.28 hrs, Volume= 1,350 cf, Atten= 89%, Lag= 19.1 min
 Discarded = 0.01 cfs @ 8.78 hrs, Volume= 1,088 cf
 Primary = 0.06 cfs @ 12.28 hrs, Volume= 262 cf

Routing by Stor-Ind method, Time Span= 0.00-120.00 hrs, dt= 0.01 hrs
 Peak Elev= 418.63' @ 12.28 hrs Surf.Area= 625 sf Storage= 670 cf

Plug-Flow detention time= 667.6 min calculated for 1,350 cf (100% of inflow)
 Center-of-Mass det. time= 667.6 min (1,435.9 - 768.3)

Volume	Invert	Avail.Storage	Storage Description
#1	416.00'	742 cf	25.00'W x 25.00'L x 3.00'H Prismatic 1,875 cf Overall - 21 cf Embedded = 1,854 cf x 40.0% Voids
#2	417.00'	21 cf	8.0" Round Pipe Storage Inside #1 L= 60.0'
		763 cf	Total Available Storage

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Type II 24-hr 25-YEAR Rainfall=5.72"

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Device	Routing	Invert	Outlet Devices
#1	Discarded	416.00'	0.500 in/hr Exfiltration over Surface area
#2	Primary	418.50'	8.0" Vert. Orifice/Grate C= 0.600

Discarded OutFlow Max=0.01 cfs @ 8.78 hrs HW=416.03' (Free Discharge)↑**1=Exfiltration** (Exfiltration Controls 0.01 cfs)**Primary OutFlow** Max=0.06 cfs @ 12.28 hrs HW=418.63' (Free Discharge)↑**2=Orifice/Grate** (Orifice Controls 0.06 cfs @ 1.23 fps)**Summary for Pond 5P: Infiltration Trench**

Inflow Area = 7,187 sf, 60.90% Impervious, Inflow Depth = 4.88" for 25-YEAR event
 Inflow = 1.30 cfs @ 11.96 hrs, Volume= 2,921 cf
 Outflow = 0.02 cfs @ 17.06 hrs, Volume= 2,921 cf, Atten= 99%, Lag= 306.4 min
 Discarded = 0.01 cfs @ 5.48 hrs, Volume= 2,764 cf
 Primary = 0.01 cfs @ 17.06 hrs, Volume= 157 cf

Routing by Stor-Ind method, Time Span= 0.00-120.00 hrs, dt= 0.01 hrs
 Peak Elev= 418.00' @ 17.06 hrs Surf.Area= 602 sf Storage= 2,240 cf

Plug-Flow detention time= 2,610.5 min calculated for 2,921 cf (100% of inflow)

Center-of-Mass det. time= 2,610.7 min (3,370.6 - 759.9)

Volume	Invert	Avail.Storage	Storage Description
#1	413.50'	164 cf	2.50'W x 60.00'L x 3.00'H Prismatic 450 cf Overall - 39 cf Embedded = 411 cf x 40.0% Voids
#2	414.25'	39 cf	12.0" Round Pipe Storage Inside #1 L= 50.0'
#3	413.50'	2,262 cf	24.00'D x 5.00'H Vertical Cone/Cylinder
		2,466 cf	Total Available Storage

Device	Routing	Invert	Outlet Devices
#1	Discarded	413.50'	0.500 in/hr Exfiltration over Surface area
#2	Primary	418.00'	24.0" Horiz. Orifice/Grate C= 0.600 Limited to weir flow at low heads

Discarded OutFlow Max=0.01 cfs @ 5.48 hrs HW=413.55' (Free Discharge)↑**1=Exfiltration** (Exfiltration Controls 0.01 cfs)**Primary OutFlow** Max=0.00 cfs @ 17.06 hrs HW=418.00' (Free Discharge)↑**2=Orifice/Grate** (Weir Controls 0.00 cfs @ 0.17 fps)**Summary for Link 4L: (new Link)**

Inflow Area = 26,799 sf, 34.23% Impervious, Inflow Depth = 2.74" for 25-YEAR event
 Inflow = 2.69 cfs @ 11.96 hrs, Volume= 6,119 cf
 Primary = 2.69 cfs @ 11.96 hrs, Volume= 6,119 cf, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-120.00 hrs, dt= 0.01 hrs

Summary for Subcatchment 1: Existing Conditions

Runoff = 5.26 cfs @ 11.96 hrs, Volume= 11,243 cf, Depth= 5.03"

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-120.00 hrs, dt= 0.01 hrs
Type II 24-hr 50-YEAR Rainfall=6.54"

Area (sf)	CN	Description
19,398	84	50-75% Grass cover, Fair, HSG D
4,623	98	Paved parking, HSG D
914	98	Paved parking, HSG B
1,864	84	50-75% Grass cover, Fair, HSG D
26,799	87	Weighted Average
21,262		79.34% Pervious Area
5,537		20.66% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

Summary for Subcatchment 1S: Proposed to Bed

Runoff = 0.71 cfs @ 11.96 hrs, Volume= 1,580 cf, Depth= 5.44"

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-120.00 hrs, dt= 0.01 hrs
Type II 24-hr 50-YEAR Rainfall=6.54"

Area (sf)	CN	Description
* 1,612	98	Paved parking, HSG B (Roof)
1,870	84	50-75% Grass cover, Fair, HSG D
3,482	90	Weighted Average
1,870		53.70% Pervious Area
1,612		46.30% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

Summary for Subcatchment 2S: Uncontrolled

Runoff = 3.16 cfs @ 11.96 hrs, Volume= 6,747 cf, Depth= 5.02"

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-120.00 hrs, dt= 0.01 hrs
Type II 24-hr 50-YEAR Rainfall=6.54"

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Type II 24-hr 50-YEAR Rainfall=6.54"

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Area (sf)	CN	Description
3,183	98	Paved parking, HSG D
10,837	84	50-75% Grass cover, Fair, HSG D
2,110	84	50-75% Grass cover, Fair, HSG D
16,130	87	Weighted Average
12,947		80.27% Pervious Area
3,183		19.73% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

Summary for Subcatchment 6S: Parking Lot

Runoff = 1.50 cfs @ 11.96 hrs, Volume= 3,400 cf, Depth= 5.68"

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-120.00 hrs, dt= 0.01 hrs
Type II 24-hr 50-YEAR Rainfall=6.54"

Area (sf)	CN	Description
1,603	84	50-75% Grass cover, Fair, HSG D
4,377	98	Paved parking, HSG B
1,207	84	50-75% Grass cover, Fair, HSG D
7,187	93	Weighted Average
2,810		39.10% Pervious Area
4,377		60.90% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

Summary for Pond 3P: Stormwater Bed

Inflow Area = 3,482 sf, 46.30% Impervious, Inflow Depth = 5.44" for 50-YEAR event
 Inflow = 0.71 cfs @ 11.96 hrs, Volume= 1,580 cf
 Outflow = 0.28 cfs @ 12.06 hrs, Volume= 1,580 cf, Atten= 60%, Lag= 5.9 min
 Discarded = 0.01 cfs @ 8.32 hrs, Volume= 1,121 cf
 Primary = 0.28 cfs @ 12.06 hrs, Volume= 459 cf

Routing by Stor-Ind method, Time Span= 0.00-120.00 hrs, dt= 0.01 hrs
 Peak Elev= 418.80' @ 12.06 hrs Surf.Area= 625 sf Storage= 711 cf

Plug-Flow detention time= 589.0 min calculated for 1,579 cf (100% of inflow)
 Center-of-Mass det. time= 589.1 min (1,354.6 - 765.4)

Volume	Invert	Avail.Storage	Storage Description
#1	416.00'	742 cf	25.00'W x 25.00'L x 3.00'H Prismatic 1,875 cf Overall - 21 cf Embedded = 1,854 cf x 40.0% Voids
#2	417.00'	21 cf	8.0" Round Pipe Storage Inside #1 L= 60.0'
		763 cf	Total Available Storage

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Type II 24-hr 50-YEAR Rainfall=6.54"

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Device	Routing	Invert	Outlet Devices
#1	Discarded	416.00'	0.500 in/hr Exfiltration over Surface area
#2	Primary	418.50'	8.0" Vert. Orifice/Grate C= 0.600

Discarded OutFlow Max=0.01 cfs @ 8.32 hrs HW=416.03' (Free Discharge)↑**1=Exfiltration** (Exfiltration Controls 0.01 cfs)**Primary OutFlow** Max=0.27 cfs @ 12.06 hrs HW=418.79' (Free Discharge)↑**2=Orifice/Grate** (Orifice Controls 0.27 cfs @ 1.85 fps)**Summary for Pond 5P: Infiltration Trench**

Inflow Area = 7,187 sf, 60.90% Impervious, Inflow Depth = 5.68" for 50-YEAR event
 Inflow = 1.50 cfs @ 11.96 hrs, Volume= 3,400 cf
 Outflow = 0.07 cfs @ 13.03 hrs, Volume= 3,400 cf, Atten= 96%, Lag= 64.7 min
 Discarded = 0.01 cfs @ 4.69 hrs, Volume= 2,776 cf
 Primary = 0.06 cfs @ 13.03 hrs, Volume= 624 cf

Routing by Stor-Ind method, Time Span= 0.00-120.00 hrs, dt= 0.01 hrs
 Peak Elev= 418.01' @ 13.03 hrs Surf.Area= 602 sf Storage= 2,245 cf

Plug-Flow detention time= 2,263.9 min calculated for 3,400 cf (100% of inflow)

Center-of-Mass det. time= 2,263.9 min (3,021.3 - 757.4)

Volume	Invert	Avail.Storage	Storage Description
#1	413.50'	164 cf	2.50'W x 60.00'L x 3.00'H Prismatic 450 cf Overall - 39 cf Embedded = 411 cf x 40.0% Voids
#2	414.25'	39 cf	12.0" Round Pipe Storage Inside #1 L= 50.0'
#3	413.50'	2,262 cf	24.00'D x 5.00'H Vertical Cone/Cylinder
		2,466 cf	Total Available Storage

Device	Routing	Invert	Outlet Devices
#1	Discarded	413.50'	0.500 in/hr Exfiltration over Surface area
#2	Primary	418.00'	24.0" Horiz. Orifice/Grate C= 0.600 Limited to weir flow at low heads

Discarded OutFlow Max=0.01 cfs @ 4.69 hrs HW=413.55' (Free Discharge)↑**1=Exfiltration** (Exfiltration Controls 0.01 cfs)**Primary OutFlow** Max=0.03 cfs @ 13.03 hrs HW=418.01' (Free Discharge)↑**2=Orifice/Grate** (Weir Controls 0.03 cfs @ 0.37 fps)**Summary for Link 4L: (new Link)**

Inflow Area = 26,799 sf, 34.23% Impervious, Inflow Depth = 3.51" for 50-YEAR event
 Inflow = 3.16 cfs @ 11.96 hrs, Volume= 7,830 cf
 Primary = 3.16 cfs @ 11.96 hrs, Volume= 7,830 cf, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-120.00 hrs, dt= 0.01 hrs

Summary for Subcatchment 1: Existing Conditions

Runoff = 6.10 cfs @ 11.96 hrs, Volume= 13,129 cf, Depth= 5.88"

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-120.00 hrs, dt= 0.01 hrs
Type II 24-hr 100-YEAR Rainfall=7.42"

Area (sf)	CN	Description
19,398	84	50-75% Grass cover, Fair, HSG D
4,623	98	Paved parking, HSG D
914	98	Paved parking, HSG B
1,864	84	50-75% Grass cover, Fair, HSG D
26,799	87	Weighted Average
21,262		79.34% Pervious Area
5,537		20.66% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

Summary for Subcatchment 1S: Proposed to Bed

Runoff = 0.82 cfs @ 11.96 hrs, Volume= 1,828 cf, Depth= 6.30"

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-120.00 hrs, dt= 0.01 hrs
Type II 24-hr 100-YEAR Rainfall=7.42"

Area (sf)	CN	Description
* 1,612	98	Paved parking, HSG B (Roof)
1,870	84	50-75% Grass cover, Fair, HSG D
3,482	90	Weighted Average
1,870		53.70% Pervious Area
1,612		46.30% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

Summary for Subcatchment 2S: Uncontrolled

Runoff = 3.67 cfs @ 11.96 hrs, Volume= 7,882 cf, Depth= 5.86"

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-120.00 hrs, dt= 0.01 hrs
Type II 24-hr 100-YEAR Rainfall=7.42"

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Type II 24-hr 100-YEAR Rainfall=7.42"

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Area (sf)	CN	Description
3,183	98	Paved parking, HSG D
10,837	84	50-75% Grass cover, Fair, HSG D
2,110	84	50-75% Grass cover, Fair, HSG D
16,130	87	Weighted Average
12,947		80.27% Pervious Area
3,183		19.73% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

Summary for Subcatchment 6S: Parking Lot

Runoff = 1.72 cfs @ 11.96 hrs, Volume= 3,916 cf, Depth= 6.54"

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-120.00 hrs, dt= 0.01 hrs
Type II 24-hr 100-YEAR Rainfall=7.42"

Area (sf)	CN	Description
1,603	84	50-75% Grass cover, Fair, HSG D
4,377	98	Paved parking, HSG B
1,207	84	50-75% Grass cover, Fair, HSG D
7,187	93	Weighted Average
2,810		39.10% Pervious Area
4,377		60.90% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

Summary for Pond 3P: Stormwater Bed

Inflow Area = 3,482 sf, 46.30% Impervious, Inflow Depth = 6.30" for 100-YEAR event

Inflow = 0.82 cfs @ 11.96 hrs, Volume= 1,828 cf

Outflow = 0.56 cfs @ 12.02 hrs, Volume= 1,828 cf, Atten= 32%, Lag= 3.8 min

Discarded = 0.01 cfs @ 7.48 hrs, Volume= 1,150 cf

Primary = 0.55 cfs @ 12.02 hrs, Volume= 678 cf

Routing by Stor-Ind method, Time Span= 0.00-120.00 hrs, dt= 0.01 hrs

Peak Elev= 418.94' @ 12.02 hrs Surf.Area= 625 sf Storage= 747 cf

Plug-Flow detention time= 523.0 min calculated for 1,828 cf (100% of inflow)

Center-of-Mass det. time= 522.9 min (1,285.8 - 762.8)

Volume	Invert	Avail.Storage	Storage Description
#1	416.00'	742 cf	25.00'W x 25.00'L x 3.00'H Prismatic 1,875 cf Overall - 21 cf Embedded = 1,854 cf x 40.0% Voids
#2	417.00'	21 cf	8.0" Round Pipe Storage Inside #1 L= 60.0'
		763 cf	Total Available Storage

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Type II 24-hr 100-YEAR Rainfall=7.42"

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Device	Routing	Invert	Outlet Devices
#1	Discarded	416.00'	0.500 in/hr Exfiltration over Surface area
#2	Primary	418.50'	8.0" Vert. Orifice/Grate C= 0.600

Discarded OutFlow Max=0.01 cfs @ 7.48 hrs HW=416.03' (Free Discharge)↑**1=Exfiltration** (Exfiltration Controls 0.01 cfs)**Primary OutFlow** Max=0.55 cfs @ 12.02 hrs HW=418.94' (Free Discharge)↑**2=Orifice/Grate** (Orifice Controls 0.55 cfs @ 2.26 fps)**Summary for Pond 5P: Infiltration Trench**

Inflow Area = 7,187 sf, 60.90% Impervious, Inflow Depth = 6.54" for 100-YEAR event
 Inflow = 1.72 cfs @ 11.96 hrs, Volume= 3,916 cf
 Outflow = 0.22 cfs @ 12.19 hrs, Volume= 3,916 cf, Atten= 88%, Lag= 14.1 min
 Discarded = 0.01 cfs @ 3.96 hrs, Volume= 2,786 cf
 Primary = 0.21 cfs @ 12.19 hrs, Volume= 1,131 cf

Routing by Stor-Ind method, Time Span= 0.00-120.00 hrs, dt= 0.01 hrs
 Peak Elev= 418.05' @ 12.19 hrs Surf.Area= 602 sf Storage= 2,260 cf

Plug-Flow detention time= 1,973.6 min calculated for 3,916 cf (100% of inflow)

Center-of-Mass det. time= 1,973.9 min (2,729.1 - 755.1)

Volume	Invert	Avail.Storage	Storage Description
#1	413.50'	164 cf	2.50'W x 60.00'L x 3.00'H Prismatic 450 cf Overall - 39 cf Embedded = 411 cf x 40.0% Voids
#2	414.25'	39 cf	12.0" Round Pipe Storage Inside #1 L= 50.0'
#3	413.50'	2,262 cf	24.00'D x 5.00'H Vertical Cone/Cylinder
		2,466 cf	Total Available Storage

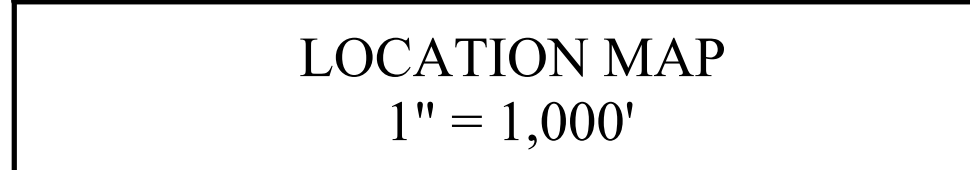
Device	Routing	Invert	Outlet Devices
#1	Discarded	413.50'	0.500 in/hr Exfiltration over Surface area
#2	Primary	418.00'	24.0" Horiz. Orifice/Grate C= 0.600 Limited to weir flow at low heads

Discarded OutFlow Max=0.01 cfs @ 3.96 hrs HW=413.55' (Free Discharge)↑**1=Exfiltration** (Exfiltration Controls 0.01 cfs)**Primary OutFlow** Max=0.20 cfs @ 12.19 hrs HW=418.05' (Free Discharge)↑**2=Orifice/Grate** (Weir Controls 0.20 cfs @ 0.70 fps)**Summary for Link 4L: (new Link)**

Inflow Area = 26,799 sf, 34.23% Impervious, Inflow Depth = 4.34" for 100-YEAR event
 Inflow = 3.84 cfs @ 11.97 hrs, Volume= 9,691 cf
 Primary = 3.84 cfs @ 11.97 hrs, Volume= 9,691 cf, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-120.00 hrs, dt= 0.01 hrs

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1. THIS PLAN IS BASED ON A PLAN BY HOWELLKLINE SURVEYING, ENTITLED TOPOGRAPHIC AND PHYSICAL IMPROVEMENTS SURVEY, DATED MAY 19, 2022.
2. ELEVATIONS REFER TO CONTOURS FROM FIELD SURVEY BASED ON GPS SYSTEM, NORTH AMERICAN DATUM OF 1988.
3. BOUNDARY FROM A PLAN BY HOWELLKLINE SURVEYING LLC, ENTITLED TOPOGRAPHIC AND PHYSICAL IMPROVEMENTS SURVEY, DATED MAY 19, 2022.
4. PROPERTY IS IDENTIFIED IN THE HISTORIC ORDINANCE AS HRP NO. 057, KEY NO. 065814, CLASS 1.
5. ADJOINER INFORMATION TAKEN FROM CURRENT TAX RECORDS.
6. UTILITY INFORMATION FROM OBSERVED SURFACE EVIDENCE, ALL UTILITY LOCATIONS AND DEPTHS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
7. BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, MAP NO. 40229C00950, COMMUNITY PANEL NO. 95 OF 380, WHICH BEARS AN EFFECTIVE DATE OF SEPTEMBER 29, 2017.
8. SOIL DELINEATION LINES TAKEN FROM USDA NATIONAL COOPERATIVE SOIL SURVEY THROUGH NATURAL RESOURCES CONSERVATION SERVICE CUSTOM SOIL RESOURCE REPORT FOR THIS PROJECT DATED JANUARY 14, 2022.
9. SITE IS CURRENTLY SERVICED BY PRIVATE SEWER AND PUBLIC WATER.

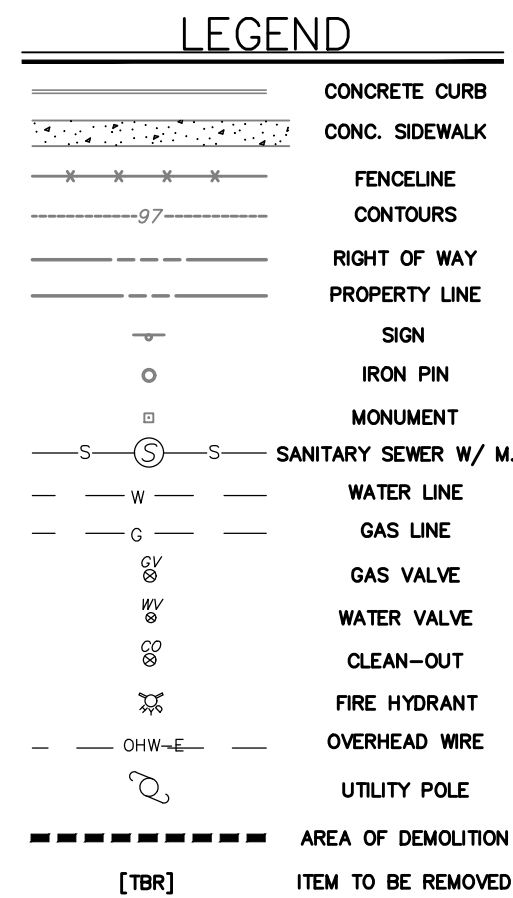
COMPANY: AQUA PENNSYLVANIA INC
ADDRESS: 762 W LANCASTER AVE
CITY: LAWRENCEVILLE, PA 19010
CONTACT: THOMAS WADDY
EMAIL: TWADDY@AQUAUSA.COM

COMPANY: COMCAST
ADDRESS: 1004 CORNERSTONE BLVD
DOWNTOWN, PA 19355
CONTACT: TOM RUSSO
EMAIL: tom_russo@cable.comcast.com

COMPANY: PECO AN EXELON COMPANY C/O
ADDRESS: 45 S HENDERSON ROAD SUITE 4
DOWNTOWN, PHILADELPHIA, PA 19406
CONTACT: NIKKIA SIMPKINS
EMAIL: NIKKIASIMP@NSCILLC.COM

COMPANY: UPPER MERION TOWNSHIP UTILITY
ADDRESS: UPPERMERION MUNICIPAL AUTHORITY
1000 CHESTER SPRINGS, PA 19425
CONTACT: MICHAEL HANCOCK
EMAIL: MHEC@UPPERMERIONPA.GOV

COMPANY: VERIZON BUSINESS FORMERLY MC
ADDRESS: 7000 WESTON PIKWY
CARY, NC 27513
CONTACT: VICTOR WOOD
EMAIL: victor.s.wood@verizon.com



THE SITE DRAINS TO PICKERING CREEK. CHAPTER 93 CLASSIFICATION IS HQ-TSF, MF.

(FROM UNITED STATES DEPARTMENT OF AGRICULTURE
NATURAL RESOURCES CONSERVATION SERVICE)

SOIL TYPE: CaB-Califon loam
DRAINAGE CLASS: Moderately Well Drained
SLOPE RANGE: 3-8
HYDROLOGIC GROUP: D
FRAGIPAN DEPTH: 20-30 inches
BEDROCK DEPTH: 72-99 inches
SEASONAL WATER TABLE: 6-36 inches
FLOODING POTENTIAL: None
PROFILE PERMEABILITY: Moderately low to moderately high

SOIL TYPE: Ha-Hatboro silt loam
DRAINAGE CLASS: Poorly Drained
SLOPE RANGE: 0-3
HYDROLOGIC GROUP: B/D
BEDROCK DEPTH: 60-99 inches
SEASONAL WATER TABLE: 0-6 inches
FLOODING POTENTIAL: Non-Frequent
PROFILE PERMEABILITY: Moderately high to high


SOIL TYPE: UugB—Urban land—Udorthents, schist and gneiss complex
DRAINAGE CLASS: Moderately low to moderately high
SLOPE RANGE: 0–8
HYDROLOGIC GROUP: C
BEDROCK DEPTH: 20–70 inches
SEASONAL WATER TABLE: 60 inches
FLOODING POTENTIAL: None
PROFILE PERMEABILITY: Moderately low to moderately high

OWNER
9 COFFMAN ASSOCIATES, LP
211 BYERS RD
CHESTER SPRINGS, PA 19425

211 BYERS RD
TAX MAP: 32-4K-4
DB/PG: 7355/455

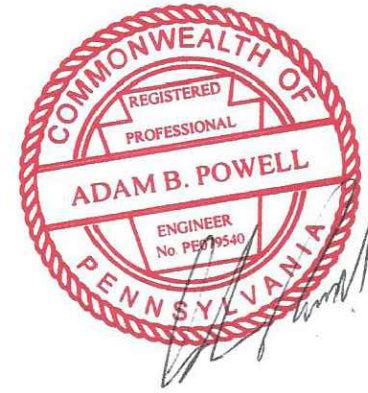
THE PURPOSE OF THIS PLAN IS TO SHOW THE REQUIREMENTS NECESSARY TO CONSTRUCT AN ADDITION FOR AN ANIMAL HOSPITAL. THE PLAN INCLUDES THE IMPROVEMENTS ASSOCIATED WITH THE PROPOSED ADDITION SUCH AS GRADING, LANDSCAPING, AND STORMWATER MANAGEMENT FACILITIES.

PENNSYLVANIA LAW REQUIRES
THREE (3) WORKING DAYS NOTICE FOR
CONSTRUCTION PHASE AND TEN (10)
WORKING DAYS FOR DESIGN STAGE.
UTILITY INFORMATION IDENTIFIED THROUGH
THE ONE-CALL PROCESS IS VALID FOR
90 DAYS FROM THE DATE OF THE CALL.
Pennsylvania One Call System, Inc.

-800-242-1776

SERIAL# 2022291212

ONE-CALL DATE: 10/18/2022



ARCHITECTS

ARCHITECTURE
ENGINEERING
SITE PLANNING
INTERIOR DESIGN

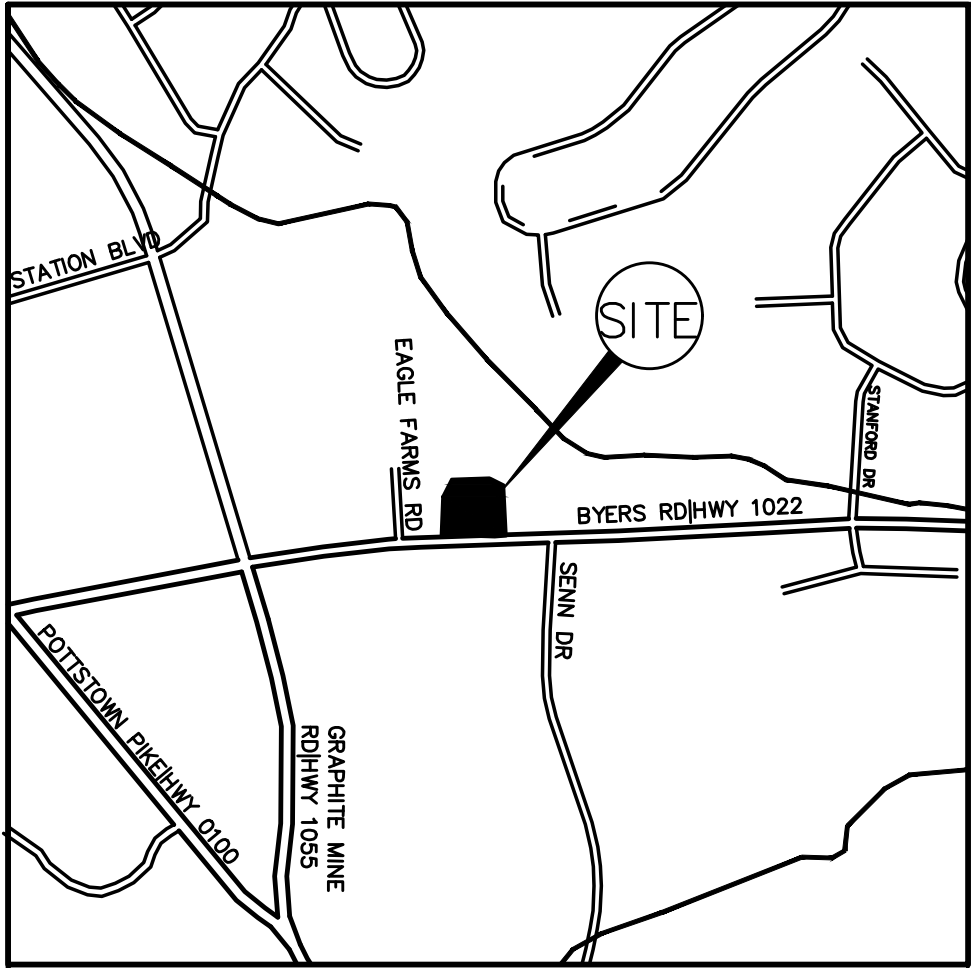
EXISTING DRAINAGE AREA PLAN

FOR
EAGLE ANIMAL HOSPITAL

211 BYERS RD

UPPER UWCHLAN TOWNSHIP
CHESTER COUNTY, PA

DATE:		REVISIONS	
SHEET NO.		NO.	DESCRIPTION
<div style="text-align: center;"> <h1>D-1</h1> </div>		1	
		SCALE : 1"=20'	
		DRAWN BY: SDL	
		3	CHECKED BY:
PROJ. NO.:		4	
SHEET OF		22222	



LOCATION MAP
1" = 1,000'

NOTES

- THIS PLAN IS BASED ON A PLAN BY HOWELLKLINE SURVEYING, ENTITLED TOPOGRAPHIC AND PHYSICAL IMPROVEMENTS SURVEY, DATED MAY 19, 2022.
- ELEVATIONS REFER TO CONTOURS FROM FIELD SURVEY BASED ON GPS SYSTEM. NORTH AMERICAN DATUM OF 1988.
- BOUNDARY FROM A PLAN BY HOWELLKLINE SURVEYING LLC, ENTITLED TOPOGRAPHIC AND PHYSICAL IMPROVEMENTS SURVEY, DATED MAY 19, 2022.
- PROPERTY IS IDENTIFIED IN THE HISTORIC ORDINANCE AS HRP NO. 057, KEY NO. 065814, CLASS 1.
- ADJOINER INFORMATION TAKEN FROM CURRENT TAX RECORDS.
- UTILITY INFORMATION FROM OBSERVED SURFACE EVIDENCE. ALL UTILITY LOCATIONS AND DEPTHS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE 'X' OF THE FLOOD INSURANCE RATE MAP, MAP No. 42029C0095G, COMMUNITY PANEL No. 95 OF 380, WHICH BEARS AN EFFECTIVE DATE OF SEPTEMBER 29, 2017.
- SOIL DELINEATION LINES TAKEN FROM USDA NATIONAL COOPERATIVE SOIL SURVEY THROUGH THE NATURAL RESOURCES CONSERVATION SERVICE. CUSTOM SOIL RESOURCE REPORT FOR THIS PROJECT DATED JANUARY 14TH, 2022.
- SITE IS CURRENTLY SERVICED BY PRIVATE SEWER AND PUBLIC WATER.
- ALL LANDSCAPING SHOWN ON THE PLANS SHALL BE MAINTAINED AND KEPT CLEAN OF ALL DEBRIS, RUBBISH, WEEDS, AND TALL GRASS.
- A BLANKET EASEMENT IS GRANTED TO UPPER UWCHLAN TOWNSHIP TO ALLOW FOR THE INSPECTION OF THE STORMWATER FACILITY. IN THE EVENT THE HOMEOWNER/PROPERTY OWNER FAILS TO PROPERLY MAINTAIN THOSE FACILITIES, AFTER NOTICE TO THE OWNER OF ITS INTENT TO DO SO (WHICH NOTICE SHALL NOT BE REQUIRED IN ANY EMERGENCY), THE TOWNSHIP MAY (BUT IS NOT OBLIGATED TO) ENTER ONTO THE PROPERTY TO INSPECT AND PERFORM ANY SUCH MAINTENANCE. IN SUCH EVENT, THE TOWNSHIP MAY CHARGE THE COSTS THEREOF, WHETHER DIRECT OR INDIRECT, INCLUDING LABOR, EQUIPMENT, MATERIALS, SUPPLIES AND ANY FEES, TO THE OWNER, AND MAY PLACE A LIEN ON THE PROPERTY TO RECOVER ANY CHARGED COSTS THAT REMAIN UNREIMBURSED AND ANY COSTS OF COLLECTION, FEE AND INTEREST.

PA ONE CALL INFORMATION

COMPANY: AQUA PENNSYLVANIA INC
ADDRESS: 782 W LANCASTER AVE
BRYN MAWR, PA 19010
CONTACT: THOMAS WADDY
EMAIL: TBWADDY@AQUAAMERICA.COM

COMPANY: COMCAST
ADDRESS: 1004 CORNERSTONE BLVD
DOWNTOWN, PA. 19335
CONTACT: TOM RUSSO
EMAIL: tom_russo@comcast.com

COMPANY: PECO AN EXELON COMPANY C/O USIC
ADDRESS: 450 S HENDERSON ROAD SUITE B
KING OF PRUSSIA, PA. 19406
CONTACT: NIKKIA SIMPKINS
EMAIL: NIKKIASIMPKINS@USICLLC.COM

COMPANY: UPPER UWCHLAN TOWNSHIP UPPER
UWCHLAN MUNICIPAL AUTHORITY
ADDRESS: 140 POTTSTOWN PIKE
CHESTER SPRINGS, PA. 19425
CONTACT: MICHAEL HECKMAN
EMAIL: MHECKMAN@UPPERUWCHLAN-PA.GOV

COMPANY: VERIZON BUSINESS FORMERLY MCI
ADDRESS: 7000 WESTON PKWY
CARY, NC. 27513
CONTACT: VICTOR WOOD
EMAIL: victor.wood@verizon.com

CHAPTER 93 CLASSIFICATION:
THE SITE DRAINS TO PICKERING CREEK. CHAPTER
93 CLASSIFICATION IS HQ-TSF, MF.

SOILS TABLE

(FROM UNITED STATES DEPARTMENT OF AGRICULTURE
NATURAL RESOURCES CONSERVATION SERVICE)

SOIL TYPE: CaB-Califon loam
DRAINAGE CLASS: Moderately Well Drained
SLOPE RANGE: 3-8
HYDROLOGIC GROUP: D
FRAGIPAN DEPTH: 20-30 inches
BEDROCK DEPTH: 72-99 inches
SEASONAL WATER TABLE: 6-36 inches
FLOODING POTENTIAL: None
PROFILE PERMEABILITY: Moderately low to moderately high

SOIL TYPE: Ha-Hatboro silt loam
DRAINAGE CLASS: Poorly Drained
SLOPE RANGE: 0-3
HYDROLOGIC GROUP: B/D
BEDROCK DEPTH: 60-99 inches
SEASONAL WATER TABLE: 0-6 inches
FLOODING POTENTIAL: Non-Frequent
PROFILE PERMEABILITY: Moderately high to high

SOIL TYPE: UuB-Urban land-Udortheints, schist and gneiss
complex
DRAINAGE CLASS: Moderately low to moderately high
SLOPE RANGE: 0-8
HYDROLOGIC GROUP: C
BEDROCK DEPTH: 20-70 inches
SEASONAL WATER TABLE: 60 inches
FLOODING POTENTIAL: None
PROFILE PERMEABILITY: Moderately low to moderately high

OWNER
9 COFFMAN ASSOCIATES, LP
211 BYERS RD
CHESTER SPRINGS, PA 19425

SITE INFORMATION
211 BYERS RD
TAX MAP: 32-4K-4
DB/PG: 7355/455

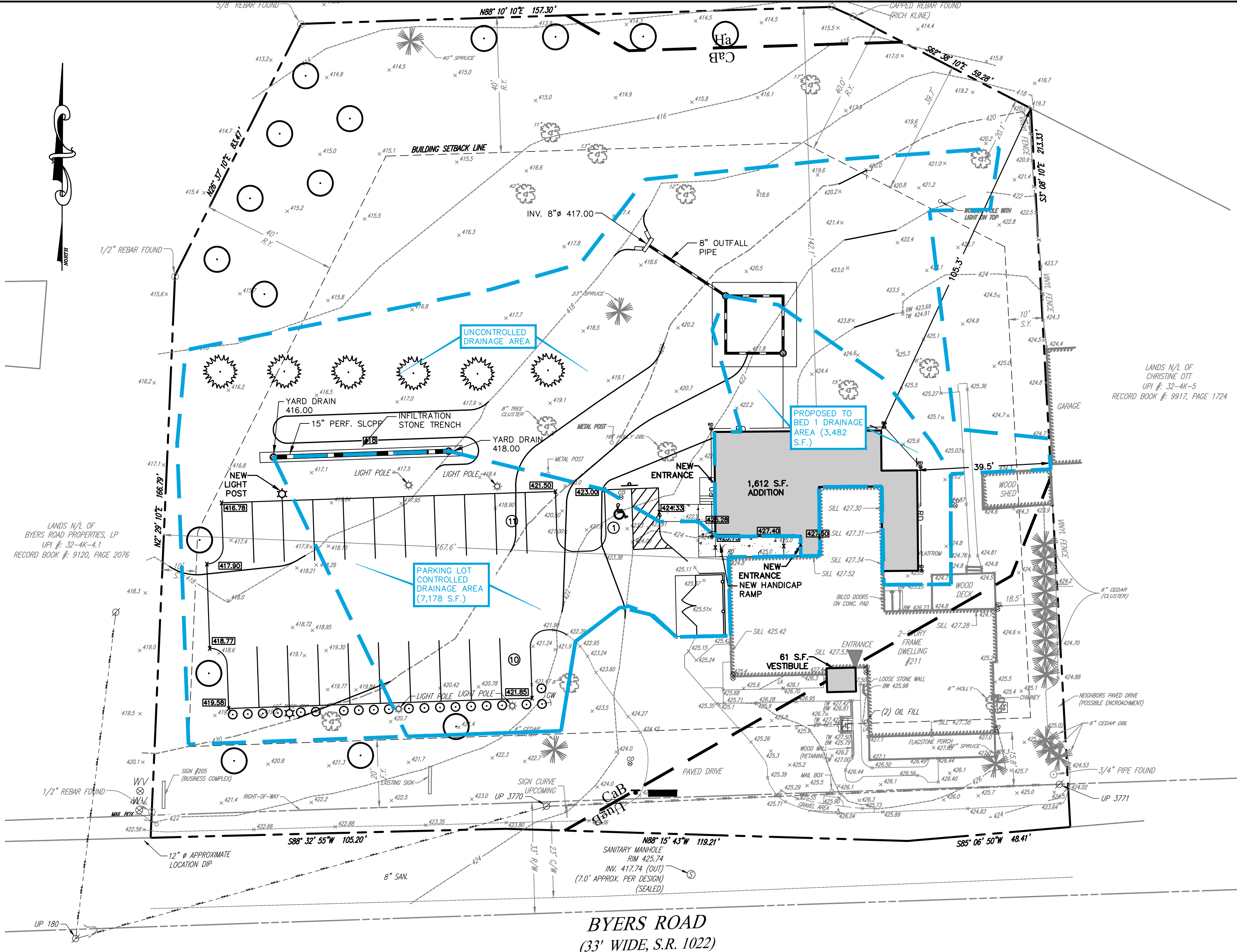
LAND DEVELOPMENT STATEMENT OF INTENT

THE PURPOSE OF THIS PLAN IS TO SHOW THE
REQUIREMENTS NECESSARY TO CONSTRUCT AN
ADDITION FOR AN ANIMAL HOSPITAL. THE PLAN
INCLUDES THE IMPROVEMENTS ASSOCIATED WITH THE
PROPOSED ADDITION SUCH AS GRADING,
LANDSCAPING, AND STORMWATER MANAGEMENT
FACILITIES.

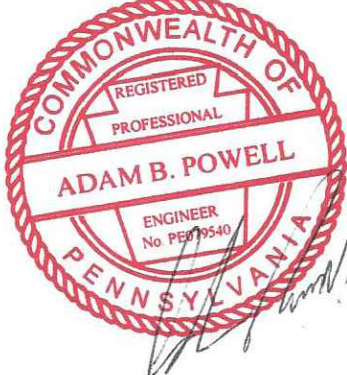
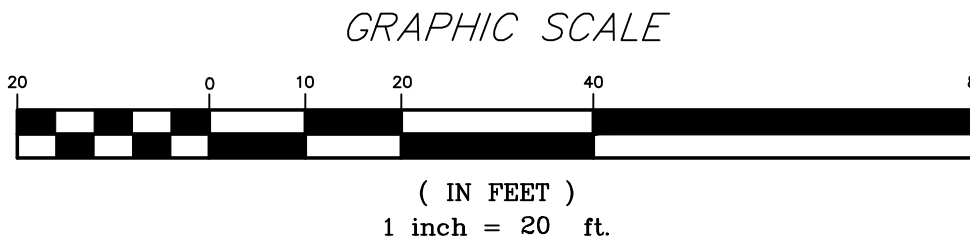
CALL BEFORE YOU DIG!

PENNSYLVANIA LAW REQUIRES
THREE (3) WORKING DAYS NOTICE FOR
CONSTRUCTION PHASE AND TEN (10)
WORKING DAYS FOR DESIGN STAGE.
UTILITY INFORMATION IDENTIFIED THROUGH
THE ONE-CALL PROCESS IS VALID FOR
90 DAYS FROM THE DATE OF THE CALL.

Pennsylvania One Call System, Inc.
800-242-1776
SERIAL# 20222912121
ONE-CALL DATE: 10/18/2022



LEGEND	
EXISTING	PROPOSED
	CONCRETE CURB
	CONC. SIDEWALK
	CONC. CROSSWALK
	FENCELINE
	RIGHT OF WAY
	PROPERTY LINE
	IRON PIN
	MONUMENT
	SPOT GRADES
	CONTOURS
	SIGN
	SANITARY SEWER W/ M.H.
	SANITARY SEWER STRUCTURE NO.
	ROOFDRAIN PIPE
	ELECTRIC LINE
	WATER LINE
	GAS LINE
	UTILITY POLE
	FIRE HYDRANT
	GAS VALVE
	WATER VALVE
	CLEAN-OUT
	WATER METER
	GAS METER
	ELECTRIC METER
	OVERHEAD WIRE



ARCHITECTS
LINN ARCHITECTS
140 N. PROVIDENCE ROAD
MEDIA, PENNSYLVANIA 19063
ARCHITECTURE
ENGINEERING
SITE PLANNING
INTERIOR DESIGN
TEL: 610-566-7044
FAX: 610-566-3258

PROPOSED DRAINAGE AREA PLAN
FOR
EAGLE ANIMAL HOSPITAL
211 BYERS RD
UPPER UWCHLAN TOWNSHIP
CHESTER COUNTY, PA

DATE:	REVISIONS	DESCRIPTION	DATE	NO.
12.09.2022	1	SCALE: 1"=20'		
	2	DRAWN BY: SCL		
	3	CHECKED BY:		
	4	PROJ. NO.: 22222		
SHEET NO.				D-2
				SHEET OF



January 5, 2023

Upper Uwchlan Township
140 Pottstown Pike
Chester Springs, PA 19425

Attention: Mr. Tony Scheivert
Township Manager

RE: Struble Trail Extension II
Revised Plans for Conditional Use
Bursich Job No.: CHE-22 / 137340.01

Dear Mr. Scheivert:

With regard to the above referenced project and active conditional use application, please find enclosed the following updated documents for review:

- Twenty (20) paper sets of Preliminary/Final Land Development Plans, prepared by Bursich Associates, Inc., Sheets 1, and 3 through 10, revised December 21, 2022;
- USB drive containing PDF's of Plans.

Since the original plan submission in May, 2019, some updates have occurred to the Shryock Brothers, Inc. parcel (UPI 32-6-49) the County's existing trail easement traverses through. A simple lot line adjustment plan was approved by the Township in July, 2022 that annexed 2.70 acres from this parcel intended to be ultimately joined with the Commonwealth of PA's UPI 32-6-49.1. The existing trail easement will now be located within the latter's lands. This allowed the County to relocate a portion of the proposed trail further north to eliminate the need for the prior retaining walls proposed and to provide some additional clearance from an existing water service line. A Public Trail Easement is provided for the trail and improvements located outside of the County's existing trail easement, as well as a Temporary Construction Easement to allow the County access to the existing water tower, which will be demolished.

Updated preliminary/final land development plans and supporting documents are being submitted to the Township concurrently for review under separate cover. Should you have any questions or need further information, please feel free to contact me at 484-941-0427 or nick.feola@bursich.com.

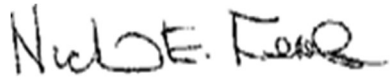
ENGINEERS, LAND SURVEYORS, LANDSCAPE ARCHITECTS



2129 E. High Street | Pottstown, PA 19464
N 40° 14' 40.2" W 075° 36' 09.6"

610.323.4040
www.bursich.com

Very truly yours,

A handwritten signature in black ink, appearing to read "Nicholas E. Feola". The signature is stylized with a large "N" and a long, sweeping underline.

Nicholas E. Feola, P.E.
Vice President
Bursich Associates, Inc., Pottstown Office

Enclosures

pc: Jan Bowers, County of Chester (via email only)
Shaun Meredith, County of Chester (via email only)
Dave Stauffer, County of Chester (via email only)
Joeseeph Brion, Esq., Buckley Brion McGuire & Morris, LLP (via email only)

PRELIMINARY / FINAL LAND DEVELOPMENT PLANS

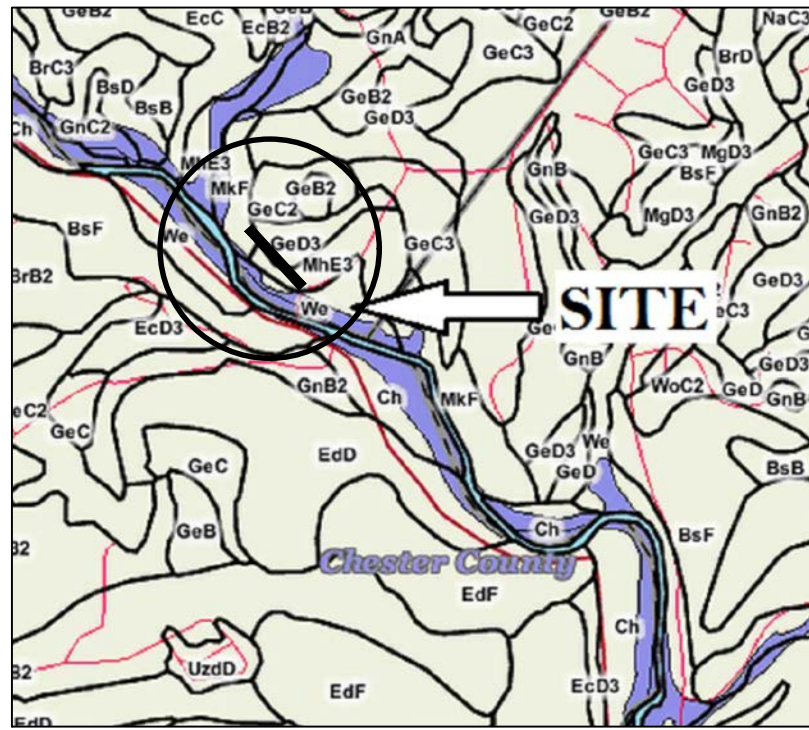
STRUBLE TRAIL - EXTENSION II

UPPER UWCHLAN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA

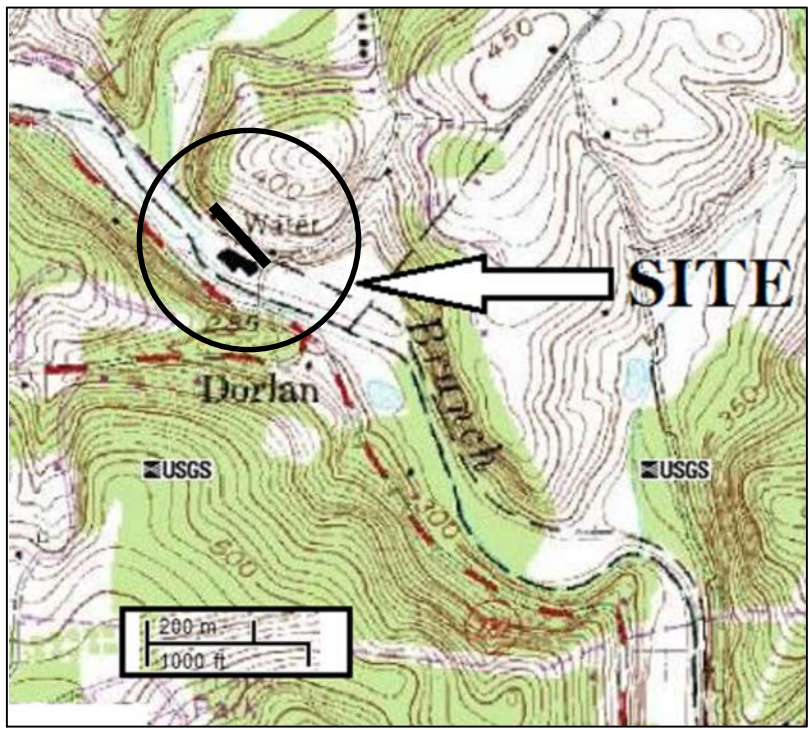
PREPARED FOR: CHESTER COUNTY, DEPARTMENT OF FACILITIES
313 WEST MARKET STREET, SUITE 5402
P.O. BOX 2748
WEST CHESTER, PA 19380-0991

PREPARED BY: BURSICH ASSOCIATES, INC.
2129 EAST HIGH STREET
POTTSTOWN, PENNSYLVANIA 19464

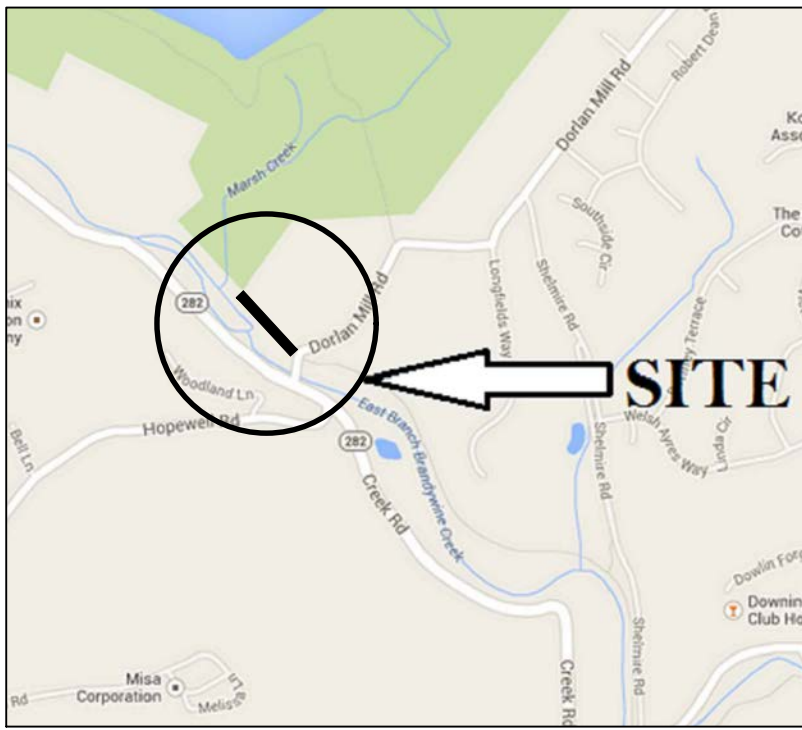
MAY 1, 2019
REVISED DECEMBER 21, 2022



SOILS MAP
1"=1000'



USGS TOPO
1"=1000'



LOCATION MAP
1"=1000'

ENGINEER'S CERTIFICATE OF CONFORMANCE

I, NICHOLAS E. FEOLA, P.E., HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, THESE PLANS DESCRIBED HEREON, AS WELL AS OTHER DRAWINGS WHICH ARE PART OF THIS PLAN SET, ARE TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE, AND WERE PREPARED BY ME OR UNDER MY DIRECTION FOR WHICH I ACCEPT FULL RESPONSIBILITY.

PROFESSIONAL ENGINEER SIGNATURE
PE No. PE046396E

DATE

WAIVERS:

THE FOLLOWING ARE THE FORMAL WRITTEN MODIFICATION (I.E. "WAIVER" OR "DEFERRAL") REQUESTS FROM THE REQUIREMENTS OF THE UPPER UWCHLAN TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE (CHAPTER 142) AND STORMWATER MANAGEMENT ORDINANCE (CHAPTER 152):

- §162-8.B. - TO ALLOW THE PLAN TO BE PROCESSED AS A COMBINED PRELIMINARY & FINAL PLAN, AS THE PROJECT IN MINOR IN NATURE, DOES NOT INVOLVE ANY PUBLIC IMPROVEMENTS TO BE DEDICATED TO THE TOWNSHIP, OR NEW STREETS, UTILITY MAIN EXTENSIONS, ETC.
- §152-306.C - FROM INFILTRATING THE VOLUME OF ONE-INCH OF RUNOFF FROM THE PROPOSED IMPERVIOUS SURFACES OR THE TOTAL WATER QUALITY AND RUNOFF VOLUME REQUIRED IN §152-305. THE PROPOSED TRAIL IS BEING CONSTRUCTED WITHIN PRIOR RAILROAD BED. INFILTRATION AND/OR DEEP EXCAVATION INTO THE PRIOR RAILROAD BED IS DISCOURAGED TO MINIMIZE DISTURBANCE AND EXPOSURE OF SOILS AND FILL MATERIALS FROM THE ORIGINAL RAILROAD CONSTRUCTION.
- §152-306.1(2) - FROM PERFORMING INFILTRATION TESTING AS THE PROPOSED TRAIL IS BEING CONSTRUCTED WITHIN A PRIOR RAILROAD BED. INFILTRATION AND/OR DEEP EXCAVATION INTO THE PRIOR RAILROAD BED IS DISCOURAGED TO MINIMIZE DISTURBANCE AND EXPOSURE OF SOILS AND FILL MATERIALS FROM THE ORIGINAL RAILROAD CONSTRUCTION.

SURVEYORS CERTIFICATION

I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF ON THIS _____ DAY OF _____, 20____, THIS PLAT AND SURVEY WAS PERFORMED IN ACCORDANCE WITH THE MINIMUM STANDARDS FOR BOUNDARY SURVEYS SECTION OF THE MANUAL OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS IN THE COMMONWEALTH OF PENNSYLVANIA, AS ADOPTED BY THE PENNSYLVANIA SOCIETY OF LAND SURVEYORS ON JULY 10, 1998, THAT THIS PLAN REPRESENTS A SURVEY MADE BY ME, THAT ALL MONUMENTS EXIST OR SHALL BE PLACED OR LOCATED, AND THAT ALL DIMENSIONAL AND GEODETIC DETAILS ARE CORRECT.

SIGNATURE OF SURVEYOR

REGISTRATION NUMBER: _____

APPLICANT

CHESTER COUNTY, DEPARTMENT OF FACILITIES
313 WEST MARKET STREET, SUITE 5402
P.O. BOX 2748
WEST CHESTER, PA 19380-0991
PHONE: (610) 344-6445
FAX: (610) 344-5984

DORLAN MILL SIGNAL/PEDESTRIAN CROSSING NOTE:

FOR DESIGN & DETAILING OF STRUBLE TRAIL PEDESTRIAN CROSSING AND FLASHING BEACON SIGNAL OF DORLAN MILL ROAD (S.R. 4019) REFER TO THE FOLLOWING DOCUMENTS:

- SIGNAL PERMIT PLAN FOR DORLAN MILL ROAD (S.R. 4019) AND STRUBLE TRAIL, PERMIT #W-6256-03, DATED JUNE 16, 2017;
- STRUBLE TRAIL ADA CROSSING IMPROVEMENTS, PREPARED BY BURSICH ASSOCIATES, INC., SHEET 1 OF 1, DATED 3/10/17.

CONDITIONAL USE NOTE:

A CONDITIONAL USE IS REQUIRED PURSUANT TO UPPER UWCHLAN TOWNSHIP ZONING ORDINANCE SECTION 200-44.(10) TO ALLOW A GOVERNMENTAL USE TO INCLUDE AN EXTENSION OF THE STRUBLE TRAIL FROM, FRO IT'S TERMINUS ON THE EAST SIDE OF DORLAN MILL ROAD, APPROXIMATELY 180 FEET TO DORLAN MILL ROAD, CROSSING DORLAN MILL ROAD, AND THEN APPROXIMATELY 630 FEET TO THE WEST OF DORLAN MILL ROAD WITHIN AN EXISTING EASEMENT.

RECORDING NOTE:

SHEETS 1 - 4 AND 12 - 15 OF THIS PLAN SET WILL BE CONSIDERED A COMPLETE RECORD PLAN SET FOR FILING PURPOSES IN THE CHESTER COUNTY RECORDER OF DEEDS OFFICE, ALTHOUGH ALL SHEETS IDENTIFIED IN THE SHEET LIST SHALL CONSTITUTE THE FINAL PLAN, AS THEE TERMS USED IN THESE PLANS OR IN THE DEVELOPER'S AGREEMENT.

COMMONWEALTH OF PENNSYLVANIA

COUNTY OF CHESTER

ON THE _____ DAY OF _____, 20____, BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC FOR THE COMMONWEALTH OF PENNSYLVANIA, RESIDING IN _____, WHO ACKNOWLEDGES TO BE THE DIRECTOR OF THE CHESTER COUNTY, DEPARTMENT OF FACILITIES, AND THAT AS SUCH, BEING AUTHORIZED TO DO SO BY THE COUNTY OF CHESTER, EXECUTED THE FOREGOING PLAN, AND THAT THE COUNTY OF CHESTER IS THE OWNER OF THE LANDS SHOWN HEREON (PARCELS 32-06-65.1 AND 32-06-66) AND OWNER OF AN EASEMENT BY DECLARATION OF TAKING, FILED ON SEPTEMBER 22, 2010, THROUGH PART OF PARCEL 32-06-49, AND THAT THEY DESIRE THAT THIS PLAN BE DULY RECORDED ACCORDING TO LAW.

AUTHORIZED SIGNATURE

NOTARY PUBLIC

UPPER UWCHLAN TOWNSHIP PLANNING COMMISSION

REVIEWED BY THE PLANNING COMMISSION OF UPPER UWCHLAN TWP., CHESTER CO., PA THIS _____ DAY OF _____, 20____.

CHAIRPERSON

UPPER UWCHLAN TOWNSHIP BOARD OF SUPERVISORS

APPROVED BY THE BOARD OF SUPERVISORS OF UPPER UWCHLAN TWP., CHESTER CO., PA THIS _____ DAY OF _____, 20____.

CHAIRPERSON

TOWNSHIP ENGINEER REVIEW

REVIEWED BY THE TOWNSHIP ENGINEER FOR UPPER UWCHLAN TOWNSHIP THIS _____ DAY OF _____, 20____.

CHESTER COUNTY PLANNING COMMISSION

REVIEWED BY THE CHESTER COUNTY PLANNING COMMISSION THIS _____ DAY OF _____, 20____.

RECORDER OF DEEDS

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF CHESTER COUNTY AT WEST CHESTER, PENNSYLVANIA IN PLAN BOOK _____

_____, PAGE _____, ON THE _____ DAY OF _____, 20____.

RECORDER OF DEEDS

ZONING DATA:

ZONING DISTRICT: LIMITED INDUSTRIAL (L-I)
FLOOD HAZARD OVERLAY DISTRICT

PROPOSED USE: GOVERNMENT USE (EXTENSION OF STRUBLE TRAIL)

SITE DATA:

UPI 32-06-48.1, COMMONWEALTH OF PENNSYLVANIA, 9.1 ACRES.
EASEMENT IN FAVOR OF COUNTY FOR STRUBLE TRAIL DEVELOPMENT.

20' WIDE TRAIL EASEMENT THROUGH PART OF UPI 32-06-49 (SHRYOCK BROTHERS, INC.), BY DECLARATION OF TAKING FILED ON SEPTEMBER 22, 2010, 0.28 AC.

UPI 32-06-49.2, COMMONWEALTH OF PENNSYLVANIA, 1.22 ACRES.
EASEMENT IN FAVOR OF COUNTY FOR STRUBLE TRAIL DEVELOPMENT.

UPI 32-06-65.1, COUNTY OF CHESTER, 2.3 ACRES

UPI 32-06-66, COUNTY OF CHESTER, 0.55 ACRES

FLOODPLAIN NOTE:

100 YEAR FLOODPLAIN PER FIRM FLOOD RATE INSURANCE MAP, CHESTER COUNTY, PENNSYLVANIA DOWNLOADED FROM FEMA ON AUGUST 28, 2018.

RECORDER OF DEEDS

RECORD PLAN 1 OF 8

DWG. NO. CO137340-1A SHEET 1 OF 18

SHEET LIST		
SHEET #	DRAWING #	SHEET DESCRIPTION
01	CO137340-1A	COVER SHEET
02	GN137340-1A	GENERAL NOTES
03	LO137340-1A	SITE PLAN
04	LO237340-1A	SITE PLAN
05	EF137340-1A	EXISTING FEATURES/SITE ANALYSIS & IMPACT PLAN
06	EF237340-1A	EXISTING FEATURES/SITE ANALYSIS & IMPACT PLAN
07	GR137340-1A	GRADING PLAN
08	GR237340-1A	GRADING PLAN
09	UT137340-1A	UTILITY PLANS
10	UT237340-1A	UTILITY PLANS
11	CD337340-1A	CONSTRUCTION DETAILS
12	PC137340-1A	STORMWATER MANAGEMENT SITE PLAN AND OPERATION & MAINTENANCE PLAN
13	PC237340-1A	STORMWATER MANAGEMENT SITE PLAN AND OPERATION & MAINTENANCE PLAN
14	CD137340-1A	STORMWATER MANAGEMENT DETAILS AND OPERATION & MAINTENANCE PLAN
15	CD237340-1A	STORMWATER MANAGEMENT DETAILS AND OPERATION & MAINTENANCE PLAN
16	ES137340-1A	EROSION AND SEDIMENT CONTROL PLAN
17	ES237340-1A	EROSION AND SEDIMENT CONTROL PLAN
18	ES3237340-1A	EROSION AND SEDIMENT CONTROL DETAILS

PLAN SHEETS TO BE RECORDED

LIST OF UTILITIES-RESPONSES

THE FOLLOWING COMPANIES WERE NOTIFIED BY THE PENNSYLVANIA ONE CALL SYSTEM (1-800-242-1776) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICES THE SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSES TO THIS REQUEST. SERIAL No.:

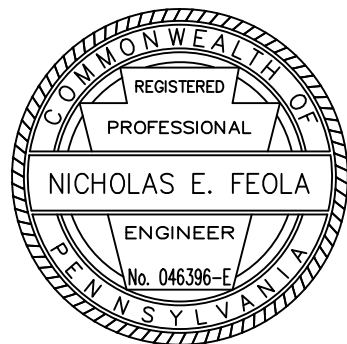
AQUA PENNSYLVANIA INC (HS)
CLEAR-NO FACILITIES.
BUCKEYE PARTNERS (IA)
CLEAR-NO FACILITIES.
COMCAST CABLE COMMUNICATIONS INC (JZ)
CLEAR-NO FACILITIES.
PECO ENERGY (KF)
CLEAR-NO FACILITIES.
SUNOCO PIPELINE LP (SPJ)
DESIGN CONFLICT
UPPER UWCHLAN TWP/UPPER UWCHLAN MUNICIPAL AUTHORITY (UUT)
CLEAR-NO FACILITIES.
UWCHLAN TOWNSHIP MUNICIPAL AUTHORITY (UTMA)
FACILITIES ON SITE
VERIZON PENNSYLVANIA LLC (YI)
CLEAR-NO FACILITIES.

NOTE: SHRYOCK BROTHERS, INC. HAS EXISTING PRIVATE, UNMARKED WATER SERVICE LINE IN PROJECT VICINITY (SEE GENERAL NOTE #3 ON SHEET 2.



Stop - Call Before You Dig!

Pennsylvania Act 181 (2007) requires notification by excavators, designers, or any person preparing to disturb the earth's surface anywhere in the commonwealth Pennsylvania One Call System, Inc. 811 or 1-800-242-1776
SERIAL # 20132890184



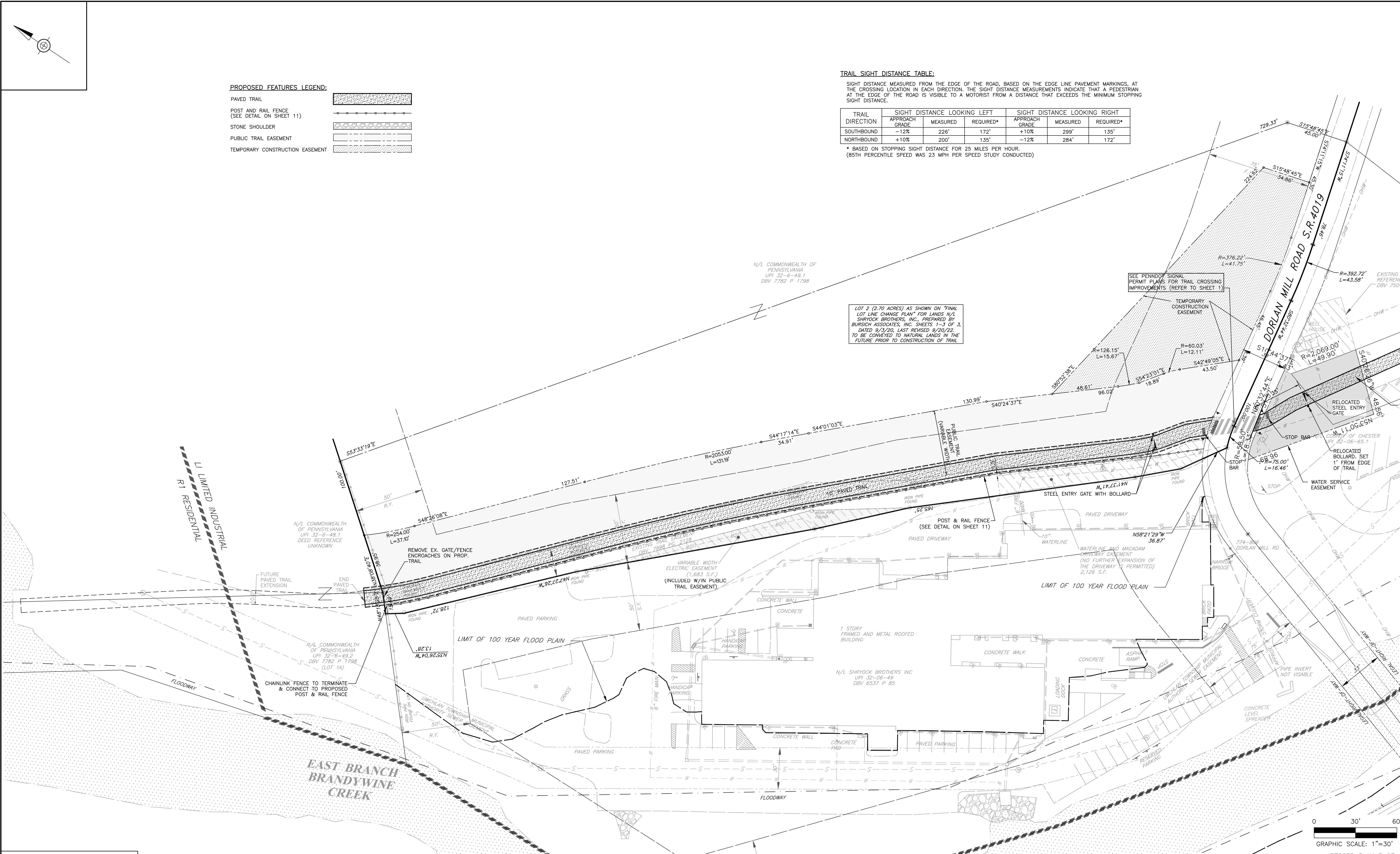
Nicholas E. Feola, P.E.



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Southampton, PA 18966

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PROPOSED FEATURES LEGEND:

PAVED TRAIL	
POST AND RAIL FENCE (SEE DETAIL ON SHEET 11)	
STONE SHOULDER	
PUBLIC TRAIL EASEMENT	
TEMPORARY CONSTRUCTION EASEMENT	

TRAIL SIGHT DISTANCE TABLE:

SIGHT DISTANCE MEASURED FROM THE EDGE OF THE ROAD, BASED ON THE EDGE LINE PAVEMENT MARKINGS, AT THE CROSSING LOCATION IN EACH DIRECTION. THE SIGHT DISTANCE MEASUREMENTS INDICATE THAT A PEDESTRIAN AT THE EDGE OF THE ROAD IS VISIBLE TO A MOTORIST FROM A DISTANCE THAT EXCEEDS THE MINIMUM STOPPING SIGHT DISTANCE.

TRAIL DIRECTION	SIGHT DISTANCE LOOKING LEFT			SIGHT DISTANCE LOOKING RIGHT		
	APPROACH GRADE	MEASURED	REQUIRED*	APPROACH GRADE	MEASURED	REQUIRED*
SOUTHBOUND	-12%	226'	172'	+10%	299'	135'
NORTHBOUND	+10%	200'	135'	-12%	284'	172'

* BASED ON STOPPING SIGHT DISTANCE FOR 25 MILES PER HOUR.
(85TH PERCENTILE SPEED WAS 23 MPH PER SPEED STUDY CONDUCTED)

LOT 2 (2.70 ACRES) AS SHOWN ON "FINAL LOT LINE CHANGE PLAN" FOR LANDS N/L SHRYOCK BROTHERS, INC., PREPARED BY BURSICH ASSOCIATES, INC. SHEETS 1-3 OF 3, DATED 9/3/20, LAST REVISED 9/20/22, TO BE CONVEYED TO NATURAL LANDS IN THE FUTURE PRIOR TO CONSTRUCTION OF TRAIL

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UPI 32-6-48.1, 32-6-49, 32-6-49.2

				SEAL
				SEAL
				MANAGER
				DESIGN
				DRAFT
				FILE
				NOTES
1.	REVISIONS PER OWNER AND TOWNSHIP CONSULTANTS REVIEWS	12/21/22	AJK	
NO.	REVISION	DATE	BY	APP.

MANAGER	NEF
DESIGN	KK
DRAFT	AJK
FILE	CHE-22
NOTES	
DATE	MAY 1, 2019
SCALE	1"=30'



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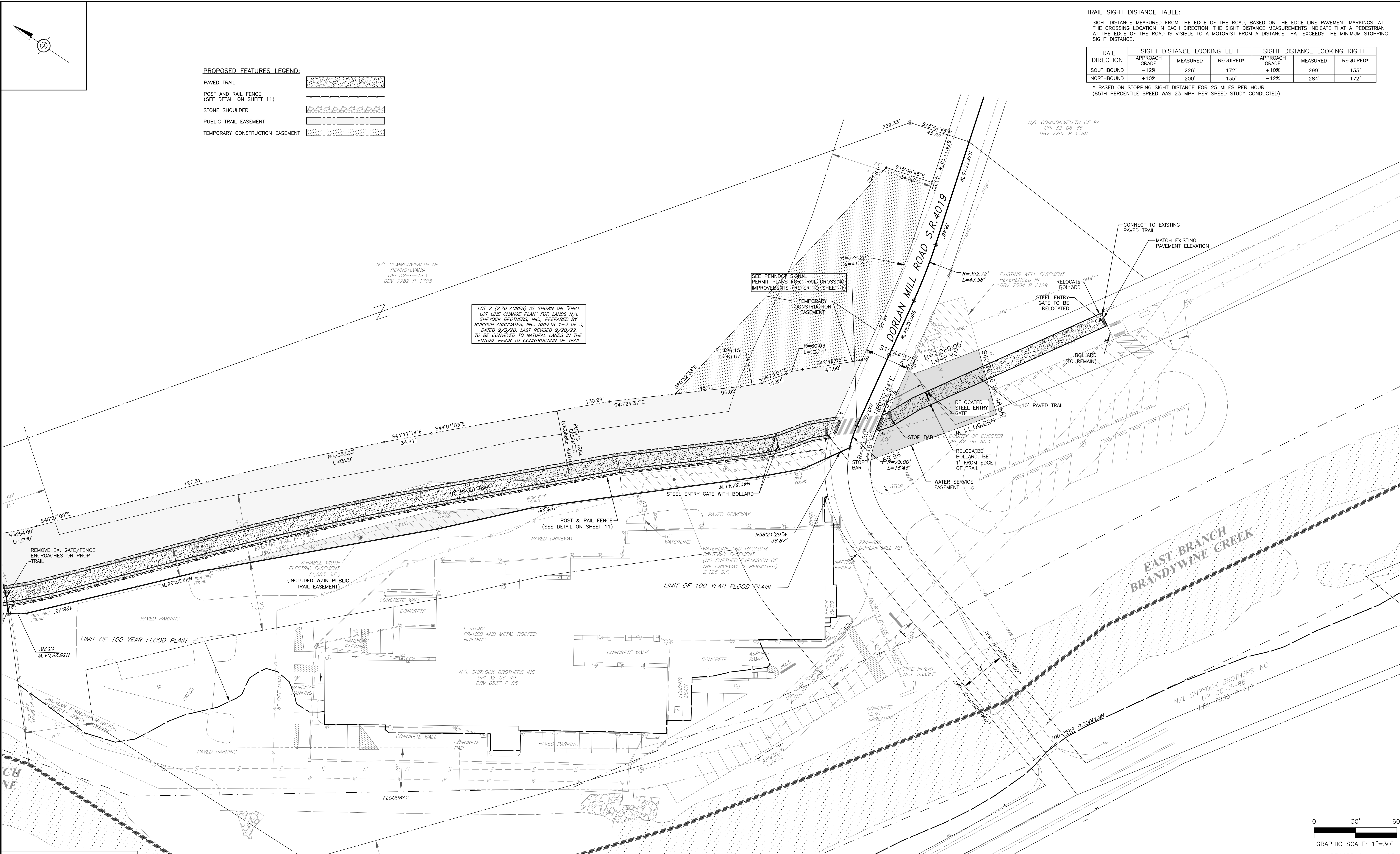
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CLIENT
CHESTER COUNTY, DEPARTMENT OF FACILITIES
313 W. MARKET STREET
SUITE 5402
P.O. BOX 2748
WEST CHESTER, PA 19380

SUBJECT
SITE PLAN
RECORD PLAN 3 OF 8
STRUBLE TRAIL
EXTENSION II
UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA

JOB NO.
137340.01A
SHEET NO.
3 OF 18
DWG. NO.
LO137340-1A

0 30' 60'
GRAPHIC SCALE: 1"=30'
RECORD PLAN 3 OF 4



TRAIL SIGHT DISTANCE TABLE:

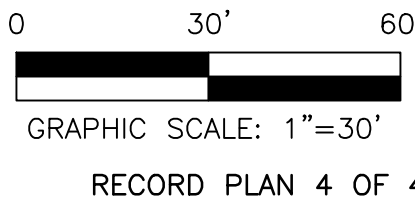
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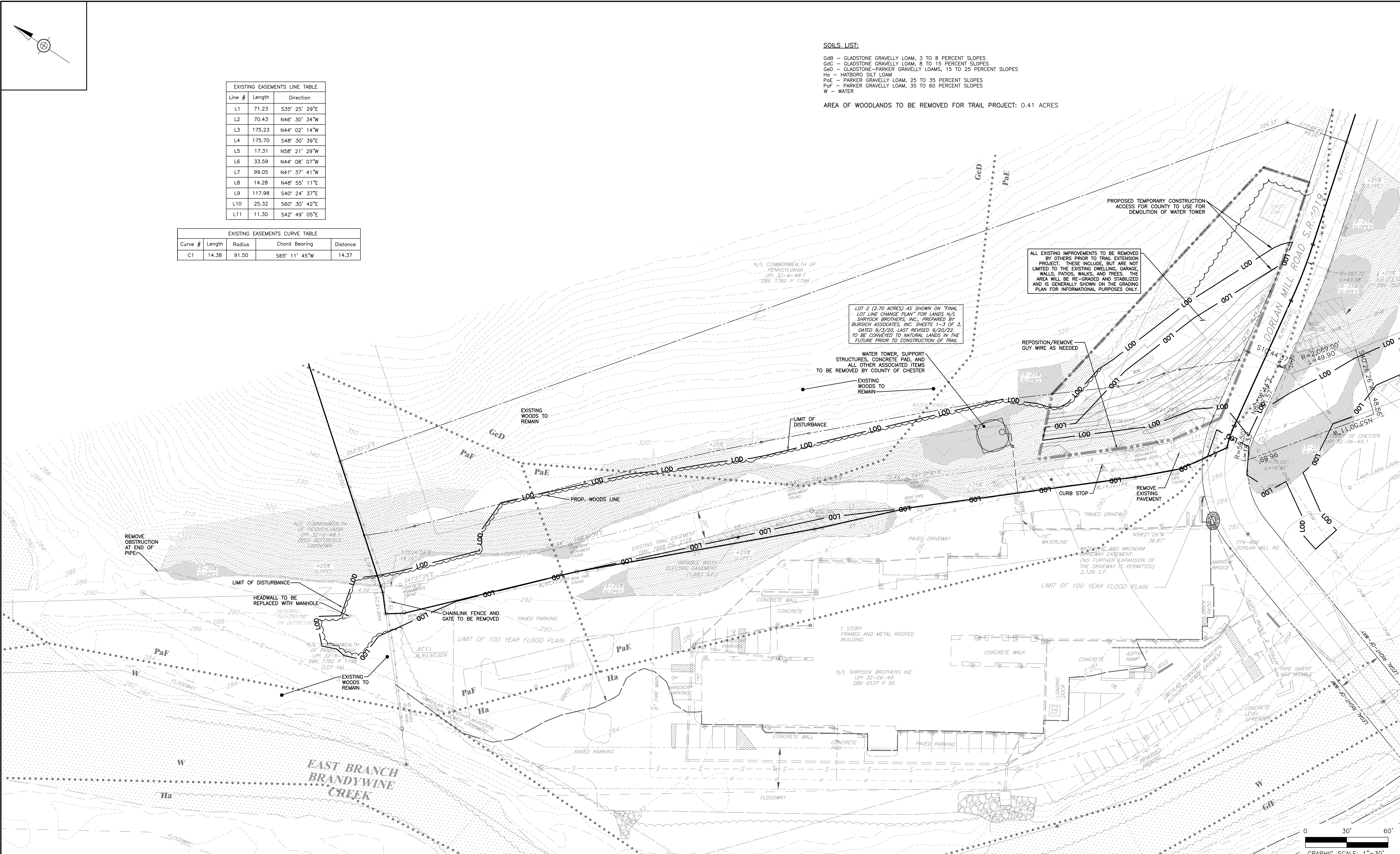
* BASED ON STOPPING SIGHT DISTANCE FOR 25 MILES PER HOUR. (85TH PERCENTILE SPEED WAS 23 MPH PER SPEED STUDY CONDUCTED)

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UPI 32-6-48.1, 32-6-49, 32-6-49.2



SEAL				SEAL				MANAGER NEF				<div>BURSICH Sharing your Vision</div> <div>Corporate Headquarters 2129 East High Street Pottstown, PA 19464 610-323-4040</div> <div>Southampton Office 706 Lakeside Drive Southampton, PA 18966</div> <div>www.bursich.com</div>				CLIENT CHESTER COUNTY, DEPARTMENT OF FACILITIES 313 W. MARKET STREET SUITE 5402 P.O. BOX 2748 WEST CHESTER, PA 19380				SUBJECT STRUBLE TRAIL EXTENSION II UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA				JOB NO. 137340.01A SHEET NO. 4 OF 18 DWG. NO. LO237340-1A			
DESIGN KK				CHKD. BY				DESIGN AJK								CHKD. BY											
FILE CHE-22				DATE MAY 1, 2019				FILE CHE-22								DATE MAY 1, 2019											
NOTES				SCALE 1"=30'				NOTES								SCALE 1"=30'											
1. REVISIONS PER OWNER AND TOWNSHIP CONSULTANTS REVIEWS				12/21/22				AJK								12/21/22											
NO.				REVISION				DATE				BY				APP.											



SOILS LIST:
GdB = GLADSTONE GRAVELLY LOAM, 3 TO 8 PERCENT SLOPES
GdC = GLADSTONE GRAVELLY LOAM, 8 TO 15 PERCENT SLOPES
GdE = GLADSTONE-PARKER GRAVELLY LOAMS, 15 TO 25 PERCENT SLOPES
Ho = HATBORO SILT LOAM
PoE = PARKER GRAVELLY LOAM, 25 TO 35 PERCENT SLOPES
PoF = PARKER GRAVELLY LOAM, 35 TO 60 PERCENT SLOPES
W = WATER

AREA OF WOODLANDS TO BE REMOVED FOR TRAIL PROJECT: 0.41 ACRES

EXISTING EASEMENTS LINE TABLE		
Line #	Length	Direction
L1	71.23	S35° 25' 29"E
L2	70.43	N46° 30' 34"W
L3	175.23	N44° 02' 14"W
L4	175.70	S48° 30' 39"E
L5	17.31	N58° 21' 29"W
L6	33.59	N44° 08' 07"W
L7	99.05	N41° 37' 41"W
L8	14.28	N48° 55' 11"E
L9	117.98	S40° 24' 37"E
L10	25.32	S60° 30' 42"E
L11	11.30	S42° 49' 05"E

EXISTING EASEMENTS CURVE TABLE				
Curve #	Length	Radius	Chord Bearing	Distance
C1	14.38	91.50	S65° 11' 45"W	14.37

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NO.	REVISION	DATE	BY	APP.

NEF	
CHKD. BY	
CHKD. BY	
DATE	MAY 1, 2019
SCALE	1"=30'

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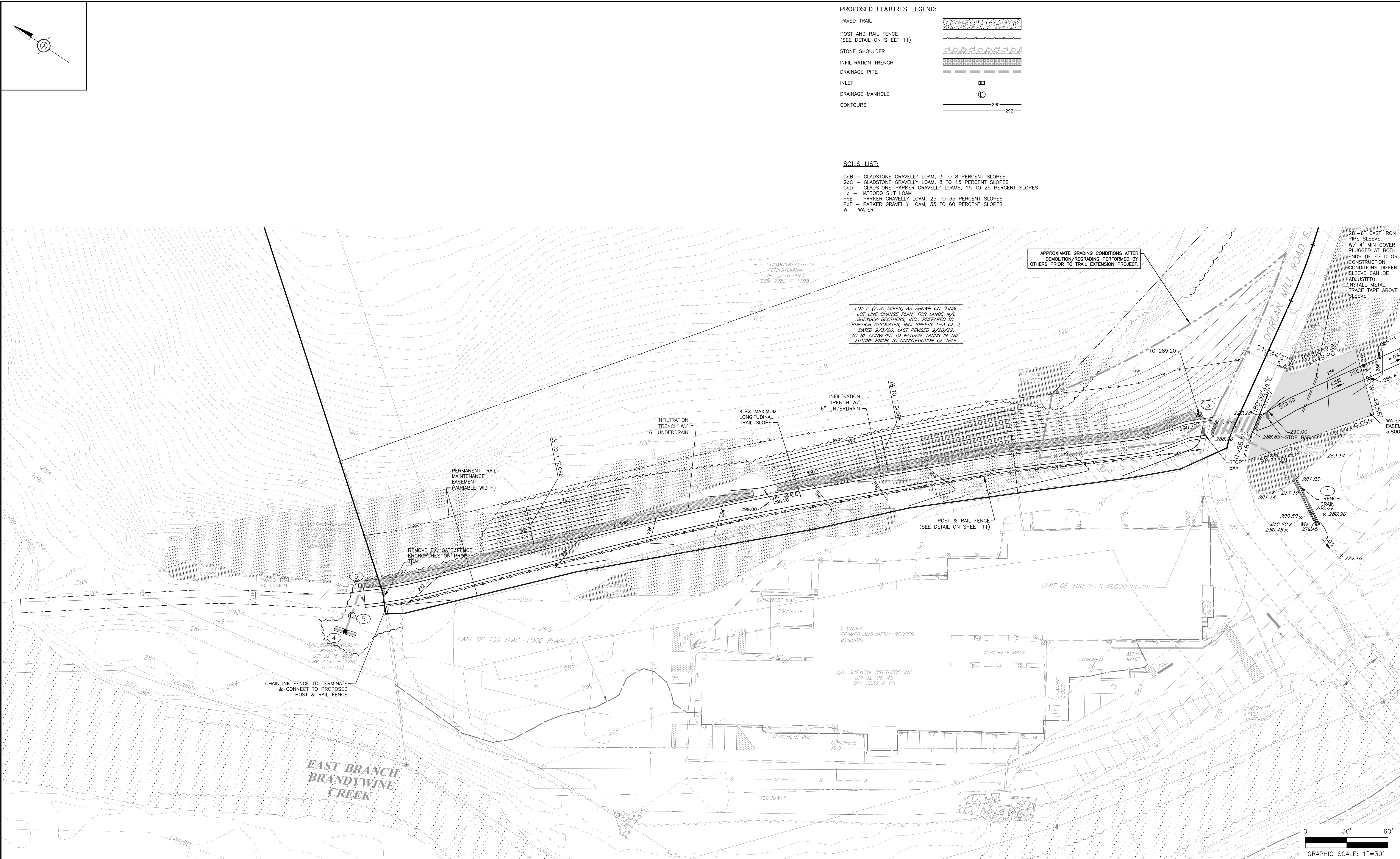
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SUBJECT
EXISTING FEATURES/SITE ANALYSIS AND IMPACT PLAN
STRUBLE TRAIL EXTENSION II
UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA
JOB NO.
137340.01A
SHEET NO.
5 OF 18
DWG. NO.
EF137340-1A



PROPOSED FEATURES LEGEND:

- PAVED TRAIL
- POST AND RAIL FENCE (SEE DETAIL ON SHEET 11)
- STONE SHOULDER
- INFILTRATION TRENCH
- DRAINAGE PIPE
- INLET
- DRAINAGE MANHOLE
- CONTOURS

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NO.	REVISION	DATE	BY	APP.

SEAL

MANAGER	NEF
DESIGN	KK
DRAFT	AJK
FILE	CHE-22
NOTES	

CHKD. BY	
CHKD. BY	
DATE	MAY 1, 2019
SCALE	1"=30'

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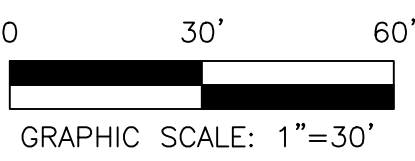
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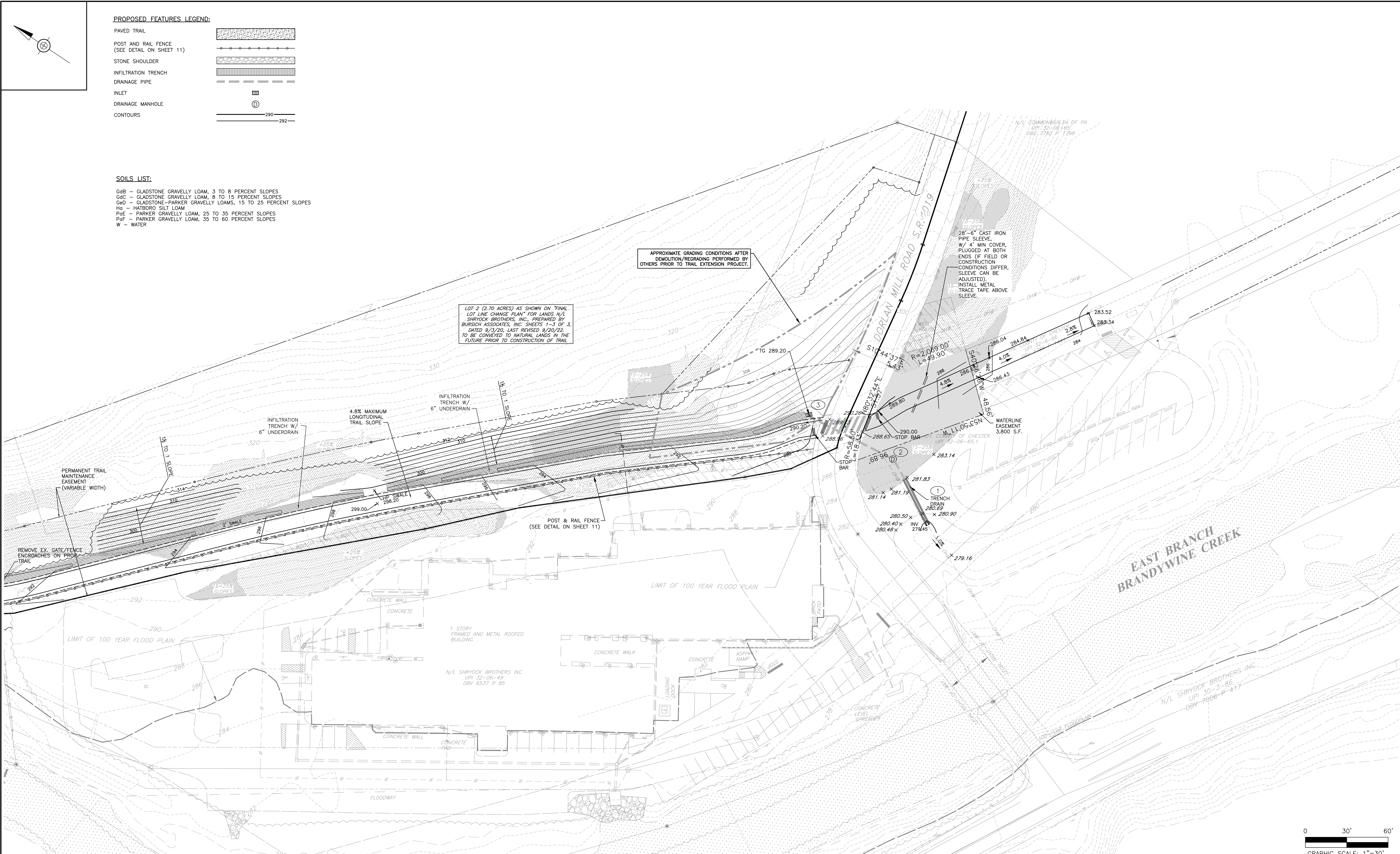
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SUBJECT
GRADING PLAN
STRUBLE TRAIL EXTENSION II
UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA

JOB NO.
137340.01A
SHEET NO.
7 OF 18
DWG. NO.
GR137340-1A





- PROPOSED FEATURES LEGEND:**
- PAVED TRAIL
 - POST AND RAIL FENCE (SEE DETAIL ON SHEET 11)
 - STONE SHOULDER
 - INFILTRATION TRENCH
 - DRAINAGE PIPE
 - INLET
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 - CONTOURS

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NO.	REVISION	DATE	BY	APP.
1.	REVISIONS PER OWNER AND TOWNSHIP CONSULTANTS REVIEWS	12/21/22	AJK	

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SEAL

MANAGER	NEF
DESIGN	KK
DRAFT	AJK
FILE	CHE-22
NOTES	

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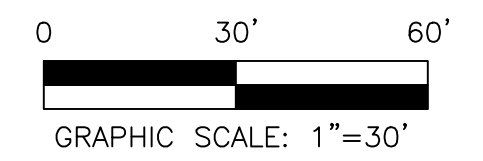
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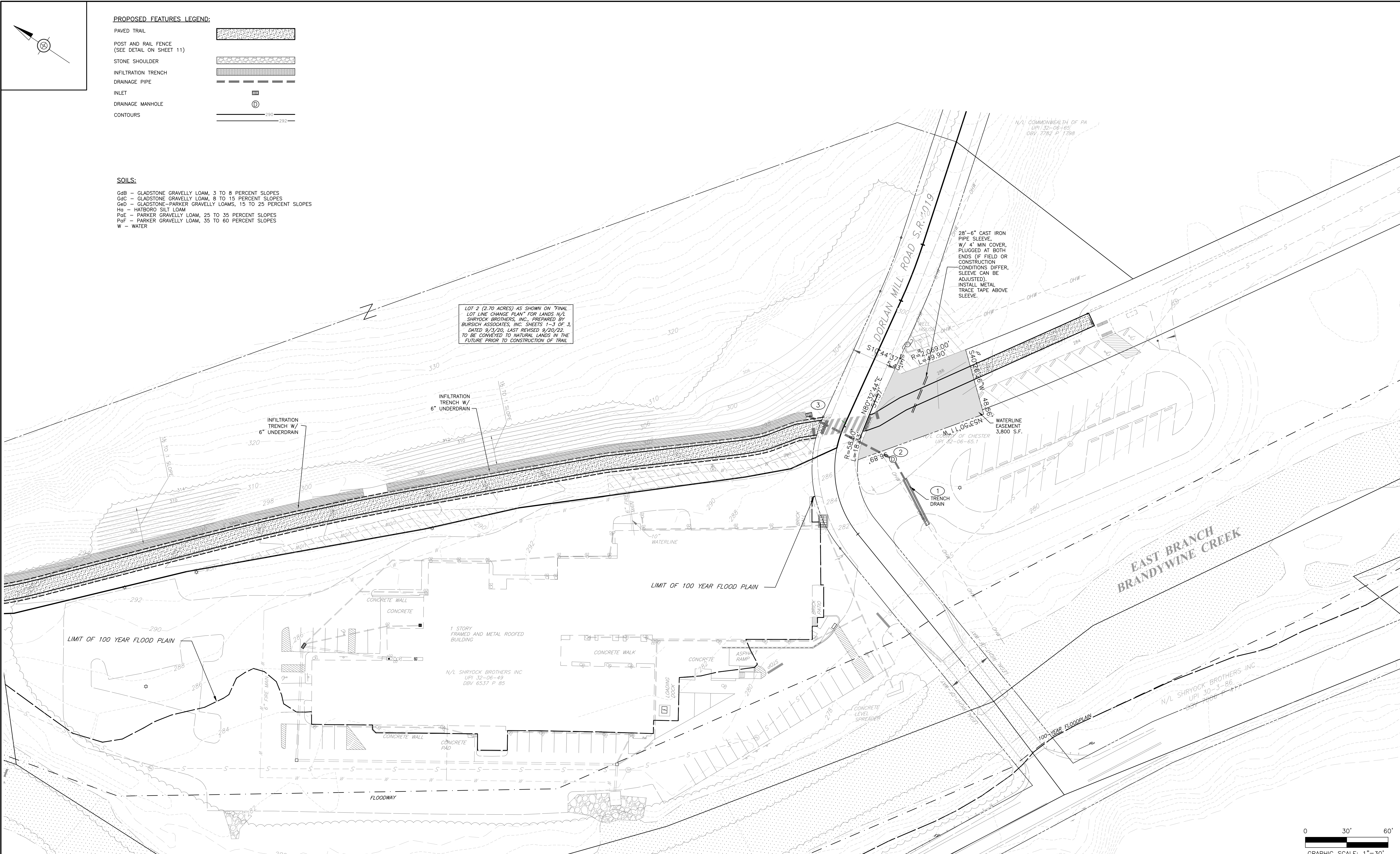
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313 W. MARKET STREET SUITE 5402 P.O. BOX 2748 WEST CHESTER, PA 19380

SUBJECT
GRADING PLAN
STRUBLE TRAIL EXTENSION II
UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA

JOB NO.	137340.01A
SHEET NO.	8 OF 18
DWG. NO.	GR237340-1A





PROPOSED FEATURES LEGEND:

- PAVED TRAIL
- POST AND RAIL FENCE (SEE DETAIL ON SHEET 11)
- STONE SHOULDER
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- DRAINAGE PIPE
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LOT 2 (2.70 ACRES) AS SHOWN ON "FINAL LOT LINE CHANGE PLAN" FOR LANDS N/L SHRYOCK BROTHERS, INC., PREPARED BY BURSICH ASSOCIATES, INC. SHEETS 1-3 OF 3, DATED 9/3/20, LAST REVISED 9/20/22, TO BE CONVEYED TO NATURAL LANDS IN THE FUTURE PRIOR TO CONSTRUCTION OF TRAIL

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					FILE
					NOTES
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NO.	REVISION	DATE	BY	APP.	

NEF	
CHKD. BY	
CHKD. BY	
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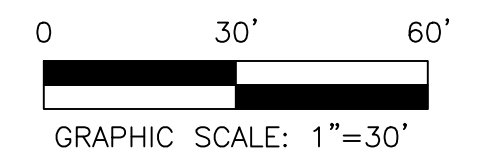
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313 W. MARKET STREET
SUITE 5402
P.O. BOX 2748
WEST CHESTER, PA 19380

SUBJECT
**STRUBLE TRAIL
EXTENSION II**
UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA

JOB NO.	137340.01A
SHEET NO.	10 OF 18
DWG. NO.	UT237340-1A





January 5, 2023

Upper Uwchlan Township
140 Pottstown Pike
Chester Springs, PA 19425

Attention: Mr. Tony Scheivert
Township Manager

RE: Struble Trail Extension II
Revised Preliminary/Final Land Development Plans
Bursich Job No.: CHE-22 / 137340.01

Dear Mr. Scheivert:

With regard to the above referenced project, please find enclosed the following documents for review:

- Four (4) paper sets of Preliminary/Final Land Development Plans, prepared by Bursich Associates, Inc., Sheets 1 – 18 of 18, revised December 21, 2022;
- Four copies of Waiver Request Letter dated December 21, 2022;
- Two (2) copies of Stormwater Management Report, prepared by Bursich Associates, Inc., revised December, 2022;
- USB drive containing PDF's of Plans and Stormwater Management Report.

Since the original plan submission in May, 2019, some updates have occurred to the Shryock Brothers, Inc. parcel (UPI 32-6-49) the County's existing trail easement traverses through. A simple lot line adjustment plan was approved by the Township in July, 2022 that annexed 2.70 acres from this parcel intended to be ultimately joined with the Commonwealth of PA's UPI 32-6-49.1. The existing trail easement will now be located within the latter's lands. This allowed the County to relocate a portion of the proposed trail further north to eliminate the need for the prior retaining walls proposed and to provide some additional clearance from an existing water service line. A Public Trail Easement is provided for the trail and improvements located outside of the County's existing trail easement, as well as a Temporary Construction Easement to allow the County access to the existing water tower, which will be demolished.

The above documents have been updated to address comments suggested in the Gilmore & Associates, Inc. review letter dated June 11, 2019, as well as modifications made as mentioned above. The following is an itemized response to each of the comments contained therein. The original comment is listed in *italics* and our responses are noted below each comment in **bold**.

ENGINEERS, LAND SURVEYORS, LANDSCAPE ARCHITECTS



2129 E. High Street | Pottstown, PA 19464
N 40° 14' 40.2" W 075° 36' 09.6"

610.323.4040
www.bursich.com

II ZONING ORDINANCE REVIEW

1. §200-44.1.(10) - The Applicant is requesting a conditional use to allow a governmental use for the site.

Response: Acknowledged. The Applicant will be granted an extension for scheduling and conducting the subject conditional use hearing, and will coordinate a hearing date with the Township.

III SUBDIVISION & LAND DEVELOPMENT ORDINANCE REVIEW

1. §162-8.B. - The Applicant is requesting a waiver to allow a combined preliminary/final plan submission. For reference, this waiver was requested and granted for the previous phase of this project.

Response: For informational purposes. No response necessary.

2. §162-9.B.(1)(b) - Curves shall be described with the radius, central angle, chord bearing, and distance. Please label the chord bearing and distance for the part of the 20' wide trail easement abutting Dorian Mill Road right-of-way.

Response: The chord information was added. See Sheet 3.

3. §162-9.B.(2)(b)[6] - Please revise the scale on sheets 13 and 14 (Erosion and Sediment Control Plan) to state 1" = 30' in the title block. It is currently listed as 1" = 40'.

Response: The scale labels were coordinated (refer to current Sheets 16 & 17).

4. §162-9.C.(2)(a)[11] - Please clearly state the waivers being requested to the first sheet (title plan) of the plan submission.

Response: The requested waivers were added to Sheet 1.

5. Add the following note to the General Notes Sheet:

"Upon completion of other construction, the entire amount of topsoil stripped shall be replaced on the site. No topsoil shall be disposed of, by sale or otherwise, off the site of the construction."

Response: The topsoil note was added to Sheet 2. See Note 22.

IV STORMWATER ORDINANCE REVIEW

1. §152-303.B. - Add a note to the Erosion and Sediment Control Plan Sheets stating "a copy of the erosion and sediment control plan and any required permit(s), as required by PADEP regulations, shall be available on the site at all times."

Response: Note 1 has been added to the ESPC plans, Sheets 16 and 17.

2. §152-306.C. - Please provide calculations which show that either (1) the volume of a minimum of one inch of runoff from all proposed impervious surfaces or (2) the total water quality and runoff volume required in §152-305 is infiltrated, whichever is less. The required water quality and runoff volume required needs to be provided under the invert of the conveyance pipe in the infiltration trenches.

Response: A partial waiver is requested from this section for infiltrating water quality and runoff volume due to the location and nature of the existing railroad bed. Infiltration and/or deep excavation into the existing railroad bed is discouraged due to the presence of arsenic content.

3. §152-306.1(2) - The Applicant shall provide infiltration testing to determine an appropriate infiltration rate for the site. Infiltration requirements shall be based off of this section, §152-306.

Response: A partial waiver is requested from this section for infiltrating testing due to the location and nature of the existing railroad bed. Infiltration and/or deep excavation into the existing railroad bed is discouraged due to the presence of arsenic content.

4. §152-402.A.(3) - A statement, signed by the applicant, shall be provided on the plans, acknowledging that any revision to the approved SWM site plan shall be submitted to and approved by the municipality, and that a revised erosion and sediment control plan shall be submitted to, and approved by, the Conservation District or municipality (as applicable) for determination of adequacy prior to construction of the revised features.

Response: The requested statement has been added to the Stormwater Management Site Plan and Operation & Maintenance Plan, Sheet 12 of 18.

5. §152-402.A.(4) - The following signature block signed and sealed by the qualified licensed professional responsible for the preparation of the SWM site plan shall be provided:

"I (name), on this date (date of signature), hereby certify to the best of my knowledge that the SWM site plan meets all design standards and criteria of the Upper Uwchlan Township Ordinance No. 2013-05, Stormwater Management Ordinance."

Response: The requested statement and signature block has been added to the Stormwater Management Site Plan and Operation & Maintenance Plan, Sheet 12 of 18 to be signed and sealed by the qualified licensed professional responsible for the plan.

6. §152-402.B. - Provide a separate plan sheet(s) titled Stormwater Management Site Plan, showing the requirements of this section.

Response: Sheets 12 through 15 of the plans have been provided as a Stormwater Management Site Plan to address the requirements of this section.

7. §152-402.F. - The Applicant shall provide an O&M plan and O&M agreement to the Township.

Response: Sheets 12 through 15 of the plans have been provided as an Operations & Maintenance Plan to address the requirements of this section. An O&M agreement will be provided by the applicant.

8. §152-804 - The Applicant shall provide the Alteration of BMPs notes listed in §152-804.A. and §152-804.B. to the Stormwater Management Site Plan.

Response: The requested notes have been added as Notes #8 and #9 on Sheets 12 and 13.

9. *On P.1 of the Post Construction Stormwater Management Report, there is a mention of "trees will be located throughout the project area," yet no trees are proposed on the plans.*

Response: The tree reference in the PCSM Report has been removed.

10. *On P.14 of the Post Construction Stormwater Management Report, there is a mention of "the post development condition assumed all areas that were not impervious were lawn or wooded". However, meadow was used in the Hydrograph calculations and the volume calculations. Please clarify this sentence or revise the Hydrograph calculations.*

Response: Clarification of the post-development conditions has been added to the PCSM Narrative.

11. *The outlet pipe information for the Stone Trench West on P.155 of the Post Construction Stormwater Management Report does not match the plans, and no 2" orifice is shown on the plans. Please show a detail of the 2" orifice on the plans. The detail shall also show how the 2" orifice is to be maintained due to potential clogging. Also, the slope of the pipe provided on P.157 of the Post Construction Stormwater Management Report does not match what is shown on the plans.*

Response: A detail of the subsurface stone trench outlet structure has been added to Sheet 15 of the plan set. Operation and maintenance notes indicate that the facility and outlet structure must be inspected on a regular basis to ensure that the orifice is not blocked with debris and is functioning properly. The PCSM Report has been revised for consistency between the calculations and the details shown on the plans.

12. *The outlet pipe information for the Stone Trench East on P.161 of the Post Construction Stormwater Management Report does not match the plans, and no 2" orifice is shown on the plans. Please show a detail of the 2" orifice on the plans. The detail shall also show how the 2" orifice is to be maintained due to potential clogging. Also, the lengths and slope of the pipes provided on P.163 of the Post Construction Stormwater Management Report does not match what is shown on the plans.*

Response: A detail of the subsurface stone trench outlet structure has been added to Sheet 15 of the plan set. Operation and maintenance notes indicate that the facility and outlet structure must be inspected on a regular basis to ensure that the orifice is not blocked with debris and is functioning properly. The PCSM Report has been revised for consistency between the calculations and the details shown on the plans.

13. *The bed bottom area indicated on P.172 of the Post Construction Stormwater Management Report does not match the area listed on P.161 or the plans. Please clarify.*

Response: The PCSM Report has been revised for consistency between the calculations and the details shown on the plans.

14. *Please revise the Inlet 1, MH 2, Trench Drain 3 Profile on Sheet 12 to show a 15" RCP pipe from Inlet 1 to MH 2 as shown in the stormwater report calculations. Also, please revise the graphical image of the Trench Drain in the profile view. It appears to be shown as a 24" pipe.*

Response: The stormwater report was revised to show an 18" RCP since PennDOT prefers 18" pipes as a minimum. The graphics for the trench drain were revised to look like a trench drain.

15. *Swale calculations shall be provided to confirm the upslope runoff can be conveyed without overtopping the proposed retaining wall.*

Response: The retaining walls have been removed from the plans.

16. *It appears based on the grading there is a location where a gap in the proposed retaining walls upside of the trail will create a concentrated flow across the trail and down towards the neighboring property. Please revise this area to prevent this concentrated flow.*

Response: The retaining walls have been deleted.

17. *An HOP permit will be required for the proposed 18" RCP pipe crossing Dorian Mill Road.*

Response: The Applicant acknowledges that a PennDOT HOP permit will be required for the proposed storm pipe installation within the State Right of Way of Dorlan Mill Road.

18. *Please clarify how the existing headwall can be replaced with a Type M inlet (Inlet 5), as the existing 15" CIP pipe appears to flow from the "end of pipe block by boulder" at around elevation 288 towards the headwall invert at 285.96. The profile on Sheet 12 appears to show the existing 15" GLP pipe in the opposite direction.*

Response: The profile has been revised. The existing headwall will be removed and replaced with a manhole to connect the existing 15" CIP with the new trail stormwater collection system that goes to a level spreader.

V GENERAL COMMENTS

1. *Additional information is needed regarding the proposed retaining walls, including:*

- *Top and bottom of wall information for the wall on the low side of the trail*
- *Bottom of wall information for the wall on the high side of the trail*

Any walls greater than 4' in height will require a structural design to be provided

Response: No longer applicable, as the proposed retaining walls were removed.

2. *There is a proposed 286 contour southeast of Dorian Mill Road which does not appear to tie in to existing grade shown on Sheet 8.*

Response: The proposed 286 contour was revised on Sheet 8 to tie into existing grade.

3. *The pipe size of 8" listed in Specifications note 3 on Sheet 7 does not match the 6" min pipe size listed in the Infiltration Trench Detail on Sheet 11. The applicant shall specify a pipe diameter.*

Response: Note 3 has been revised to reflect a 6" pipe.

4. *Add a scale to the title bar of the Pre and Post Development Drainage Area Plan Sheets.*

Response: The scales on the drainage plans were revised.

VI. TOWNSHIP TRAFFIC CONSULTANT COMMENTS
McMAHON ASSOCIATES, INC.

1. ZO Section 200-75.H(3) - It appears the available sight distances dimensioned in plan view on sheet 2 of the Conditional Use plans and sheet 3 of the Land Development plans for southbound pedestrians crossing Dorian Mill Road from the north side to the south side do not match the trail sight distance table. The applicant's engineer should verify the available sight distances shown on the plan for the pedestrian crossing, and revise the dimensions shown in plan view and on the table, as appropriate.

Response: The sight distance dimensions in the plan views of the Conditional Use Plan and Land Development Plan were adjusted to match the chart.

2. The pedestrian crossing of Dorian Mill Road (S.R. 4019) was previously approved by PennDOT for a Highway Occupancy Permit (HOP), as well as a Traffic Signal Permit for the flasher. If additional coordination with PennDOT is required due to the passage of time, please copy the Township on all plan submissions and correspondence with PennDOT.

Response: The Township will be copied on correspondences with PennDOT.

VI. TOWNSHIP PLANNING CONSULTANT COMMENTS
BRANDYWINE CONSERVANCY

Conditional Use Review

1. This project is consistent with Upper Uwchlan Township's Comprehensive Plan Update, adopted April 2014. Map 6-3 (Ray Ott & Associates, 9/14/05) shows the planned Struble Trail along the east side of the Brandywine Creek in Upper Uwchlan Township

Response: For informational purposes. No response necessary.

2. This project is consistent with Upper Uwchlan Township's Open Space, Recreation, and Environmental Resources Plan, adopted October 19, 2009. The Plan shows the existing Struble Trail south of Dorian Mill Road and a future Struble Trail that continues north of Dorian Mill Road. The existing Brandywine Trail overlaps with the Struble Trail at the project site, enters Marsh Creek State Park, and crosses the Marsh Creek dam before continuing north to Ludwigs Corner.

Response: For informational purposes. No response necessary.

3. We concur with the Applicant's Fiscal Impact Statement that the proposed extension of the Struble Trail will not impact the Township's tax revenue and expenditures, will not generate any new residents, will not generate any new persons entering the public school system, or increase use of municipal government services.

Response: For informational purposes. No response necessary.

4. The retaining walls and fencing should be designed with materials that are aesthetically compatible with the character of the Class II historic structures in the area. In keeping with the historic character of the area, we recommend as a condition of approval that the Applicant provide samples of the materials to be used for the retaining walls and fencing at the time of Preliminary Land Development and that the materials and colors be subject to Township approval.

Response: No longer applicable since the previously proposed retaining walls have been deleted.

5. *We recommend as a condition of approval that to the extent feasible, and as permitted by PennDOT, the flashing beacon signal at the Dorian Mill Road pedestrian crossing should be designed and placed in a manner (height, distance, brightness, color, timing) that will minimize/shield impact on the adjacent historic structure. Although the building is currently in disrepair, it is possible that it could be restored for future adaptive reuse as a bakery, retail shop, or small restaurant along the trail. Every effort should be made to preserve the appeal of adaptive reuse of the existing structure.*

Response: This comment is not applicable as the noted dwelling will be removed by others per the Lot Line Adjustment Plan for the Shryock Brothers, Inc. approved by the Township in July, 2022.

Preliminary/Final Land Development Review

6. *The Applicant has submitted a waiver request to allow a combined preliminary/final plan, as the project is minor and does not involve improvements that are to be dedicated to the Township. We agree that this project is minor in nature and are in support of this waiver request.*

Response: For informational purposes. No response necessary.

7. *We recommend that the retaining walls and fencing should be designed with materials that are aesthetically compatible with the historic character of the area. We recommend that the Applicant provide samples of the materials to be used for the retaining walls and fencing and that the materials be subject to Township approval.*

Response: No longer applicable since the previously proposed retaining walls have been deleted.

8. *We recommend that the Applicant provide the Township with PennDOT drawings/details for the flashing beacon signal and pedestrian crossing at Dorian Mill Road. To the extent feasible, the flashing beacon signal should be designed and placed in a manner (height, distance, brightness, color, timing) that will be compatible with the historic character of the area.*

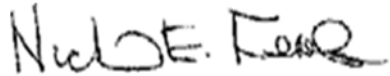
Response: The flashing warning beacon plans were approved by PennDOT, and the Township was provided copies of the plans.

9. *Sheet 7, Long Term Operation and Maintenance Schedule - The first sentence states that the maintenance and protection of the stormwater BMP's shall be the responsibility of the property owner. However, Chester County intends to be responsible for the maintenance of the trail corridor where portions of the trail are owned by others. The note should be revised accordingly to say that Chester County will be responsible for all maintenance along all trail sections, and that should Chester County fail to repair a problem or maintain a stormwater facility for which it is responsible, the Township shall make the repairs at the expense of Chester County.*

Response: The note in the Long Term Operation and Maintenance Schedule on current Sheet 15 was revised to designate the County of Chester as the party responsible for the operation and maintenance of the stormwater BMP's.

Should you have any questions or need further information, please feel free to contact me at 484-941-0427 or nick.feola@bursich.com.

Very truly yours,

A handwritten signature in black ink, appearing to read "Nick E. Feola". The signature is written in a cursive, slightly stylized font.

Nicholas E. Feola, P.E.
Vice President
Bursich Associates, Inc., Pottstown Office

Enclosures

pc: Jan Bowers, County of Chester (via email only)
Shaun Meredith, County of Chester (via email only)
Dave Stauffer, County of Chester (via email only)
Joseph Brion, Esq., Buckley Brion McGuire & Morris, LLP (via email only)



December 21, 2022

Upper Uwchlan Township
140 Pottstown Pike
Chester Springs, PA 19425

Attention: Mr. Tony Scheivert
Township Manager

RE: Struble Trail – Extension II - Waivers
Preliminary/Final Land Development Plans
Bursich Project No.: CHE-22 / B137340.01

Dear Mr. Scheivert

This letter is offered in coordination with the revised preliminary/final land development plans filed for the above referenced project. The following are the formal written modification (i.e. “waiver” or “deferral”) requests from the requirements of the Upper Uwchlan Township Subdivision and Land Development Ordinance (Chapter 142) and Stormwater Management Ordinance (Chapter 152):

- §162-8.b. – to allow the plan to be processed as a combined preliminary & final plan, as the project is minor in nature, does not involve any public improvements to be dedicated to the Township, or new streets, utility main extensions, etc.
- §152-306.C – from infiltrating the volume of one inch of runoff from the proposed impervious surfaces or the total water quality and runoff volume required in §152-305 as the proposed trail is being constructed within a prior railroad bed. Infiltration and/or deep excavation into the prior railroad bed is discouraged to minimize disturbance and exposure of the soils and fill materials from the original railroad construction.
- §152-306.1.(2). –from performing infiltration testing as the proposed trail is being constructed within a prior railroad bed. Infiltration and/or deep excavation into the prior railroad bed is discouraged to minimize disturbance and exposure of the soils and fill materials from the original railroad construction.

ENGINEERS, LAND SURVEYORS, LANDSCAPE ARCHITECTS

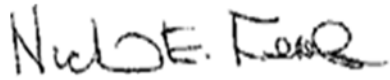


2129 E. High Street | Pottstown, PA 19464
N 40° 14' 40.2" W 075° 36' 09.6"

610.323.4040
www.bursich.com

Should you have any questions or require additional information, please contact me at 484-941-0427 or nick.feola@bursich.com.

Very truly yours,

A handwritten signature in black ink, appearing to read "Nick E. Feola". The signature is written in a cursive, slightly stylized font.

Nicholas E. Feola, P.E.
Vice President
Bursich Associates, Inc., Pottstown Office

Enclosures

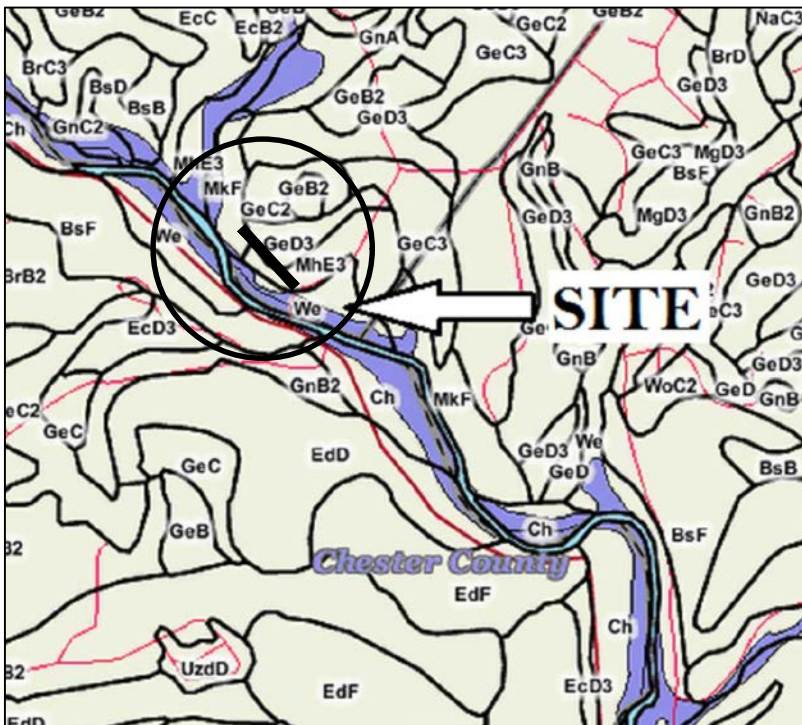
cc: Jan Bowers, County of Chester (via email only)
Shaun Meredith, County of Chester (via email only)
Dave Stauffer, County of Chester (via email only)
Joeseeph Brion, Esq., Buckley Brio McGuire & Morris, LLP (via email only)

PRELIMINARY / FINAL LAND DEVELOPMENT PLANS
STRUBLE TRAIL - EXTENSION II
UPPER UWCHLAN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA

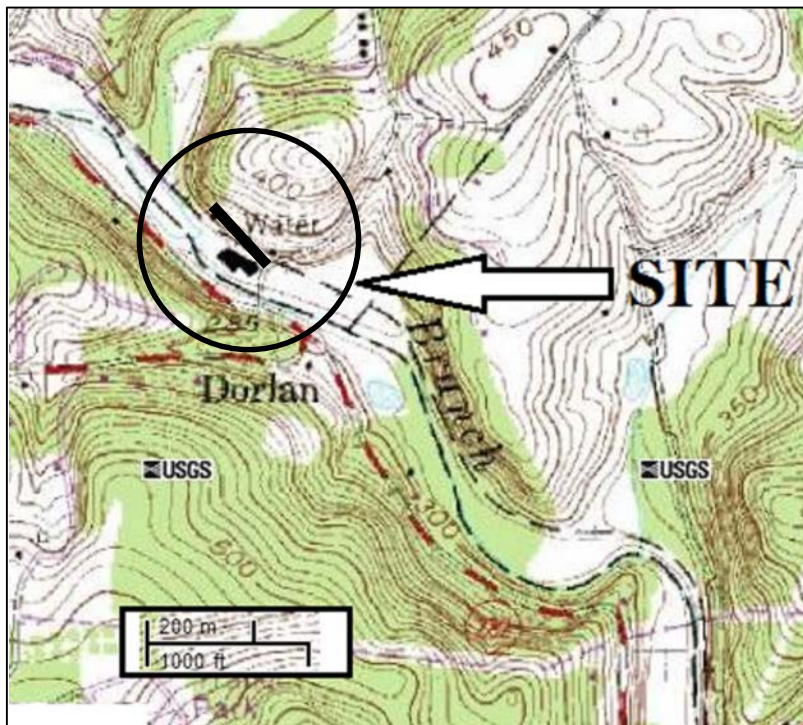
PREPARED FOR: CHESTER COUNTY, DEPARTMENT OF FACILITIES
313 WEST MARKET STREET, SUITE 5402
P.O. BOX 2748
WEST CHESTER, PA 19380-0991

PREPARED BY: BURSICH ASSOCIATES, INC.
2129 EAST HIGH STREET
POTTSTOWN, PENNSYLVANIA 19464

MAY 1, 2019
REVISED DECEMBER 21, 2022



SOILS MAP
1"=1000'



USGS TOPO
1"=1000'



LOCATION MAP
1"=1000'

ENGINEER'S CERTIFICATE OF CONFORMANCE

I, NICHOLAS E. FEOLA, P.E., HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, THESE PLANS DESCRIBED HEREON, AS WELL AS OTHER DRAWINGS WHICH ARE PART OF THIS PLAN SET, ARE TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE (CHAPTER 142) AND STORMWATER MANAGEMENT ORDINANCE (CHAPTER 152):

PROFESSIONAL ENGINEER SIGNATURE _____ DATE _____
PE No. PE046396E

WAIVERS:

THE FOLLOWING ARE THE FORMAL WRITTEN MODIFICATION (I.E. "WAIVER" OR "DEFERRAL") REQUESTS FROM THE REQUIREMENTS OF THE UPPER UWCHLAN TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE (CHAPTER 142) AND STORMWATER MANAGEMENT ORDINANCE (CHAPTER 152):

- §162-8.B. - TO ALLOW THE PLAN TO BE PROCESSED AS A COMBINED PRELIMINARY & FINAL PLAN, AS THE PROJECT IN MINOR IN NATURE, DOES NOT INVOLVE ANY PUBLIC IMPROVEMENTS TO BE DEDICATED TO THE TOWNSHIP, OR NEW STREETS, UTILITY MAIN EXTENSIONS, ETC.
- §152-306.C - FROM INFILTRATING THE VOLUME OF ONE-INCH OF RUNOFF FROM THE PROPOSED IMPERVIOUS SURFACES OR THE TOTAL WATER QUALITY AND RUNOFF VOLUME REQUIRED IN §152-305. THE PROPOSED TRAIL IS BEING CONSTRUCTED WITHIN PRIOR RAILROAD BED. INFILTRATION AND/OR DEEP EXCAVATION INTO THE PRIOR RAILROAD BED IS DISCOURAGED TO MINIMIZE DISTURBANCE AND EXPOSURE OF SOILS AND FILL MATERIALS FROM THE ORIGINAL RAILROAD CONSTRUCTION.
- §152-306.1(2) -FROM PERFORMING INFILTRATION TESTING AS THE PROPOSED TRAIL IS BEING CONSTRUCTED WITHIN A PRIOR RAILROAD BED. INFILTRATION AND/OR DEEP EXCAVATION INTO THE PRIOR RAILROAD BED IS DISCOURAGED TO MINIMIZE DISTURBANCE AND EXPOSURE OF SOILS AND FILL MATERIALS FROM THE ORIGINAL RAILROAD CONSTRUCTION.

SURVEYORS CERTIFICATION

I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF ON THIS _____ DAY OF _____, 20____, THIS PLAT AND SURVEY WAS PERFORMED IN ACCORDANCE WITH THE MINIMUM STANDARDS FOR BOUNDARY SURVEYS SECTION OF THE MANUAL OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS IN THE COMMONWEALTH OF PENNSYLVANIA, AS ADOPTED BY THE PENNSYLVANIA SOCIETY OF LAND SURVEYORS ON JULY 10, 1998, THAT THIS PLAN REPRESENTS A SURVEY MADE BY ME, THAT ALL MONUMENTS EXIST OR SHALL BE PLACED OR LOCATED, AND THAT ALL DIMENSIONAL AND GEODETIC DETAILS ARE CORRECT.

SIGNATURE OF SURVEYOR _____
REGISTRATION NUMBER: _____

APPLICANT

CHESTER COUNTY, DEPARTMENT OF FACILITIES
313 WEST MARKET STREET, SUITE 5402
P.O. BOX 2748
WEST CHESTER, PA 19380-0991
PHONE: (610) 344-6445
FAX: (610) 344-5984

DORLAN MILL SIGNAL/PEDESTRIAN CROSSING NOTE:

FOR DESIGN & DETAILING OF STRUBLE TRAIL PEDESTRIAN CROSSING AND FLASHING BEACON SIGNAL OF DORLAN MILL ROAD (S.R. 4019) REFER TO THE FOLLOWING DOCUMENTS:

- SIGNAL PERMIT PLAN FOR DORLAN MILL ROAD (S.R. 4019) AND STRUBLE TRAIL, PERMIT #W-6256-03, DATED JUNE 16, 2017;
- STRUBLE TRAIL ADA CROSSING IMPROVEMENTS, PREPARED BY BURSICH ASSOCIATES, INC., SHEET 1 OF 1, DATED 3/10/17.

CONDITIONAL USE NOTE:

A CONDITIONAL USE IS REQUIRED PURSUANT TO UPPER UWCHLAN TOWNSHIP ZONING ORDINANCE SECTION 200-44.(10) TO ALLOW A GOVERNMENTAL USE TO INCLUDE AN EXTENSION OF THE STRUBLE TRAIL FROM, FRO IT'S TERMINUS ON THE EAST SIDE OF DORLAN MILL ROAD, APPROXIMATELY 180 FEET TO DORLAN MILL ROAD, CROSSING DORLAN MILL ROAD, AND THEN APPROXIMATELY 630 FEET TO THE WEST OF DORLAN MILL ROAD WITHIN AN EXISTING EASEMENT.

RECORDING NOTE:

SHEETS 1 - 4 AND 12 - 15 OF THIS PLAN SET WILL BE CONSIDERED A COMPLETE RECORD PLAN SET FOR FILING PURPOSES IN THE CHESTER COUNTY RECORDER OF DEEDS OFFICE, ALTHOUGH ALL SHEETS IDENTIFIED IN THE SHEET LIST SHALL CONSTITUTE THE FINAL PLAN, AS THEE TERMS USED IN THESE PLANS OR IN THE DEVELOPER'S AGREEMENT.

COMMONWEALTH OF PENNSYLVANIA

COUNTY OF CHESTER

ON THE _____ DAY OF _____, 20____, BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC FOR THE COMMONWEALTH OF PENNSYLVANIA, RESIDING IN _____, WHO ACKNOWLEDGES TO BE THE DIRECTOR OF THE CHESTER COUNTY, DEPARTMENT OF FACILITIES, AND THAT AS SUCH, BEING AUTHORIZED TO DO SO BY THE COUNTY OF CHESTER, EXECUTED THE FOREGOING PLAN, AND THAT THE COUNTY OF CHESTER IS THE OWNER OF THE LANDS SHOWN HEREON (PARCELS 32-06-65.1 AND 32-06-66) AND OWNER OF AN EASEMENT BY DECLARATION OF TAKING, FILED ON SEPTEMBER 22, 2010, THROUGH PART OF PARCEL 32-06-49, AND THAT THEY DESIRE THAT THIS PLAN BE DULY RECORDED ACCORDING TO LAW.

AUTHORIZED SIGNATURE _____

NOTARY PUBLIC _____

UPPER UWCHLAN TOWNSHIP PLANNING COMMISSION

REVIEWED BY THE PLANNING COMMISSION OF UPPER UWCHLAN TWP., CHESTER CO., PA THIS _____ DAY OF _____, 20____.

CHAIRPERSON _____

UPPER UWCHLAN TOWNSHIP BOARD OF SUPERVISORS

APPROVED BY THE BOARD OF SUPERVISORS OF UPPER UWCHLAN TWP., CHESTER CO., PA THIS _____ DAY OF _____, 20____.

CHAIRPERSON _____

TOWNSHIP ENGINEER REVIEW

REVIEWED BY THE TOWNSHIP ENGINEER FOR UPPER UWCHLAN TOWNSHIP THIS _____ DAY OF _____, 20____.

CHESTER COUNTY PLANNING COMMISSION

REVIEWED BY THE CHESTER COUNTY PLANNING COMMISSION THIS _____ DAY OF _____, 20____.

RECORDER OF DEEDS

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF CHESTER COUNTY AT WEST CHESTER, PENNSYLVANIA IN PLAN BOOK _____

_____, PAGE _____, ON THE _____ DAY OF _____, 20____.

RECORDER OF DEEDS

ZONING DATA:

ZONING DISTRICT: LIMITED INDUSTRIAL (L-I)
FLOOD HAZARD OVERLAY DISTRICT

PROPOSED USE: GOVERNMENT USE (EXTENSION OF STRUBLE TRAIL)

SITE DATA:

UPI 32-06-48.1, COMMONWEALTH OF PENNSYLVANIA, 9.1 ACRES.
EASEMENT IN FAVOR OF COUNTY FOR STRUBLE TRAIL DEVELOPMENT.

20' WIDE TRAIL EASEMENT THROUGH PART OF UPI 32-06-49 (SHRYOCK BROTHERS, INC.), BY DECLARATION OF TAKING FILED ON SEPTEMBER 22, 2010, 0.28 AC.

UPI 32-06-49.2, COMMONWEALTH OF PENNSYLVANIA, 1.22 ACRES.
EASEMENT IN FAVOR OF COUNTY FOR STRUBLE TRAIL DEVELOPMENT.

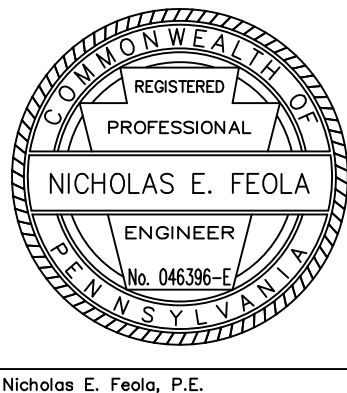
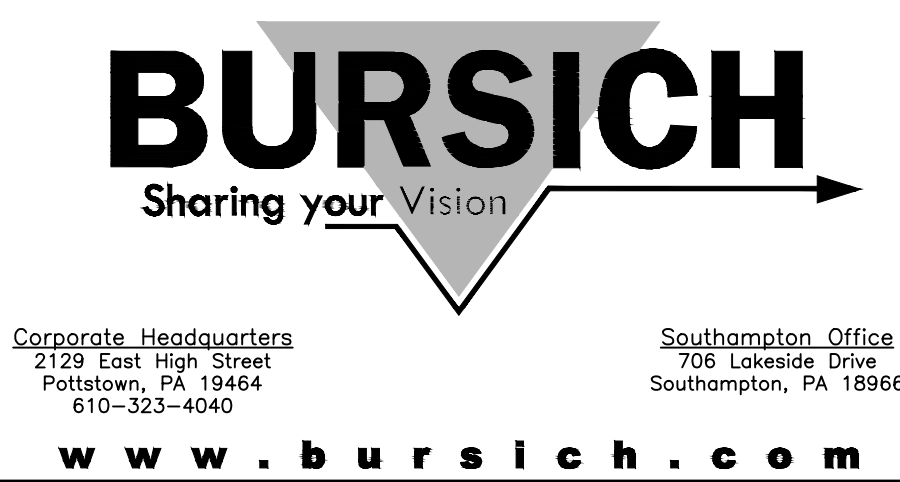
UPI 32-06-65.1, COUNTY OF CHESTER, 2.3 ACRES

UPI 32-06-66, COUNTY OF CHESTER, 0.55 ACRES

FLOODPLAIN NOTE:

100 YEAR FLOODPLAIN PER FIRM FLOOD RATE INSURANCE MAP, CHESTER COUNTY, PENNSYLVANIA DOWNLOADED FROM FEMA ON AUGUST 28, 2018.

RECORDER OF DEEDS



Nicholas E. Feola, P.E.



Stop - Call Before You Dig!

Pennsylvania Act 181 (2007) requires notification by excavators, designers, or any person preparing to disturb the earth's surface anywhere in the commonwealth Pennsylvania One Call System, Inc. 811 or 1-800-242-1776
SERIAL # 20132890184

SHEET LIST		
SHEET #	DRAWING #	SHEET DESCRIPTION
01	CO137340-1A	COVER SHEET
02	GN137340-1A	GENERAL NOTES
03	LO137340-1A	SITE PLAN
04	LO237340-1A	SITE PLAN
05	EF137340-1A	EXISTING FEATURES/SITE ANALYSIS & IMPACT PLAN
06	EF237340-1A	EXISTING FEATURES/SITE ANALYSIS & IMPACT PLAN
07	GR137340-1A	GRADING PLAN
08	GR237340-1A	GRADING PLAN
09	UT137340-1A	UTILITY PLANS
10	UT237340-1A	UTILITY PLANS
11	CD337340-1A	CONSTRUCTION DETAILS
12	PC137340-1A	STORMWATER MANAGEMENT SITE PLAN AND OPERATION & MAINTENANCE PLAN
13	PC237340-1A	STORMWATER MANAGEMENT SITE PLAN AND OPERATION & MAINTENANCE PLAN
14	CO137340-1A	STORMWATER MANAGEMENT DETAILS AND OPERATION & MAINTENANCE PLAN
15	CD237340-1A	STORMWATER MANAGEMENT DETAILS AND OPERATION & MAINTENANCE PLAN
16	ES137340-1A	EROSION AND SEDIMENT CONTROL PLAN
17	ES237340-1A	EROSION AND SEDIMENT CONTROL PLAN
18	ES3237340-1A	EROSION AND SEDIMENT CONTROL DETAILS

PLAN SHEETS TO BE RECORDED

LIST OF UTILITIES-RESPONSES

THE FOLLOWING COMPANIES WERE NOTIFIED BY THE PENNSYLVANIA ONE CALL SYSTEM (1-800-242-1776) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICES THE SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSES TO THIS REQUEST. SERIAL No.:

AQUA PENNSYLVANIA INC (HS)
CLEAR-NO FACILITIES.
BUCKEYE PARTNERS (IA)
CLEAR-NO FACILITIES.
COMCAST CABLE COMMUNICATIONS INC (JZ)
CLEAR-NO FACILITIES.
PECO ENERGY (KF)
CLEAR-NO FACILITIES.
SUNOCO PIPELINE LP (SPJ)
DESIGN CONFLICT
UPPER UWCHLAN TWP/UPPER UWCHLAN MUNICIPAL AUTHORITY (UUT)
CLEAR-NO FACILITIES.
UWCHLAN TOWNSHIP MUNICIPAL AUTHORITY (UTMA)
FACILITIES ON SITE
VERIZON PENNSYLVANIA LLC (YI)
CLEAR-NO FACILITIES.

NOTE: SHRYOCK BROTHERS, INC. HAS EXISTING PRIVATE, UNMARKED WATER SERVICE LINE IN PROJECT VICINITY (SEE GENERAL NOTE #3 ON SHEET 2.

UPI 32-6-49, 32-6-49.2

P:\CHE-22\137340-1A\dwg\LD_Plan\CO137340-1A.dwg, 12/22/2022 12:42:45 PM

RECORD PLAN 1 OF 8

DWG. NO. CO137340-1A SHEET 1 OF 18

THE PURPOSE OF THIS PLAN IS TO EXTEND THE STRUBLE TRAIL TO THE LANDS OF THE COMMONWEALTH OF PENNSYLVANIA. THE CHESTER COUNTY, DEPARTMENT OF FACILITIES PROPOSES TO EXTEND THE TRAIL FROM DORLAN MILL ROAD APPROXIMATELY 650 FEET TO THE NORTH. THIS SECTION OF TRAIL IS NOT LOCATED IN THE 100 YEAR FLOODPLAIN FOR EAST BRANCH OF THE BRANDYWINE CREEK OR MARSH CREEK.

1. SITE AREA:
THE PROJECT AREA CONSISTS OF A 20' TRAIL EASEMENT THROUGH PARCEL 32-6-49 (OWNED BY SHRYOCK BROTHERS, INC.) BY DECLARATION OF TAKING FILED ON SEPTEMBER 22, 2010, AND EXTENDING INTO LANDS OF THE COMMONWEALTH OF PENNSYLVANIA, PARCELS 32-6-481 AND 32-6-492. PARCEL 32-6-492 HAS AN EASEMENT IN FAVOR OF CHESTER COUNTY FOR THE EXTENSION OF STRUBLE TRAIL.
2. ANYONE USING THIS DRAWING FOR CONSTRUCTION IS ADVISED TO CALL 1-800-242-1776 FOR UNDERGROUND UTILITIES PRIOR TO EXCAVATION IN ACCORDANCE WITH PENNSYLVANIA ACT NO. 37.
3. ALL UTILITIES ARE SHOWN PER VISIBLE FIELD SURFACE INVESTIGATIONS, PLANS BY OTHERS, AND PLANS FROM UTILITY COMPANIES ACCRUED THROUGH A PA ONE CALL DESIGN NOTIFICATION, SERIAL NUMBER 20132890184.
- SHRYOCK BROTHERS, INC. (SHRYOCK) HAS AN EXISTING, UNMARKED PRIVATE WATER SERVICE LINE IN THE PROJECT VICINITY. THE SERVICE RUNS IN GENERAL FROM THE EXISTING WELL HOUSE ON THE EAST SIDE OF DORLAND MIL ROAD TO THEIR EXISTING BUILDING ON UJ 32-6-49. SHRYOCK HAS INDICATED THE SERVICE IS 2" POLY (INCLUDING 100'+/- OF 10" C900DR18PVCUG). THIS SERVICE LINE WAS LOCATED BY GROUND PENETRATING RADAR SYSTEMS, INC. (GPRSI) ON MARCH 15, 2012 AND PLOTTED BY BURSICH ASSOCIATES, INC. CONTRACTOR SHALL FIELD LOCATE/HARD CUT THIS WATER SERVICE LINE PRIOR TO CONSTRUCTION AND TAKE APPROPRIATE PRECAUTIONS TO PROTECT DURING CONSTRUCTION.
4. SOILS SHOWN ARE TAKEN FROM UNITED STATES DEPARTMENT OF AGRICULTURE SOILS SURVEY.
5. A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 420 OF THE ACT OF JUNE 1, 1945 (P.L. 1242, NO. 428) KNOWN AS THE "STATE HIGHWAY LAW" BEFORE DRIVEWAY ACCESS TO A STATE HIGHWAY IS PERMITTED. PERMIT W-6256-03 FROM THE PA DEPARTMENT OF TRANSPORTATION FOR INSTALLATION OF A TRAIL CROSSING OF DORLAND MIL ROAD WITH FLASHING WARNING DEVICES WAS ISSUED ON SEPTEMBER 23, 2017.

1. ALL STORM SEWER, PAVEMENT, GRADING AND OTHER RELATED SITE CONSTRUCTION TO BE COMPLETED IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF THE TOWNSHIP OF UPPER UCHLAN AND THE COMMONWEALTH OF PENNSYLVANIA, DEPARTMENT OF TRANSPORTATION, PUBLICATION 408, LATEST REVISION.
2. CONTRACTOR IS SOLELY RESPONSIBLE FOR DISPOSAL OF ALL EXCESS AND WASTE MATERIALS IN ACCORDANCE WITH STATE, LOCAL AND FEDERAL REGULATIONS.
3. CONTRACTOR SHALL COMPLY WITH THE PROVISIONS OF ALL STATE AND/OR LOCAL REGULATIONS RELATING TO EXCAVATION AND DEMOLITION WORK IN THE VICINITY OF UNDERGROUND UTILITIES.
4. WORK SHALL BE IN ACCORDANCE WITH PENNDOT PUBLICATION 408, APRIL 2011, LATEST REVISION.
5. TRAFFIC CONTROL PAVEMENT MARKINGS AND SIGNING STANDARDS (TC-8600 AND TC-8700 SERIES), PUB 111M, MAY 2007, LATEST REVISION.
6. MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, US DEPARTMENT OF TRANSPORTATION, FHWA, 2009.
7. WORK ZONE TRAFFIC CONTROL GUIDELINES, PUBLICATION 213, APRIL 2010 (67 PA CODE, CHAPTER 212).
8. STANDARDS FOR ROADWAY CONSTRUCTION (SERIES RC 1M TO 100M), PENNDOT PUBLICATION 72M, JUNE 2010, OR AS AMENDED.
9. OFFICIAL TRAFFIC CONTROL DEVICES, PUBLICATION 212, MARCH 2006.
10. DETAILS OTHER THAN THOSE INDICATED HEREIN, ARE SHOWN ON THE FOLLOWING STANDARD PENNDOT DRAWINGS (PUBLICATION 72M):

CLASSIFICATION OF EARTHWORK	RC-10M
PAY LIMIT OF SUBBASE	RC-13M
PIPE EXCAVATION, BEDDING & BACKFILL	RC-30M
CURBS & GUTTERS	RC-64M
CURB RAMPS AND SIDEWALKS	RC-67M
PERIMETER CONTROL DEVICES	RC-70M
INLET AND OUTLET PROTECTION	RC-72M
CHANNEL AND SLOPE PROTECTION	RC-73M
DEWATERING DEVICES	RC-75M
ROCK CONSTRUCTION ENTRANCE	RC-77M
PAVEMENT MARKINGS	TC-8600
POST MOUNTED SIGNS, TYPE B	TC-8702B
11. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ANY DAMAGE CAUSED BY CONSTRUCTION TO THE EXISTING PAVED PORTION OF THE STRIBLE TRAIL. REPAIR TO BE COMPLETED AT NO ADDITIONAL COST TO THE COUNTY.
12. ALL PROPOSED PEDESTRIAN FACILITIES REFLECTED ON THESE PLANS SHALL BE CONSTRUCTED TO COMPLY WITH THE FOLLOWING STANDARDS:
 - 12.1. PENNDOT DESIGN MANUAL 2, CHAPTER 6.
 - 12.2. PENNDOT STANDARDS FOR ROADWAY CONSTRUCTION, PUBLICATION 72M, RC-67M.
 - 12.3. U.S. ACCESS BOARD, ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES (ADAAG) AND ALL APPLICABLE US ACCESS BOARD STANDARDS AND GUIDELINES IN PLACE AT THE TIME OF CONSTRUCTION.

1. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATION, INCLUDING THE NOTES CONTAINED THEREON, WITHOUT FIRST OBTAINING PRIOR WRITTEN AUTHORIZATION FOR SUCH DEVIATIONS FROM THE OWNER AND ENGINEER, IT SHALL BE RESPONSIBLE FOR THE PAYMENT OF ALL COSTS TO CORRECT ANY WORK DONE. ALL FINES OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND IT SHALL INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM AND AGAINST ALL SUCH FINES OR PENALTIES AND ALL SUCH DAMAGES AND SUEF FINES AND PENALTIES, COMPENSATION AND PUNITIVE DAMAGES AND COSTS OF ANY NATURE RESULTING THEREFROM.
2. FEATURES TO BE REMOVED ARE NOTED ON THE EXISTING FEATURES PLAN, THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL OF THE PERMITTING AUTHORITIES.
3. THE OWNER/CONTRACTOR SHALL BE FAMILIAR WITH AND RESPONSIBLE FOR ANY/ALL CERTIFICATIONS, INSPECTIONS, ETC. REQUIRED BY ALL GOVERNING JURISDICTIONAL AGENCIES DURING AND AFTER CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OBTAINING OF ALL SUCH PERMITS TO PROCUREMENT OF SERVICES, SCHEDULING OF FIELD OBSERVATIONS, AND COORDINATION WITH REPRESENTATIVES OF THE APPROPRIATE PARTIES. CONTRACTOR IS RESPONSIBLE TO COORDINATE CERTIFICATIONS, SIGN-OFFS, ETC. NECESSARY FOR JOB CLOSE-OUT AND ISSUANCE OF CERTIFICATE OF OCCUPANCY. ALL PLANS SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS, REFERENCED DOCUMENTS, AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
4. THE SOLIS REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED PERMITTING/CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE TOWNSHIP ENGINEER IN WRITING OF ANY SUCH DISCREPANCY BETWEEN SOLIS REPORT AND PLANS, ETC. THESE PLANS ARE BASED ON INFORMATION PROVIDED TO THE OFFICE AT THE TIME OF PLAN PREPARATION. THE CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND NOTIFY THE TOWNSHIP ENGINEER IF ACTUAL SITE CONDITIONS DIFFER FROM, THAT SHOWN ON THE PLAN, OR IF THE PROPOSED WORK WOULD BE INHIBITED BY ANY OTHER SITE FEATURES.
5. ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONSTRUCTION SHALL NOT BE LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURBS ETC. EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATIONS HAVE NOT BEEN PROVIDED.
6. THE CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT STRUCTURE, ETC. TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING THE APPROPRIATE MEASURES AS NECESSARY TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT TO REMAIN AND PROVIDE A SAFE WORK AREA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REPLACE ANY SIGNAL/INTERCONNECT CABLE, CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION.
7. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE, TO ANY EXISTING ITEM DURING CONSTRUCTION. CONSTRUCTION SHALL NOT BE LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURBS ETC. REPAIR SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS. THE CONTRACTOR IS RESPONSIBLE FOR DOCUMENTING ALL EXISTING DAMAGES OF THE SITE PRIOR TO CONSTRUCTION.
8. ALL CONCRETE SHALL HAVE THE MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS AS INDICATED IN SPECIFICATIONS AND REFERENCED DOCUMENTS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS.
9. THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS FOR COMPLETION OF THE WORK DEPICTED ON THESE PLANS NOR ANY CONFLICTS/SCOPE REVISIONS WHICH RESULT FROM SAME. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE MEANS AND METHODS FOR COMPLETION OF THE WORK DEPICTED ON THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE TOWNSHIP ENGINEER OF ANY CONFLICTS WHEN A CONFLICT IS IDENTIFIED.
10. THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SAFETY NOR HAS HE OR SHE BEEN RETAINED FOR SUCH PURPOSES.
11. CONSIGNMENT AND STRIPING FOR THIS PROJECT SHALL BE INSTALLED IN ACCORDANCE WITH PENNDOT AND THE TOWNSHIPS REQUIREMENTS.
12. ALL CONTRACTORS MUST CARRY STATUTORY WORKERS COMPENSATION, EMPLOYERS LIABILITY INSURANCE, AND APPROPRIATE TYPES OF COMMERCIAL GENERAL LIABILITY INSURANCE (GOL). THE CONTRACTORS MUST CARRY THEIR COL POLICY ENDORSEMENT TO NOT CHESTER AND IT MUST BE AN INSURANT(S) AS ADDITIONAL INSURED AND TO PROVIDE CONTRACTOR GENERAL LIABILITY COVERAGE AND SUFFICIENT TO MEET THE HIGHEST AND INDEMNITY OBLIGATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST FURNISH CHESTER COUNTY WITH CERTIFICATE OF INSURANCE AS REQUIRED FOR THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS THE CHESTER COUNTY FROM AND AGAINST ALL SUCH DAMAGES AND SUEF FINES AND PENALTIES, COSTS, INCLUDING REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS.
13. ALL STORM SEWER, PAVEMENT, GRADING AND OTHER RELATED SITE CONSTRUCTION TO BE COMPLETED IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF THE TOWNSHIP OF UPPER MERION AND THE COMMONWEALTH OF PENNSYLVANIA DEPARTMENT OF TRANSPORTATION PUBLICATION 408, LATEST VERSION.
14. ALL SHEETING AND SHORING FOR EXCAVATION SHALL MEET OSHA SAFETY STANDARDS. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR IMMEDIATELY REMOVING EXCAVATION AND ALL EXCAVATION, STRUCTURE OR BUILDING THREATENED TO CONSTRUCTION UNTIL IT IS COMPLETE IN ITS FINISHED STATE. COSTS FOR DAMAGES TO ANY STRUCTURE OR EXCAVATION DUE TO IMPROPER BRACING OR PROTECTION SHALL BE SOLELY BORNE BY THE CONTRACTOR.
15. CONTRACTOR SHALL SECURE HIS WORK (BEFORE HE LEAVES THE SITE UNATTENDED) ON A DAILY BASIS AND SHALL FILL OR PLATE ALL EXCAVATION AND PROVIDE BARRICADES AND WARNING SIGNS AROUND ALL STRUCTURES BEING ERECTED.
16. ALL BUILDING STRUCTURES SHALL MEET LOCAL BUILDING CODE REQUIREMENTS. ALL STRUCTURAL ELEMENTS OF BUILDING STRUCTURES SHALL BE DESIGNED BY A STRUCTURAL ENGINEER REGISTERED IN THE STATE OF PENNSYLVANIA. SEALED STRUCTURAL DRAWINGS SHALL BE SUBMITTED WITH ALL OTHER SHOP DRAWINGS REQUIRED.
17. CONTRACTOR IS SOLELY RESPONSIBLE FOR DISPOSAL OF ALL EXCESS AND WASTE MATERIALS IN ACCORDANCE WITH STATE, LOCAL AND FEDERAL REGULATIONS.
18. CONTRACTOR SHALL COMPLY WITH THE PROVISIONS OF ALL STATE AND/OR LOCAL ONE CALL REGULATIONS RELATING TO EXCAVATION AND DEMOLITION WORK IN THE VICINITY OF UNDERGROUND UTILITIES.
19. UPON FINAL APPROVAL, THE CERTIFICATE OF COMPLIANCE AND CERTIFICATE OF OWNERSHIP WILL BE COMPLETED.
20. UPON COMPLETION OF OTHER CONSTRUCTION, THE ENTIRE AMOUNT OF TOPSOIL STRIPPED SHALL BE REPLACED ON THE SITE. IF THE CONTRACTOR HAS NO TOPSOIL, IT SHALL BE DISPOSED OF, BY SALE OR OTHERWISE, OFF THE SITE OF CONSTRUCTION WITHOUT TOWNSHIP APPROVAL.

NO IMPROVEMENTS AT THE SITE ARE BEING OFFERED FOR DEDICATION TO THE TOWNSHIP.

BRANDYWINE CREEK IS HIGH QUALITY TROUT STOCKING, MIGRATORY FISHES (HQ-TSF, MF) AS LISTED BY THE PADEP CHAPTER 93 STREAM DESIGNATION LIST.

GeD-GLADSTONE-PARKER GRAVELLY LOAM, 15-25% SLOPES, WELL DRAINED, 80" TO WATER TABLE
Ha-HATBORO SILT LOAM, POORLY DRAINED, 0-6" TO WATER TABLE
PdE-PARKER GRAVELLY LOAM, 25-35% SLOPES, EXCESSIVELY DRAINED, +80" TO WATER TABLE

WETLANDS WERE NOT EVALUATED SINCE THE SOILS IN THE AREA OF THE TRAIL CONSTRUCTION ARE WELL DRAINED WITH A WATER TABLE AT 80 INCHES.

2,269 SF OF 15-25% PRECAUTIONARY STEEP SLOPES ARE WITHIN THE TRAIL EASEMENT AND WILL BE DISTURBED NORTH OF DORLAN MILL ROAD AND 2,800 SF OF 15-25% PRECAUTIONARY STEEP SLOPES WILL BE DISTURBED SOUTH OF DORLAN MILL ROAD.

11,120 SF OF +25% PROHIBITIVE STEEP SLOPES ARE WITHIN THE TRAIL EASEMENT AND WILL BE DISTURBED NORTH OF DORLAN MILL ROAD. NO PROHIBITIVE STEEP SLOPES WILL BE DISTURBED SOUTH OF DORLAN MILL ROAD.

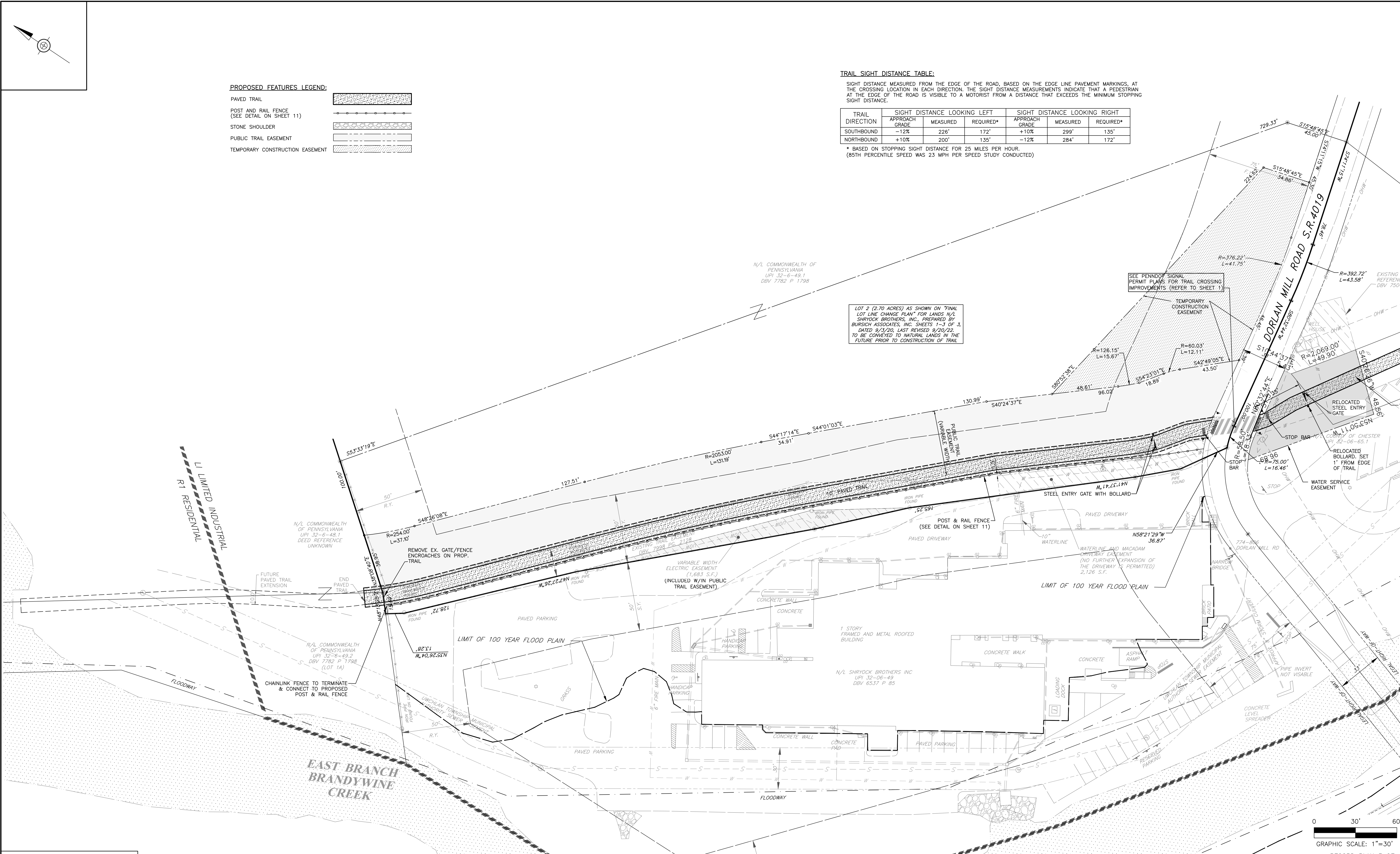
ZONING ORDINANCE SECTION 200-107.D(2)(a) LISTS PASSIVE RECREATION (DEFINED TO INCLUDE HIKING AND BIKING) AS A PERMITTED USE IN PROHIBITIVE SLOPES AND SECTION 200-107.D(3)(a)[1] LISTS PASSIVE RECREATION AS A PERMITTED USE IN PRECAUTIONARY SLOPES.

1. SITE INFORMATION:
ZONING: LI - LIMITED INDUSTRIAL DISTRICT
TAX PARCELS: #32-6-48.1, #32-6-49, #32-6-49.2, #32-6-65.1, AND #32-6-66
2. THIS DRAWING REFERENCES THE FOLLOWING PLANS BY:
LAKE ROEDER HILLARD & BEERS
ENTITLED: STURBLE TRAIL, BOUNDARY SURVEY, CHESTER COUNTY PARKS & RECREATION DEPARTMENT
DATED: SEPTEMBER 2, 2013

TRACT BOUNDARY INFORMATION TAKEN FROM "FINAL MINOR SUBDIVISION PLAN OF LANDS N/L SHRYOCK BROTHERS, INC, DORLAN MILL ROAD" PREPARED BY JAMES W. MACCOMBIE, JUNE 20, 2008.
3. BOUNDARY, PHYSICAL FEATURES, TOPOGRAPHY, AND UTILITY INFORMATION TAKEN FROM FIELD SURVEY.

PROJECT BENCH MARK: EXISTING SANITARY MANHOLE RIM 147' EAST OF DORLAN MILL ROAD 4' SOUTH OF EXISTING GRAVEL TRAIL. RIM ELEVATION = 282.57' DATUM SHIFT TO NGVD 29 -0.66'. NGVD 29 ELEVATION OF MANHOLE = 281.91' PER GPS OBSERVATION AND OPUS SOLUTION. CONVERTED TO NGVD 29 USING VERTCON.

					SEAL	SEAL	MANAGER NEF _____	<div><div><div>BURSICH</div><div>Sharing your Vision</div></div><div><div>Corporate Headquarters</div><div>2123 East High Street</div><div>Pottstown, PA 19464</div><div>610-323-4040</div></div><div><div>Southampton Office</div><div>706 Lakeside Drive</div><div>Southampton, PA 18966</div></div><div>www.bursich.com</div></div>	CLIENT CHESTER COUNTY, DEPARTMENT OF FACILITIES 313 W. MARKET STREET SUITE 5402 P.O. BOX 2748 WEST CHESTER, PA 19380	SUBJECT GENERAL NOTES RECORD PLAN 2 OF 8 STRUBLE TRAIL EXTENSION II UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA	JOB NO. 137340.01A
							DESIGN KK		CHKD. BY		SHEET NO. 2 OF 18
							DRAFT AJK		CHKD. BY		
							FILE CHE-22		DATE MAY 1, 2019		DWG. NO. GN137340-1A
1.	REVIEWS PER OWNER AND TOWNSHIP CONSULTANTS' REVIEWS	12/21/22	AJK				NOTES		SCALE		
NO.	REVISION	DATE	BY	APP.							



PROPOSED FEATURES LEGEND:

PAVED TRAIL	
POST AND RAIL FENCE (SEE DETAIL ON SHEET 11)	
STONE SHOULDER	
PUBLIC TRAIL EASEMENT	
TEMPORARY CONSTRUCTION EASEMENT	

TRAIL SIGHT DISTANCE TABLE:

SIGHT DISTANCE MEASURED FROM THE EDGE OF THE ROAD, BASED ON THE EDGE LINE PAVEMENT MARKINGS, AT THE CROSSING LOCATION IN EACH DIRECTION. THE SIGHT DISTANCE MEASUREMENTS INDICATE THAT A PEDESTRIAN AT THE EDGE OF THE ROAD IS VISIBLE TO A MOTORIST FROM A DISTANCE THAT EXCEEDS THE MINIMUM STOPPING SIGHT DISTANCE.

TRAIL DIRECTION	SIGHT DISTANCE LOOKING LEFT			SIGHT DISTANCE LOOKING RIGHT		
	APPROACH GRADE	MEASURED	REQUIRED*	APPROACH GRADE	MEASURED	REQUIRED*
SOUTHBOUND	-12%	226'	172'	+10%	299'	135'
NORTHBOUND	+10%	200'	135'	-12%	284'	172'

* BASED ON STOPPING SIGHT DISTANCE FOR 25 MILES PER HOUR.
(85TH PERCENTILE SPEED WAS 23 MPH PER SPEED STUDY CONDUCTED)

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UPI 32-6-48.1, 32-6-49, 32-6-49.2

				SEAL
				SEAL
				MANAGER
				DESIGN
				DRAFT
				FILE
				NOTES
1.	REVISIONS PER OWNER AND TOWNSHIP CONSULTANTS REVIEWS	12/21/22	AJK	
NO.	REVISION	DATE	BY	APP.

MANAGER	NEF
DESIGN	KK
DRAFT	AJK
FILE	CHE-22
NOTES	
DATE	MAY 1, 2019
SCALE	1"=30'



Corporate Headquarters
2129 East High Street
Pottstown, PA 19454
610-323-4040

Southampton Office
706 Lakeside Drive
Southampton, PA 18966

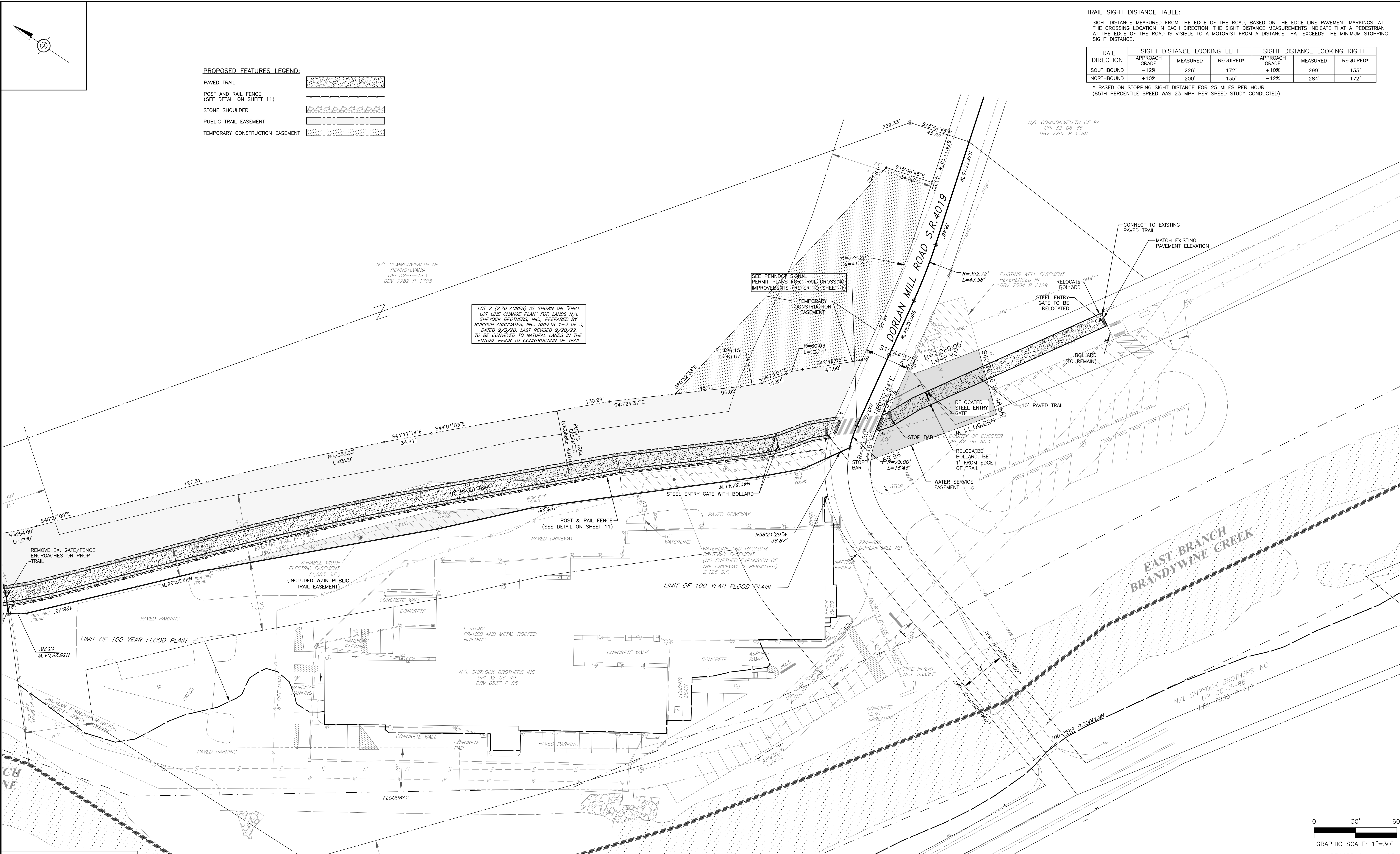
www.bursich.com

CLIENT
CHESTER COUNTY, DEPARTMENT OF FACILITIES
313 W. MARKET STREET
SUITE 5402
P.O. BOX 2748
WEST CHESTER, PA 19380

SUBJECT
STRUBLE TRAIL
EXTENSION II
UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA

JOB NO.
137340.01A
SHEET NO.
3 OF 18
DWG. NO.
LO137340-1A

0 30' 60'
GRAPHIC SCALE: 1"=30'
RECORD PLAN 3 OF 4



TRAIL SIGHT DISTANCE TABLE:

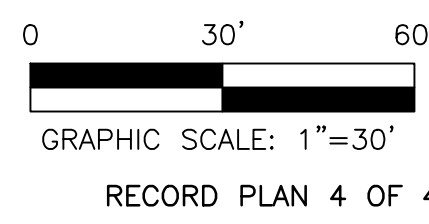
SIGHT DISTANCE MEASURED FROM THE EDGE OF THE ROAD, BASED ON THE EDGE LINE PAVEMENT MARKINGS, AT THE CROSSING LOCATION IN EACH DIRECTION. THE SIGHT DISTANCE MEASUREMENTS INDICATE THAT A PEDESTRIAN AT THE EDGE OF THE ROAD IS VISIBLE TO A MOTORIST FROM A DISTANCE THAT EXCEEDS THE MINIMUM STOPPING SIGHT DISTANCE.

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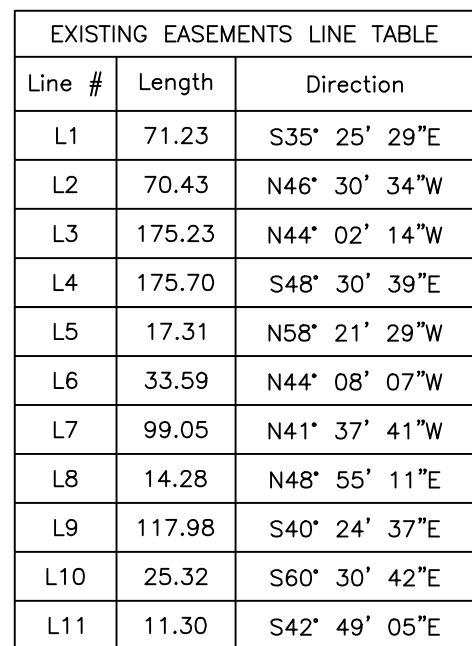
* BASED ON STOPPING SIGHT DISTANCE FOR 25 MILES PER HOUR. (85TH PERCENTILE SPEED WAS 23 MPH PER SPEED STUDY CONDUCTED)

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UPI 32-6-48.1, 32-6-49, 32-6-49.2



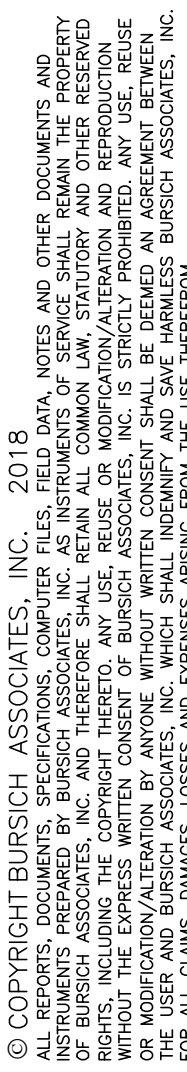
SEAL				SEAL				MANAGER NEF				<div>BURSICH Sharing your Vision</div> <div>Corporate Headquarters 2129 East High Street Pottstown, PA 19464 610-323-4040</div> <div>Southampton Office 706 Lakeside Drive Southampton, PA 18966</div> <div>www.bursich.com</div>				CLIENT CHESTER COUNTY, DEPARTMENT OF FACILITIES 313 W. MARKET STREET SUITE 5402 P.O. BOX 2748 WEST CHESTER, PA 19380				SUBJECT STRUBLE TRAIL EXTENSION II UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA				JOB NO. 137340.01A SHEET NO. 4 OF 18 DWG. NO. LO237340-1A			
DESIGN KK				CHKD. BY				SITE PLAN RECORD PLAN 4 OF 8																			
DRAFT AJK				CHKD. BY																							
FILE CHE-22				DATE MAY 1, 2019																							
NOTES				SCALE 1"=30'																							
1. REVISIONS PER OWNER AND TOWNSHIP CONSULTANTS REVIEWS				12/21/22				AJK																			
NO.				REVISION				DATE				BY				APP.											



SOILS LIST:

GdB - GLADSTONE GRAVELLY LOAM, 3 TO 8 PERCENT SLOPES
GdC - GLADSTONE GRAVELLY LOAM, 8 TO 15 PERCENT SLOPES
GdE - GLADSTONE-PARKER GRAVELLY LOAMS, 15 TO 25 PERCENT SLOPES
H - HATBORO SILT LOAM
PoE - PARKER GRAVELLY LOAM, 25 TO 35 PERCENT SLOPES
PoF - PARKER GRAVELLY LOAM, 35 TO 60 PERCENT SLOPES
W - WATER

AREA OF WOODLANDS TO BE REMOVED FOR TRAIL PROJECT: 0.41 ACRES

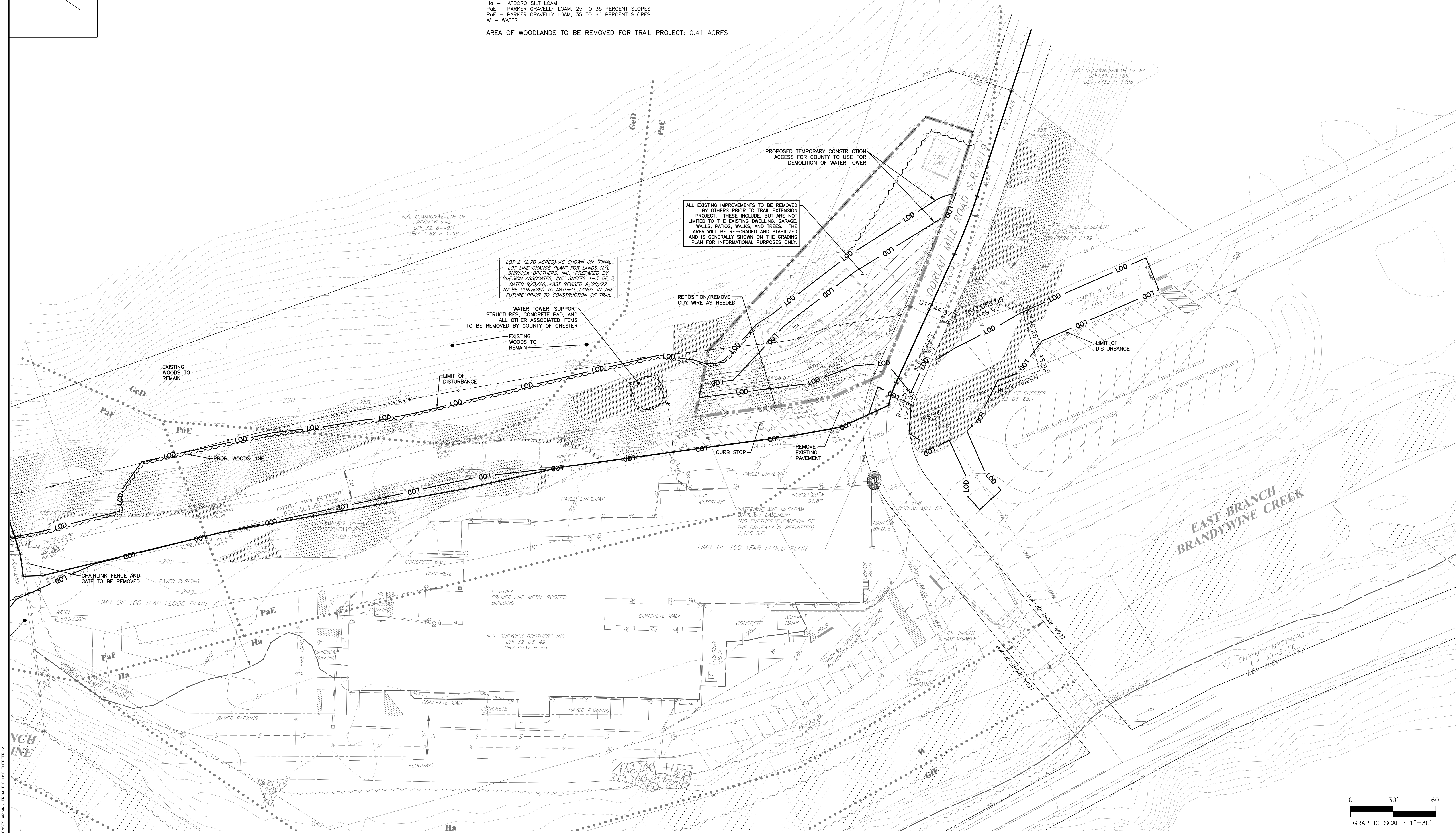


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SOILS:

GdB - GLADSTONE GRAVELLY LOAM, 3 TO 8 PERCENT SLOPES
GdC - GLADSTONE GRAVELLY LOAM, 8 TO 15 PERCENT SLOPES
GdD - GLADSTONE-PARKER GRAVELLY LOAMS, 15 TO 25 PERCENT SLOPES
Ha - HATBORO SILT LOAM
PaE - PARKER GRAVELLY LOAM, 25 TO 35 PERCENT SLOPES
PaF - PARKER GRAVELLY LOAM, 35 TO 60 PERCENT SLOPES
W - WATER

AREA OF WOODLANDS TO BE REMOVED FOR TRAIL PROJECT: 0.41 ACRES

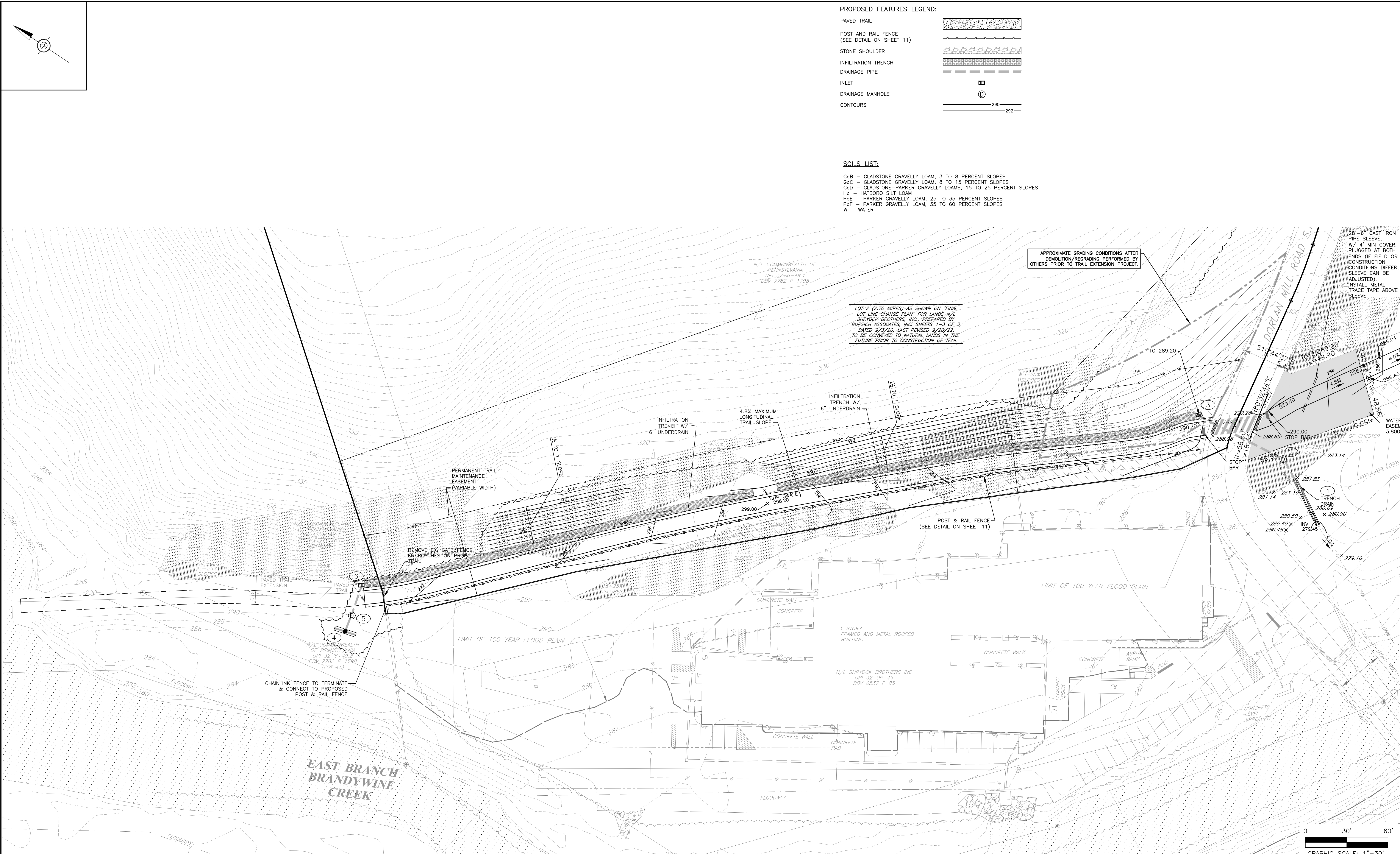


0 30' 60'



GRAPHIC SCALE: 1"=30'

					SEAL		SEAL	<div>MANAGER NEF _____</div>		<div><div><div>BURSICH</div><div>Sharing your Vision</div></div><div><div>Corporate Headquarters</div><div>2128 East High Street</div><div>Pottstown, PA 19464</div><div>610-323-4040</div></div><div><div>Southampton Office</div><div>706 Lakeside Drive</div><div>Southampton, PA 18966</div></div><div>www.bursich.com</div></div>	CLIENT	SUBJECT	JOB NO.
								DESIGN	CHKD. BY		CHESTER COUNTY, DEPARTMENT OF FACILITIES	EXISTING FEATURES/SITE ANALYSIS AND IMPACT PLAN	137340.01A
								KK			313 W. MARKET STREET		
								DRAFT	CHKD. BY		SUITE 5402	STRUBLE TRAIL	SHEET NO.
								AJK			P.O. BOX 2748	EXTENSION II	6 OF 18
								FILE	DATE	WEST CHESTER, PA 19380		DWG. NO.	
								CHE-22	MAY 1, 2019		UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA	EF237340-1A	
								NOTES	SCALE				
									1"=30'				
1. REVISIONS PER OWNER AND TOWNSHIP CONSULTANTS REVIEWS					12/21/22	AJK							
NO.	REVISION				DATE	BY	APP.						



PROPOSED FEATURES LEGEND:

- PAVED TRAIL
- POST AND RAIL FENCE (SEE DETAIL ON SHEET 11)
- STONE SHOULDER
- INFILTRATION TRENCH
- DRAINAGE PIPE
- INLET
- DRAINAGE MANHOLE
- CONTOURS

SOILS LIST:

- GdB - GLADSTONE GRAVELLY LOAM, 3 TO 8 PERCENT SLOPES
- GdC - GLADSTONE GRAVELLY LOAM, 8 TO 15 PERCENT SLOPES
- GdD - GLADSTONE-PARKER GRAVELLY LOAMS, 15 TO 25 PERCENT SLOPES
- Ho - HATBORO SILT LOAM
- PdE - PARKER GRAVELLY LOAM, 25 TO 35 PERCENT SLOPES
- PdF - PARKER GRAVELLY LOAM, 35 TO 60 PERCENT SLOPES
- W - WATER

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					SEAL
					SEAL
					MANAGER
					DESIGN
					DRAFT
					FILE
					NOTES
1.	REVISIONS PER OWNER AND TOWNSHIP CONSULTANTS REVIEWS	12/21/22	AJK		
NO.	REVISION	DATE	BY	APP.	

MANAGER	NEF
DESIGN	KK
DRAFT	AJK
FILE	CHE-22
NOTES	
CHKD. BY	
CHKD. BY	
DATE	MAY 1, 2019
SCALE	1"=30'

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Pottstown, PA 19464
610-323-4040

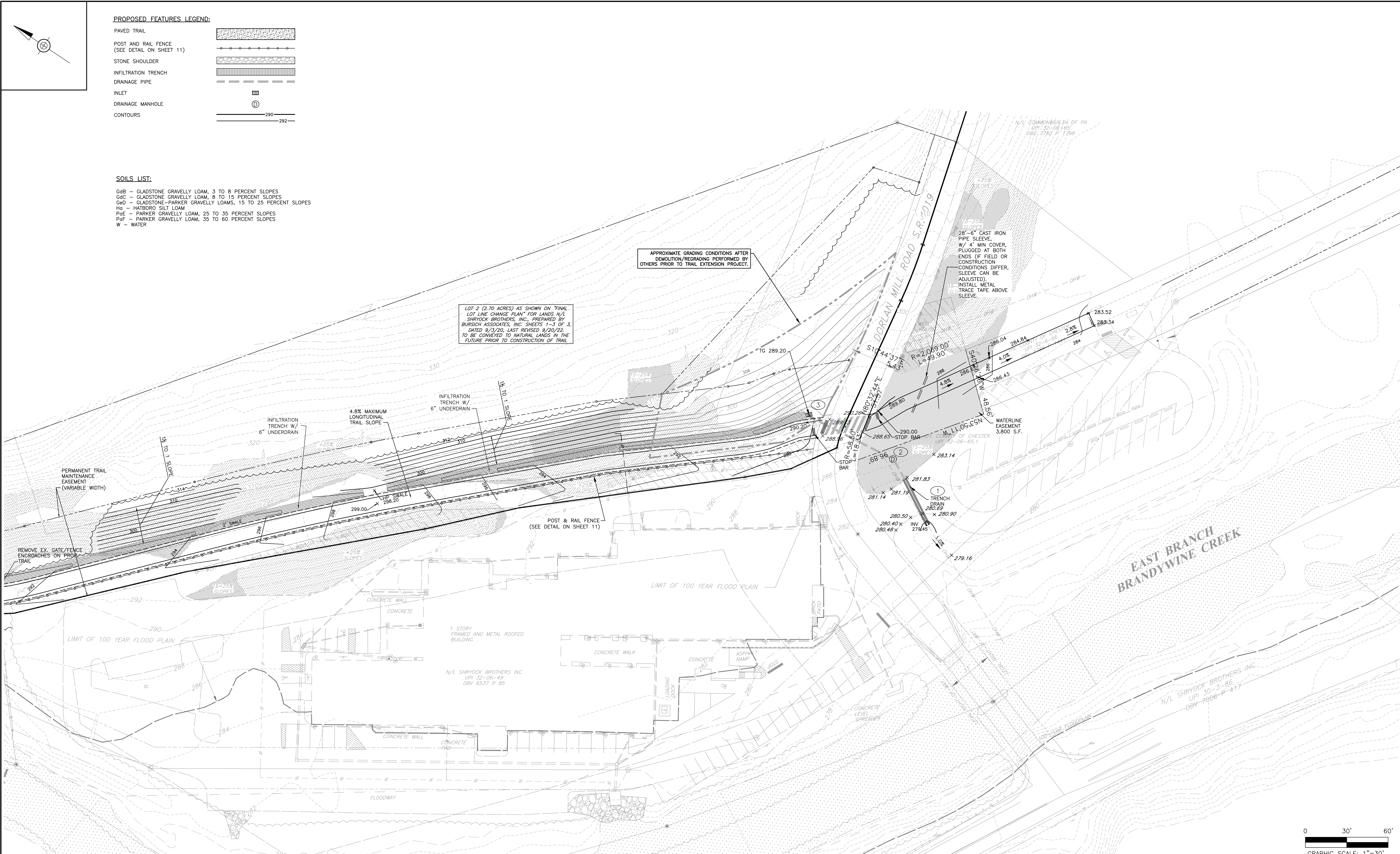
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706 Lakeside Drive
Southampton, PA 18966

www.bursich.com

CLIENT
CHESTER COUNTY, DEPARTMENT OF FACILITIES
313 W. MARKET STREET SUITE 5402 P.O. BOX 2748 WEST CHESTER, PA 19380

SUBJECT
GRADING PLAN
STRUBLE TRAIL EXTENSION II
UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA

JOB NO.
137340.01A
SHEET NO.
7 OF 18
DWG. NO.
GR137340-1A



PROPOSED FEATURES LEGEND:

- PAVED TRAIL
- POST AND RAIL FENCE (SEE DETAIL ON SHEET 11)
- STONE SHOULDER
- INFILTRATION TRENCH
- DRAINAGE PIPE
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- DRAINAGE MANHOLE
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Ho - HATBORO SILT LOAM
Pde - PARKER GRAVELLY LOAM, 25 TO 35 PERCENT SLOPES
Pof - PARKER GRAVELLY LOAM, 35 TO 60 PERCENT SLOPES
W - WATER

LOT 2 (2.70 ACRES) AS SHOWN ON "FINAL LOT LINE CHANGE PLAN" FOR LANDS N/L SHRYOCK BROTHERS, INC., PREPARED BY BURSICH ASSOCIATES, INC. SHEETS 1-3 OF 3, DATED 9/3/20, LAST REVISED 9/20/22, TO BE CONVEYED TO NATURAL LANDS IN THE FUTURE PRIOR TO CONSTRUCTION OF TRAIL

APPROXIMATE GRADING CONDITIONS AFTER DEMOLITION/REGRADE PERFORMED BY OTHERS PRIOR TO TRAIL EXTENSION PROJECT.

28'-6" CAST IRON PIPE SLEEVE, W/ 4" MIN COVER, PLUGGED AT BOTH ENDS (IF FIELD OR CONSTRUCTION CONDITIONS DIFFER, SLEEVE CAN BE ADJUSTED). INSTALL METAL TRACE TAPE ABOVE SLEEVE.

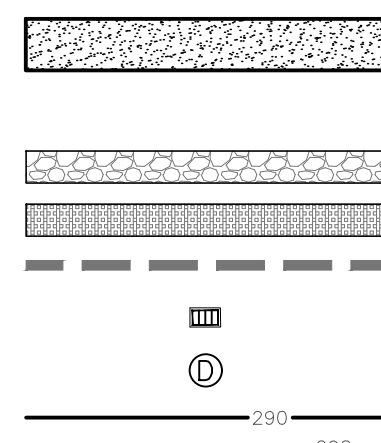
EAST BRANCH BRANDYWINE CREEK

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				SEAL	SEAL	MANAGER NEF	<div>BURSICH Sharing your Vision</div> <div>Corporate Headquarters 2129 East High Street Pottstown, PA 19464 610-323-4040</div> <div>Southampton Office 706 Lakeside Drive Southampton, PA 18966</div> <div>www.bursich.com</div>	CLIENT CHESTER COUNTY, DEPARTMENT OF FACILITIES 313 W. MARKET STREET SUITE 5402 P.O. BOX 2748 WEST CHESTER, PA 19380	SUBJECT GRADING PLAN STRUBLE TRAIL EXTENSION II UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA	JOB NO. 137340.01A SHEET NO. 8 OF 18 DWG. NO. GR237340-1A
						DESIGN KK				
						DRAFT AJK				
						FILE CHE-22				
						NOTES				
1.	REVISIONS PER OWNER AND TOWNSHIP CONSULTANTS REVIEWS	12/21/22	AJK			DATE MAY 1, 2019				
NO.	REVISION	DATE	BY	APP.		SCALE 1"=30'				

PROPOSED FEATURES LEGEND:

PAVED TRAIL
POST AND RAIL FENCE
(SEE DETAIL ON SHEET 11)
STONE SHOULDER
INFILTRATION TRENCH
DRAINAGE PIPE
INLET
DRAINAGE MANHOLE
CONTOURS




LOT 2 (2.70 ACRES) AS SHOWN ON "FINAL LOT LINE CHANGE PLAN" FOR LANDS N/L SHRYOCK BROTHERS, INC., PREPARED BY BURSCHE ASSOCIATES, INC. SHEETS 1-3 OF 3, DATED 9/3/20, LAST REVISED 9/20/22. TO BE CONVEYED TO NATURAL LANDS IN THE FUTURE PRIOR TO CONSTRUCTION OF TRAIL

28'-6" CAST IRON
PIPE SLEEVE,
W/ 4' MIN COVER,
PLUGGED AT BOTH
ENDS (IF FIELD OR
CONSTRUCTION
CONDITIONS DIFFER,
SLEEVE CAN BE
ADJUSTED).
INSTALL METAL
TRACE TAPE ABOVE
SLEEVE.

**EAST BRANCH
BRANDYWINE
CREEK**

LIMIT OF 100 YEAR FLOOD PLAIN

0 30' 60'



GRAPHIC SCALE: 1"=30'

JOB NO.
137340.01A

SHEET NO.
9 OF 18

DWG. NO.
UT137340-1

STRUBLE TRAIL EXTENSION II

UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA

CLIENT
CHESTER COUNTY, DEPARTMENT OF FACILITIES
313 W. MARKET STREET
SUITE 5402
P.O. BOX 2748
WEST CHESTER, PA 19380

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Corporate Headquarters

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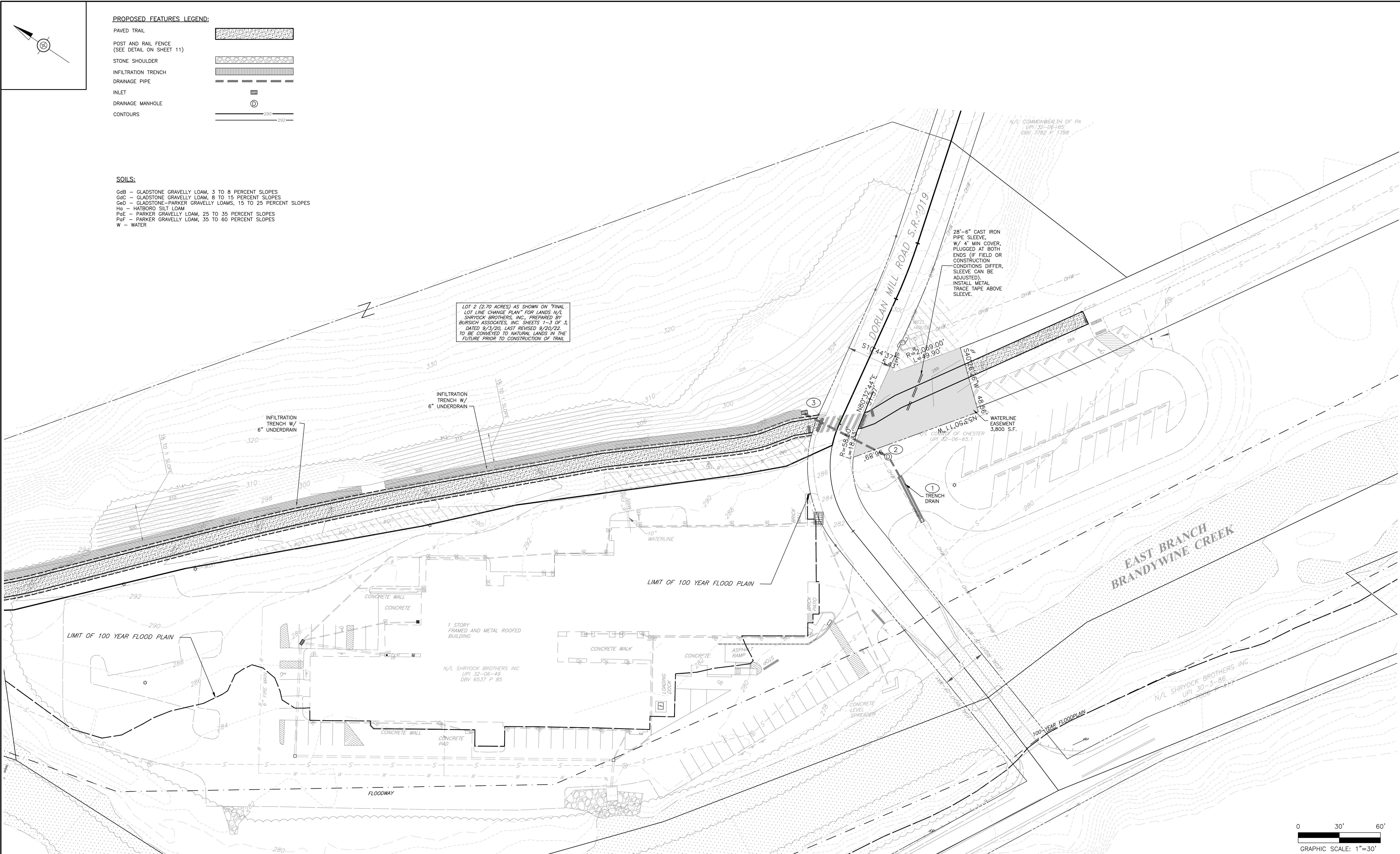
Southampton Office

706 Lakeside Drive
Southampton, PA 18966

w w w . b u r s i c h . c o m

MANAGER		NEF _____
DESIGN KK	CHKD. BY	
DRAFT AJK	CHKD. BY	
FILE CHE-22	DATE MAY 1, 2019	
NOTES	SCALE 1"=30'	

[illegible]



PROPOSED FEATURES LEGEND:

- PAVED TRAIL
- POST AND RAIL FENCE (SEE DETAIL ON SHEET 11)
- STONE SHOULDER
- INFILTRATION TRENCH
- DRAINAGE PIPE
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LOT 2 (2.70 ACRES) AS SHOWN ON "FINAL LOT LINE CHANGE PLAN" FOR LANDS N/L SHRYOCK BROTHERS, INC., PREPARED BY BURSICH ASSOCIATES, INC. SHEETS 1-3 OF 3, DATED 9/3/20, LAST REVISED 9/20/22, TO BE CONVEYED TO NATURAL LANDS IN THE FUTURE PRIOR TO CONSTRUCTION OF TRAIL

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					SEAL
					SEAL
					MANAGER
					DESIGN
					DRAFT
					FILE
					NOTES
1.	REVISIONS PER OWNER AND TOWNSHIP CONSULTANTS REVIEWS	12/21/22	AJK		
NO.	REVISION	DATE	BY	APP.	

NEF	
CHKD. BY	
CHKD. BY	
DATE	MAY 1, 2019
SCALE	1"=30'

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2129 East High Street
Pottstown, PA 19464
610-323-4040

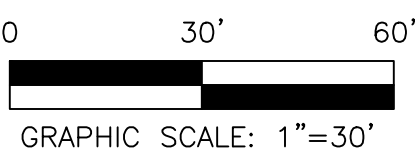
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706 Lakeside Drive
Southampton, PA 18966

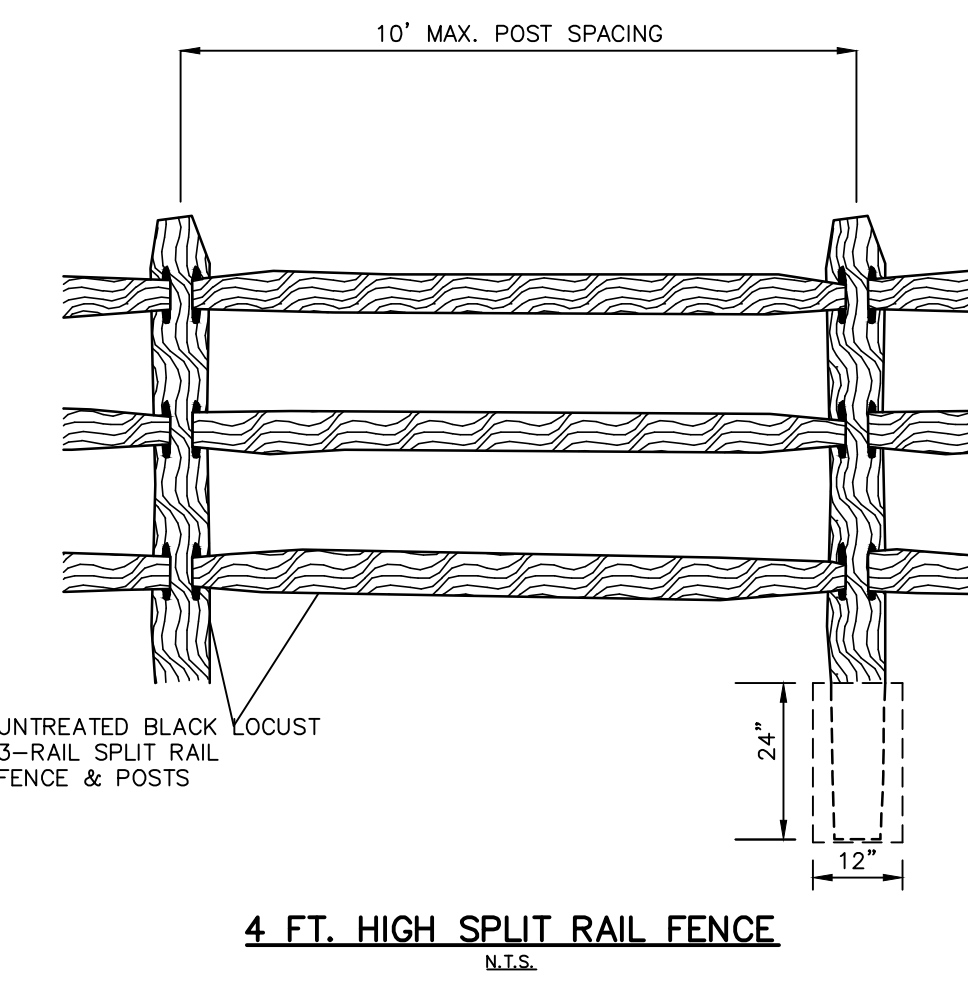
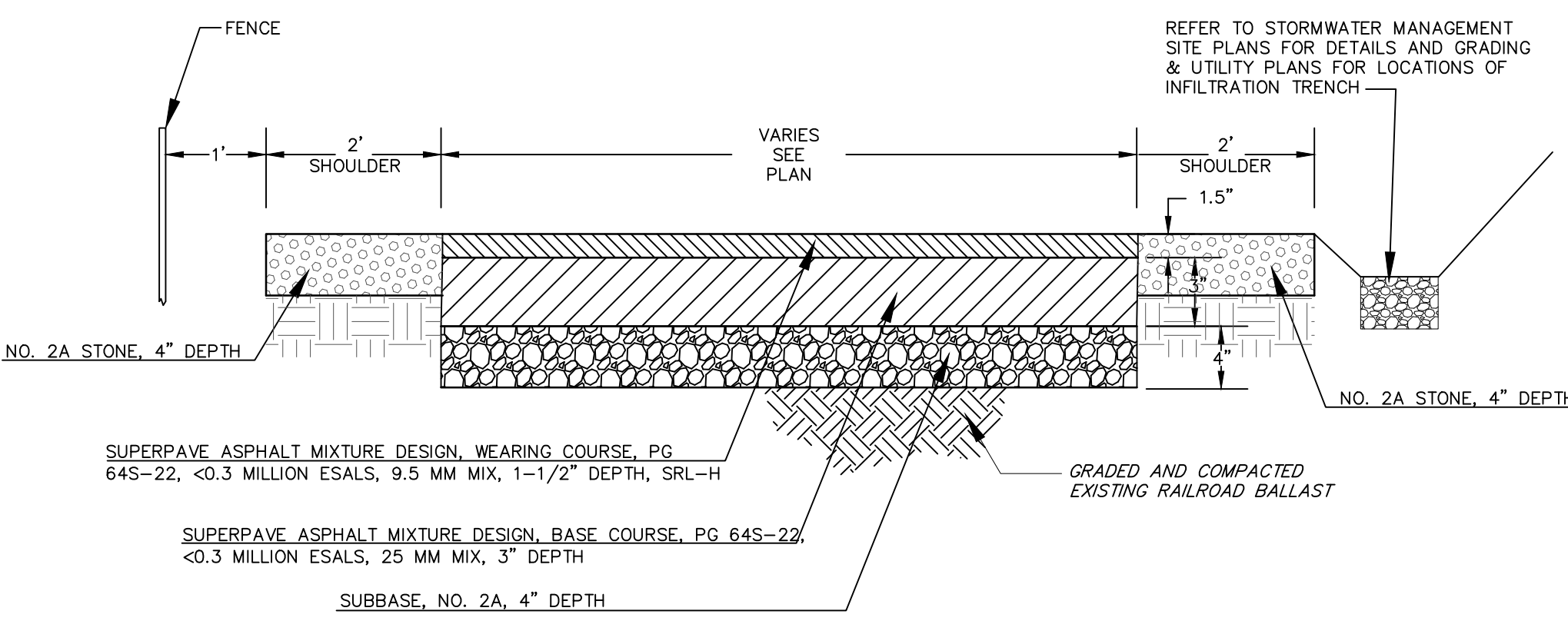
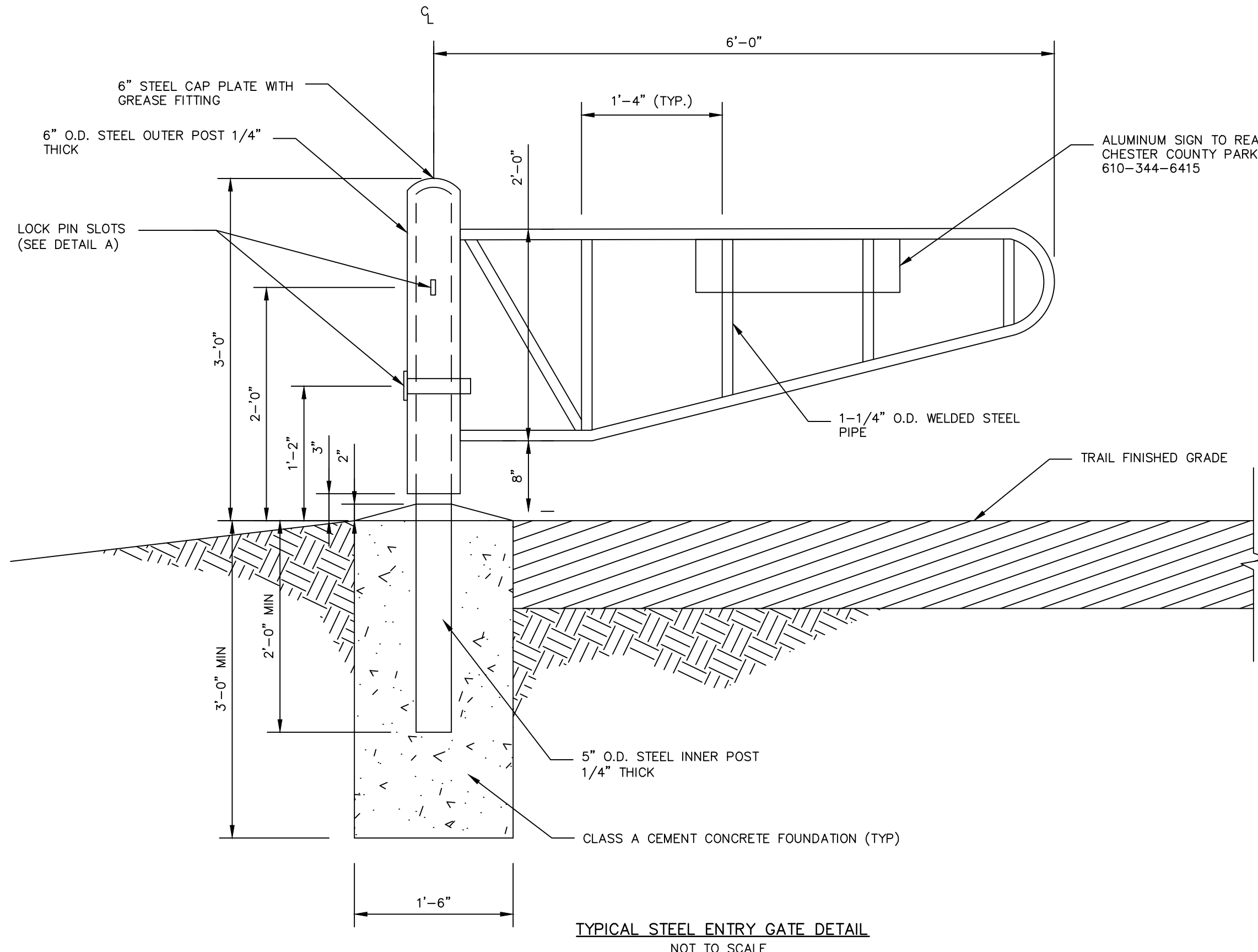
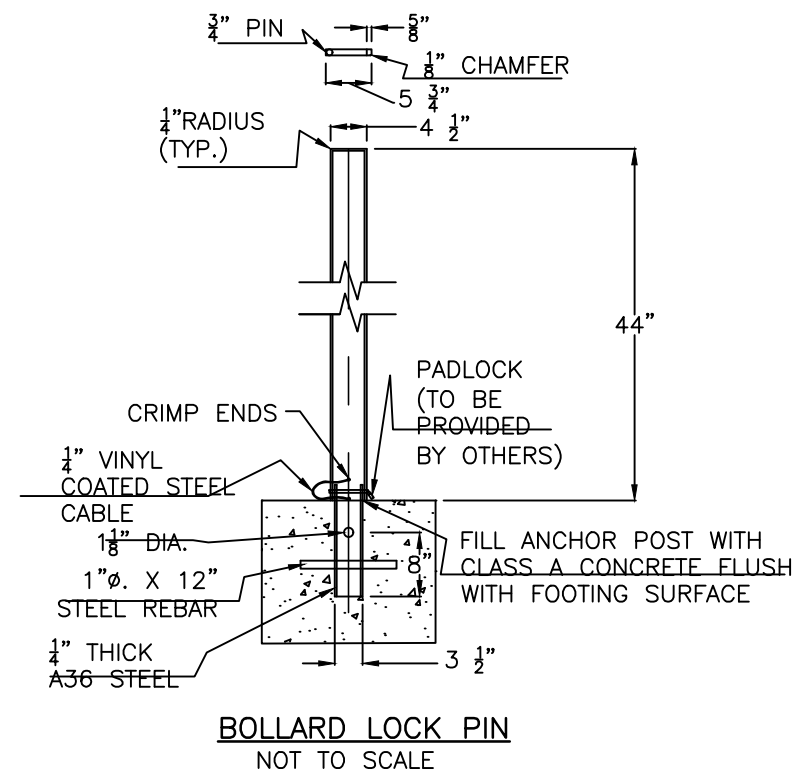
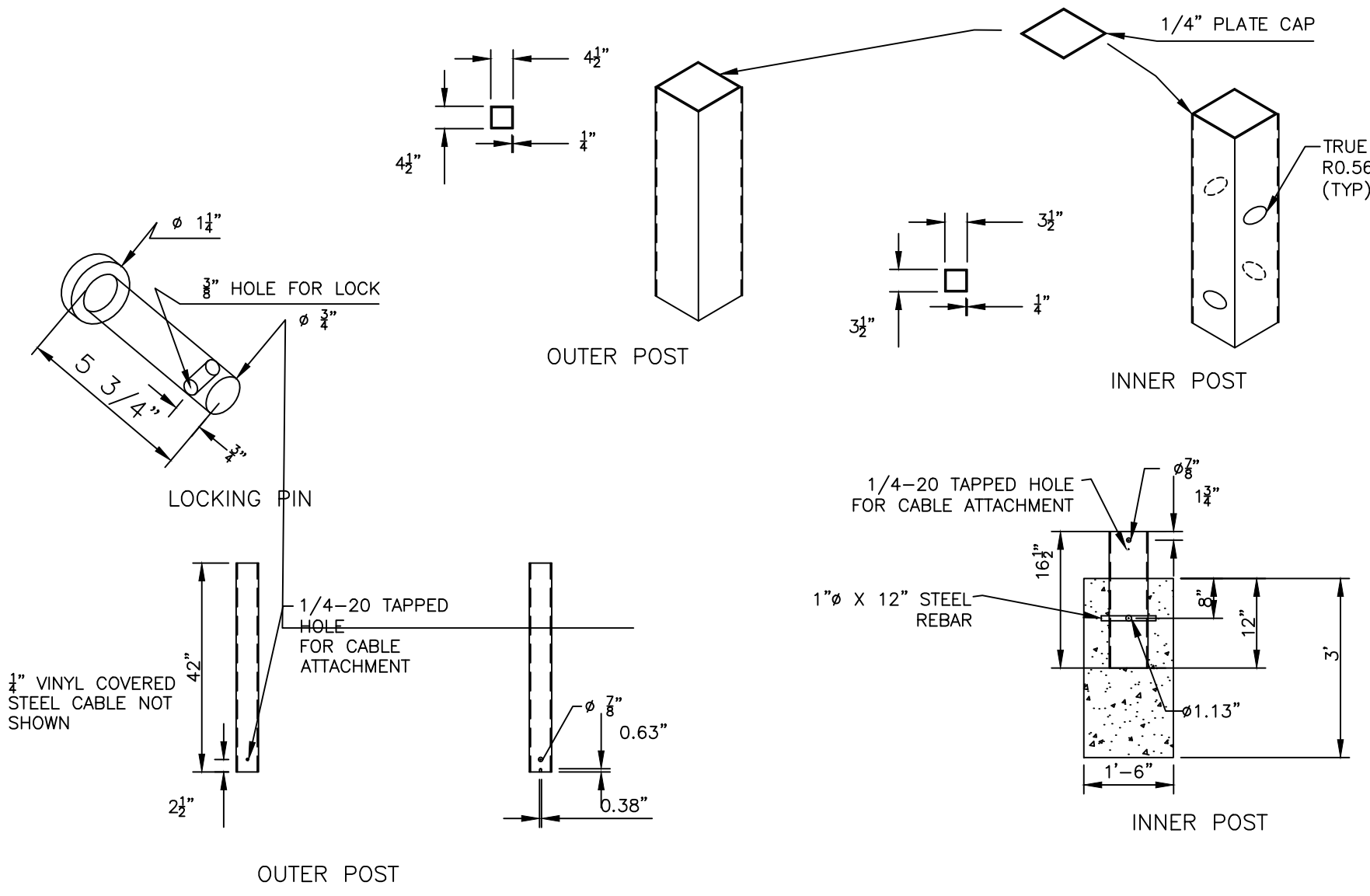
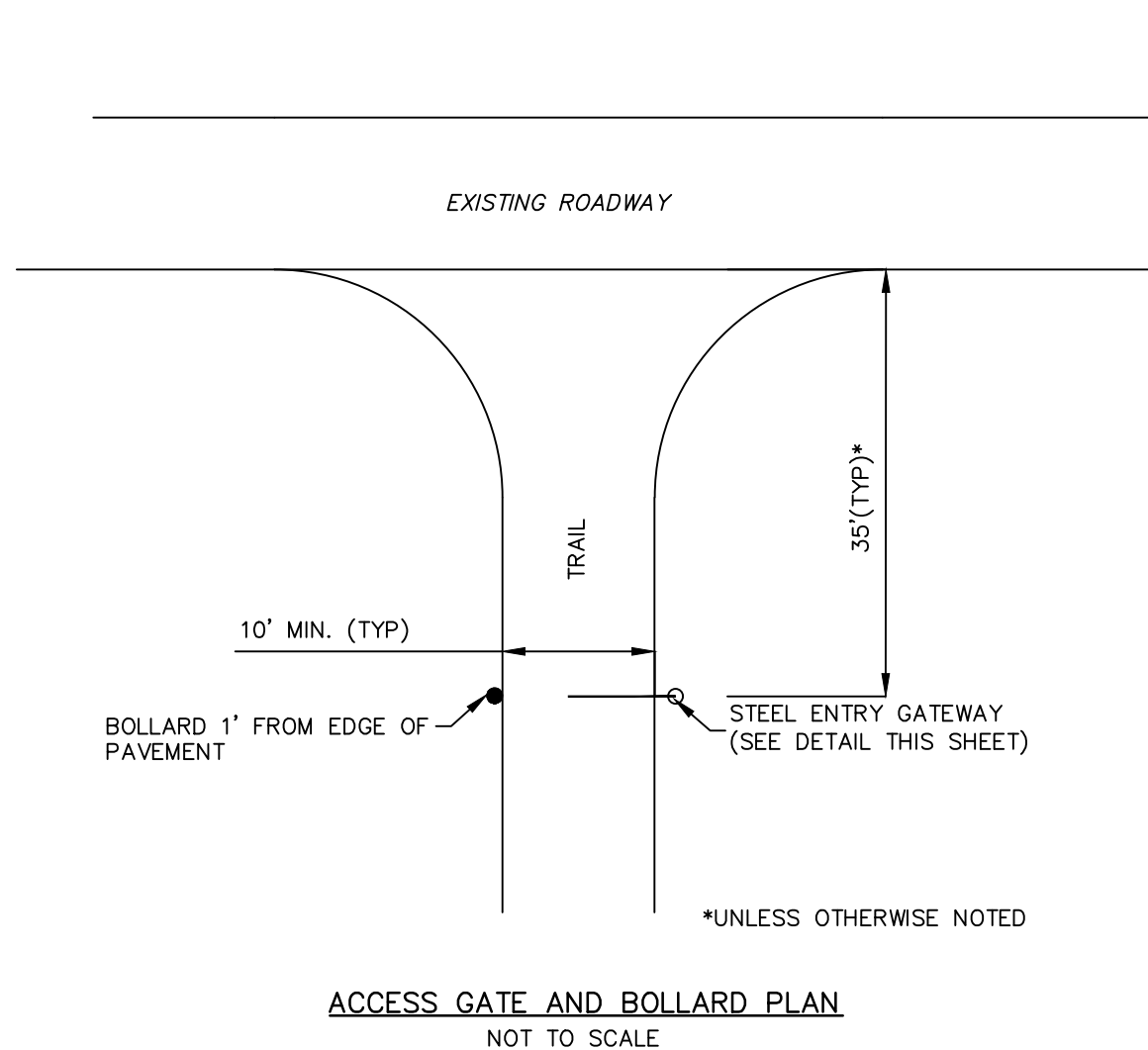
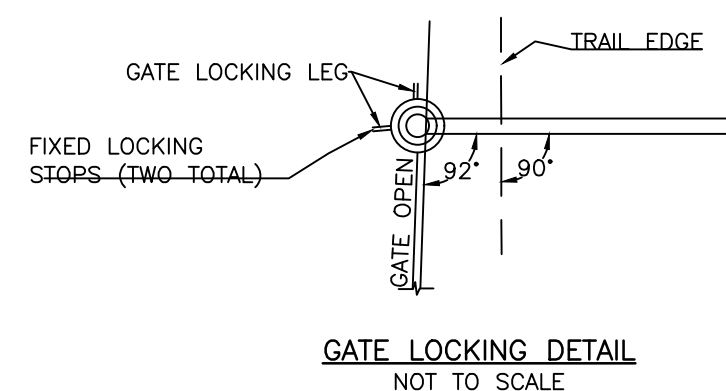
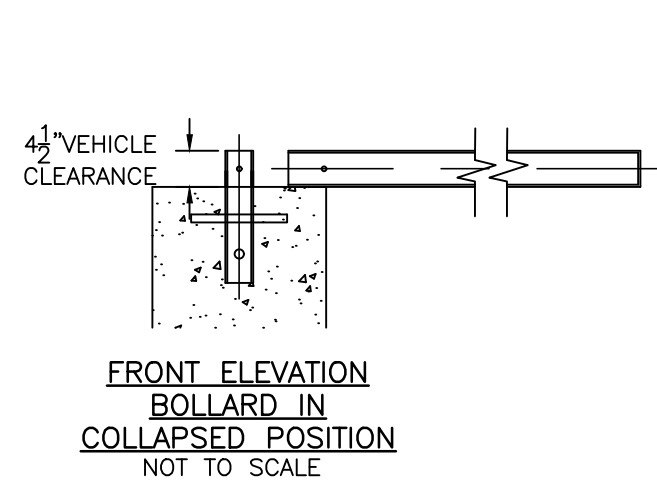
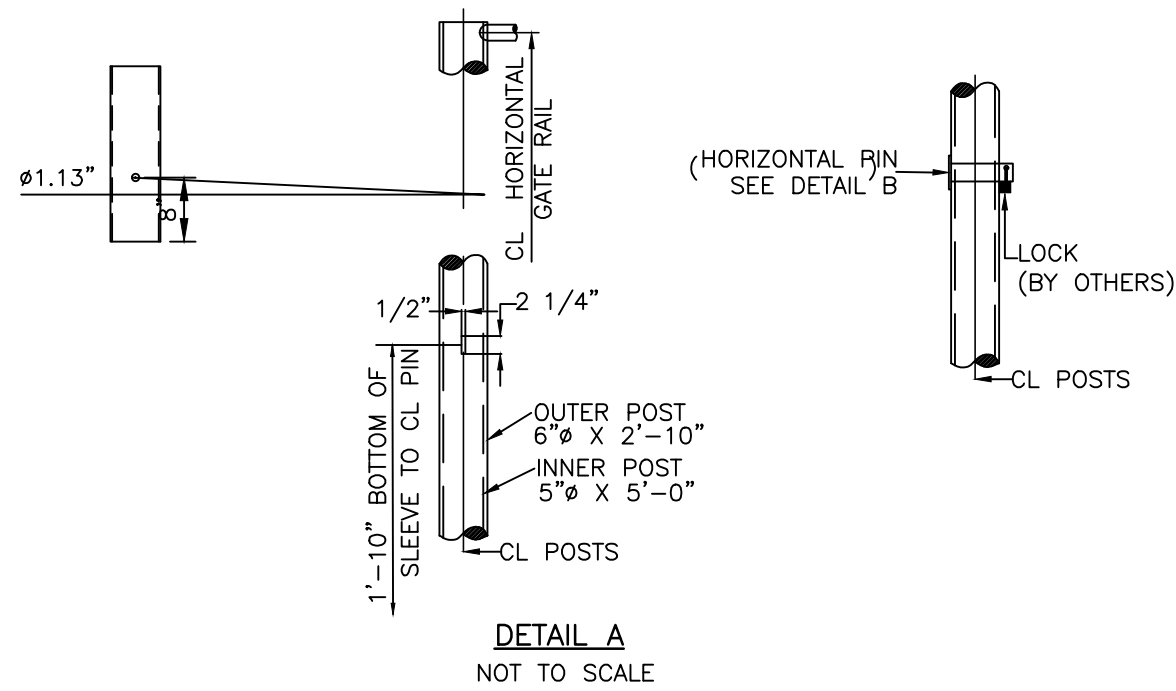
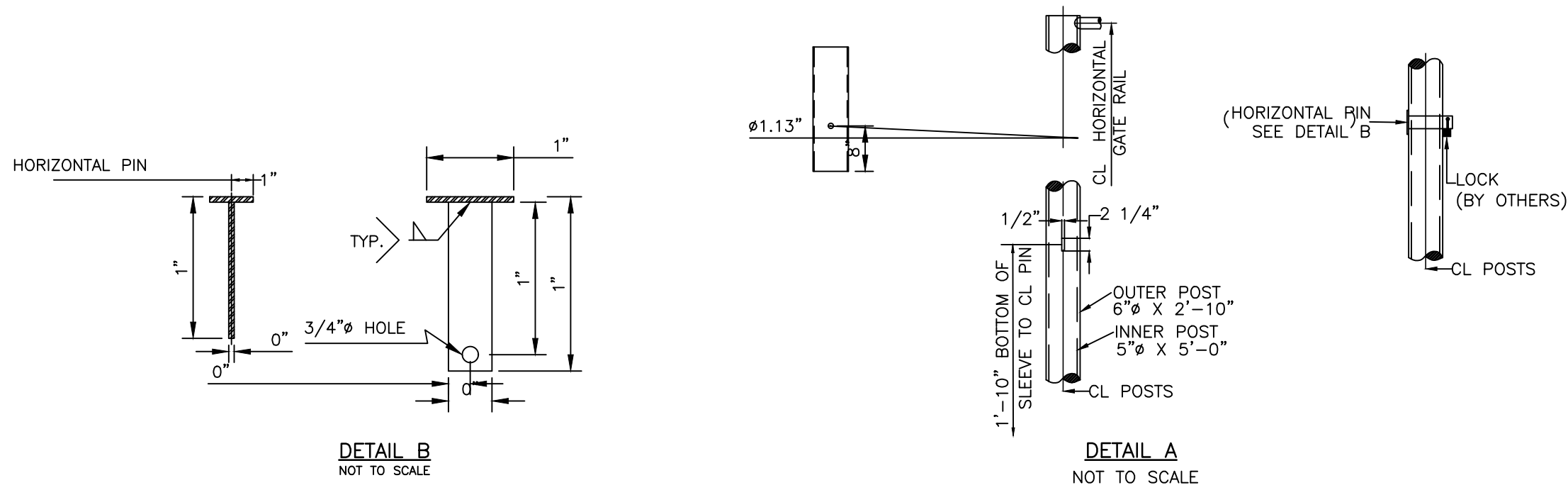
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CLIENT
CHESTER COUNTY, DEPARTMENT OF FACILITIES
313 W. MARKET STREET
SUITE 5402
P.O. BOX 2748
WEST CHESTER, PA 19380

SUBJECT
**STRUBLE TRAIL
EXTENSION II**
UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA

JOB NO.	137340.01A
SHEET NO.	10 OF 18
DWG. NO.	UT237340-1A

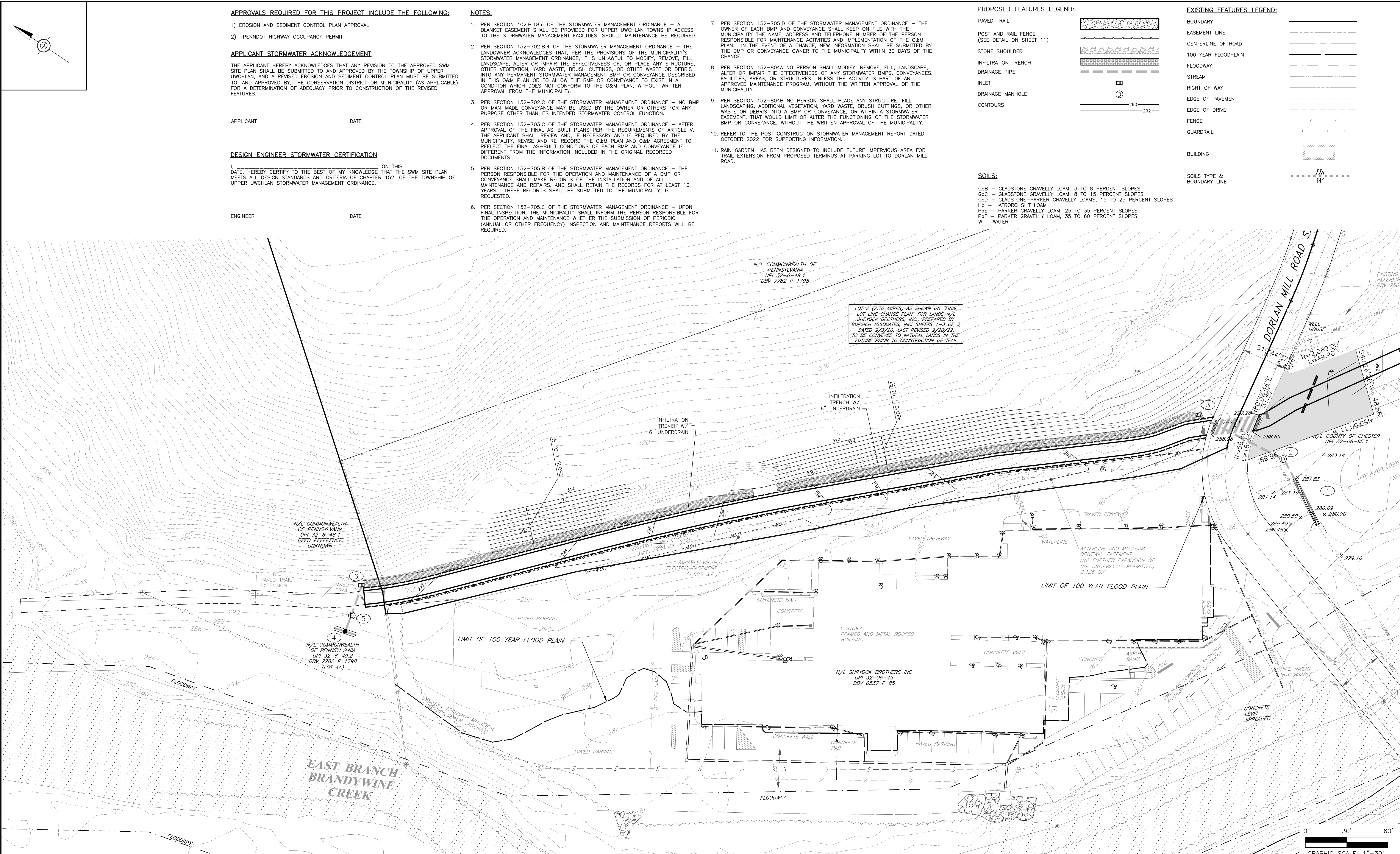




NOTE:
THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS / SUBMITTALS
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				SEAL	SEAL	MANAGER NEF	<div>BURSICH Sharing your Vision</div> <div>Corporate Headquarters 2129 East High Street Pottstown, PA 19464 610-323-4040</div> <div>Southampton Office 706 Lakeside Drive Southampton, PA 18966</div> <div>www.bursich.com</div>		CLIENT CHESTER COUNTY, DEPARTMENT OF FACILITIES 313 W. MARKET STREET SUITE 5402 P.O. BOX 2748 WEST CHESTER, PA 19380	SUBJECT CONSTRUCTION DETAILS STRUBLE TRAIL EXTENSION II UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA	JOB NO. 137340.01A
						DESIGN KK					SHEET NO. 11 OF 18
						DRAFT AJK					DWG. NO. CD237340-1A
						FILE CHE-22					
						NOTES SCALE					
1.	REVISIONS PER OWNER AND TOWNSHIP CONSULTANTS REVIEWS	12/21/22	AJK								
NO.	REVISION	DATE	BY	APP.							



APPROVALS REQUIRED FOR THIS PROJECT INCLUDE THE FOLLOWING:

- 1) EROSION AND SEDIMENT CONTROL PLAN APPROVAL
- 2) PENNDOT HIGHWAY OCCUPANCY PERMIT

APPLICANT STORMWATER ACKNOWLEDGEMENT

THE APPLICANT HEREBY ACKNOWLEDGES THAT ANY REVISION TO THE APPROVED SWM SITE PLAN SHALL BE SUBMITTED TO AND APPROVED BY THE TOWNSHIP OF UPPER UWCHLAN, AND A REVISED EROSION AND SEDIMENT CONTROL PLAN MUST BE SUBMITTED TO, AND APPROVED BY, THE CONSERVATION DISTRICT OR MUNICIPALITY (AS APPLICABLE) FOR A DETERMINATION OF ADEQUACY PRIOR TO CONSTRUCTION OF THE REVISED FEATURES.

APPLICANT

DATE

DESIGN ENGINEER STORMWATER CERTIFICATION

I, _____, ON THIS DATE, HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THE SWM SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF CHAPTER 152, OF THE TOWNSHIP OF UPPER UWCHLAN STORMWATER MANAGEMENT ORDINANCE.

ENGINEER

DATE

NOTES:

1. PER SECTION 402.B.18.c OF THE STORMWATER MANAGEMENT ORDINANCE – A BLANKET EASEMENT SHALL BE PROVIDED FOR UPPER UWCHLAN TOWNSHIP ACCESS TO THE STORMWATER MANAGEMENT FACILITIES, SHOULD MAINTENANCE BE REQUIRED.
2. PER SECTION 152–702.B.4 OF THE STORMWATER MANAGEMENT ORDINANCE – THE LANDOWNER ACKNOWLEDGES THAT, PER THE PROVISIONS OF THE MUNICIPALITY'S STORMWATER MANAGEMENT ORDINANCE, IT IS UNLAWFUL TO MODIFY, REMOVE, FILL, LANDSCAPE, ALTER OR IMPAIR THE EFFECTIVENESS OF, OR PLACE ANY STRUCTURE, OTHER VEGETATION, YARD WASTE, BRUSH CUTTINGS, OR OTHER WASTE OR DEBRIS INTO ANY PERMANENT STORMWATER MANAGEMENT BMP OR CONVEYANCE DESCRIBED IN THIS O&M PLAN OR TO ALLOW THE BMP OR CONVEYANCE TO EXIST IN A CONDITION WHICH DOES NOT CONFORM TO THE O&M PLAN, WITHOUT WRITTEN APPROVAL FROM THE MUNICIPALITY.
3. PER SECTION 152–702.C OF THE STORMWATER MANAGEMENT ORDINANCE – NO BMP OR MAN–MADE CONVEYANCE MAY BE USED BY THE OWNER OR OTHERS FOR ANY PURPOSE OTHER THAN ITS INTENDED STORMWATER CONTROL FUNCTION.
4. PER SECTION 152–703.C OF THE STORMWATER MANAGEMENT ORDINANCE – AFTER APPROVAL OF THE FINAL AS–BUILT PLANS PER THE REQUIREMENTS OF ARTICLE V, THE APPLICANT SHALL REVIEW AND, IF NECESSARY AND IF REQUIRED BY THE MUNICIPALITY, REVISE AND RE–RECORD THE O&M PLAN AND O&M AGREEMENT TO REFLECT THE FINAL AS–BUILT CONDITIONS OF EACH BMP AND CONVEYANCE IF DIFFERENT FROM THE INFORMATION INCLUDED IN THE ORIGINAL RECORDED DOCUMENTS.
5. PER SECTION 152–705.B OF THE STORMWATER MANAGEMENT ORDINANCE – THE PERSON RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF A BMP OR CONVEYANCE SHALL MAKE RECORDS OF THE INSTALLATION AND OF ALL MAINTENANCE AND REPAIRS, AND SHALL RETAIN THE RECORDS FOR AT LEAST 10 YEARS. THESE RECORDS SHALL BE SUBMITTED TO THE MUNICIPALITY, IF REQUESTED.
6. PER SECTION 152–705.C OF THE STORMWATER MANAGEMENT ORDINANCE – UPON FINAL INSPECTION, THE MUNICIPALITY SHALL INFORM THE PERSON RESPONSIBLE FOR THE OPERATION AND MAINTENANCE WHETHER THE SUBMISSION OF PERIODIC (ANNUAL OR OTHER FREQUENCY) INSPECTION AND MAINTENANCE REPORTS WILL BE REQUIRED.
7. PER SECTION 152–705.D OF THE STORMWATER MANAGEMENT ORDINANCE – THE OWNER OF EACH BMP AND CONVEYANCE SHALL KEEP ON FILE WITH THE MUNICIPALITY THE NAME, ADDRESS AND TELEPHONE NUMBER OF THE PERSON RESPONSIBLE FOR MAINTENANCE ACTIVITIES AND IMPLEMENTATION OF THE O&M PLAN. IN THE EVENT OF A CHANGE, NEW INFORMATION SHALL BE SUBMITTED BY THE BMP OR CONVEYANCE OWNER TO THE MUNICIPALITY WITHIN 30 DAYS OF THE CHANGE.
8. PER SECTION 152–804A NO PERSON SHALL MODIFY, REMOVE, FILL, LANDSCAPE, ALTER OR IMPAIR THE EFFECTIVENESS OF ANY STORMWATER BMPs, CONVEYANCES, FACILITIES, AREAS, OR STRUCTURES UNLESS THE ACTIVITY IS PART OF AN APPROVED MAINTENANCE PROGRAM, WITHOUT THE WRITTEN APPROVAL OF THE MUNICIPALITY.
9. PER SECTION 152–804B NO PERSON SHALL PLACE ANY STRUCTURE, FILL, LANDSCAPING, ADDITIONAL VEGETATION, YARD WASTE, BRUSH CUTTINGS, OR OTHER WASTE OR DEBRIS INTO A BMP OR CONVEYANCE, OR WITHIN A STORMWATER EASEMENT, THAT WOULD LIMIT OR ALTER THE FUNCTIONING OF THE STORMWATER BMP OR CONVEYANCE, WITHOUT THE WRITTEN APPROVAL OF THE MUNICIPALITY.
10. REFER TO THE POST CONSTRUCTION STORMWATER MANAGEMENT REPORT DATED OCTOBER 2022 FOR SUPPORTING INFORMATION.
11. RAIN GARDEN HAS BEEN DESIGNED TO INCLUDE FUTURE IMPERVIOUS AREA FOR TRAIL EXTENSION FROM PROPOSED TERMINUS AT PARKING LOT TO DORLAN MILL ROAD.

PROPOSED FEATURES LEGEND:

- PAVED TRAIL
- POST AND RAIL FENCE (SEE DETAIL ON SHEET 11)
- STONE SHOULDER
- INFILTRATION TRENCH
- DRAINAGE PIPE
- INLET
- DRAINAGE MANHOLE
- CONTOURS

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- PdE – PARKER GRAVELLY LOAM, 25 TO 35 PERCENT SLOPES
- PdF – PARKER GRAVELLY LOAM, 35 TO 60 PERCENT SLOPES
- W – WATER

EXISTING FEATURES LEGEND:

- BOUNDARY
- EASEMENT LINE
- CENTERLINE OF ROAD
- 100 YEAR FLOODPLAIN
- FLOODWAY
- STREAM
- RIGHT OF WAY
- EDGE OF PAVEMENT
- EDGE OF DRIVE
- FENCE
- GUARDRAIL
- BUILDING

SOILS TYPE & BOUNDARY LINE

Hg
W

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NO.	REVISION	DATE	BY	APP.
1.	REVISIONS PER OWNER AND TOWNSHIP CONSULTANTS REVIEWS	12/21/22	AJK	

SEAL	SEAL
------	------

MANAGER	NEF
DESIGN	KK
DRAFT	AJK
FILE	CHE–22
NOTES	
CHKD. BY	CHKD. BY
DATE	MAY 1, 2019
SCALE	1"=30'

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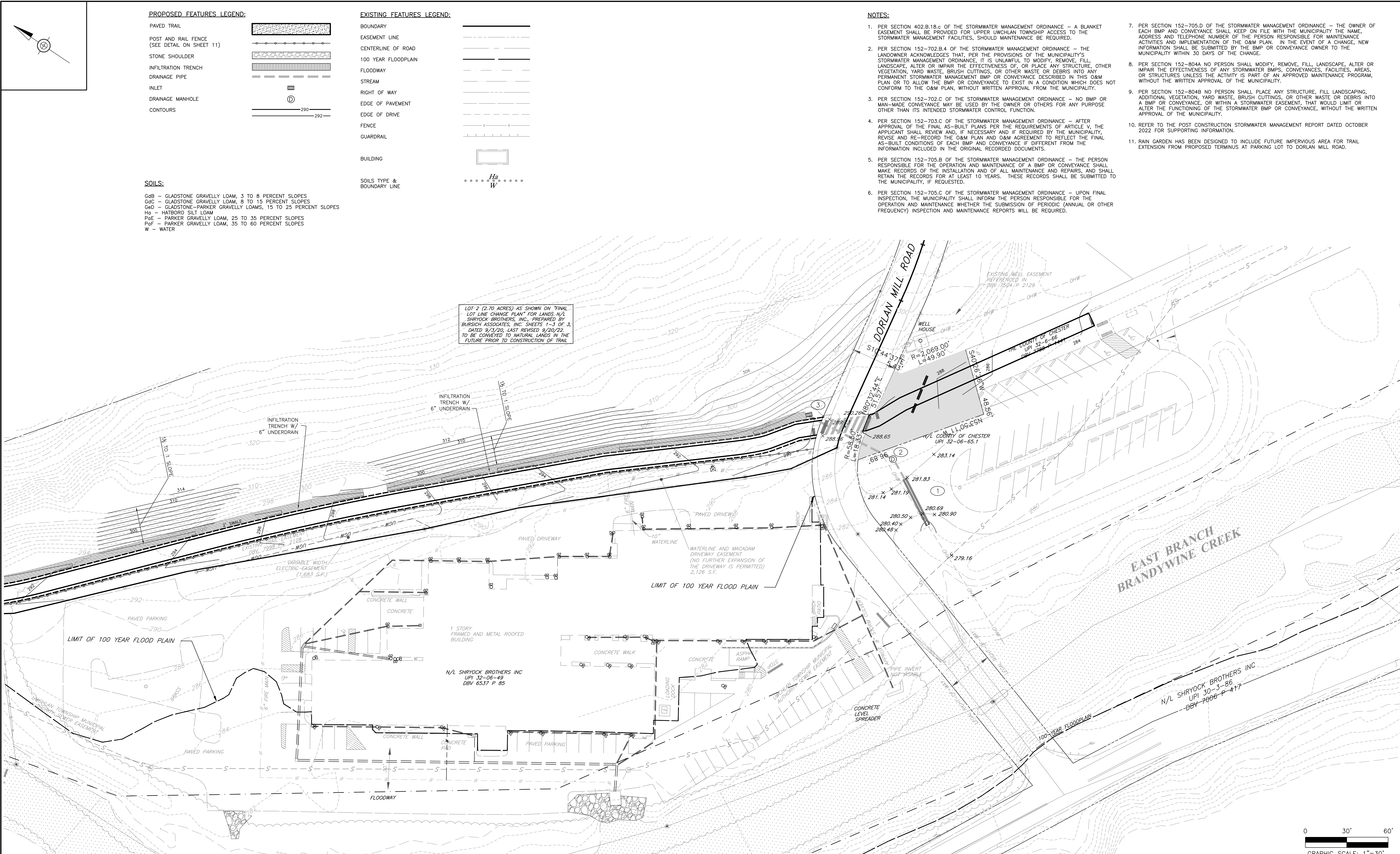
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CHESTER COUNTY, DEPARTMENT OF FACILITIES
313 W. MARKET STREET SUITE 5402 P.O. BOX 2748 WEST CHESTER, PA 19380

SUBJECT	JOB NO.
STORMWATER MANAGEMENT SITE PLAN AND OPERATION & MAINTENANCE PLAN RECORD PLAN 5 OF 8	137340.01A
STRUBLE TRAIL EXTENSION II	SHEET NO.
	12 OF 18
UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA	DWG. NO.
	PC137340–1A



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PROPOSED FEATURES LEGEND:

- PAVED TRAIL
- POST AND RAIL FENCE (SEE DETAIL ON SHEET 11)
- STONE SHOULDER
- INFILTRATION TRENCH DRAINAGE PIPE
- INLET
- DRAINAGE MANHOLE
- CONTOURS

EXISTING FEATURES LEGEND:

- BOUNDARY
- EASEMENT LINE
- CENTERLINE OF ROAD
- 100 YEAR FLOODPLAIN
- FLOODWAY
- STREAM
- RIGHT OF WAY
- EDGE OF PAVEMENT
- EDGE OF DRIVE
- FENCE
- GUARDRAIL

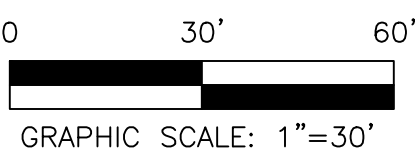
- BUILDING
- SOILS TYPE & BOUNDARY LINE

SOILS:

- GdB - GLADSTONE GRAVELLY LOAM, 3 TO 8 PERCENT SLOPES
- GdC - GLADSTONE GRAVELLY LOAM, 8 TO 15 PERCENT SLOPES
- GdD - GLADSTONE-PARKER GRAVELLY LOAMS, 15 TO 25 PERCENT SLOPES
- Hs - HATBORO SILT LOAM
- PdE - PARKER GRAVELLY LOAM, 25 TO 35 PERCENT SLOPES
- PdF - PARKER GRAVELLY LOAM, 35 TO 60 PERCENT SLOPES
- W - WATER

NOTES:

- PER SECTION 402.B.18.C OF THE STORMWATER MANAGEMENT ORDINANCE - A BLANKET EASEMENT SHALL BE PROVIDED FOR UPPER UWCHLAN TOWNSHIP ACCESS TO THE STORMWATER MANAGEMENT FACILITIES, SHOULD MAINTENANCE BE REQUIRED.
- PER SECTION 152-702.B.4 OF THE STORMWATER MANAGEMENT ORDINANCE - THE LANDOWNER ACKNOWLEDGES THAT, PER THE PROVISIONS OF THE MUNICIPALITY'S STORMWATER MANAGEMENT ORDINANCE, IT IS UNLAWFUL TO MODIFY, REMOVE, FILL, LANDSCAPE, ALTER OR IMPAIR THE EFFECTIVENESS OF, OR PLACE ANY STRUCTURE, OTHER VEGETATION, YARD WASTE, BRUSH CUTTINGS, OR OTHER WASTE OR DEBRIS INTO ANY PERMANENT STORMWATER MANAGEMENT BMP OR CONVEYANCE DESCRIBED IN THIS O&M PLAN OR TO ALLOW THE BMP OR CONVEYANCE TO EXIST IN A CONDITION WHICH DOES NOT CONFORM TO THE O&M PLAN, WITHOUT WRITTEN APPROVAL FROM THE MUNICIPALITY.
- PER SECTION 152-702.C OF THE STORMWATER MANAGEMENT ORDINANCE - NO BMP OR MAN-MADE CONVEYANCE MAY BE USED BY THE OWNER OR OTHERS FOR ANY PURPOSE OTHER THAN ITS INTENDED STORMWATER CONTROL FUNCTION.
- PER SECTION 152-703.C OF THE STORMWATER MANAGEMENT ORDINANCE - AFTER APPROVAL OF THE FINAL AS-BUILT PLANS PER THE REQUIREMENTS OF ARTICLE V, THE APPLICANT SHALL REVIEW AND, IF NECESSARY AND IF REQUIRED BY THE MUNICIPALITY, REVISE AND RE-RECORD THE O&M PLAN AND O&M AGREEMENT TO REFLECT THE FINAL AS-BUILT CONDITIONS OF EACH BMP AND CONVEYANCE IF DIFFERENT FROM THE INFORMATION INCLUDED IN THE ORIGINAL RECORDED DOCUMENTS.
- PER SECTION 152-705.B OF THE STORMWATER MANAGEMENT ORDINANCE - THE PERSON RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF A BMP OR CONVEYANCE SHALL MAKE RECORDS OF THE INSTALLATION AND OF ALL MAINTENANCE AND REPAIRS, AND SHALL RETAIN THE RECORDS FOR AT LEAST 10 YEARS. THESE RECORDS SHALL BE SUBMITTED TO THE MUNICIPALITY, IF REQUESTED.
- PER SECTION 152-705.C OF THE STORMWATER MANAGEMENT ORDINANCE - UPON FINAL INSPECTION, THE MUNICIPALITY SHALL INFORM THE PERSON RESPONSIBLE FOR THE OPERATION AND MAINTENANCE WHETHER THE SUBMISSION OF PERIODIC (ANNUAL OR OTHER FREQUENCY) INSPECTION AND MAINTENANCE REPORTS WILL BE REQUIRED.
- PER SECTION 152-705.D OF THE STORMWATER MANAGEMENT ORDINANCE - THE OWNER OF EACH BMP AND CONVEYANCE SHALL KEEP ON FILE WITH THE MUNICIPALITY THE NAME, ADDRESS AND TELEPHONE NUMBER OF THE PERSON RESPONSIBLE FOR MAINTENANCE ACTIVITIES AND IMPLEMENTATION OF THE O&M PLAN. IN THE EVENT OF A CHANGE, NEW INFORMATION SHALL BE SUBMITTED BY THE BMP OR CONVEYANCE OWNER TO THE MUNICIPALITY WITHIN 30 DAYS OF THE CHANGE.
- PER SECTION 152-804A NO PERSON SHALL MODIFY, REMOVE, FILL, LANDSCAPE, ALTER OR IMPAIR THE EFFECTIVENESS OF ANY STORMWATER BMPs, CONVEYANCES, FACILITIES, AREAS, OR STRUCTURES UNLESS THE ACTIVITY IS PART OF AN APPROVED MAINTENANCE PROGRAM, WITHOUT THE WRITTEN APPROVAL OF THE MUNICIPALITY.
- PER SECTION 152-804B NO PERSON SHALL PLACE ANY STRUCTURE, FILL, LANDSCAPING, ADDITIONAL VEGETATION, YARD WASTE, BRUSH CUTTINGS, OR OTHER WASTE OR DEBRIS INTO A BMP OR CONVEYANCE, OR WITHIN A STORMWATER EASEMENT, THAT WOULD LIMIT OR ALTER THE FUNCTIONING OF THE STORMWATER BMP OR CONVEYANCE, WITHOUT THE WRITTEN APPROVAL OF THE MUNICIPALITY.
- REFER TO THE POST CONSTRUCTION STORMWATER MANAGEMENT REPORT DATED OCTOBER 2022 FOR SUPPORTING INFORMATION.
- RAIN GARDEN HAS BEEN DESIGNED TO INCLUDE FUTURE IMPERVIOUS AREA FOR TRAIL EXTENSION FROM PROPOSED TERMINUS AT PARKING LOT TO DORLAN MILL ROAD.

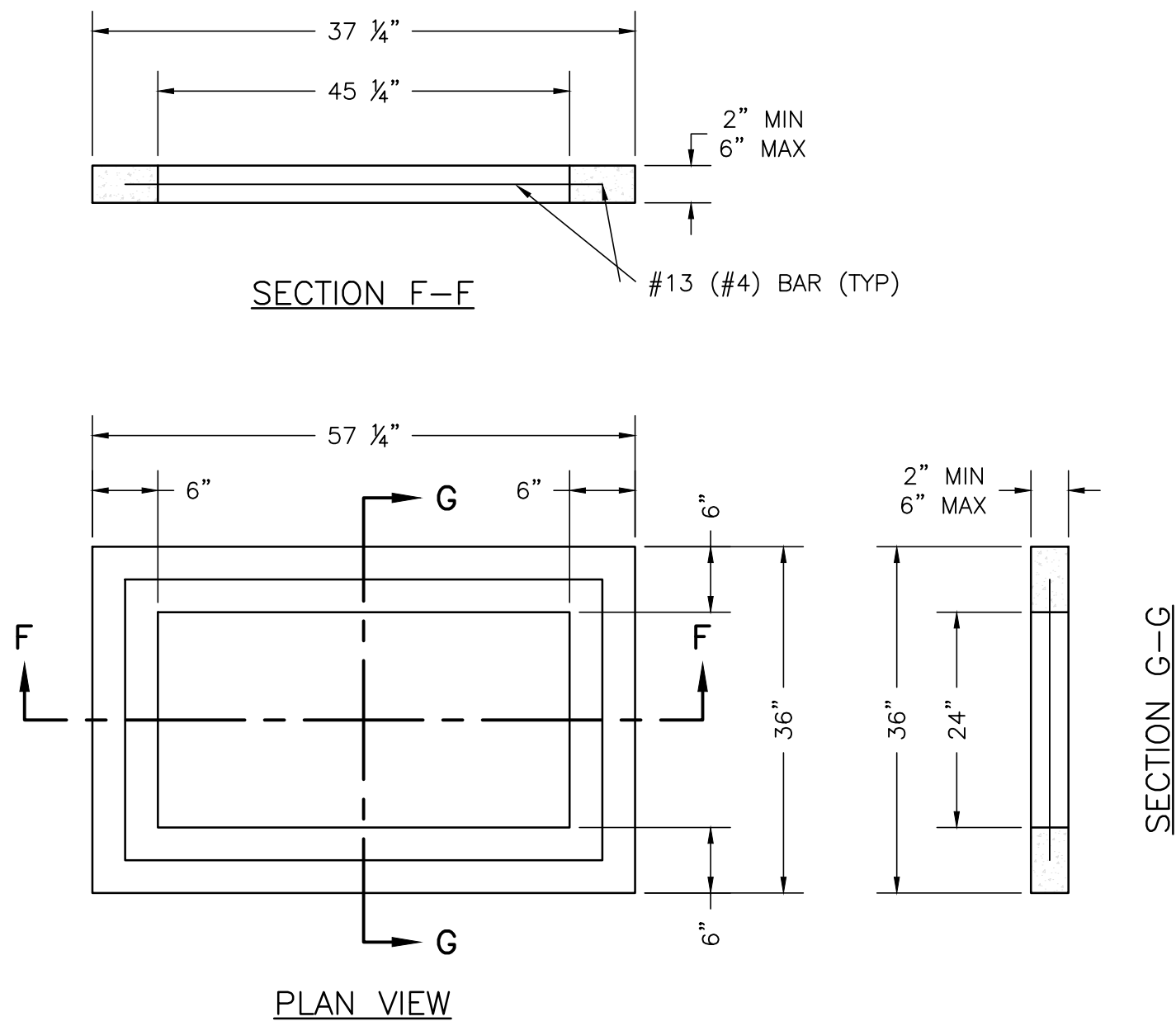


				SEAL	SEAL	MANAGER NEF	<div>BURSICH Sharing your Vision</div> <div>Corporate Headquarters 2129 East High Street Pottstown, PA 19454 610-323-4040</div> <div>Southampton Office 706 Lakeside Drive Southampton, PA 18966</div> <div>www.bursich.com</div>		CLIENT CHESTER COUNTY, DEPARTMENT OF FACILITIES 313 W. MARKET STREET SUITE 5402 P.O. BOX 2748 WEST CHESTER, PA 19380	SUBJECT STORMWATER MANAGEMENT SITE PLAN AND OPERATION & MAINTENANCE PLAN RECORD PLAN 6 OF 8 STRUBLE TRAIL EXTENSION II UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA	JOB NO. 137340.01A SHEET NO. 13 OF 18 DWG. NO. PC237340-1A
						DESIGN KK					
						DRAFT AJK					
						FILE CHE-22					
						NOTES					
1. REVISIONS PER OWNER AND TOWNSHIP CONSULTANTS REVIEWS				12/21/22	AJK	DATE MAY 1, 2019	CHKD. BY	SCALE 1"=30'			
NO.	REVISION	DATE	BY	APP.							

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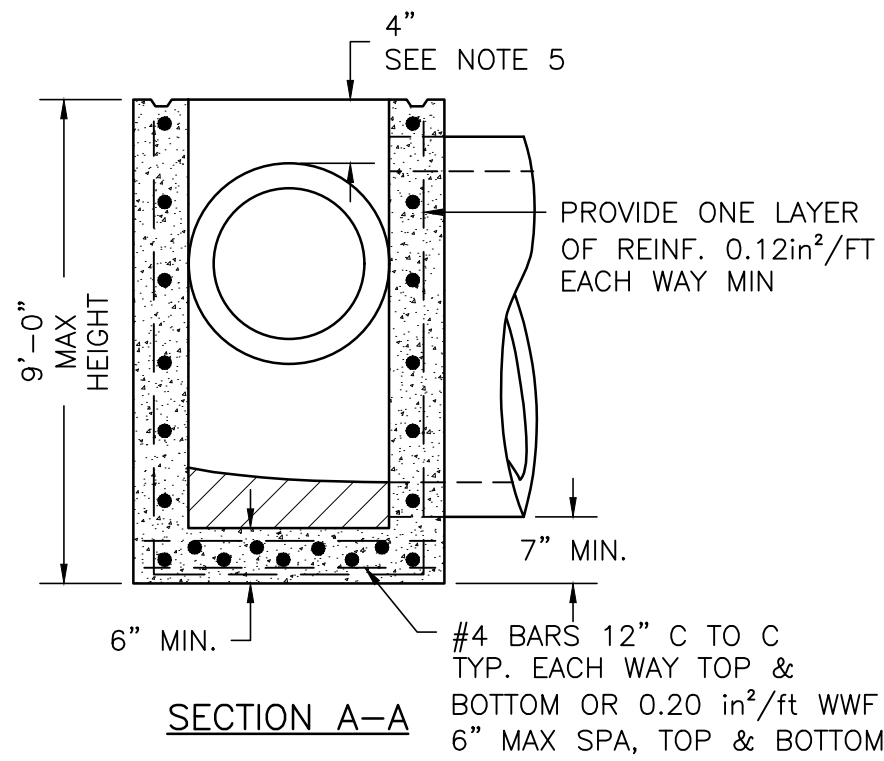
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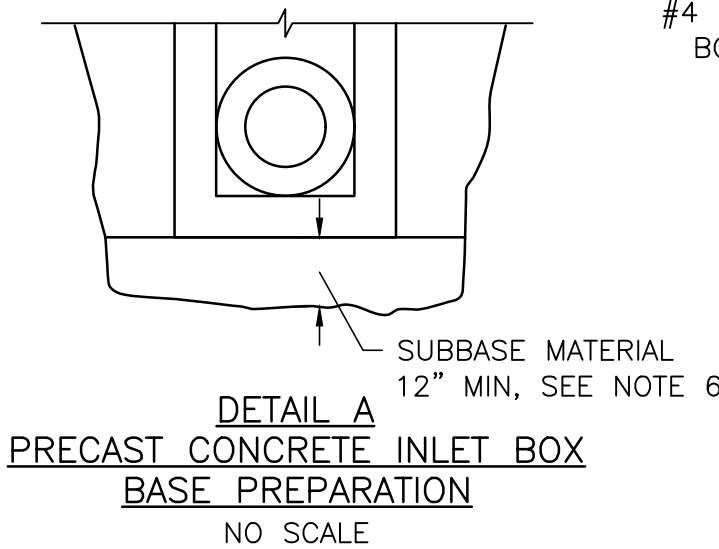


DETAIL FOR GENERAL REFERENCE ONLY, ACTUAL STRUCTURE TO BE IN COMPLIANCE WITH PENNDOT PUB 72, RC-45M, LATEST EDITION

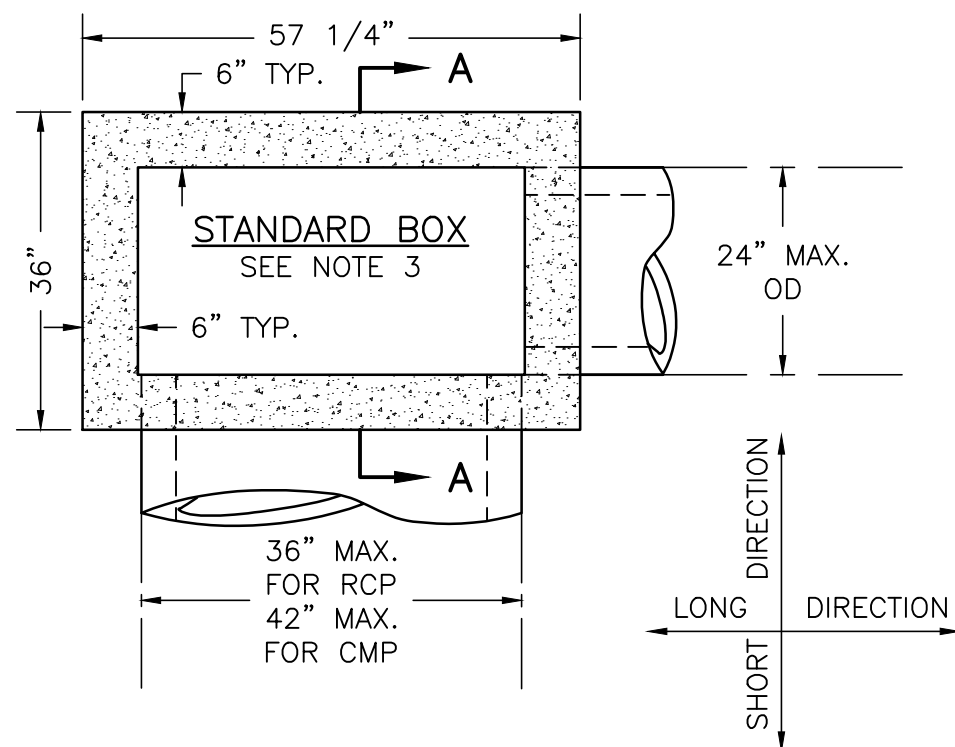
**PRECAST CONCRETE
GRADE ADJUSTMENT RINGS**
NO SCALE



- NOTES:
1. CONSTRUCT INLET BOXES IN ACCORDANCE WITH THE REQUIREMENTS OF PUBLICATION 406, SECTION 714 AND PUBLICATION 72 (RC-45M).
 2. PROVIDE STANDARD INLET BOXES AND COVER ADJUSTMENT SLABS WITH A 24" x 45 1/4" OPENING TO ACCOMMODATE STANDARD TOP COMPONENTS

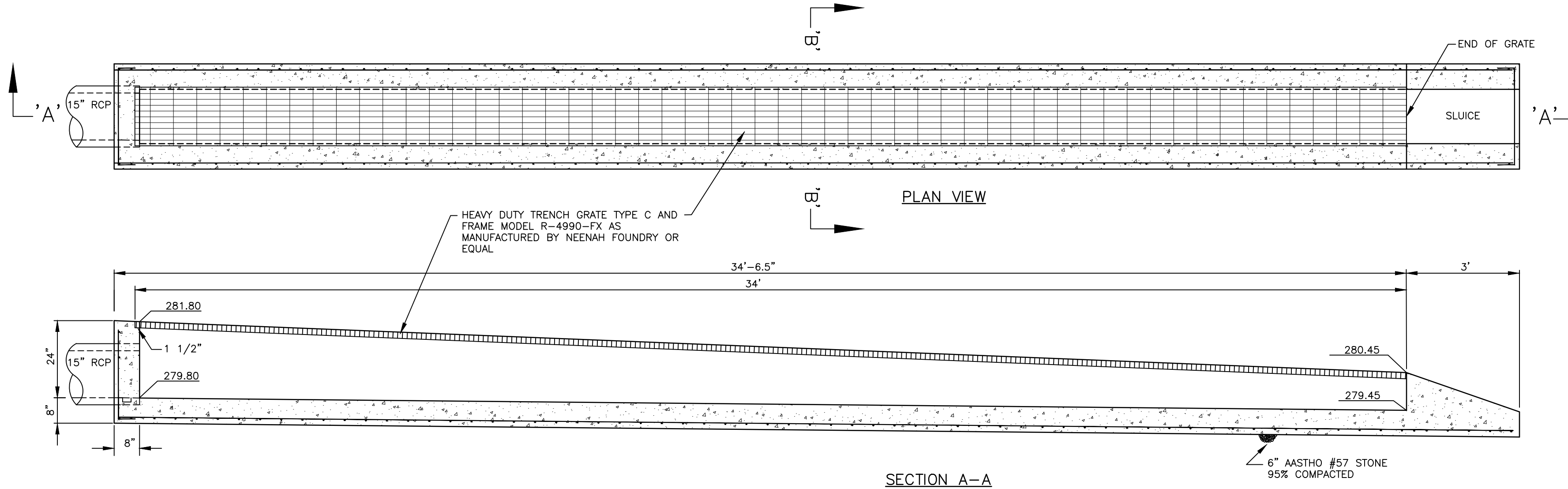


**DETAIL A
PRECAST CONCRETE INLET BOX
BASE PREPARATION**
NO SCALE

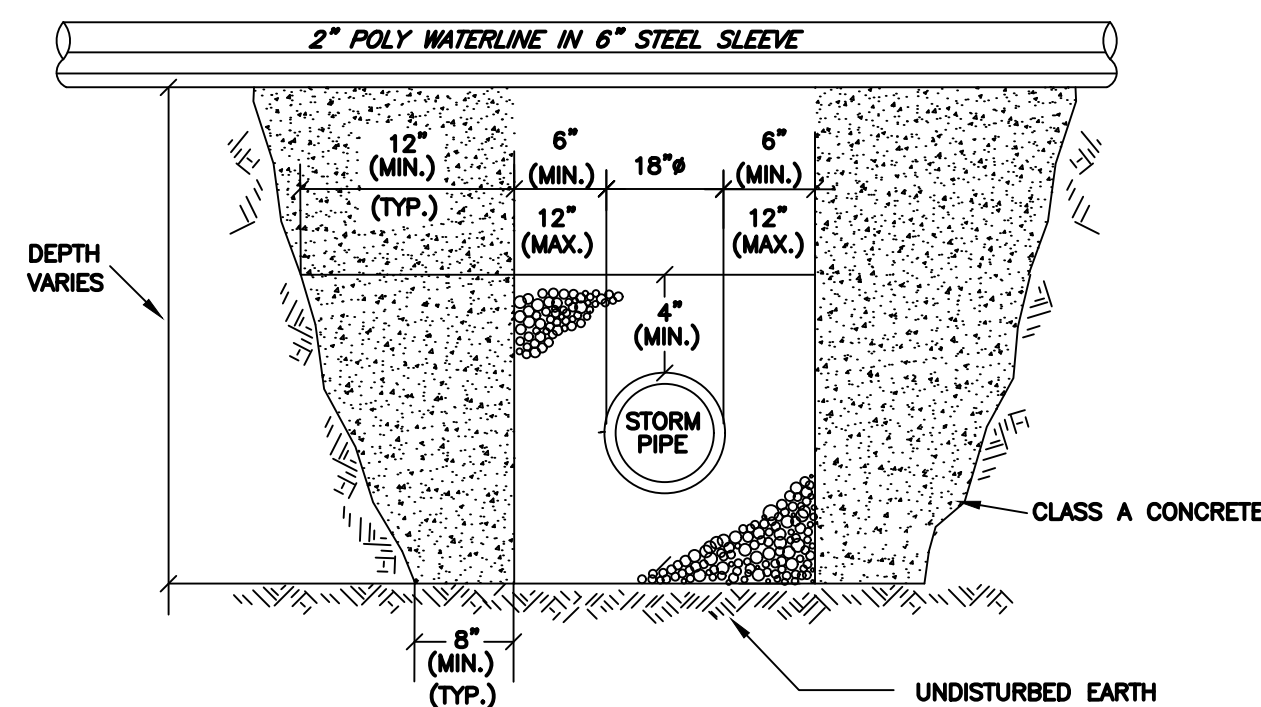
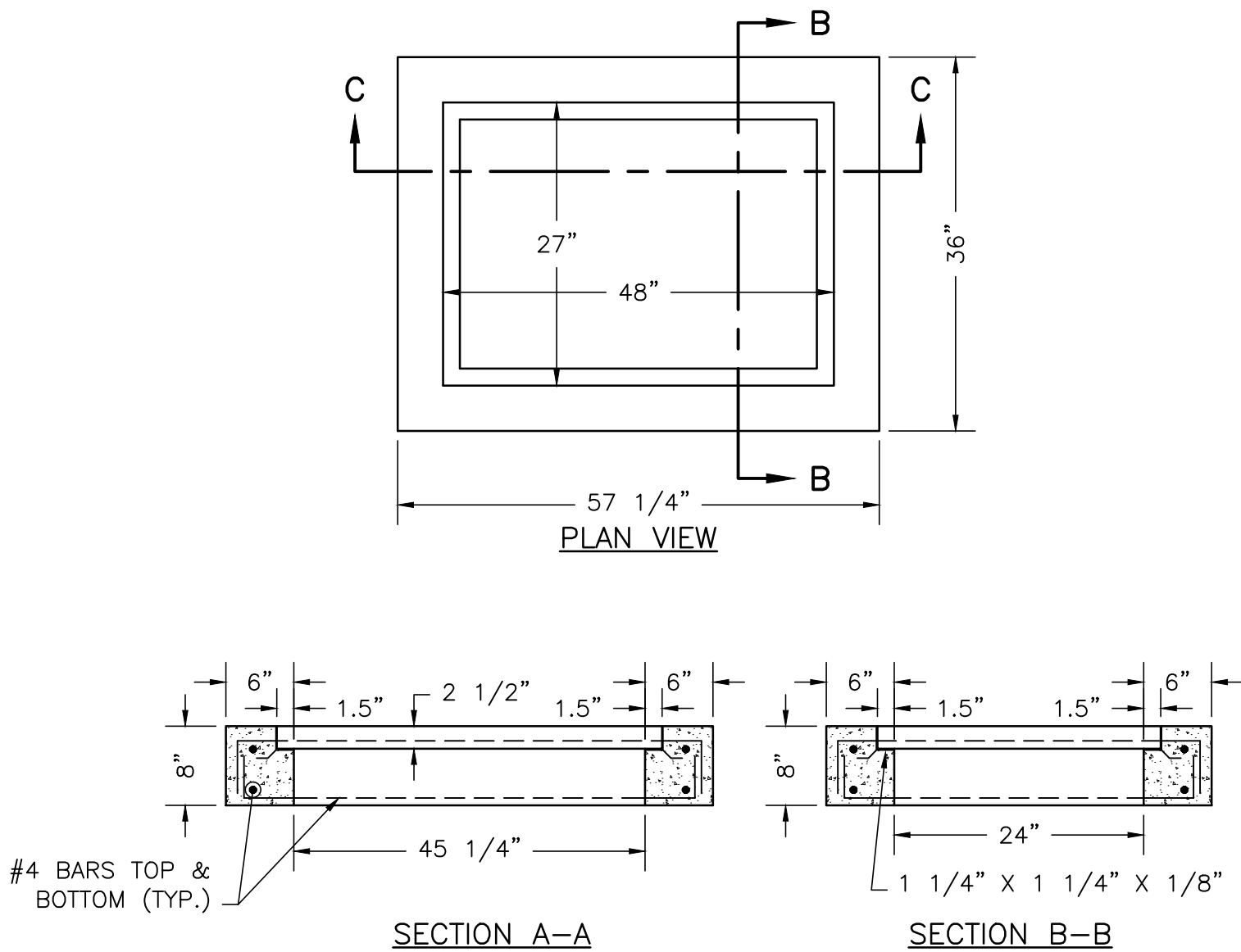


DETAIL FOR GENERAL REFERENCE ONLY, ACTUAL STRUCTURE TO BE IN COMPLIANCE WITH PENNDOT PUB 72, RC-45M, LATEST EDITION

STANDARD PRECAST INLET BOX
NO SCALE

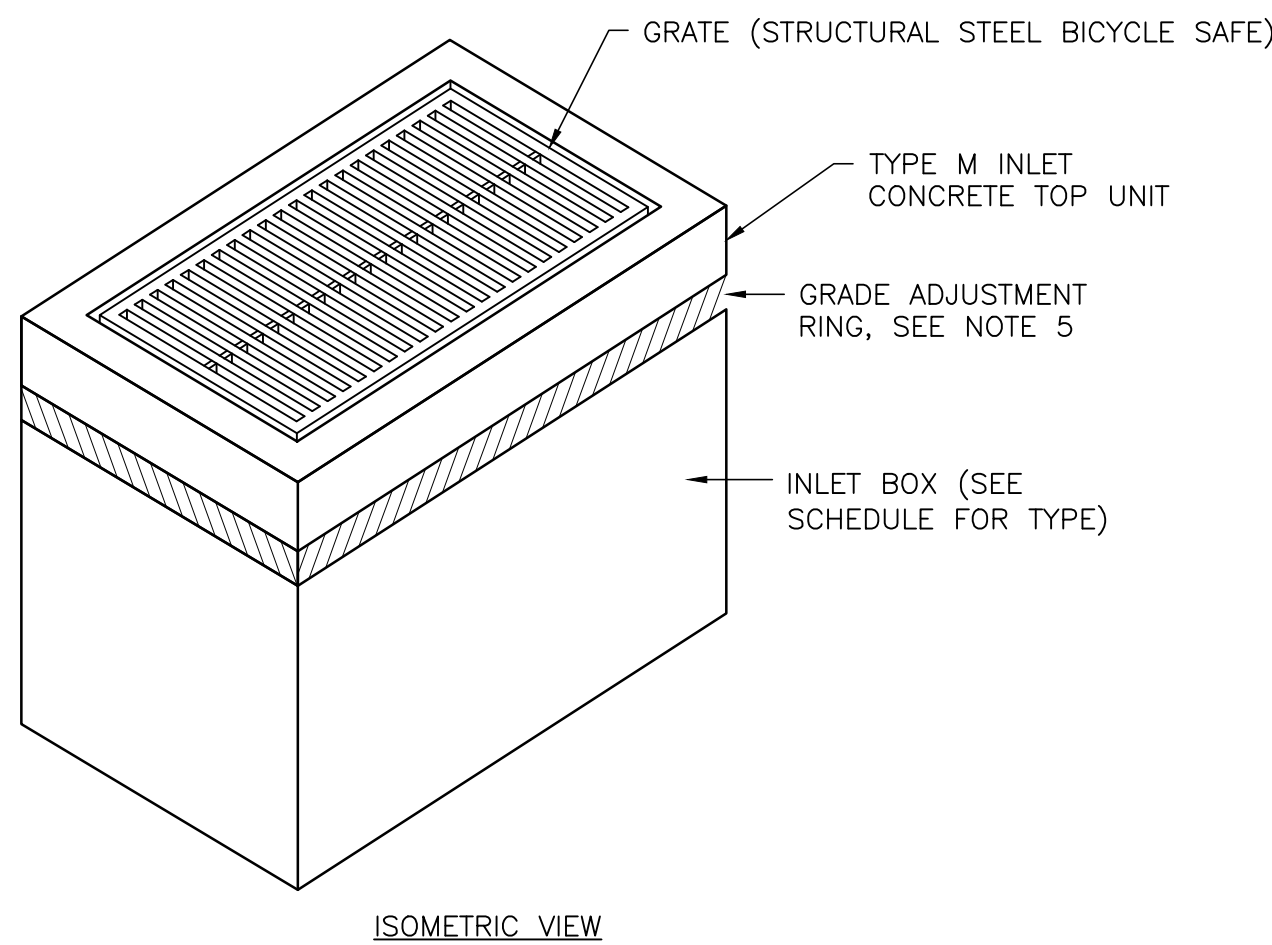


TRENCH GRATE AT DRIVEWAY



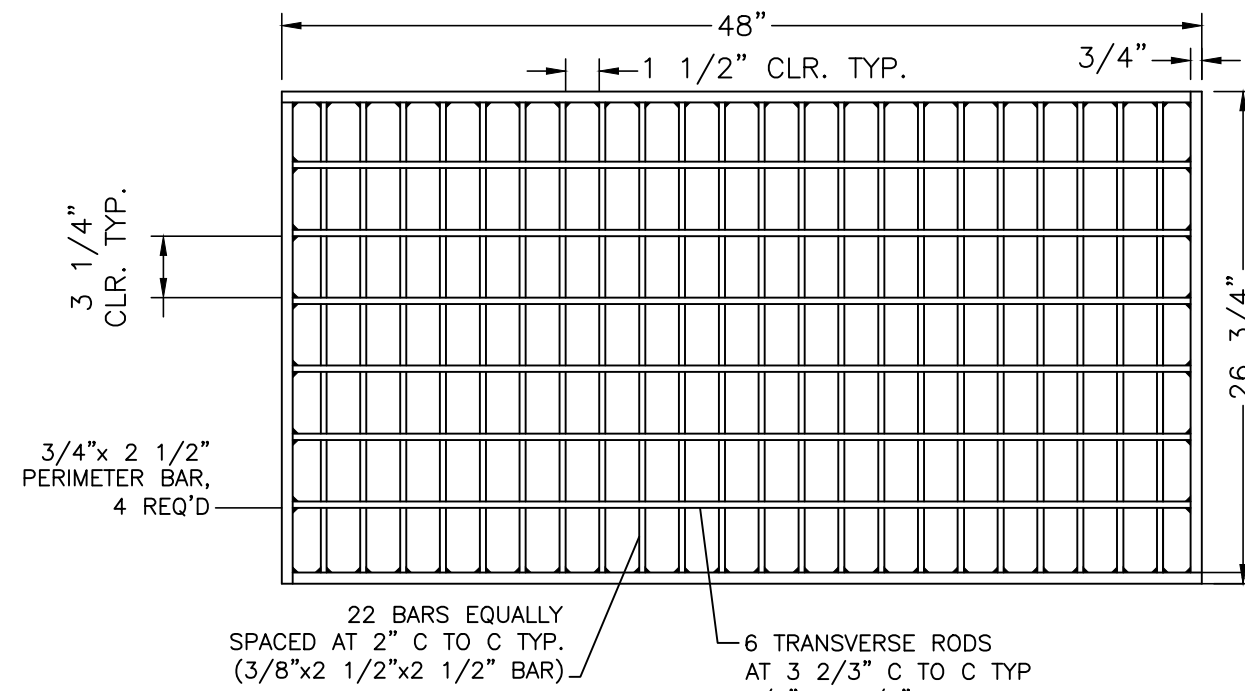
- NOTES:
1. PIER TO BE 5 FT. LONG CENTERED ON HIGHER UTILITY.
 2. USE 4000 PSI CONCRETE.
 3. FORM PIERS AGAINST SOLID TRENCH WALLS.
 4. MAINTAIN SLOPE OF EACH UTILITY AT CROSSING

STORM SEWER/WATER LINE CROSSING
NO SCALE



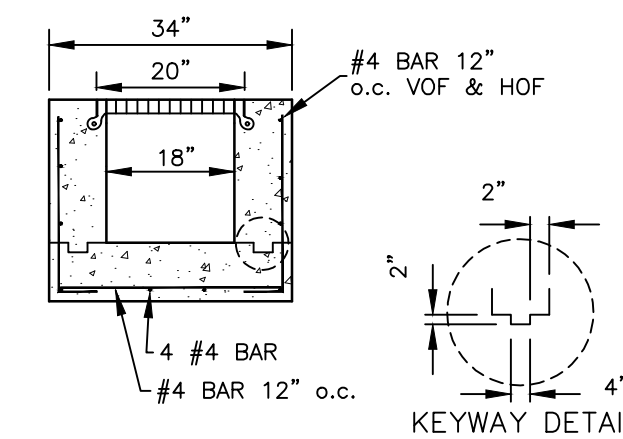
DETAIL FOR GENERAL REFERENCE ONLY, ACTUAL STRUCTURE TO BE IN COMPLIANCE WITH PENNDOT PUB 72, RC-45M, LATEST EDITION

PENNDOT TYPE M INLET TOP DETAIL
NO SCALE

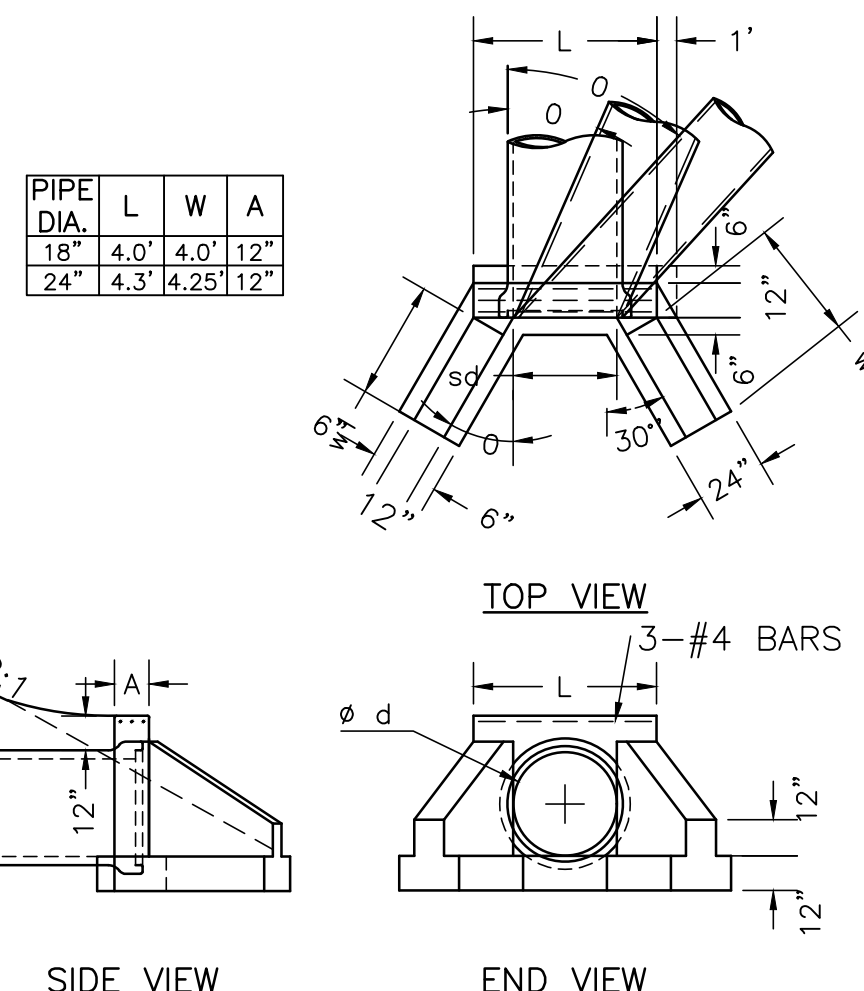


**STRUCTURAL STEEL GRATE
BICYCLE SAFE**
NO SCALE

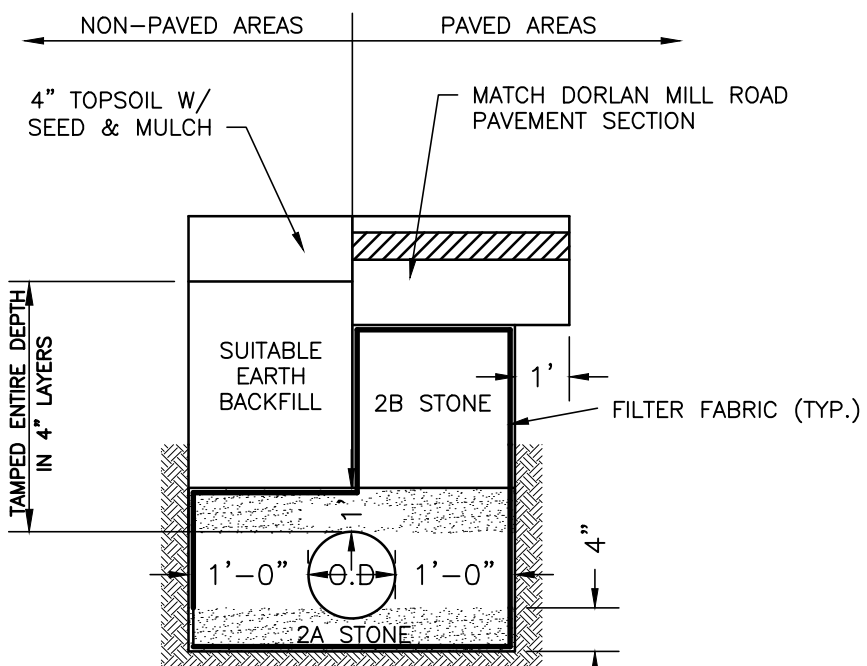
- NOTES:
1. CONCRETE TO BE PENNDOT CLASS A CONCRETE (3000 PSI @ 28 DAYS).
 2. PLACEMENT OF CONCRETE TO BE IN ACCORDANCE WITH PENNDOT PUBLICATION 408 SPECIFICATIONS.
 3. REINFORCEMENT TO BE DEFORMED BARS GRADE 60 CONFORMING TO AASTHO SPECIFICATIONS M 31M (ASTM A 615M)
 4. TRENCH GRATE TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.



SECTION B-B



TYPE D-W ENDWALL
NO SCALE



**DRAINAGE PIPE TRENCH
RESTORATION DETAIL**
NO SCALE

NO.	REVISION	DATE	BY	APP.
1.	REVISIONS PER OWNER AND TOWNSHIP CONSULTANTS REVIEWS	12/21/22	AJK	

SEAL	
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SEAL	
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MANAGER	NEF
DESIGN	KK
DRAFT	AJK
FILE	CHE-22
NOTES	SCALE

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610-323-4040

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Southampton, PA 18966

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CLIENT	CHESTER COUNTY, DEPARTMENT OF FACILITIES
	313 W. MARKET STREET SUITE 5402 P.O. BOX 2748 WEST CHESTER, PA 19380

SUBJECT	STORMWATER MANAGEMENT DETAILS AND OPERATION & MAINTENANCE PLAN RECORD PLAN 7 OF 8
JOB NO.	137340.01A
SHEET NO.	14 OF 18
DWG. NO.	CD137340-1A
UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA	

CONSTRUCTION SEQUENCE

3. PIPE SHALL BE CONTINUOUSLY PERFORATED, SMOOTH INTERIOR, WITH A MINIMUM INSIDE DIAMETER OF 6 INCHES. HIGH-DENSITY POLYETHYLENE (HDPE) PIPE SHALL MEET AASHTO M252, TYPE S OR AASHTO M294, TYPE S.

MAINTENANCE & PROTECTION OF THE STORMWATER BMP'S LISTED BELOW SHALL BE THE RESPONSIBILITY OF THE COUNTY OF CHESTER. THE TOWNSHIP SHALL HAVE THE RIGHT TO ACCESS AND INSPECT THE STORMWATER BMP'S AND TO REQUIRE THE ASSOCIATION TO PERFORM MAINTENANCE WHICH WILL ENSURE THE PROPER FUNCTIONING OF THE STORM DRAINAGE AND STORMWATER MANAGEMENT FACILITIES. SHOULD THE COUNTY OF CHESTER FAIL TO FIX A PROBLEM OR MAINTAIN A FACILITY FOR WHICH THEY ARE RESPONSIBLE, THE TOWNSHIP SHALL FIX OR CONTRACT AT THE EXPENSE OF THE COUNTY OF CHESTER.

INSPECT ALL SEEDED AREAS TO ENSURE THE AREA IS COVERED BY AT LEAST 70 PERCENT COVER PER SQUARE FOOT. IF THE AREA IS DOES NOT MEET 70 PERCENT COVERAGE, THE CHOICE OF PLANT MATERIAL AND QUANTITIES OF LIME AND FERTILIZER SHOULD BE REEVALUATED. THE RESULTS OF SOILS TEST SHOULD BE REVIEWED PRIOR TO ANY APPLICATION OF LIME OR FERTILIZERS. IF THE SEASON PREVENTS RESEEDING, MULCH OR EROSION NETTING IS AN EFFECTIVE TEMPORARY COVER. ALL THE GRASS AREAS SHOULD BE INSPECTED YEARLY.

INSPECT ALL INLETS AND REMOVE ALL TRASH AND DEBRIS FROM THE GRATE AND THE INLETS. THE INLETS SHOULD BE CLEANED ONCE A YEAR AND THE GRATES AS NEEDED.

GENERAL OBJECTIVES MAINTENANCE ARE TO PREVENT CLOGGING OF THE OUTLETS, AND PREVENT THE GROWTH OF WEEDS AND NOXIOUS PLANTS. THE FACILITY SHALL BE INSPECTED WEEKLY FOR WEEDS AND NOXIOUS PLANTS. MAINTENANCE SHALL BE SCHEDULED TO PREVENT CLOGGING OF THE OUTLETS. INSPECTIONS SHALL OCCUR AT LEAST ANNUALLY TO ENSURE THAT THE FACILITY IS OPERATING AS DESIGNED AND TO SCHEDULE MAINTENANCE THAT THE FACILITY MAY REQUIRE, IF POSSIBLE, INSPECTIONS SHALL BE MADE DURING WET WEATHER TO ENSURE THAT THE FACILITY IS OPERATING AS DESIGNED. RETENTION OF SOLIDS IN ADDITION TO THE SCHEDULED INSPECTIONS, DEFICIENCIES SHOULD BE NOTED DURING ANY VISIT BY MAINTENANCE PERSONNEL. AN IMPORTANT PURPOSE OF INSPECTIONS IS TO ASCERTAIN THE OPERATIONAL CONDITION AND SAFETY OF THE FACILITY. THE MAINTENANCE PERSONNEL SHALL CHECK FOR CLOGGING, BASKET GRATE CLOGGING, SEEPAGE, BED CLOGGING, AND OTHER SAFETY-RELATED ASPECTS.

- CATCH BASINS AND INLETS (UP GRADIENT OF INFILTRATION BASIN) SHOULD BE INSPECTED AND CLEANED AT LEAST TWO TIMES PER YEAR AND AFTER RUNOFF EVENTS.
- VULNERABLE AREAS SHOULD BE MONITORED FOR ANY OVERHEAD DRAINAGE OR STONE TRENCH, AND CARE SHOULD BE TAKEN TO AVOID EXCESSIVE COMPACTION BY MOWERS.
- INSPECT THE TRENCH AFTER RUNOFF EVENTS AND MAKE SURE THAT RUNOFF DRAINS DOWN WITHIN 72 HOURS.
- MONITOR ACCUMULATION OF SEDIMENT, DAMAGE TO OUTLET STRUCTURES, EROSION CONTROL MEASURES, SIGNS OF WATER CONTAMINATION/SPILLS, AND SLOPE STABILITY IN THE BERMS.
- REMOVE ACCUMULATED SEDIMENT FROM TRENCH AS REQUIRED. RESTORE ORIGINAL CROSS SECTION. PROPERLY DISPOSE OF SEDIMENT.

AREAS TO REMAIN IN THEIR NATURAL STATE SHALL NOT BE DISTURBED

PENNSYLVANIA'S WINTER TEMPERATURES GO BELOW FREEZING ABOUT FOUR MONTHS OUT OF EVERY YEAR, AND SURFACE FILTRATION MAY NOT TAKE PLACE AS WELL IN THE WINTER. PEAT AND COMPOST MAY HOLD WATER, FREEZE, AND BECOME IMPERVIOUS ON THE SURFACE. DESIGN OPTIONS THAT ALLOW DIRECTLY FOR SUBSURFACE DISCHARGE INTO THE FILTER MEDIA DURING COLD WEATHER MAY OVERCOME THIS CONDITION.

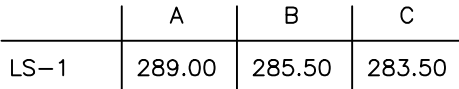


1. CATCH BASINS AND INLETS SHOULD BE INSPECTED AND CLEANED AT LEAST 2 TIMES PER YEAR.
2. THE RIVER ROCK SURFACE OF THE STONE TRENCH SHOULD BE MAINTAINED IN GOOD CONDITION, AND ANY BARE SPOTS RESTONED AS SOON AS POSSIBLE.
3. VEHICLES SHOULD NOT BE PARKED OR DRIVEN ON STONE TRENCH, AND CARE SHOULD BE TAKEN TO AVOID EXCESSIVE COMPACTION BY MOWERS.

1. STONE FOR TRENCHES SHALL BE 2-INCH TO 1-INCH UNIFORMLY GRADED COARSE AGGREGATE, WITH A WASH LOSS OF NO MORE THAN 0.5%, AASHTO SIZE NUMBER 3 PER AASHTO SPECIFICATIONS, PART 1, 19TH ED., 1998, OR LATER AND SHALL HAVE VOIDS 40% AS MEASURED BY ASTM-C29.

2. NON-WOVEN GEOTEXTILE SHALL CONSIST OF NEEDLED NONWOVEN POLYPROPYLENE FIBERS AND MEET THE FOLLOWING PROPERTIES:
- a. GRAB TENSILE STRENGTH (ASTM-D4632)
 - b. MULLEN BURST STRENGTH (ASTM-D3786)
 - c. FLOW RATE (ASTM-D4491)
 - d. UV RESISTANCE AFTER 500 HRS (ASTM-D4355) 70%
 - e. HEAT-SET OR HEAT-CALENDARED FABRICS ARE NOT PERMITTED

ACCEPTABLE TYPES INCLUDE MIRAFI 140N, AMOCO 4547, AND GEOTEX 451

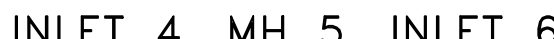


NOTE:

THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS / SUBMITTALS OF ALL MATERIALS TO BE USED ON THE PROJECT.

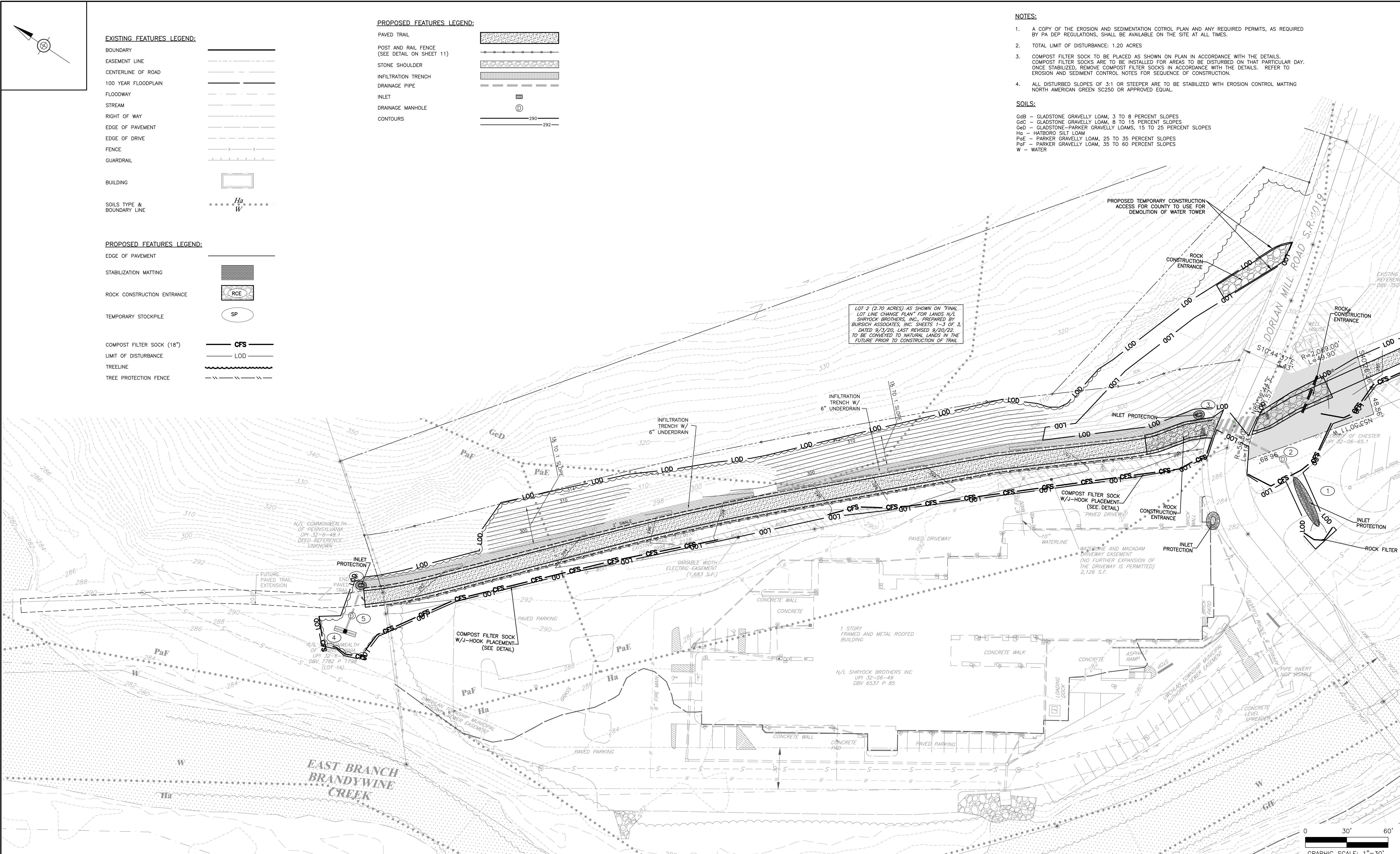


PROFILE SCALE:
HORIZ: 1"=40'
VERT: 1"=4'



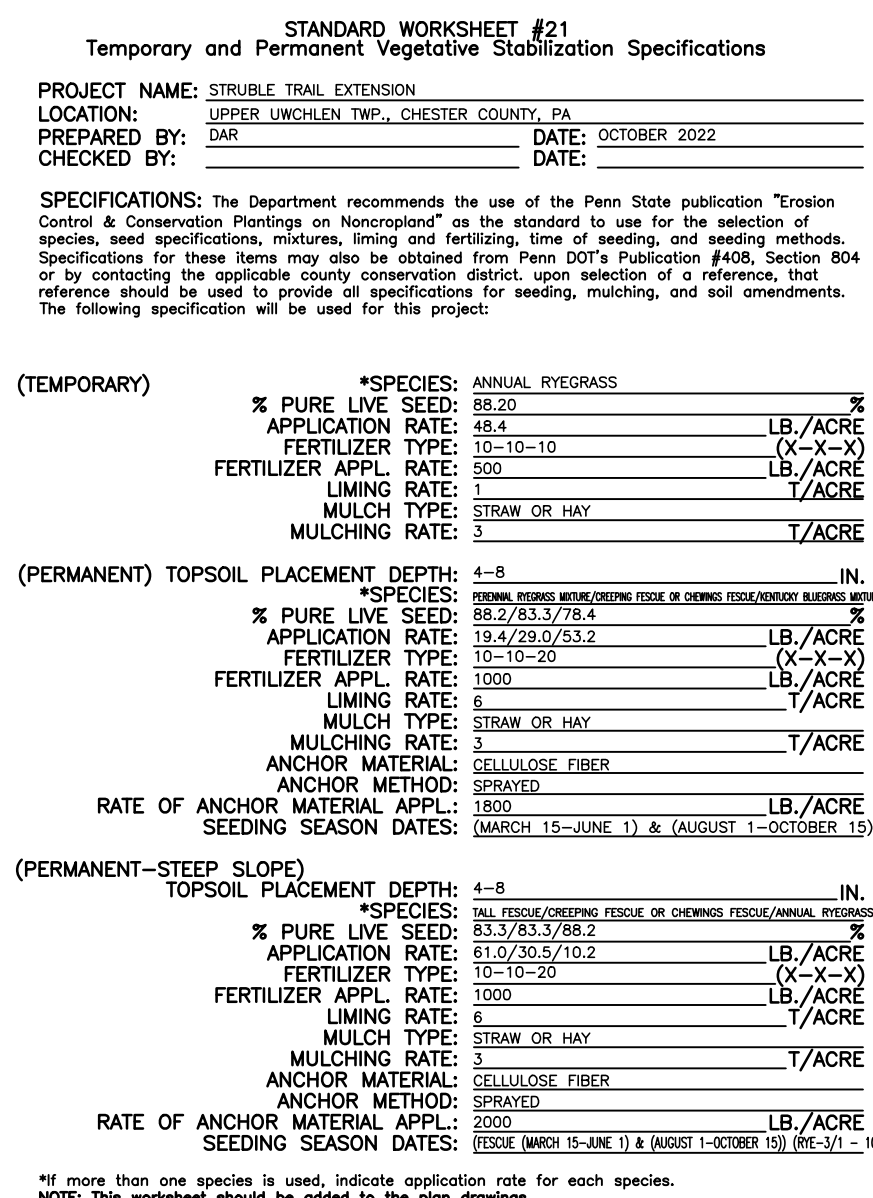
PROFILE SCALE
HORIZ: 1"=40'
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					DESIGN KK		CHKD. BY		
					DRAFT AJK		CHKD. BY		
					FILE CHE-22		DATE MAY 1, 2019		
					NOTES		SCALE 1"=30'		
1. REVISIONS PER OWNER AND TOWNSHIP CONSULTANTS REVIEWS	12/21/22	AJK							
NO.	REVISION	DATE	BY	APP.					



AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES (6 TO 12 INCHES FOR DISTURBED SOILS) PRIOR TO DEPOSIT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM OF 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING.

THE EARTH DISTURBANCE OPERATOR SHALL ESTABLISH AN OPERATOR MANUAL THAT STABILIZE ANY AREAS DISTURBED BY THE ACTIVITIES. DURING NON-GENERATING PERIODS, MULCH SHALL BE APPLIED AT THE SPECIFIED RATES. DISTURBED AREAS WHICH ARE NOT TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES (6 TO 12 INCHES FOR DISTURBED SOILS) PRIOR TO VEGETATIVE STABILIZATION SPECIFICATIONS. DISTURBED AREAS WHICH ARE AT FINISHED GRADE OR WHICH WILL NOT BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES (6 TO 12 INCHES FOR DISTURBED SOILS) PRIOR TO VEGETATIVE STABILIZATION SPECIFICATIONS.

LESS THAN 24 HOURS OR TEMPORARY CESSATION OF THE EARTH DISTURBANCE ACTIVITY THAT WILL EXCEED 4 DAYS, OR ANY STAGE THEREOF, THE PROJECT SITE SHALL BE IMMEDIATELY STABILIZED WITH THE APPROPRIATE TOPSOIL OR PERMANENT VEGETATION.

SOIL TESTING SHOULD BE COMPLETED PRIOR TO SEEDING AND MULCHING TO DETERMINE THE PROPER SOIL AMENDMENTS AND TO PROVIDE FOR THE PROPER SEEDING RATE. SOIL TESTING SHALL BE COMPLETED PRIOR TO SEEDING AND MULCHING AND ACCORD AT THE PROJECT SITE BY THE SELECTED SEEDING REFERENCE AREA.

SEEDING SHALL BE COMPLETED PRIOR TO THE APPLICATION OF MULCH. MULCH APPLICATION TO PREVENT BEING WINDBLOWN TRACTOR DRAW IMPLEMENT MAY BE USED TO "CRIMP" THE STRAW OR HAY INTO THE SOIL ABOUT 3 INCHES. THIS METHOD WILL PROVIDE A PROTECTIVE COVER FOR THE SEEDS AND MULCH.

PAVED TRAIL

POST AND RAIL FENCE
(SEE DETAIL ON SHEET 11)

STONE SHOULDER

INFILTRATION TRENCH

DRAINAGE PIPE

INLET

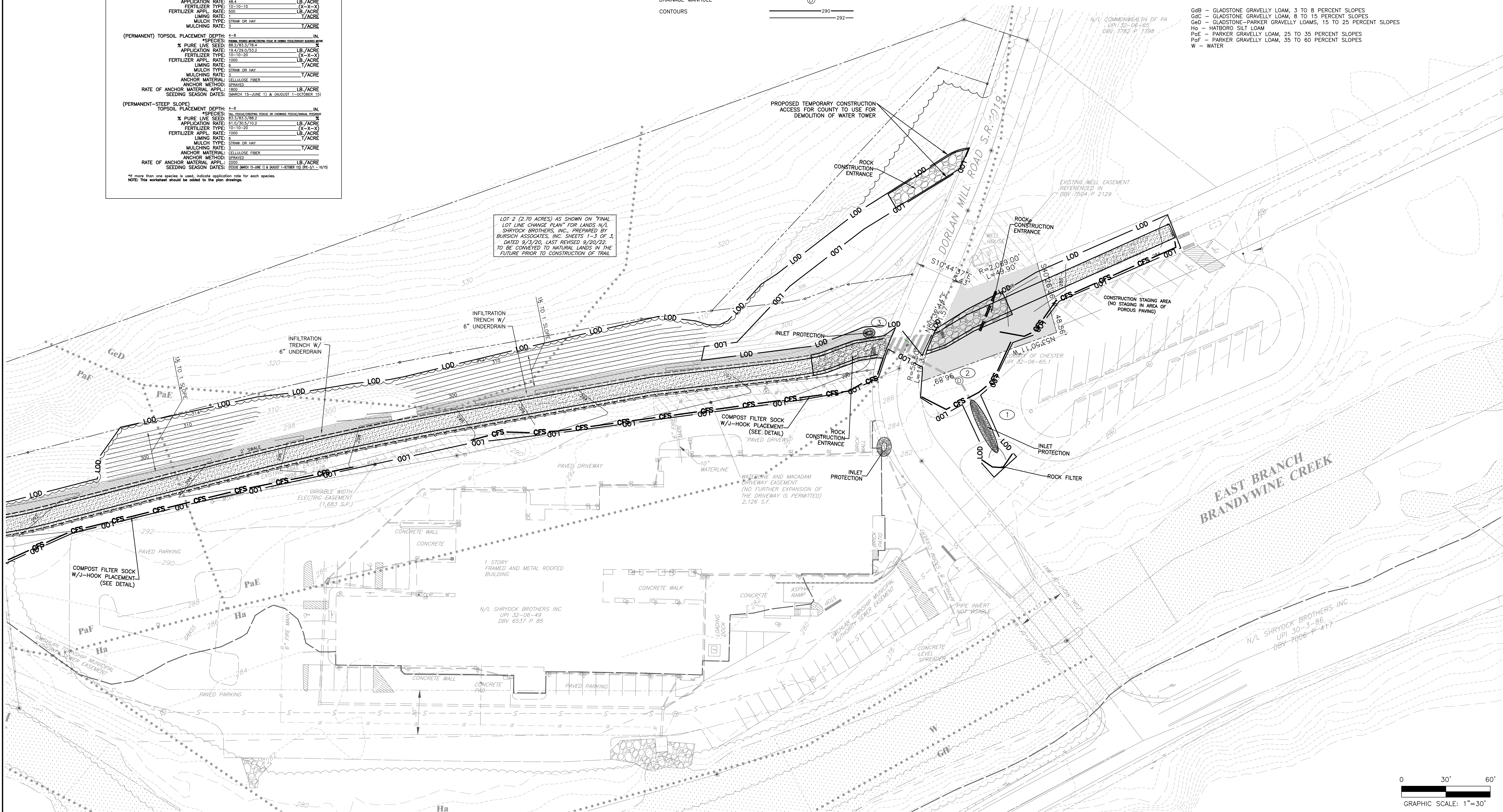
DRAINAGE MANHOLE

CONTOURS


290'

1. A COPY OF THE EROSION AND SEDIMENTATION CONTROL PLAN AND ANY REQUIRED PERMITS, AS REQUIRED BY PA DEP REGULATIONS, SHALL BE AVAILABLE ON THE SITE AT ALL TIMES.
2. TOTAL LIMIT OF DISTURBANCE: 1.20 ACRES
3. COMPOST FILTER SOCK TO BE PLACED AS SHOWN ON PLAN IN ACCORDANCE WITH THE DETAILS. COMPOST FILTER SOCKS ARE TO BE INSTALLED FOR AREAS TO BE DISTURBED ON THAT PARTICULAR DAY. ONCE STABILIZED, REMOVE COMPOST FILTER SOCKS IN ACCORDANCE WITH THE DETAILS. REFER TO EROSION AND SEDIMENTATION CONTROL SEQUENCE OF CONSTRUCTION.
4. ALL DISTURBED SLOPES OF 3:1 OR STEEPER ARE TO BE STABILIZED WITH EROSION CONTROL MATTING NORTH AMERICAN GEN SC250 OR APPROVED EQUAL.

GdB - GLADSTONE GRAVELLY LOAM, 3 TO 8 PERCENT SLOPES
GdC - GLADSTONE GRAVELLY LOAM, 8 TO 15 PERCENT SLOPES
GdE - GLADSTONE-PARKER GRAVELLY LOAMS, 15 TO 25 PERCENT SLOPES
Ha - HATBORO SILT LOAM
PaE - PARKER GRAVELLY LOAM, 25 TO 35 PERCENT SLOPES
PaF - PARKER GRAVELLY LOAM, 35 TO 60 PERCENT SLOPES
W - WATER



0 30' 60'



GRAPHIC SCALE: 1"=30'

[illegible]

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ALYSON M. ZARRO
alyson@rrhc.com
extension 202



January 5, 2023

Via hand delivery and email

Tony Scheivert, Township Manager
Upper Uwchlan Township
140 Pottstown Pike
Chester Springs, PA 19425
tscheivert@upperuwchlan-pa.gov

Re: 500 Pottstown Pike Petition for Zoning Ordinance Amendment

Dear Tony:

As you know, I represent Rockhill Real Estate Enterprises XVII LP (“Petitioner”), the equitable owner of 500 Pottstown Pike, more specifically identified as UPI No. 32-1-34.1C (the “Property”). The Property is presently split zoned LI District and C-3 District. Petitioner is proposing an amendment to the Upper Uwchlan Township Zoning Ordinance and Map, to rezone the portion of the Property zoned LI District to C-3 District (the “Petition”).

Enclosed for filing in connection with the Petition are the following materials:

- 1) Twelve (12) copies of a Petition to Amend the Upper Uwchlan Township Zoning Ordinance and Map, with proposed Amendment;
- 2) Twelve (12) copies of a Proposed Zoning Reclassification Exhibit prepared by T&M Associates dated December 23, 2022;
- 3) One (1) Chester County Act 247 County Referral Form; and
- 4) A check made payable to “Upper Uwchlan Township” in the amount of \$2,500 to establish an escrow account for Township Consultant review fees.

An electronic version of the above materials is included with the email of this submission.

We request that the materials be forwarded to the Township Planning Commission for formal review.

Tony Scheivert, Township Manager
Upper Uwchlan Township
January 5, 2023

Please feel free to contact me with any questions, or if you need additional information.

Very truly yours,

Alyson M. Zarro

ALYSON M. ZARRO

AMZ/rmf
Enclosures

cc: Gwen Jonik, Township Secretary (*via email w/enclosures*)
Kristin Camp, Esq., Township Solicitor (*via email w/enclosures*)
Robert DiStanislao (*via email w/enclosures*)
Michael G. Menkowitz, Esq. (*via email w/enclosures*)
Daniel Mattson, P.E. (*via email w/enclosures*)
Ryan Furlong, Esq. (*via email w/enclosures*)

BEFORE THE BOARD OF SUPERVISORS OF UPPER UWCHLAN TOWNSHIP,
CHESTER COUNTY, PENNSYLVANIA

IN RE: Rockhill Real Estate Enterprises XVII LP
Petition to Amend the Upper Uwchlan Township Zoning Ordinance and Map

**PETITION TO AMEND THE UPPER UWCHLAN TOWNSHIP
ZONING ORDINANCE AND MAP**

Rockhill Real Estate Enterprises XVII LP (“Petitioner”), by and through its counsel, Riley Riper Hollin & Colagreco, hereby petitions to amend the Upper Uwchlan Township Zoning Ordinance, as amended (“Zoning Ordinance”) and the Upper Uwchlan Township Zoning Map (“Zoning Map”) to rezone a portion of Chester County UPI No. 32-1-34.1C from LI Limited Industrial District to C-3 Highway Commercial District such that the entire property would be zoned C-3 Highway Commercial District, and in support thereof avers as follows:

1. Petitioner is the equitable owner of a property located at 500 Pottstown Pike, more specifically identified as Chester County UPI No. 32-1-34.1C (the “Property”).
2. The Property is currently split zoned. The eastern portion of the Property is zoned LI Limited Industrial District and western portion of the Property, including the frontage on Pottstown Pike, is zoned C-3 Highway Commercial District.
3. The Property is bounded to the north, south, and west by properties zoned C-3 Highway Commercial District and to the east are properties zoned LI Limited Industrial District.
4. Pursuant to §§ 200-133 and 200-134 of the Zoning Ordinance, “[t]he Board of Supervisors may from time to time amend, supplement, change, modify or repeal [the Zoning Ordinance] including the Zoning Map” in response to a petition by a landowner.

5. Petitioner, as the equitable owner of the Property, hereby files this Petition to amend the Zoning Ordinance and Zoning Map to rezone the eastern portion of the Property from LI Limited Industrial District to C-3 Highway Commercial District.


6. This requested amendment is necessary to resolve disparate processes applicable to the uses permitted on the Property, to provide for consistency of the uses permitted on entire the Property, and to ensure the health, safety, and welfare of the citizens of the Township.

7. A copy of Petitioner's proposed Ordinance is attached hereto as Exhibit "A".

WHEREFORE, Petitioner hereby requests that the Board of Supervisors of Upper Uwchlan Township amend the Upper Uwchlan Zoning Ordinance and Zoning Map, as amended, as set forth in the proposed Ordinance Amendment attached hereto as Exhibit "A".

Respectfully submitted,

Date: January 5, 2022



Alyson M. Zarro, Esquire
Attorney for Petitioner

EXHIBIT “A”

**UPPER UWCHLAN TOWNSHIP
CHESTER COUNTY, PENNSYLVANIA
ORDINANCE NO. _____**

AN ORDINANCE OF UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA, AMENDING THE UPPER UWCHLAN TOWNSHIP CODE OF ORDINANCES, CHAPTER 200, ENTITLED “ZONING”, AS AMENDED, BY AMENDING SECTION 200-9 AND THE UPPER UWCHLAN TOWNSHIP ZONING MAP TO REZONE A PORTION OF CHESTER COUNTY UPI NO. 32-1-34.1C FROM LI LIMITED INDUSTRIAL DISTRICT TO C-3 HIGHWAY COMMERCIAL DISTRICT.

WHEREAS, the Second Class Township Code authorizes the Upper Uwchlan Board of Supervisors to make, amend, and adopt the Ordinances that are consistent with the Constitution and the laws of the Commonwealth that it deems necessary for the proper management and control of the Township and the health, safety, and welfare of its citizens;

WHEREAS, pursuant to Article VI of the Municipalities Planning Code, Upper Uwchlan Township is authorized to amend the Zoning Map for all or a portion of the Township;

WHEREAS, the Board of Supervisors has determined that amending the Township Zoning Ordinance and Map to change the zoning designation of Chester County UPI No. 32-1-34.1C, which is currently partially located in the LI Limited Industrial District and partially located in the C-3 Highway Commercial District, to C-3 Highway Commercial District only, is necessary for the proper management and control of the Township and for the health, safety, and welfare of its citizens.

NOW THEREFORE, BE IT ENACTED AND ORDAINED, by the Board of Supervisors of Upper Uwchlan Township, that the Upper Uwchlan Township Zoning Ordinance, as amended, shall hereby be further amended as follows:

SECTION 1. ZONING MAP AMENDMENT. Section 200-9 (entitled “Zoning Map”) and the Upper Uwchlan Zoning Map, which is adopted as part of the Upper Uwchlan Zoning Ordinance, as amended, shall be amended as shown on the Zoning Map, which is attached hereto as Exhibit “A”, which hereby rezones a portion of Chester County UPI No. 32-1-34.1C to C-3 Highway Commercial District such that the entirety of said parcel is zoned C-3 Highway Commercial District.

SECTION 2. SEVERABILITY. If any sentence, clause, section or part of this Ordinance is for any reason found to be unconstitutional, illegal or invalid, such unconstitutionality, illegality or invalidity shall not affect or impair any of the remaining provisions, sentences, clauses, sections, or parts hereof. It is hereby declared as the intent of the Board of Supervisors that this Ordinance would have been adopted had such unconstitutional, illegal or invalid sentence, clause, section or part thereof not been included herein.

SECTION 3. REPEALER. All ordinances or parts of ordinances conflicting with any provision of this Ordinance are hereby repealed insofar as the same affects this Ordinance.

SECTION 4. EFFECTIVE DATE. This Ordinance shall become effective five (5) days following enactment as provided by law.

ENACTED AND ORDAINED this ____ day of _____, 20__.

ATTEST:

**BOARD OF SUPERVISORS
UPPER UWCHLAN TOWNSHIP**

Gwen Jonik, Township Secretary

BY: _____
Sandra M. D'Amico, Chairperson

Jennifer Baxter, Vice-Chairperson

Andrew Durkin, Supervisor

EXHIBIT “A”



EXISTING ZONING DATA:

ZONING REQUIREMENTS: C3 - HIGHWAY COMMERCIAL DISTRICT		
EXISTING USES: VACANT		
ZONING REQUIREMENTS TABLE:		
	C3 ZONE REQUIREMENTS (CODE SECTION)	
MINIMUM LOT AREA	30,000 SF	(200-40.B)
MINIMUM WIDTH	100 FEET	(200-40.C)
MAXIMUM BUILDING AREA	30%	(200-40.E.1)
MAXIMUM IMPERVIOUS SURFACE RATIO	60%	(200-40.E.2)
MINIMUM FRONT YARD SETBACK	50 FEET	(200-40.D.1)
MINIMUM SIDE YARD SETBACK	25 FEET / 50 FEET ABUTTING RESIDENTIAL PROPERTY, PUBLIC STREET OR HIGHWAY	(200-40.D.2)
MINIMUM REAR YARD SETBACK	50 FEET	(200-40.D.3)
SPECIAL SETBACK FROM ROUTE 100	N/A	N/A
MAXIMUM HEIGHT OF BUILDING	35 FEET	(200-40.F)

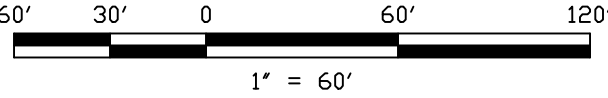
ZONING REQUIREMENTS: LI - LIMITED INDUSTRIAL DISTRICT		
EXISTING USES: VACANT		
ZONING REQUIREMENTS TABLE:		
	LI ZONE REQUIREMENTS (CODE SECTION)	
MINIMUM LOT AREA	3 ACRES (130,680 SF)	(200-45.A)
MINIMUM WIDTH	300 FEET	(200-45.B)
MAXIMUM BUILDING AREA	35%	(200-45.D)
MAXIMUM IMPERVIOUS SURFACE RATIO	60%	(200-45.D)
MINIMUM FRONT YARD SETBACK	75 FEET	(200-45.C.1)
MINIMUM SIDE YARD SETBACK	50 FEET / 100 FEET ABUTTING RESIDENTIAL DISTRICT	(200-45.C.2)
MINIMUM REAR YARD SETBACK	50 FEET / 100 FEET ABUTTING RESIDENTIAL DISTRICT	(200-45.C.2)
SPECIAL SETBACK FROM ROUTE 100	100 FEET	(200-45.C.3)
MAXIMUM HEIGHT OF BUILDING	35 FEET	(200-45.D)

PROPOSED ZONING DATA:

ZONING REQUIREMENTS: C3 - HIGHWAY COMMERCIAL DISTRICT		
ZONING REQUIREMENTS TABLE:		
	C3 ZONE REQUIREMENTS (CODE SECTION)	
MINIMUM LOT AREA	30,000 SF	(200-40.B)
MINIMUM WIDTH	100 FEET	(200-40.C)
MAXIMUM BUILDING AREA	30%	(200-40.E.1)
MAXIMUM IMPERVIOUS SURFACE RATIO	60%	(200-40.E.2)
MINIMUM FRONT YARD SETBACK	50 FEET	(200-40.D.1)
MINIMUM SIDE YARD SETBACK	25 FEET / 50 FEET ABUTTING RESIDENTIAL PROPERTY, PUBLIC STREET OR HIGHWAY	(200-40.D.2)
MINIMUM REAR YARD SETBACK	50 FEET	(200-40.D.3)
SPECIAL SETBACK FROM ROUTE 100	N/A	N/A
MAXIMUM HEIGHT OF BUILDING	35 FEET	(200-40.F)

LEGEND:

EXISTING ZONE C3	<div></div>
EXISTING ZONE LI	<div></div>
PROPOSED ZONE C3	<div></div>



RDS AUTOMATIVE GROUP
500 POTTSTOWN PIKE
UPI 32-1-34.1C
UPPER MERION TOWNSHIP, CHESTER COUNTY, PA

PROPOSED ZONING RECLASSIFICATION
EXHIBIT



YOUR GOALS. OUR MISSION.

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DESIGNED BY JDT	DRAWING ZNE-1
CHECKED BY DM	SHEET
DRAWN BY JDT	1
DATE 12/23/2022	OF 2
SCALE AS NOTED	
PROJ. NO. PORS00016	



UPPER UWCHLAN TOWNSHIP

Planning Commission Meeting

December 8, 2022

6:00 p.m. Workshop,

7:00 p.m. Meeting

Minutes

Draft

LOCATION: Township Building Conference Room, 140 Pottstown Pike, Chester Springs PA 19425

In attendance:

Sally Winterton, Chair; Joe Stoyack, Vice-Chair; Chad Adams, David Colajezzi, Jim Dewees, Stephen Fean

Invited Guest: Neal Fisher, P.E., Hankin Group

Mary Lou Lowrie, P.E., Gilmore & Associates (Meeting)
Gwen Jonik, Planning Commission Secretary

Absent: Ravi Mayreddy, Jim Shrimp, Jeff Smith

6:00 p.m. Workshop

Sally Winterton called the Workshop to order at 6:07 p.m.

Joe Stoyack asked Neal Fisher for information on how the market is changing for the Planned Industrial/Office District -- Eagleview Corporate Center -- and do our current ordinances hinder the development of new market possibilities. Mr. Fisher noted the office space market has been changing for years. Following covid, office space isn't as in-demand as people are working from home parttime or fulltime and Hankin's tenants are downsizing their square footage. Companies want to attract the best talent and Hankin's vision is to build a community around their 'office' -- folks can live near work, walk or bike to work, or during lunch or go get lunch nearby. They're changing office buildings into residential, intermixing uses and interconnectivity. Research and Development, biomedical facilities are interested in the area. Storage tank are a necessary component of those businesses and if Upper Uwchlan doesn't allow the tools they need to do their jobs, they'll go elsewhere. Manufacturing is prohibited in Eagleview (in Upper Uwchlan) except electrical equipment by right; other types of manufacturing need conditional use; companies from foreign countries do not like conditional use because in their countries, theirs are much more restrictive. Neal would like to see a more manufacturing options by right. They're trying to figure out how to re-use existing office buildings; find new uses or demolish and build something more feasible.

Neal noted a few national hot topics: affordable housing; a floodplain restoration project -- widening a stream channel for environmental benefit and stormwater management. It slows the flow, sediment drops out and allows for in-stream infiltration.

The Workshop ended at 6:56 p.m.

7:00 p.m. Meeting

Sally Winterton called the Meeting to order at 7:00 p.m. There were 2 citizens in attendance. Sally adjusted the agenda order and Eagleview Lot 1A Sketch Plan Introduction went first.

Eagleview Corporate Center Lot 1A Sketch Plan Introduction

Neal Fisher introduced a sketch plan proposing a 60,000 SF flexible building, associated parking, stormwater management, etc. on Lot 1A on Arrowhead Drive in Eagleview. Lot 1 is 72 acres which had previously been subdivided into 4 parcels - A, B, C, and D. Lot 1A is 13+ acres; would most likely be a Research & Development tenant; the building architecture would be compatible with all other Eagleview buildings. Gilmore and Associates had reviewed the sketch

plan and provided comments dated December 6, 2022. Mr. Fisher said they'd prepare a land development plan for February submission.

301 Park Road – Preliminary Plan

Monica Sweeney, P.E., Wilkinson & Associates, Inc., was in attendance seeking preliminary plan approval for 301 Park Road, a proposed office building, garage, parking, and materials storage area for P.J. Reilly Contracting. Ms. Sweeney said they would comply with most of the consultants' comments in Gilmore & Associates' December 2, 2022 review letter, however there were several items to discuss.

They may need a variance regarding parking within 25 feet of the ultimate road right-of-way.

They've shown more parking than what might be needed, and if so, they'll remove the 8 parking spaces along the front.

They will seek a variance regarding storage in the front yard. Due to the shape of the lot, there are many constrictions and they've proposed a gravel area (@ 3500 SF) for storage of building materials and possible construction vehicles. They would screen the area from the road.

They'll seek a waiver regarding providing sidewalks. The Park Road trail and pedestrian bridge are across the road.

They'll seek a waiver regarding the stormwater basins ('accessory structures') located within the front and rear setbacks. Due to the shape of the site, there are not alternate locations for the 1 above ground and 3 underground basins.

A stormwater easement was to be established when the Eaglepointe Shopping Center was constructed. Whether it exists or not is to be investigated.

A retaining wall might be needed around a portion of the parking area. Once PennDOT completes the Turnpike overpass, they'll re-survey to see if a retaining wall is needed.

Brandywine Conservancy mentioned this 1950s ranch house is classified as a historic resource. This will be investigated.

Planning Commission members suggested that the driveway could be relocated, perhaps across from Heather Hill Drive, and noted the site lighting will be a sensitive issue.

While the Planning Commission members would like to see the parcel used for a viable business, there are many details to work out and they are not comfortable recommending preliminary plan approval.

No action was taken and Ms. Sweeney noted they'll continue to work through the consultants' comments.

Approval of Minutes

Jim Dewees moved, seconded by David Colajezzi, to approve as presented the Planning Commission's November 10, 2022, meeting minutes. The motion carried unanimously.

Meeting Updates / Reports

Jeff Smith was absent; there was no Environmental Advisory Council meeting report.

David Colajezzi is considering becoming the liaison to the Historical Commission. Gerry Stein, Historical Commission member, was in attendance and mentioned the Dorlan Mill miller's house may have the potential for stabilized ruins. Sally Winterton reported that she and Vivian McCardell, Historical Commission Chair, visited the Methodist Society Cemetery on old Township Line Road

and there's a plaque circa 1925 referencing a Mr. Jones. They're going to connect with Hopewell Church regarding a chapel that might've gotten moved from the cemetery property to the Church.

Active Transportation Plan. Sally Winterton reported the committee is looking at ways to reduce vehicular traffic, enhance pedestrian / bicycling amenities, trail connections, throughout the Village of Eagle and larger community; they're also looking at dangerous intersections.

Open Session

Gerry Stein inquired of the P.J. Reilly project.

Sally Winterton announced Jim Shrimp's resignation from the Commission due to time constraints.

Sally wished everyone happy holidays and announced the next meeting is January 12, 2023.

Ordinance Amendment ~ Eliminate C2 Limited Commercial District

The Commission had requested Kristin Camp, Esq., draft an ordinance to eliminate the C2 Limited Commercial District, which would involve revising the Official Zoning Map. They reviewed the prepared draft. The C2 District is a fairly small area at the intersection of Route 100, Pennsylvania Drive and Old Township Line Road, and is mainly residential properties. Uses in the C2 Limited Commercial District are the same as the adjacent PI/O Planned Industrial/Office District. Joe Stoyack would like to make a recommendation to the Board. Discussion also included adding current C1 Village Commercial District and C3 Highway Commercial District by-right uses to the LI Limited Industrial District.

Jim Dewees moved, seconded by David Colajezzi, to recommend to the Board of Supervisors approval of the Ordinance eliminating the C2 Limited Commercial District. The motion carried unanimously.

Sally Winterton was curious if Gwen Jonik heard whether the Authority was awarded a Grant to extend public sewer service to the Meadow Creek community, the expansion of the Greenridge facility, and to take the Eaglepointe facility offline. Gwen had no news.

Gerry Stein made comment that Marsh Creek Lake is polluted.

Adjournment ~ Meeting

Jim Dewees moved, seconded by David Colajezzi, to adjourn the Meeting and continue with the Workshop. All were in favor.

Joe Stoyack had drafted amendments to the Alternative Energy Ordinance. The State is proposing solar access laws and solar easement laws which can override local laws. Our ordinance includes solar easements between neighbors but doesn't address solar access. Solar access can't be prohibited with these new laws. Joe's ordinance draft will be distributed for review.

Joe Stoyack walked through proposed changes to uses in the C1, C3, and LI Districts, which will be distributed so members can review them prior to the January meeting. This will be thoroughly discussed at the January meeting and then move on to residential uses, followed by Planned Industrial/Office.

Adjournment ~ Evening

The Workshop adjourned at 8:48 p.m.

Respectfully submitted,

Gwen A. Jonik
Planning Commission Secretary