



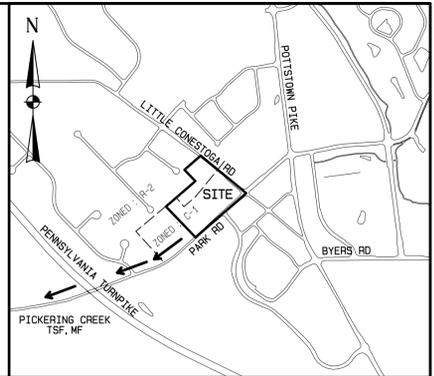
**UPPER UWCHLAN TOWNSHIP  
PLANNING COMMISSION  
AGENDA  
September 10, 2020  
7:00 p.m.**

LOCATION: This meeting will be held **virtually**. Any member of the public interested in participating in the meeting should email the Township at [tscheivert@upperuwchlan-pa.gov](mailto:tscheivert@upperuwchlan-pa.gov) for a link and a password to join in the meeting. In an effort to minimize public exposure to COVID-19 and maintain social distancing, the meeting will be conducted via webinar. No attendance in-person will be allowed. If you require special accommodation, please call the Township office at 610-458-9400.

- |  | Packet Page # |
|--|---------------|
| I. Call To Order   |               |
| II. Windsor Baptist Church – Final Land Development Plan<br>Review the Final Land Development Plan and consultants' comments for the @ 8,600 SF building addition to house the Christian Academy.  | 2             |
| III. Eagleview Corporate Center, UTI/Frontage Preliminary/Final Land Development Plan<br>Introduction of the Land Development Plan for modifications to the existing Universal Technical Institute and Frontage building site. Accept the plans for consultants' review. | 60            |
| IV. Approval of Minutes: August 13, 2020 Meeting   | 73            |
| V. Next Meeting Date: October 8, 2020 7:00 PM<br>Location: Will be noted on the website <a href="http://www.upperuwchlan-pa.gov">www.upperuwchlan-pa.gov</a>   |               |
| VI. Open Session   |               |
| VII. Adjournment   |               |

# WINDSOR BAPTIST CHURCH

SITUATE IN: UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA



LOCATION MAP  
SCALE: 1"=1,000'

## GENERAL NOTES

- THE INFORMATION SHOWN IN THESE PLANS REFLECTS A FIELD SURVEY PERFORMED BY LUDGATE ENGINEERING CORPORATION ON 2-19-13.
- SITE OWNER:**  
WINDSOR BAPTIST CHURCH  
P.O. BOX 596  
213 LITTLE CONESTOGA ROAD  
UMCHLAND, PA 19480  
**TAX#32-3-65.31 (250 PARK ROAD)**  
D.B.V. 4040 PG 1638, 1.13 ACRES (NT)  
LOT 2 OF PBV 61 PG 14  
**TAX#32-3-66 (213 LITTLE CONESTOGA ROAD)**  
D.B.V. 2477 PG 597, 6.17 ACRES (NT)  
INCLUDES LOT 1 & 2 OF PBV 61 PG 14  
**TAX#32-3-65.29 (250 PARK ROAD)**  
D.B.V. 6746 PG 180, 1.66 ACRES (NT)  
LOT 3 OF PBV 61 PG 14  
TOTAL AREA = 8.96 ACRES (NT)
- REFERENCE MATERIALS AND PLANS  
\* CHESTER COUNTY TAX MAPS  
\* DEEDS AS LISTED  
\* PBV 61 PG 14
- DATUM:** NAVD83  
SITE BENCHMARK: RIM OF SANITARY MANHOLE, ELEV.: 470.37
- SOILS INFORMATION AS SHOWN ON THIS PLAN IS TAKEN FROM THE CHESTER COUNTY SOILS SURVEY, U.S. DEPARTMENT OF AGRICULTURE. SOILS FOR THE SITE INCLUDE:  
Gdb - GLAISTONE GRAVELLY LOAM, 3-8X SLOPES  
Ug9b - URBAN LAND-UPOBTHRENTS, SCHIST AND GNEISS COMPLEX, 0 TO 8 PERCENT SLOPES
- ON 12-21-18 A "PA ONE CALL" WAS PLACED FOR THIS PROJECT (#2018350246-DATED 12-21-18). THE FOLLOWING UTILITIES WERE NOTIFIED:  
**UTILITY**  
PECO - GAS & ELECTRIC COMPANY  
VERIZON PENNSYLVANIA  
COMCAST CABLE COMMUNICATIONS, INC.  
AQUA PENNSYLVANIA, INC.  
COLUMBIA GAS TRANSMISSION  
NEON TRANSCOM  
UPPER UWCHLAN TWP/AUTH.
- USE NOTE**  
THE FOLLOWING ARE THE PROPOSED USES OF THE LOT :  
CHURCH : 310 SEAT SANITARY AND 5 EMPLOYEES (ALONG WITH OTHER ASSOCIATED CHURCH USES)  
DAY CARE : 3,200 SQ.FT. GROSS FLOOR AREA AND 25 EMPLOYEES  
SCHOOL : 27 EMPLOYEES (TEACHERS, CUSTODIANS, ETC.) AND 24 CLASSROOMS ALONG WITH 6,000 SQ.FT. ASSEMBLY AREA  
**RELEASE NOTE :**  
\* THESE 3 USES CURRENTLY AT SITE  
\* CHURCH SANITARY NOT OCCUPIED WHEN DAY CARE AND SCHOOL AREA IN SESSION.  
\* DAY CARE AND SCHOOL OPERATE AT SAME SITE
- PARKING**  
**REQUIRED PER USE:**  
CHURCH: 1 SPACE / 2 OCCUPANT + 1 / EMPLOYEE;  
310 SEAT SANITARY + 5 EMPLOYEES = 160 SPACES MAX DEMAND  
**DAY CARE: 1 SPACE / 300 GROSS FLOOR AREA + 1 / EMPLOYEE ;**  
3200 SQ FT FLOOR AREA + 25 EMPLOYEES= 31 SPACES  
**SCHOOL: 1 SPACE / EMPLOYEE + 1 / 2 SPACE CLASS ROOM;**  
27 EMPLOYEES AND 24 CLASS ROOM = 51 SPACE  
**SCHOOL: 1 SPACE / 3 PERSON IN ASSEMBLY AREA;**  
6,000 SQ FT (240 OCCUPANTS) ASSEMBLY AREA = 80 SPACES  
**PROVIDED AREA:**  
120 - STANDARD EXISTING (TO REMAIN)  
5 - ADA  
52 - STANDARD, EXISTING OVERFLOW  
21 - STANDARD, FUTURE OVERFLOW  
138 - TOTAL W/ EXISTING AND FUTURE OVERFLOW  
138 PAVED SPACES + 60 GRAVEL (OVERFLOW)
- LOT TO USE PUBLIC WATER AND PUBLIC SEWER

## ZONING DATA

10. ZONING:  
6.39 ACRES IN C-1  
2.60 ACRES IN R-2

**C-1 VILLAGE DISTRICT**

ITEM	REQUIRED	EXISTING	PROPOSED
LOT AREA	10,000 SQ.FT.	277,352 SQ.FT. (6.39 AC. GROSS)	276,189 SQ.FT. (6.34 AC. NET)
LOT WIDTH	100 FT.	714 FT.	714 FT.
FRONT YARD	20 FT.	0 FT.	0 FT.
SIDE YARD	10 FT., EACH	50 FT.	50 FT.
REAR YARD	40 FT.	366 FT.	40 FT.
BUILDING HEIGHT	35 FT.	<35 FT.	35 FT.
BUILDING COVERAGE	30%	7.7%	7.7%
LOT COVERAGE	60%	42%	44%

**BUILDING AREA NOTES WITHIN C-1**

CHURCH BUILDING :	11,648 SQ.FT. FOOTPRINT;	22,000 SQ.FT. TOTAL FLOOR AREA
OTHER CHURCH BUILDINGS :	1,788 SQ.FT. FOOTPRINT;	3,576 SQ.FT. TOTAL FLOOR AREA
250 PARK ROAD :	4,411 SQ.FT. FOOTPRINT;	4,411 SQ.FT. TOTAL FLOOR AREA
260 PARK ROAD :	2,414 SQ.FT. FOOTPRINT;	2,414 SQ.FT. TOTAL FLOOR AREA
250 PARK ROAD : (TO BE REMOVED)	(-) 4,411 SQ.FT. FOOTPRINT;	(-) 4,411 SQ.FT. TOTAL FLOOR AREA
<b>PROPOSED BUILDING :</b>	<b>4,460 SQ.FT. FOOTPRINT;</b>	<b>13,380 SQ.FT. TOTAL FLOOR AREA</b>
<b>TOTAL PROPOSED :</b>	<b>20,310 SQ.FT. FOOTPRINT;</b>	<b>41,370 SQ.FT. TOTAL FLOOR AREA</b>

**R-2 RESIDENTIAL DISTRICT**

ITEM	REQUIRED	EXISTING	PROPOSED
LOT AREA	1 ACRE	113,165 SQ.FT. (2.60 AC.)	113,165 SQ.FT. (2.60 AC.)
LOT WIDTH	150 FT.	150 FT.	267.1 FT.
FRONT YARD	50 FT.	50 FT.	185.7 FT.
SIDE YARD	30 FT.	30 FT.	87.2 FT.
REAR YARD	40 FT.	40 FT.	N/A
BUILDING HEIGHT	35 FT.	35 FT.	35 FT.
BUILDING COVERAGE	15%	0%	4.1%
LOT COVERAGE	20%	6.3%	15.3%

## CONSTRUCTION NOTES

- THE FOLLOWING NOTES LIST THE GENERAL GUIDELINES TO BE UTILIZED BY THE CONTRACTORS ACTUALLY PERFORMING THE CONSTRUCTION OF THE IMPROVEMENTS AND REQUIREMENTS AS INDICATED ON THE PLANS:
- ALL SANITARY SEWER CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE DESIGN, CONSTRUCTION REQUIREMENTS AND DETAIL DRAWINGS FOR WASTEWATER FACILITIES UPPER UWCHLAN TOWNSHIP MUNICIPAL AUTHORITY, CHESTER COUNTY, PENNSYLVANIA.
  - ALL GRADING TO PROMOTE POSITIVE DRAINAGE AWAY FROM THE BUILDING. CONTRACTOR SHALL ENSURE THAT THE LOT GRADING THAT IS DEPICTED ON THIS PLAN IS ACHIEVED TO THE SATISFACTION OF THE TOWNSHIP ENGINEER.
  - BEFORE ANY CONSTRUCTION COMMENCES, CONTRACTORS SHALL LOCATE AND VERIFY ALL EXISTING UTILITIES AND EXISTING UTILITY TIE-IN INVERT ELEVATIONS. IF TIE-IN INVERTS DIFFER FROM THOSE SHOWN ON THE PLAN, NOTIFY THE ENGINEER. DO NOT PROCEED WITH CONSTRUCTION UNLESS APPROVAL HAS BEEN GRANTED BY THE ENGINEER. CONTRACTOR WILL BE REQUIRED TO REPAIR ALL DAMAGED UTILITY LINES.
  - ALL SITE CONSTRUCTION METHODS AND MATERIALS SHALL BE IN GENERAL CONFORMANCE WITH THE UPPER UWCHLAN TOWNSHIP CHESTER COUNTY, PENNSYLVANIA ENGINEERING AND CONSTRUCTION STANDARDS AND IMPROVEMENT PROCEDURES AND WITH PENNODTS PUBLICATION 408, LATEST EDITION. LUDGATE ENGINEERING CORPORATION HAS NOT PROVIDED ON THIS PLAN THE DESIGN OF SHORING, TRENCHING, EXCAVATION, SUPPORT, SHIELDING, OR BENCHING ASSOCIATED WITH THE INSTALLATION OF UTILITIES, GRADING, ETC. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATION OF UTILITIES AND TO COMPLY WITH OSHA TRENCHING REQUIREMENTS 29 CFR PART 1926.
  - CONTRACTOR SHALL HAVE ALL PROPERTY LINES LOCATED BEFORE CONSTRUCTION COMMENCES. THE CONTRACTOR SHALL MAKE SURE NO CONSTRUCTION ACTIVITY OCCURS OUTSIDE PROPERTY LIMITS.
  - ALL FILL SLOPES ARE TO BE KEPT INTO EXISTING EMBANKMENTS.
  - ALL STORM SEWER PIPES SHALL CONFORM TO INTERIOR CATCHBASIN WALLS. FIELD MODIFY PIPES AS REQUIRED.
  - CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN DETAILED "AS-BUILT" INFORMATION OF MATERIALS, GENES, VALVES, ETC. OF ALL UTILITY LINE CONSTRUCTION. THIS IS TO INCLUDE DIMENSIONED "TIE-DOWNS" OF ALL FITTINGS AND VALVES.
  - CONTRACTOR SHALL PROVIDE EXPANDED INLET BOXES WHERE STORM SEWER PIPES CANNOT FIT INTO STANDARD INLET BOXES.
  - MAINTAIN AT LEAST 12 INCHES OF COVER OVER ALL STORMSEWER PIPES.
  - THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. LUDGATE ENGINEERING CORPORATION MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. LUDGATE ENGINEERING CORPORATION FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. LUDGATE ENGINEERING CORPORATION HAS NOT PHYSICALLY LOCATED UNDERGROUND LINES.
  - ALL PAVING THICKNESSES SHOWN ARE THE COMPACTED THICKNESS. PURSUANT TO PA ACT 38 (AMENDING ACT 267 AND 172) NOTIFICATION TO THE "ONE CALL SYSTEM" IS REQUIRED AT LEAST THREE WORKING DAYS PRIOR TO DISTURBING EARTH WITH ANY TYPE OF POWERED EQUIPMENT. CALL TOLL FREE 1-800-242-1776.
  - STANDARD WYE LATERAL CONNECTION SHOULD BE MADE IN ACCORDANCE WITH PROCEDURES OUTLINED AND THE TYPICAL CONSTRUCTION DETAIL AS FOUND IN DESIGN CONSTRUCTION REQUIREMENTS AND DETAIL DRAWINGS FOR WASTEWATER FACILITIES UPPER UWCHLAN TOWNSHIP MUNICIPAL AUTHORITY.
  - FINAL SEWER WATER, GAS, AND ELECTRIC SERVICE LOCATIONS AT THE BUILDING SHALL BE VERIFIED BY THE BUILDING DESIGNER PRIOR TO ANY SUCH CONSTRUCTION.
  - AT LEAST 10 HORIZONTAL FEET OR 18" VERTICAL INCHES SHALL BE MAINTAINED BETWEEN THE PROPOSED SANITARY SEWER LINE AND ANY WATERLINE OR WATER SERVICE. IN CASES WHERE THIS CAN NOT BE MAINTAINED, THE WATERLINE OR WATER SERVICE SHALL BE ENCASED IN CONCRETE FOR THE AREA IN QUESTION AND 10 FEET BEYOND THE AREA IN EACH DIRECTION. ANY SANITARY SEWER THAT DOES NOT HAVE TWO FEET OF ALL CONCRETE ENCASUREMENTS MUST EXTEND TO THE NEXT JOINT BEYOND THE REQUIRED LENGTH. ALL ENCASUREMENTS MUST BE SHOWN ON THE PLANS AND NO MODIFICATIONS WILL BE APPROVED IN THE FIELD WITHOUT A WRITTEN LETTER FROM THE DEVELOPER'S ENGINEER THAT IS REVIEWED AND APPROVAL OF THE AUTHORITY'S ENGINEER.
  - NO TREE MAY BE PLACED WITHIN 10 FEET OF ANY SANITARY SEWER LINE OR LATERAL.
  - THE EXISTING SANITARY LINE NEEDS TO BE VIDEO INSPECTED PRIOR TO CONNECTING INTO IT.
  - UNLESS NOTED / SHOWN OTHERWISE ON THE PLANS, THE ROOF LEADERS FROM ANY PROPOSED BUILDING WILL NEED TO TIE DIRECTLY TO THE ROOF LEADER MANIFOLD AND/OR CONVEYANCE SYSTEM. THE CONTRACTOR WILL NEED TO INSTALL ANY TEE, WYE, FITTING, PIPING, ETC. AS NEEDED TO MAKE THE CONNECTION(S).
  - STANDARD WYE LATERAL CONNECTION SHOULD BE MADE IN ACCORDANCE WITH PROCEDURES OUTLINED AND THE TYPICAL CONSTRUCTION DETAIL AS FOUND IN DESIGN CONSTRUCTION REQUIREMENTS AND DETAIL DRAWINGS FOR WASTEWATER FACILITIES UPPER UWCHLAN TOWNSHIP MUNICIPAL AUTHORITY.
  - SANITARY SEWER CLEAN OUTS TO USE CONCRETE PAD IN PAVING AREA. A CAST IRON FRAME AND COVER REQUIRED AT EVERY CLEAN-OUT LOCATION.
  - ALL PVC SANITARY SEWER PIPE AND FITTINGS SHALL BE SDR-26 UNLESS OTHERWISE NOTED.
  - PERMITS ARE REQUIRED FOR ALL GRADING OPERATIONS. TO BE ISSUED BY ZONING OFFICER FOR EACH LOT, TRACT OR SITE WHICH COMPRISES A SEPARATE OPERATION. PERMITS ARE THEREFORE REQUIRED FOR THE SITE WORK AS WELL AS FOR EACH LOT.

## WAIVERS GRANTED 11-18-19

- S162-305.1.(c) - RUNOFF INFILTRATION  
S162-41.8 - PROVIDE SIDEWALKS ALONG LITTLE CONESTOGA RD  
S162-57.C.(b) - PROVIDE STREET TREES ALONG LITTLE CONESTOGA ROAD  
S162-57.C.(c) & 162.57.D.(4)(a) - STREET TREE HEIGHT AND CALIPER AT PLANTING  
S162-57.C.(7) & 162.57.C.(7)(b) - PROVIDING LANDSCAPING AT EXISTING PARKING LOTS  
S162.9.H - TO PREPARE A TRAFFIC STUDY  
S162-27.1.F & 162.27.1 - DRIVEWAY CONUIT

## SHEET INDEX

TITLE SHEET	SHEET 1*
LAND DEVELOPMENT PLAN	SHEET 2*
TRAFFIC PLAN PERMANENT CONDITION PROPOSED SCHOOL BUILDING	SHEET 3
TRAFFIC PLAN TEMPORARY CONDITION PROPOSED SCHOOL BUILDING	SHEET 4
POST CONSTRUCTION STORMWATER MANAGEMENT PLAN	SHEET 5*
UTILITY PLAN	SHEET 6
POST CONSTRUCTION STORMWATER MANAGEMENT PLAN	SHEET 7
AS TIE TO CONSTRUCTION ACTIVITY	SHEET 8
GRADING DETAIL PLAN (PARK RD. ADA RAMP/SIDEWALK)	SHEET 9, 10
EROSION AND SEDIMENT POLLUTION CONTROL PLAN	SHEET 11
GRADING DETAIL PLAN	SHEET 12
EXISTING FEATURES PLAN	SHEET 13, 14
LANDSCAPING PLAN	SHEET 15
PROFILE PLAN	SHEET 16
STORM WATER BMP #1A PLAN & DETAILS	SHEET 17
PRE-CONSTRUCTION DRAINAGE AREA PLAN	SHEET 18
POST-CONSTRUCTION DRAINAGE AREA PLAN	SHEET 19, 20, 21

\* DENOTES PLANS TO BE RECORDED

#3 WAH	04-14-20	
#2 WAH	12-02-19	PER GILMORE REVIEW 07-03-19
#1 WAH	04-18-19	PER GILMORE REVIEW 04-04-19
REVISION	DATE	DESCRIPTION

RECORDER OF DEEDS	CHESTER COUNTY PLANNING COMMISSION	TOWNSHIP PLANNING AGENCY CERTIFICATION	TOWNSHIP SUPERVISOR'S CERTIFICATION	SURVEYOR'S CERTIFICATION
	MCP No. _____ PROCESSED AND REVIEWED. A report has been prepared by the by the Chester County Planning Commission in accordance with the Municipalities Planning Code. Certified this date _____ _____ For the Director	This plan has been approved by the Upper Uwchlan Township Planning Agency this ___ day of _____.	This plan has been approved by the Upper Uwchlan Township Board of Supervisors this ___ day of _____.	I hereby certify that the plan shown and described hereon, as well as all other drawings which are a part of this plan set, are true and correct to the accuracy required by the Upper Uwchlan Township, Subdivision and Land Development Ordinance and were prepared by me or under my direction, for which I accept full responsibility, and represent a field survey performed by me or under my direction. The existing perimeter monuments shown hereon have been located as part of the survey and all other proposed perimeter monuments shall be set.  _____ Notary Public
	CHESTER COUNTY PLANNING COMMISSION			

COUNTY RECORDING NOTE Recorded in the office of the Recorder of Deeds in West Chester, Pennsylvania, in Plan Book _____, Page _____, on the ___ day of _____.	CERTIFICATION OF CORPORATION I (We) do hereby certify that I am (we are) the sole registered owner (s) of the land herein improved and that there are no suits pending affecting the title of the same and that I (we) do hereby adopt this plan and desire the same to be recorded. WINDSOR BAPTIST CHURCH  _____ OWNER  State of _____ County of _____, 2020 On this, the ___ day of _____, 2020 Before me, Personally appeared _____, who Acknowledged himself to be the _____ of _____, a corporation, and that he as such Being authorized to do so, executed the foregoing instrument for the purpose therein contained by signing the name of the corporation by himself as _____ Executed the same for the purposes therein contained. In witness whereof, I hereunto set my hand and official seals.
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## FINAL PLAN TITLE SHEET

### WINDSOR BAPTIST CHURCH

SITUATE IN:  
UPPER UWCHLAN TOWNSHIP,  
CHESTER COUNTY,  
PENNSYLVANIA

### Ludgate Engineering Corporation

ENGINEERS, SURVEYORS, PLANNERS  
ENVIRONMENTAL SCIENTISTS  
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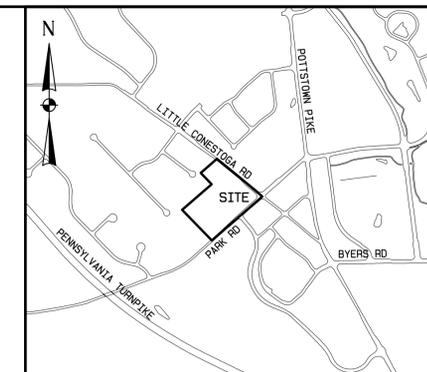
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SCALE 1"=100'	TAX MAP PARCEL SEE ABOVE	DRAWING NUMBER D-7700413	SHEET 1 OF 21		

**LEGEND (EXISTING)**

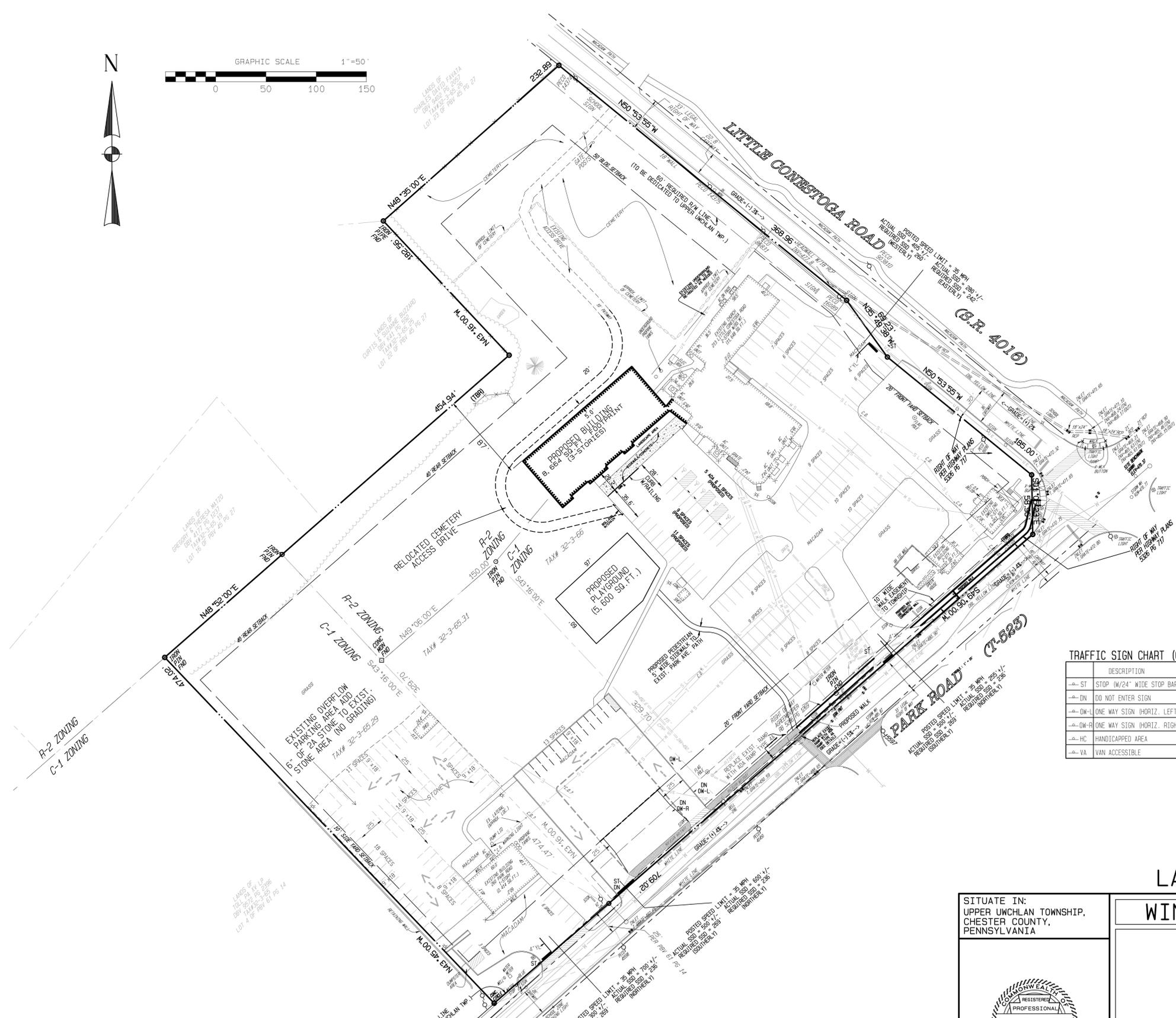
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- CB = CATCH BASIN (C.B.)
- SM = SANITARY OR STORM MANHOLES (AS INDICATED)
- WC = WATER VALVE CAP
- LP = LIGHT POLE
- COV = CLEAN OUT/VENT (C.O.)
- UPW = UTILITY POLE W/GUY WIRE
- EB = ELECTRIC BOX
- FP = FLAG POLE
- SS = STREET SIGN (AS NOTED)
- EL = EXIST. FENCE LINE
- EBLD = EXISTING BUILDINGS
- EC = EXIST. CONTOURS
- EIC = EXIST. INDEX CONTOURS
- EWMP = EXIST. WATER METER PIT
- EWL = EXIST. WATERLINE
- ESSL = EXIST. SANITARY SEWER LINE
- ESL = EXIST. STORM SEWER LINE
- ESI = EXIST. STORM SEWER INLET
- EPK = EXIST. PARKING LOT STRIPING

**LEGEND (PROPOSED)**

- PBLD = PROPOSED BUILDINGS
- PC = PROPOSED CONTOURS
- PWM = PROPOSED WATER METER
- PWS = PROPOSED WATER SERVICE
- PSL = PROPOSED SANITARY SEWER LATERAL
- PST = PROPOSED STORM SEWER LINE
- PSI = PROPOSED STORM SEWER INLET
- PKS = PROPOSED PARKING LOT STRIPING



LOCATION MAP  
SCALE: 1"=1,000'



TRAFFIC SIGN CHART (ON SITE)

DESCRIPTION	QTY	SIZE	R#	PERIOD LAST REVISED DATE
ST STOP (W/24" WIDE STOP BARS)	4	18" x 18"	R1-1	11-19-13
DN DO NOT ENTER SIGN	1	30" x 30"	R5-1	11-19-13
OW-L ONE WAY SIGN (HORIZ. LEFT)	2	12" x 36"	R6-1L	11-19-13
OW-R ONE WAY SIGN (HORIZ. RIGHT)	1	12" x 36"	R6-1R	11-19-13
HC HANDICAPPED AREA	2	12" x 18"	R7-8	11-19-13
VA VAN ACCESSIBLE	1	12" x 18"	R7-8P	11-19-13

PROJECT NAME: PROJ001809; PLAN: C:\Users\ludgate\OneDrive\Documents\PROJ001809\DWG\1700413-DP.dwg; PLOT DATE/TIME: Wed Jun 3 2020 / 14:40:23

SITUATE IN:  
UPPER UNCHLAN TOWNSHIP,  
CHESTER COUNTY,  
PENNSYLVANIA



**LAND DEVELOPMENT PLAN**

**WINDSOR BAPTIST CHURCH**

**Ludgate Engineering Corporation**

ENGINEERS SURVEYORS PLANNERS  
ENVIRONMENTAL SCIENTISTS  
© 2020  
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REVISION	DATE	DESCRIPTION
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DRAWN		COMP (BNDY)		COMP (LOT)		PA ONE CALL DATE		COMPUTER FILE	
WAH	RAB	01-22-19	04-09-19			#2018050266	12-21-19	C:\Users\ludgate\Desktop\PROJ001809	ONE CAD
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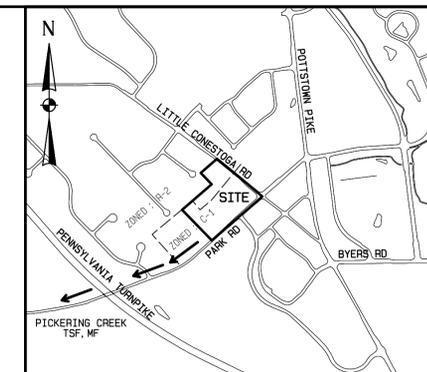


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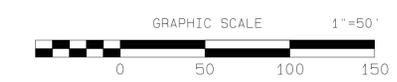
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- = EXIST. PARKING LOT STRIPING

**LEGEND (PROPOSED)**

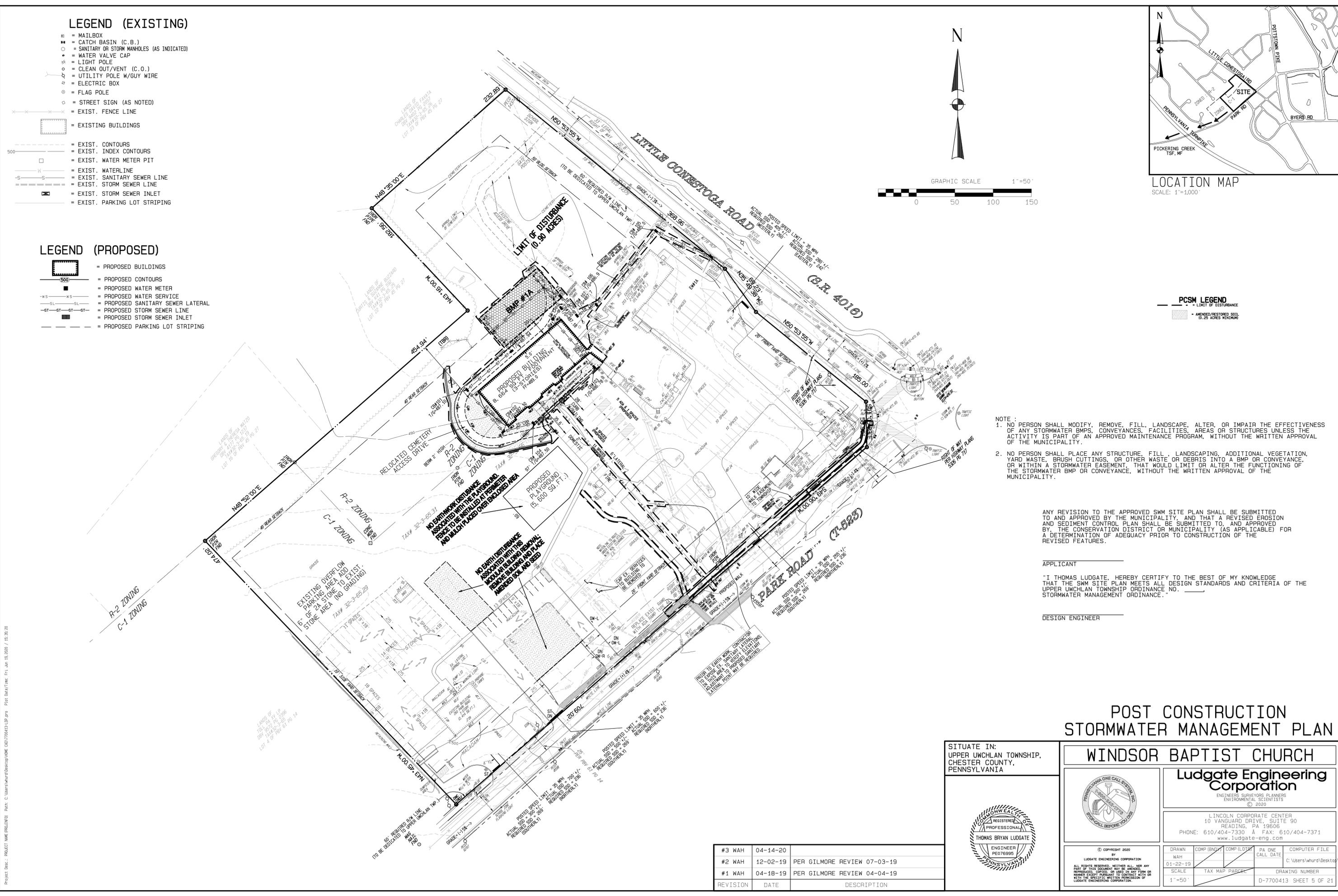
- ▭ = PROPOSED BUILDINGS
- = PROPOSED CONTOURS
- = PROPOSED WATER METER
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- = PROPOSED STORM SEWER LINE
- = PROPOSED STORM SEWER INLET
- = PROPOSED PARKING LOT STRIPING



**LOCATION MAP**  
SCALE: 1"=1,000'



**PCSM LEGEND**  
LIMIT OF DISTURBANCE  
AMENDED/RESTORED SOIL (0.25 ACRES MINIMUM)



**NOTE :**

- NO PERSON SHALL MODIFY, REMOVE, FILL, LANDSCAPE, ALTER, OR IMPAIR THE EFFECTIVENESS OF ANY STORMWATER BMPs, CONVEYANCES, FACILITIES, AREAS OR STRUCTURES UNLESS THE ACTIVITY IS PART OF AN APPROVED MAINTENANCE PROGRAM, WITHOUT THE WRITTEN APPROVAL OF THE MUNICIPALITY.
- NO PERSON SHALL PLACE ANY STRUCTURE, FILL, LANDSCAPING, ADDITIONAL VEGETATION, YARD WASTE, BRUSH CUTTINGS, OR OTHER WASTE OR DEBRIS INTO A BMP OR CONVEYANCE, OR WITHIN A STORMWATER EASEMENT, THAT WOULD LIMIT OR ALTER THE FUNCTIONING OF THE STORMWATER BMP OR CONVEYANCE, WITHOUT THE WRITTEN APPROVAL OF THE MUNICIPALITY.

ANY REVISION TO THE APPROVED SWM SITE PLAN SHALL BE SUBMITTED TO AND APPROVED BY THE MUNICIPALITY, AND THAT A REVISED EROSION AND SEDIMENT CONTROL PLAN SHALL BE SUBMITTED TO, AND APPROVED BY, THE CONSERVATION DISTRICT OR MUNICIPALITY (AS APPLICABLE) FOR A DETERMINATION OF ADEQUACY PRIOR TO CONSTRUCTION OF THE REVISED FEATURES.

APPLICANT  
"I THOMAS LUDGATE, HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THE SWM SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE UPPER UNCHLAN TOWNSHIP ORDINANCE NO. \_\_\_\_\_."

DESIGN ENGINEER

**POST CONSTRUCTION STORMWATER MANAGEMENT PLAN**

SITUATE IN:  
UPPER UNCHLAN TOWNSHIP,  
CHESTER COUNTY,  
PENNSYLVANIA

**WINDSOR BAPTIST CHURCH**

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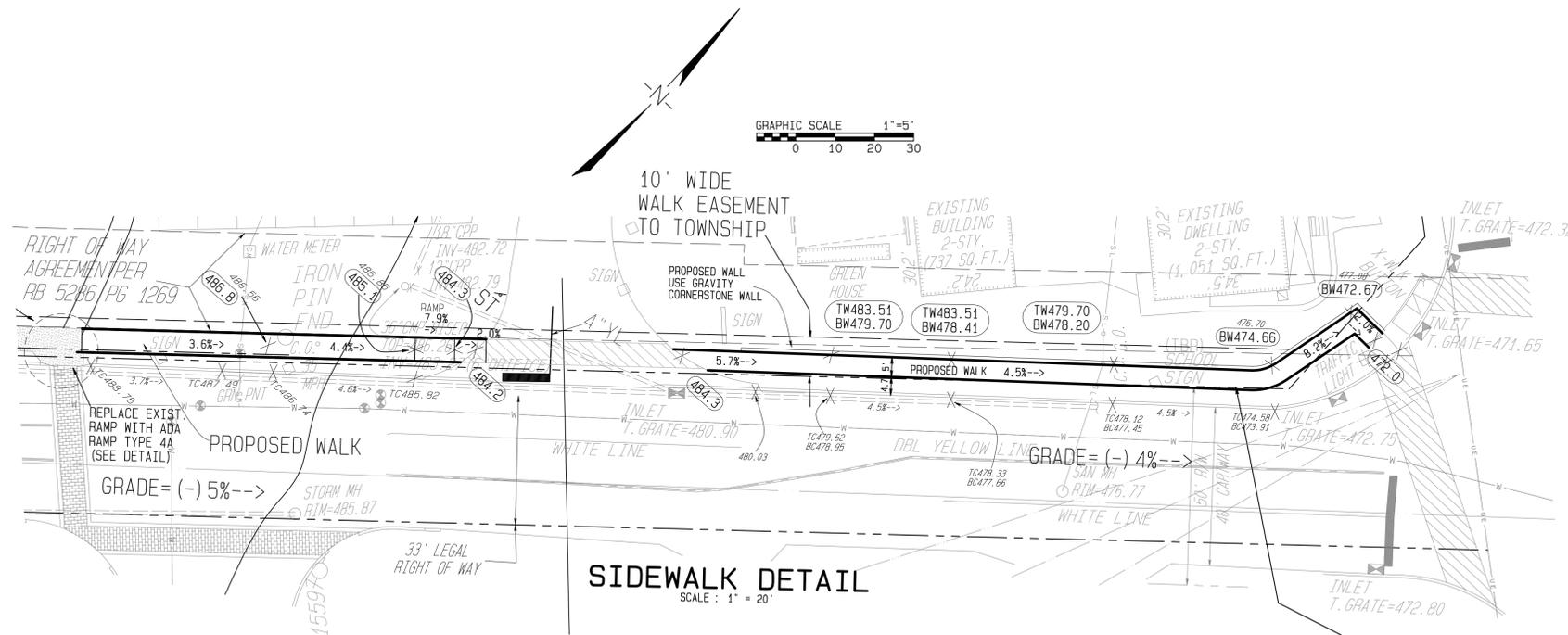
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SCALE 1"=50'	TAX MAP PARCEL	DRAWING NUMBER D-7700413	SHEET 5 OF 21	

REVISION	DATE	DESCRIPTION
#3 WAH	04-14-20	
#2 WAH	12-02-19	PER GILMORE REVIEW 07-03-19
#1 WAH	04-18-19	PER GILMORE REVIEW 04-04-19

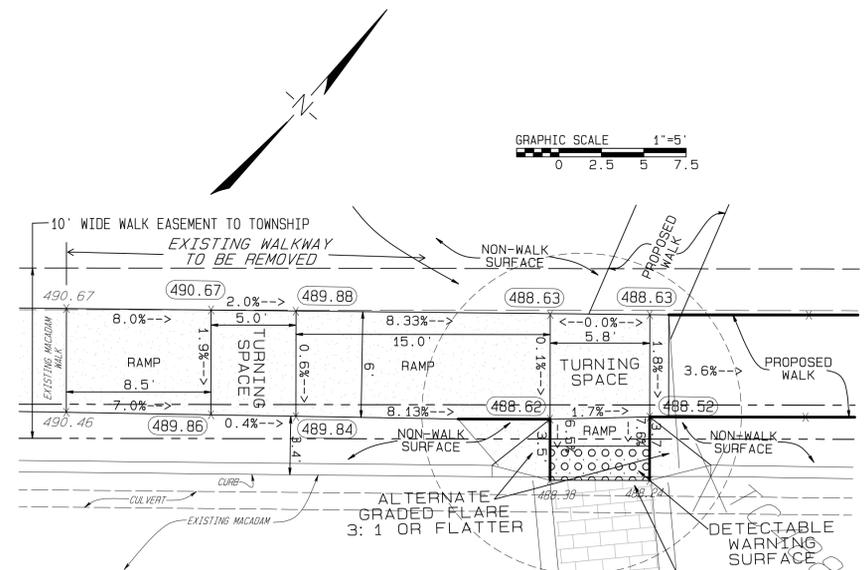
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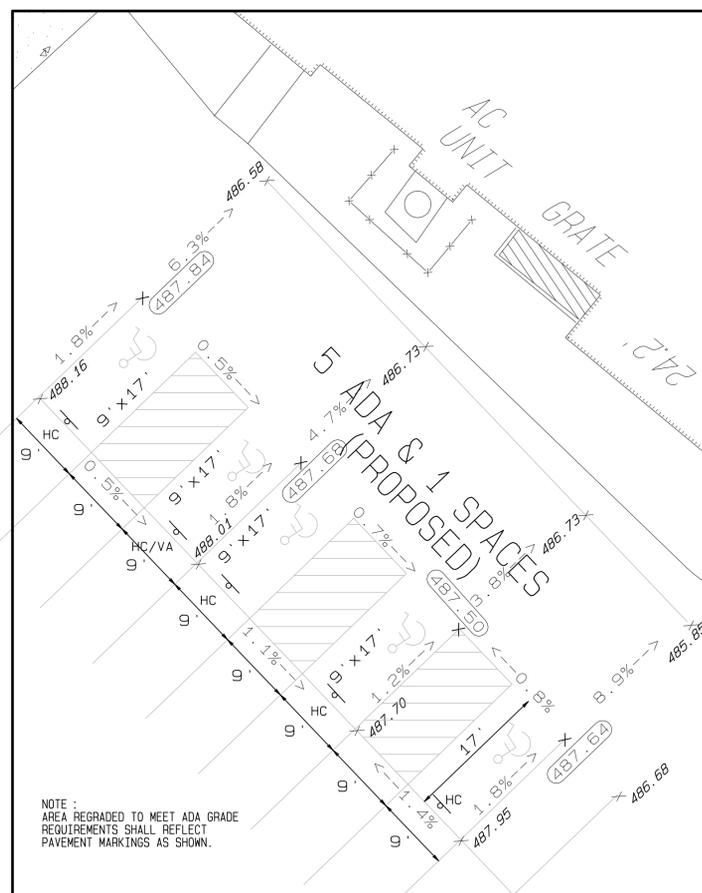




**SIDEWALK DETAIL**  
SCALE: 1" = 20'



**ALTERNATE TYPE 4A CURB RAMP (PERPENDICULAR)**  
SCALE: 1" = 5'



**ADA PARKING GRADING DETAIL**  
SCALE: 1" = 10'

REVISION	DATE	DESCRIPTION
#3 WAH	04-14-20	
#2 WAH	12-02-19	PER GILMORE REVIEW 07-03-19
#1 WAH	04-18-19	PER GILMORE REVIEW 04-04-19

SITUATE IN:  
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**GRADING DETAIL PLAN**

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**LEGEND (EXISTING)**

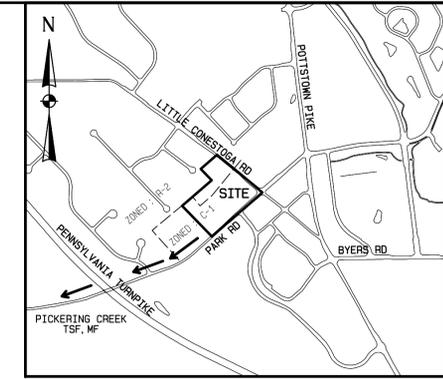
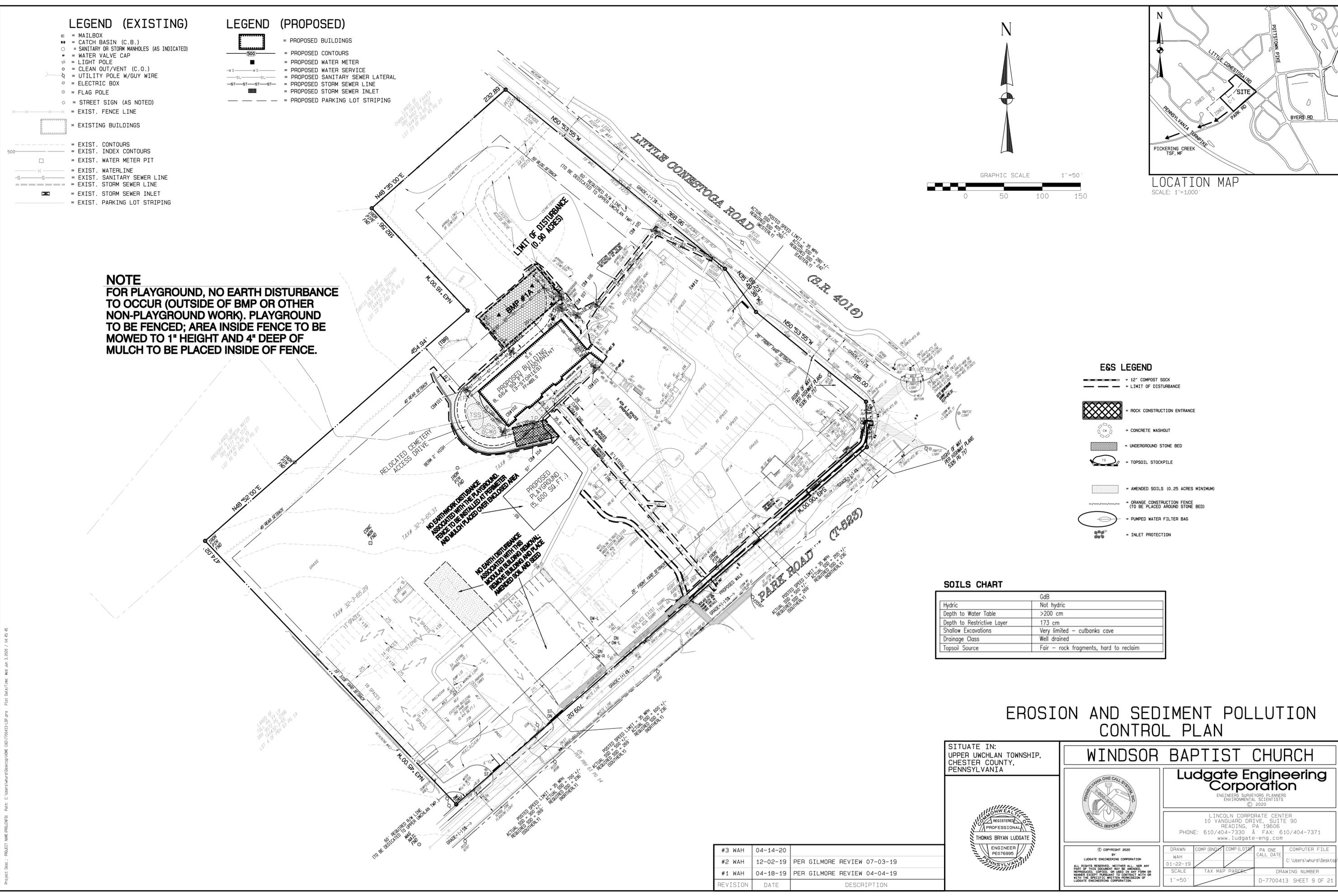
- = MAILBOX
- = CATCH BASIN (C.B.)
- = SANITARY OR STORM MANHOLES (AS INDICATED)
- = WATER VALVE CAP
- = LIGHT POLE
- = CLEAN OUT/VENT (C.O.)
- = UTILITY POLE W/GUY WIRE
- = ELECTRIC BOX
- = FLAG POLE
- = STREET SIGN (AS NOTED)
- = EXIST. FENCE LINE
- ▭ = EXISTING BUILDINGS
- = EXIST. CONTOURS
- = EXIST. INDEX CONTOURS
- = EXIST. WATER METER PIT
- = EXIST. WATERLINE
- = EXIST. SANITARY SEWER LINE
- = EXIST. STORM SEWER LINE
- = EXIST. STORM SEWER INLET
- = EXIST. PARKING LOT STRIPING

**LEGEND (PROPOSED)**

- ▭ = PROPOSED BUILDINGS
- = PROPOSED CONTOURS
- = PROPOSED WATER METER
- = PROPOSED WATER SERVICE
- = PROPOSED SANITARY SEWER LATERAL
- = PROPOSED STORM SEWER LINE
- = PROPOSED STORM SEWER INLET
- = PROPOSED PARKING LOT STRIPING

**NOTE**

FOR PLAYGROUND, NO EARTH DISTURBANCE TO OCCUR (OUTSIDE OF BMP OR OTHER NON-PLAYGROUND WORK). PLAYGROUND TO BE FENCED; AREA INSIDE FENCE TO BE MOWED TO 1" HEIGHT AND 4" DEEP OF MULCH TO BE PLACED INSIDE OF FENCE.



LOCATION MAP  
SCALE: 1"=1,000'

**E&S LEGEND**

- = 12" COMPOST SOCK
- = LIMIT OF DISTURBANCE
- ▭ = ROCK CONSTRUCTION ENTRANCE
- = CONCRETE WASHOUT
- ▭ = UNDERGROUND STONE BED
- = TOPSOIL STOCKPILE
- ▭ = AMENDED SOILS (0.25 ACRES MINIMUM)
- = ORANGE CONSTRUCTION FENCE (TO BE PLACED AROUND STONE BED)
- = PUMPED WATER FILTER BAG
- = INLET PROTECTION

**SOILS CHART**

	GdB
Hydric	Not hydric
Depth to Water Table	>200 cm
Depth to Restrictive Layer	173 cm
Shallow Excavations	Very limited - cutbanks cave
Drainage Class	Well drained
Topsoil Source	Fair - rock fragments, hard to reclaim

**EROSION AND SEDIMENT POLLUTION CONTROL PLAN**

SITUATE IN:  
UPPER UNCHLAN TOWNSHIP,  
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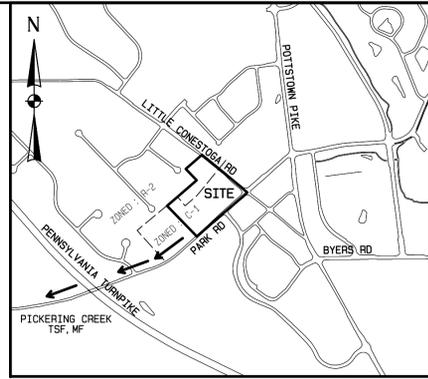
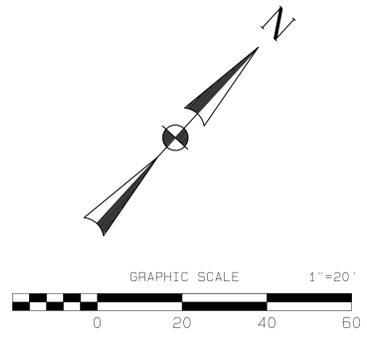
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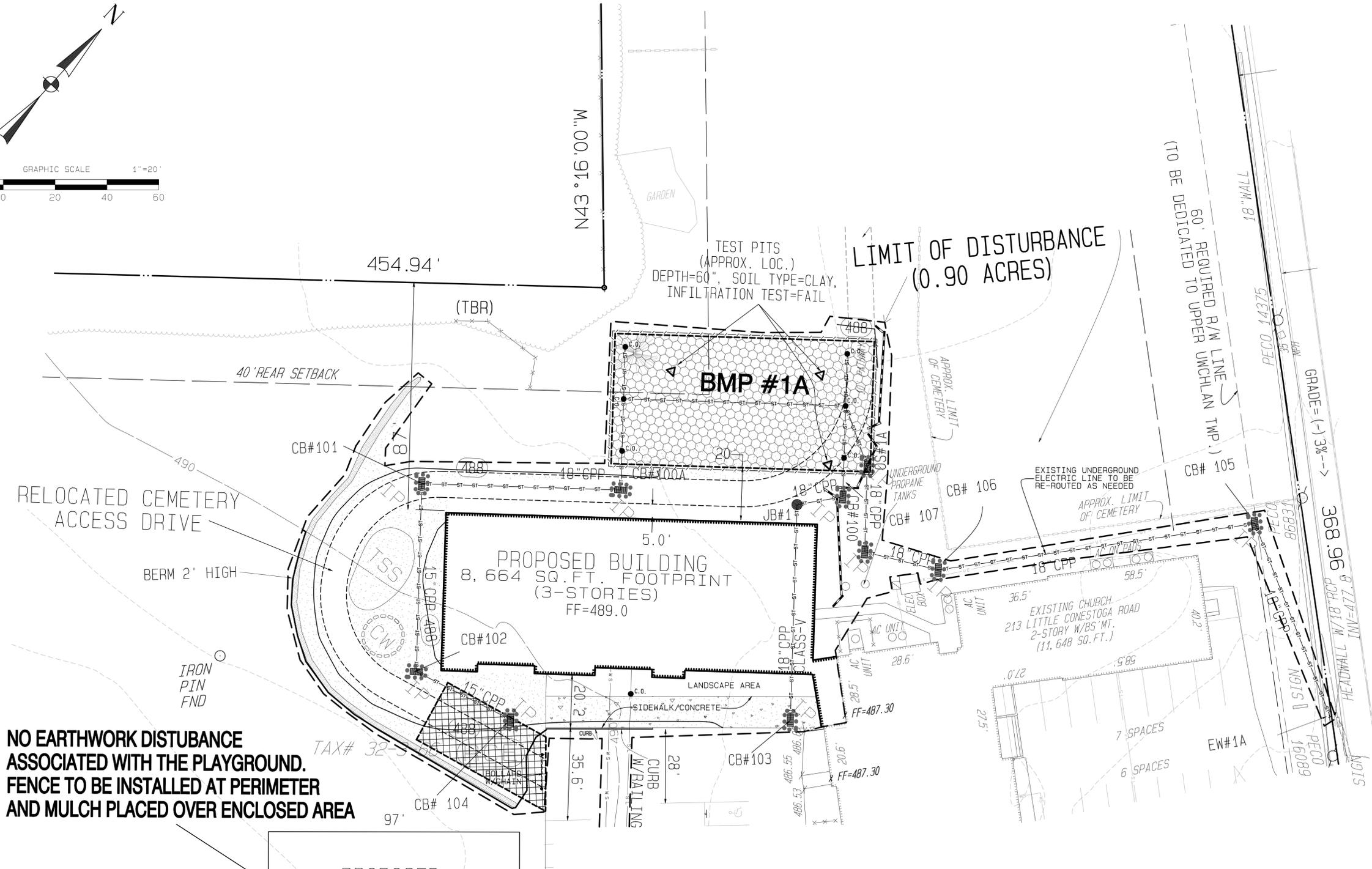
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WAH				C:\Users\whurd\Desktop\ONE CALL
01-22-19				
SCALE	TAX MAP PARCEL			DRAWING NUMBER
1"=50'				D-7700413 SHEET 9 OF 21

#	WAH	DATE	DESCRIPTION
#3	WAH	04-14-20	
#2	WAH	12-02-19	PER GILMORE REVIEW 07-03-19
#1	WAH	04-18-19	PER GILMORE REVIEW 04-04-19
REVISION		DATE	DESCRIPTION

PROJECT NAME: PROJECT: PROJECTIONS: PAINT: C:\Users\whurd\Desktop\ONE CALL\7700413-1.DWG PLOT DATE/TIME: Wed Jun 3 2020 / 14:46:45



LOCATION MAP  
SCALE: 1"=1,000'



**LEGEND (EXISTING)**

- ☐ = MAILBOX
- ☐ = CATCH BASIN (C.B.)
- = SANITARY OR STORM MANHOLES (AS INDICATED)
- = WATER VALVE CAP
- = LIGHT POLE
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- = FLAG POLE
- = STREET SIGN (AS NOTED)
- = EXIST. FENCE LINE
- ▭ = EXISTING BUILDINGS
- - - = EXIST. CONTOURS
- - - = EXIST. INDEX CONTOURS
- - - = EXIST. WATER METER PIT
- - - = EXIST. WATERLINE
- - - = EXIST. SANITARY SEWER LINE
- - - = EXIST. STORM SEWER LINE
- - - = EXIST. STORM SEWER INLET
- - - = EXIST. PARKING LOT STRIPING

**E&S LEGEND**

- - - = 12" COMPOST SOCK
- - - = LIMIT OF DISTURBANCE
- ▨ = ROCK CONSTRUCTION ENTRANCE
- = CONCRETE WASHOUT
- ▨ = UNDERGROUND STONE BED
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- ▨ = AMENDED SOILS (0.25 ACRES MINIMUM)
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Hydric	Not hydric
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Depth to Restrictive Layer	173 cm
Shallow Excavations	Very limited - cutbanks cave
Drainage Class	Well drained
Topsoil Source	Fair - rock fragments, hard to reclaim

**NO EARTHWORK DISTURBANCE ASSOCIATED WITH THE PLAYGROUND. FENCE TO BE INSTALLED AT PERIMETER AND MULCH PLACED OVER ENCLOSED AREA**

**NOTE FOR PLAYGROUND, NO EARTH DISTURBANCE TO OCCUR (OUTSIDE OF BMP OR OTHER NON-PLAYGROUND WORK). PLAYGROUND TO BE FENCED; AREA INSIDE FENCE TO BE MOWED TO 1" HEIGHT AND 4" DEEP OF MULCH TO BE PLACED INSIDE OF FENCE.**

**EROSION AND SEDIMENT POLLUTION CONTROL PLAN**

SITUATE IN:  
UPPER UNCHLAN TOWNSHIP,  
CHESTER COUNTY,  
PENNSYLVANIA

**WINDSOR BAPTIST CHURCH**



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#	WAH	DATE	DESCRIPTION
#3	WAH	04-14-20	
#2	WAH	12-02-19	PER GILMORE REVIEW 07-03-19
#1	WAH	04-18-19	PER GILMORE REVIEW 04-04-19
REVISION		DATE	DESCRIPTION

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SCALE 1"=20'	TAX MAP PARCEL	DRAWING NUMBER D-7700413	SHEET 10 OF 21		

PROJECT NO.: 17-001-001; PROJECT NAME: WINDSOR BAPTIST CHURCH; DATE: 01/22/2019; 15:38:43



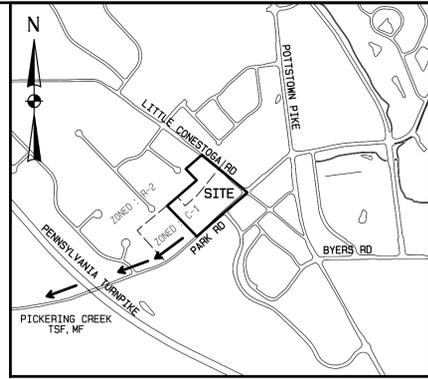
**LEGEND (EXISTING)**

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- - - = EXIST. CONTOURS
- - - = EXIST. INDEX CONTOURS
- = EXIST. WATER METER PIT
- W — = EXIST. WATERLINE
- S — = EXIST. SANITARY SEWER LINE
- SS — = EXIST. STORM SEWER LINE
- ⊙ = EXIST. STORM SEWER INLET
- = EXIST. PARKING LOT STRIPING

**Double Ring Infiltration Testing**

Time	Distance (ft)	Drop (ft)	Drop (in)
04/29/19			
09:43:00 PM		2 presoak	
10:13:00 PM		0	0
10:43:00 PM		0	0
11:13:00 PM		0	0
11:43:00 PM		0	0
		Geometric Mean	0

Testing was complete by Michael Groff of Ludgate Engineering On 4-29-19. Test was a double ring infiltrometer test. The weather was warm and dry all day during the infiltration testing. The test failed with zero inches of water draining.



TUDOR LANE

LITTLE CONESTOGA ROAD

(B.R. 4016)

CAMBRIDGE ROAD

PARK ROAD

(T-523)

**SOILS CHART**

	GdB
Hydric	Not hydric
Depth to Water Table	>200 cm
Depth to Restrictive Layer	173 cm
Shallow Excavations	Very limited - cutbanks cave
Drainage Class	Well drained
Topsoil Source	Fair - rock fragments, hard to reclaim

**EXISTING FEATURES PLAN**

SITUATE IN:  
UPPER UNCHLAN TOWNSHIP,  
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REVISION	DATE	DESCRIPTION
#3 WAH	04-14-20	
#2 WAH	12-02-19	PER GILMORE REVIEW 07-03-19
#1 WAH	04-18-19	PER GILMORE REVIEW 04-04-19

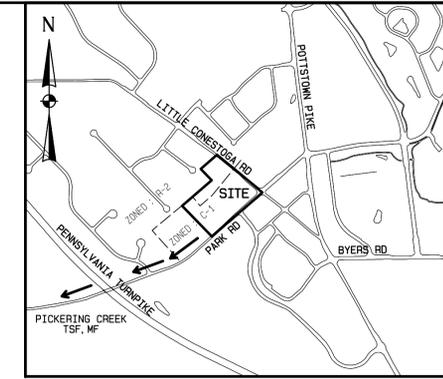
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SCALE	TAX MAP PARCEL		12-21-19	C:\Users\whurd\Desktop\ONE CAD
1"=50'				DRAWING NUMBER
				D-7700413 SHEET 12 OF 21

**LEGEND (EXISTING)**

- ☐ = MAILBOX
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- = EXIST. PARKING LOT STRIPING

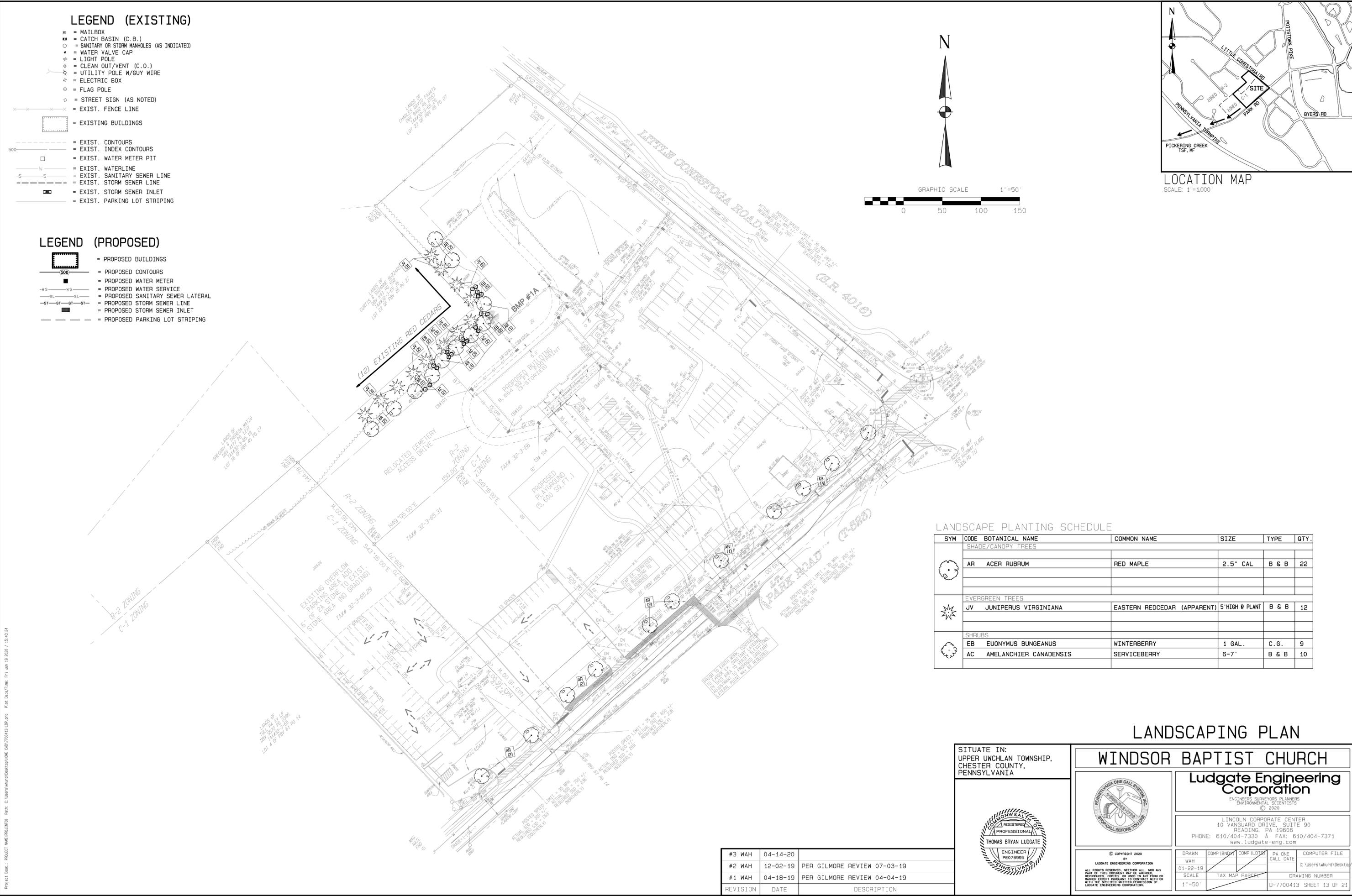
**LEGEND (PROPOSED)**

- ☐ = PROPOSED BUILDINGS
- = PROPOSED CONTOURS
- = PROPOSED WATER METER
- = PROPOSED WATER SERVICE
- = PROPOSED SANITARY SEWER LATERAL
- = PROPOSED STORM SEWER LINE
- ☐ = PROPOSED STORM SEWER INLET
- = PROPOSED PARKING LOT STRIPING



**LOCATION MAP**

SCALE: 1"=1,000'



**LANDSCAPE PLANTING SCHEDULE**

SYM	CODE	BOTANICAL NAME	COMMON NAME	SIZE	TYPE	QTY.
SHADE/CANOPY TREES						
☐	AR	ACER RUBRUM	RED MAPLE	2.5" CAL	B & B	22
EVERGREEN TREES						
☐	JV	JUNIPERUS VIRGINIANA	EASTERN REDCEDAR (APPARENT)	5' HIGH @ PLANT	B & B	12
SHRUBS						
☐	EB	EUONYMUS BUNGEANUS	WINTERBERRY	1 GAL.	C. G.	9
☐	AC	AMELANCHIER CANADENSIS	SERVICEBERRY	6-7'	B & B	10

**LANDSCAPING PLAN**

SITUATE IN:  
UPPER UNCHLAN TOWNSHIP,  
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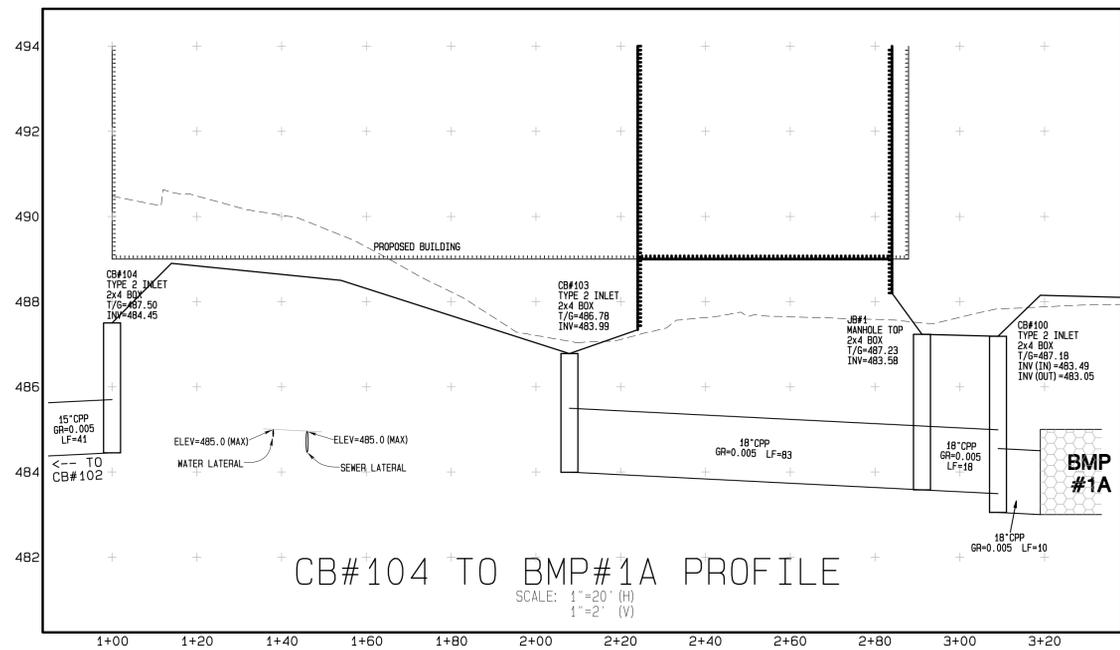
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DRAWN		COMP (BNDY)		COMP (LOTIS)		PA ONE CALL DATE		COMPUTER FILE	
WAH									C:\Users\whurd\Desktop\ONE CAD
SCALE		TAX MAP PARCEL		DRAWING NUMBER					
1"=50'				D-7700413		SHEET 13 OF 21			

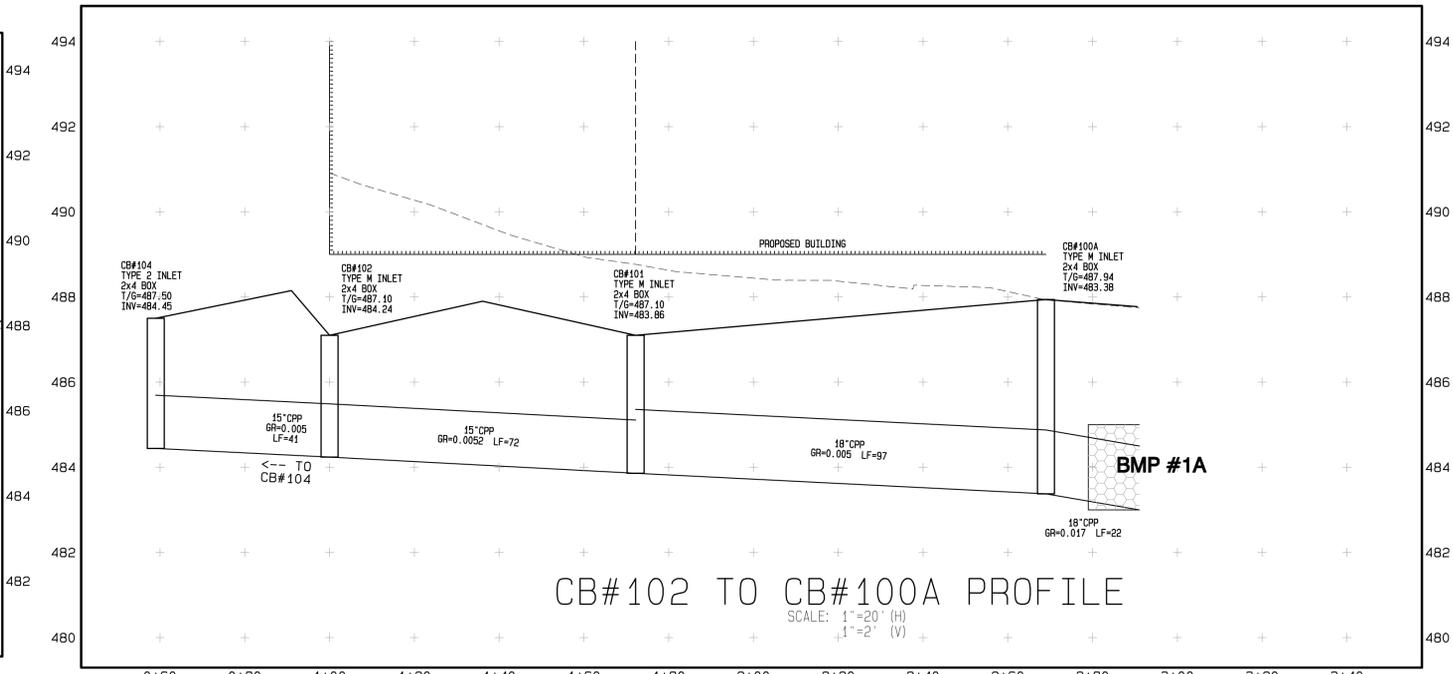
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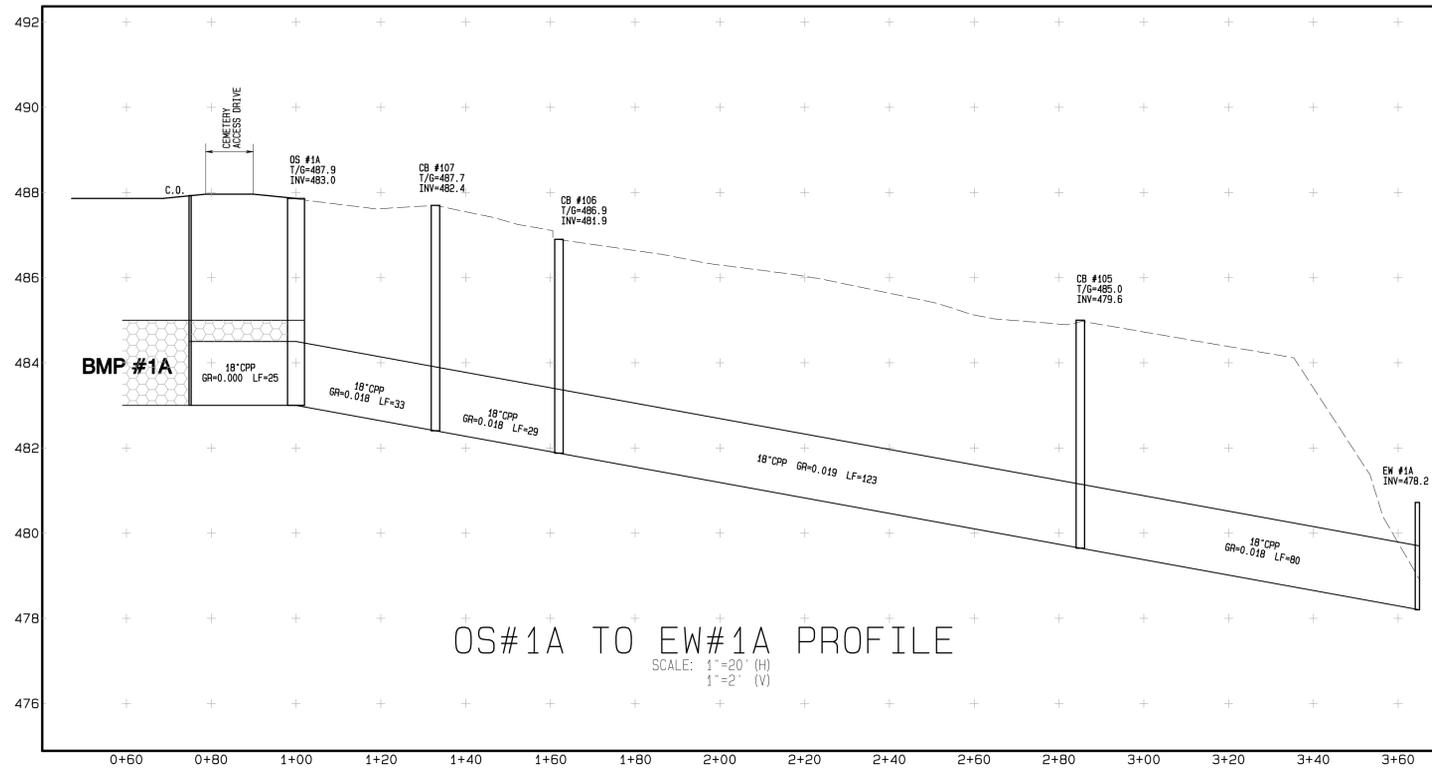
CB#104 TO BMP#1A PROFILE

SCALE: 1"=20' (H)  
1"=2' (V)



CB#102 TO CB#100A PROFILE

SCALE: 1"=20' (H)  
1"=2' (V)



OS#1A TO EW#1A PROFILE

SCALE: 1"=20' (H)  
1"=2' (V)

PROJECT: PROJECT NAME PROJ#001; PATH: C:\Users\ludgate\OneDrive\Documents\001700413\001.dwg; PLOT DATE/TIME: Fri, Jun 10, 2022 15:42:09

PROFILE PLAN

SITUATE IN:  
UPPER UNCHLAN TOWNSHIP,  
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PENNSYLVANIA

WINDSOR BAPTIST CHURCH

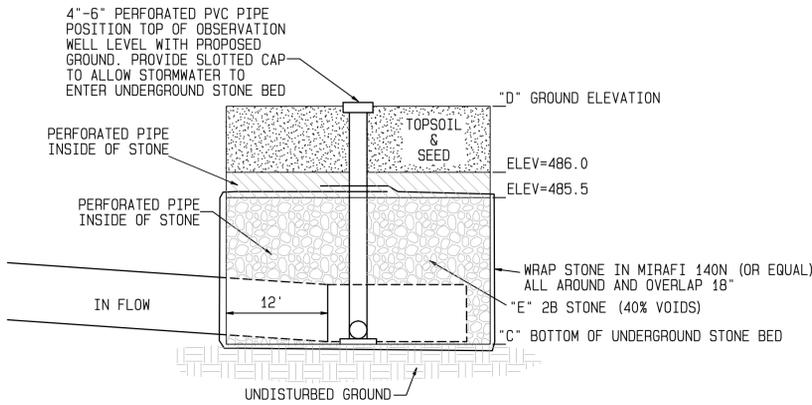


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DRAWN		COMP (BND)		COMP (LOT)		PA ONE CALL DATE		COMPUTER FILE	
WAH		01-22-19				C:\Users\ludgate\Desktop\001700413\001.dwg		001700413.DWG	
SCALE		TAX MAP PARCEL		DRAWING NUMBER		D-7700413		SHEET 15 OF 21	
1"=20'									



	TOP OF BERM "A"	INV PIPE "B"	BOTTOM UNDERGROUND STONE BED "C"	GROUND ELEVATION "D"	STONE VOLUME "E"	OUTLET INVERT "F"	ORIFICE SIZE
INFILTRATOR #1A	N/A	483.0	483.0	487.9	50' X 100' X 2.5'	483.0	3"

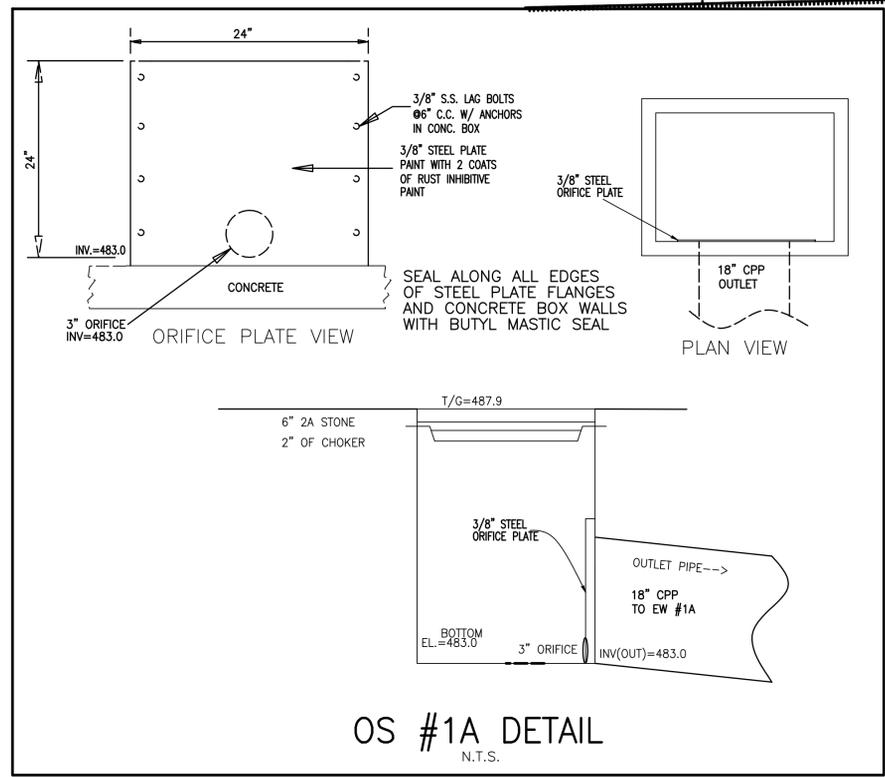
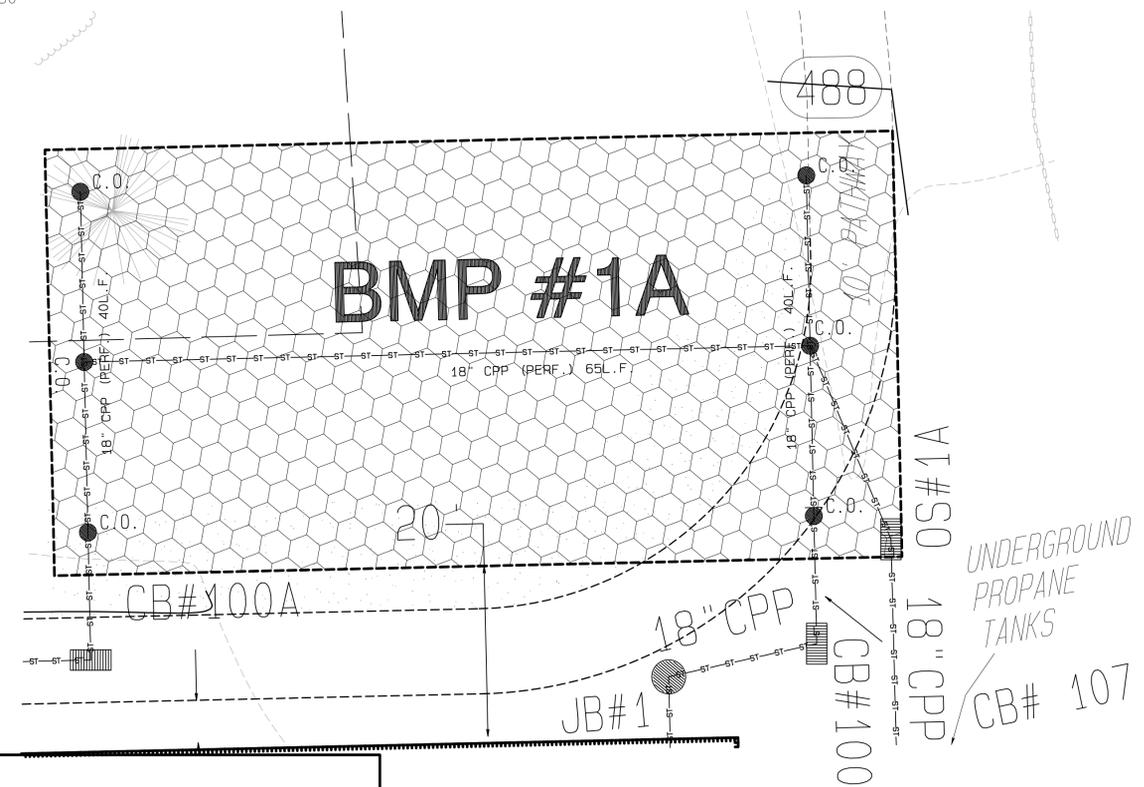
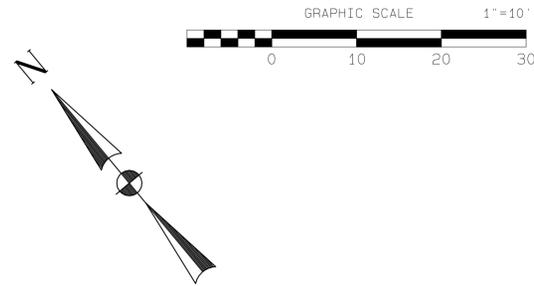
**CONSTRUCTION NOTES:**

- THE EXISTING SUBGRADE UNDER THE STONE BED SHALL NOT BE COMPACTED OR SUBJECTED TO EXCESSIVE CONSTRUCTION EQUIPMENT TRAFFIC PRIOR TO THE PLACEMENT OF NONWOVEN GEOTEXTILE AND STONE BED.
- PRIOR TO CONSTRUCTION, STONE AREAS SHALL BE MARKED OFF IN THE FIELD. THE AREAS SHALL BE DELINEATED WITH CONSTRUCTED FENCING OR TAPE IN SUCH A MANNER AS TO PREVENT THE PARKING OR REPEATED MOVEMENT OF CONSTRUCTION EQUIPMENT ACROSS THE STONE AREAS.
- BED BOTTOM SHOULD BE LEVEL AFTER FINAL GRADING.
- PRIOR TO STONE BED GRADING AND PLACEMENT OF GEOTEXTILE, UPGRADIENT AREAS SHALL BE SUFFICIENTLY STABILIZED TO PREVENT THE WASHING OF SEDIMENT INTO THE RECHARGE AREAS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PREVENT THE DEPOSITION OF SEDIMENT OR SEDIMENT-LADEN WATERS IN TO THE STONE STRUCTURE AFTER FINAL GRADING.
- UPON APPROVAL OF FINAL SUBGRADE PREPARATION, NONWOVEN GEOTEXTILE AND STONE BED AGGREGATE SHALL BE PLACED IMMEDIATELY. ANY ACCUMULATION OF DEBRIS OR SEDIMENT WHICH HAS TAKEN PLACE AFTER APPROVAL OF THE SUBGRADE SHALL BE REMOVED PRIOR TO INSTALLATION OF NONWOVEN GEOTEXTILE AT NO EXTRA COST TO OWNER. WHERE EROSION HAS CAUSED ACCUMULATION OF FINE MATERIALS AND/OR SURFACE PONDING, THIS MATERIAL SHALL BE REMOVED WITH LIGHT EQUIPMENT AND THE UNDERLYING SOILS SCARIFIED TO A MINIMUM DEPTH OF 6" WITH A YORK RAKE AND LIGHT TRACTOR.
- IF BEDROCK IS ENCOUNTERED AT ANY TIME DURING EXCAVATION OF THE STONE BED, EXCAVATION IS TO BE DISCONTINUED IN THE AFFECTED AREA AND THE OWNER AND ENGINEER NOTIFIED AT ONCE.
- PLACE NONWOVEN GEOTEXTILE IN ACCORDANCE WITH MANUFACTURER'S STANDARDS AND RECOMMENDATIONS. ADJACENT STRIPS OF NONWOVEN GEOTEXTILE SHALL OVERLAP A MINIMUM OF 12". SECURE FABRIC AT LEAST 4' OUTSIDE OF BED AND TAKE STEPS NECESSARY TO PREVENT ANY SEDIMENT FROM ENTERING TRENCH.
- AGGREGATE SHALL BE CLEAN WITH A WASH LOSS OF NO MORE THAN 0.5%. INSTALLATION OF THE STONE SHOULD BE CHECKED BY THE DESIGN OR SITE ENGINEER PRIOR TO INSTALLATION INTO THE INFILTRATION BMP TO ENSURE THAT IT IS CLEAN WASHED STONE. AGGREGATE THAT DOES NOT MEET THIS CRITERIA WILL BE REMOVED AT NO EXTRA COST TO THE OWNER AND THE BEDS RESTORED TO THE OWNER'S SATISFACTION.

**NOTES:**

- BED FILTER FABRIC & STONE SHOULD BE KEPT CLEAN OF SOIL/SEDIMENT DURING THE INSTALLATION PROCESS. IF INSPECTION INDICATES THAT THE SOIL/SEDIMENT HAS ENTERED ANY OF THE INFILTRATION SEEPAGE BEDS, APPROPRIATE MEASURES (I.E. CLEANING THE SOIL/SEDIMENT FROM THE FABRIC, STONE, BED ETC. AND OR REPLACEMENT OF THE FABRIC AND STONE) SHOULD BE ADDRESSED.
- EXCAVATION SHALL BE PERFORMED WITH EQUIPMENT THAT WILL NOT COMPACT THE BOTTOM OF THE TRENCH. EQUIPMENT SHALL NOT BE ALLOWED ON EXCAVATED AREAS OF THE INFILTRATION TRENCHES AT ANY TIME DURING ITS CONSTRUCTION.
- THE BOTTOM OF THE TRENCHES SHALL BE SCARIFIED IMMEDIATELY PRIOR TO THE PLACEMENT OF THE GEOTEXTILE FABRIC ON THE BOTTOM OF THE BED.
- THE BED SHALL BE PROTECTED DURING CONSTRUCTION. SEDIMENT SHALL NOT BE ALLOWED TO BE WASHED BACK INTO THE TRENCHES BOTH DURING THE TIME WHEN THE BOTTOM OF THE BED IS OPEN AND ONCE THE STONE IS IN PLACE.
- ONLY UNIFORMLY GRADED, CLEAN AGGREGATE, FREE OF FINES, SLATE, SHALE, CLAY, SILT, AND VEGETATIVE MATERIAL SHALL BE USED. THE SUPPLIER OF THE STONE SHALL PROVIDE CERTIFICATION OF THE POROSITY OF THE STONE DELIVERED TO THE SITE.
- DRAINAGE FILTER FABRIC SHALL BE PLACED IN ACCORDANCE WITH MANUFACTURER'S DIRECTIONS, INCLUDING PIPE PENETRATIONS, AND SHOULD OVERLAP A MINIMUM OF 16 INCHES.
- DURING SITE CONSTRUCTION, ALL FACILITY COMPONENTS SHALL BE PROTECTED FROM SEDIMENTATION USING STORM INLET PROTECTION IN CONFORMANCE WITH THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION (PADEP) CHAPTER 102 REGULATIONS, AS AMENDED, AND THE EROSION AND SEDIMENT POLLUTION CONTROL MANUAL, AS AMENDED. INLET PROTECTION SHALL REMAIN UNTIL THE CONTRIBUTORY DRAINAGE AREA HAS ACHIEVED FULL STABILIZATION.
- NO PLANT MATERIAL, OTHER THAN GRASS, SHALL BE PLANTED OVER THE INFILTRATION TRENCHES.
- INSTALLATION OF THE STONE TO BE CHECKED BY THE DESIGN OR SITE ENGINEER PRIOR TO INSTALLATION INTO THE SEEPAGE BED TO ENSURE THAT IS CLEAN WASHED STONE.
- GUTTERS SHOULD BE EQUIPPED WITH LEAFGU GUTTER GUARD OR EQUAL.
- FLASH FABRIC AROUND CURCUMFERENCE OF ALL PIPES PENETRATING THROUGH GEOTEXTILE FABRIC AND SECURE WITH GLUE.

**UNDERGROUND STONE BED**  
NO SCALE



**STORM WATER BMP #1A  
PLAN & DETAILS**

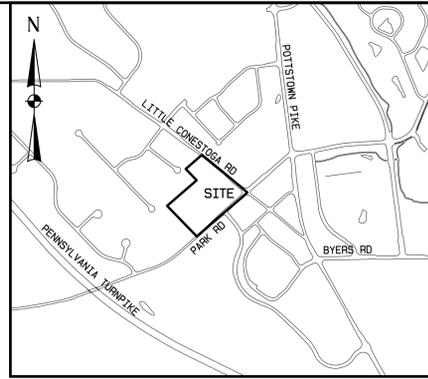
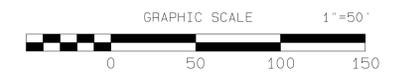
SITUATE IN:  
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CHESTER COUNTY,  
PENNSYLVANIA

<b>WINDSOR BAPTIST CHURCH</b>											
<b>Ludgate Engineering Corporation</b> ENGINEERS SURVEYORS PLANNERS ENVIRONMENTAL SCIENTISTS © 2020											
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SCALE	TAX MAP PARCEL	DRAWING NUMBER D-7700413 SHEET 16 OF 21									

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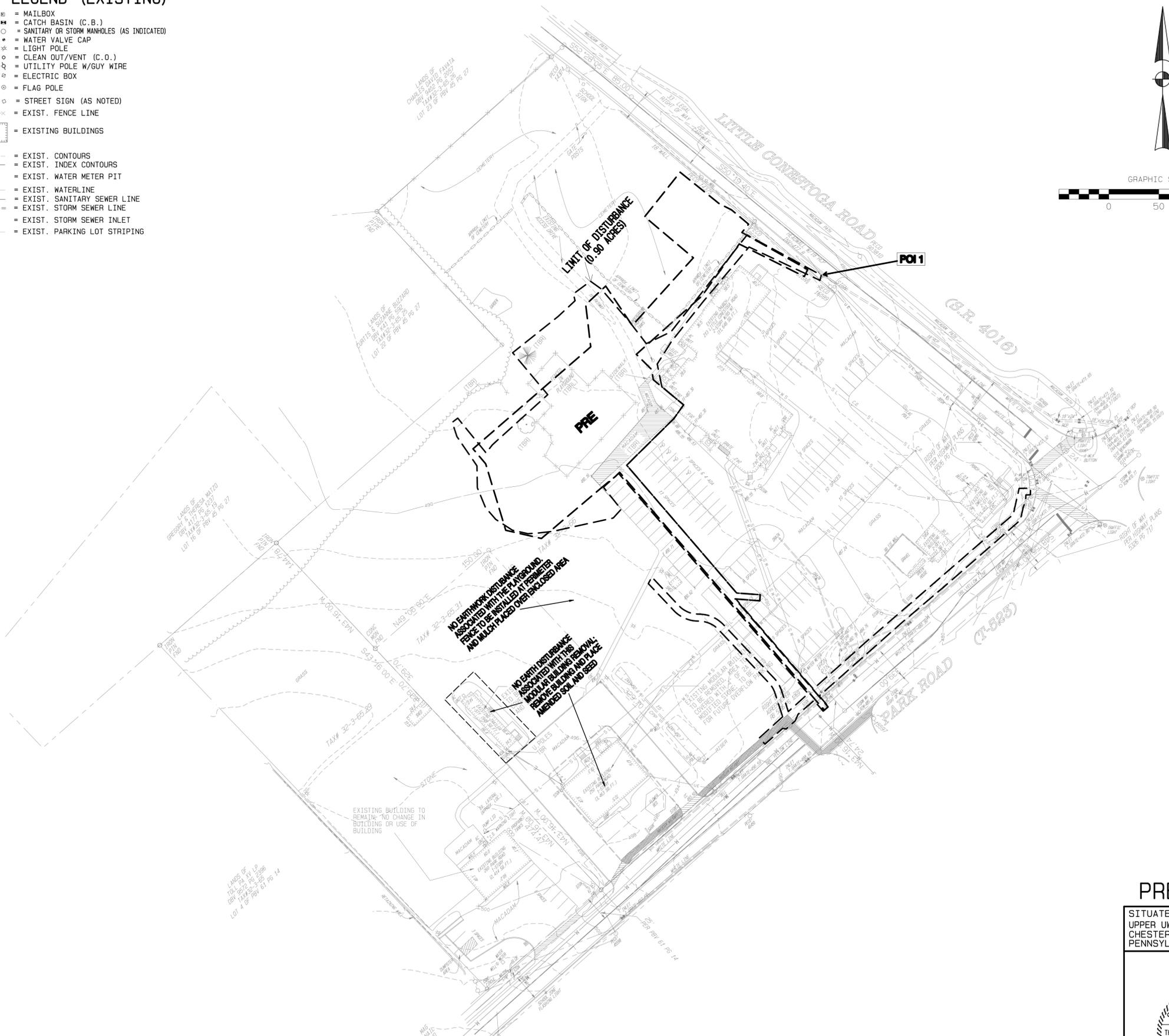
**LEGEND (EXISTING)**

- ☐ = MAILBOX
- ☐ = CATCH BASIN (C.B.)
- = SANITARY OR STORM MANHOLES (AS INDICATED)
- ⊙ = WATER VALVE CAP
- ⋆ = LIGHT POLE
- = CLEAN OUT/VENT (C.O.)
- ⋆ = UTILITY POLE W/GUY WIRE
- ⊙ = ELECTRIC BOX
- ⊙ = FLAG POLE
- ⊙ = STREET SIGN (AS NOTED)
- ⊙ = EXIST. FENCE LINE
- ▭ = EXISTING BUILDINGS
- = EXIST. CONTOURS
- = EXIST. INDEX CONTOURS
- = EXIST. WATER METER PIT
- W = EXIST. WATERLINE
- S- = EXIST. SANITARY SEWER LINE
- = EXIST. STORM SEWER LINE
- ⊙ = EXIST. STORM SEWER INLET
- = EXIST. PARKING LOT STRIPING



LOCATION MAP  
SCALE: 1"=1,000'

PROJECT FILE: PROJECT NAME PROJDIR: Path: C:\Users\whur\Desktop\WINDSOR CAD\7700413\DWG.dwg PLOT DATE/TIME: Wed Jun 3 2020 / 14:52:22



**PRE-CONSTRUCTION DRAINAGE AREA PLAN**

SITUATE IN:  
UPPER UNCHLAN TOWNSHIP,  
CHESTER COUNTY,  
PENNSYLVANIA

**WINDSOR BAPTIST CHURCH**



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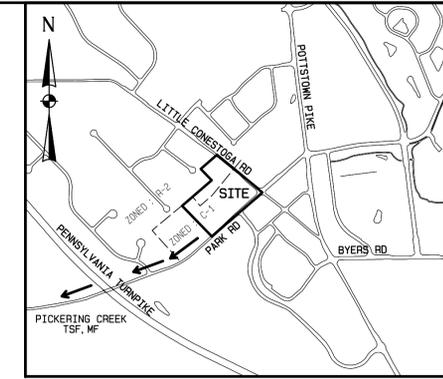
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SCALE	TAX MAP PARCEL		DRAWING NUMBER	
1"=50'			0-7700413 SHEET 17 OF 21	

#3 WAH	04-14-20	
#2 WAH	12-02-19	PER GILMORE REVIEW 07-03-19
#1 WAH	04-18-19	PER GILMORE REVIEW 04-04-19
REVISION	DATE	DESCRIPTION

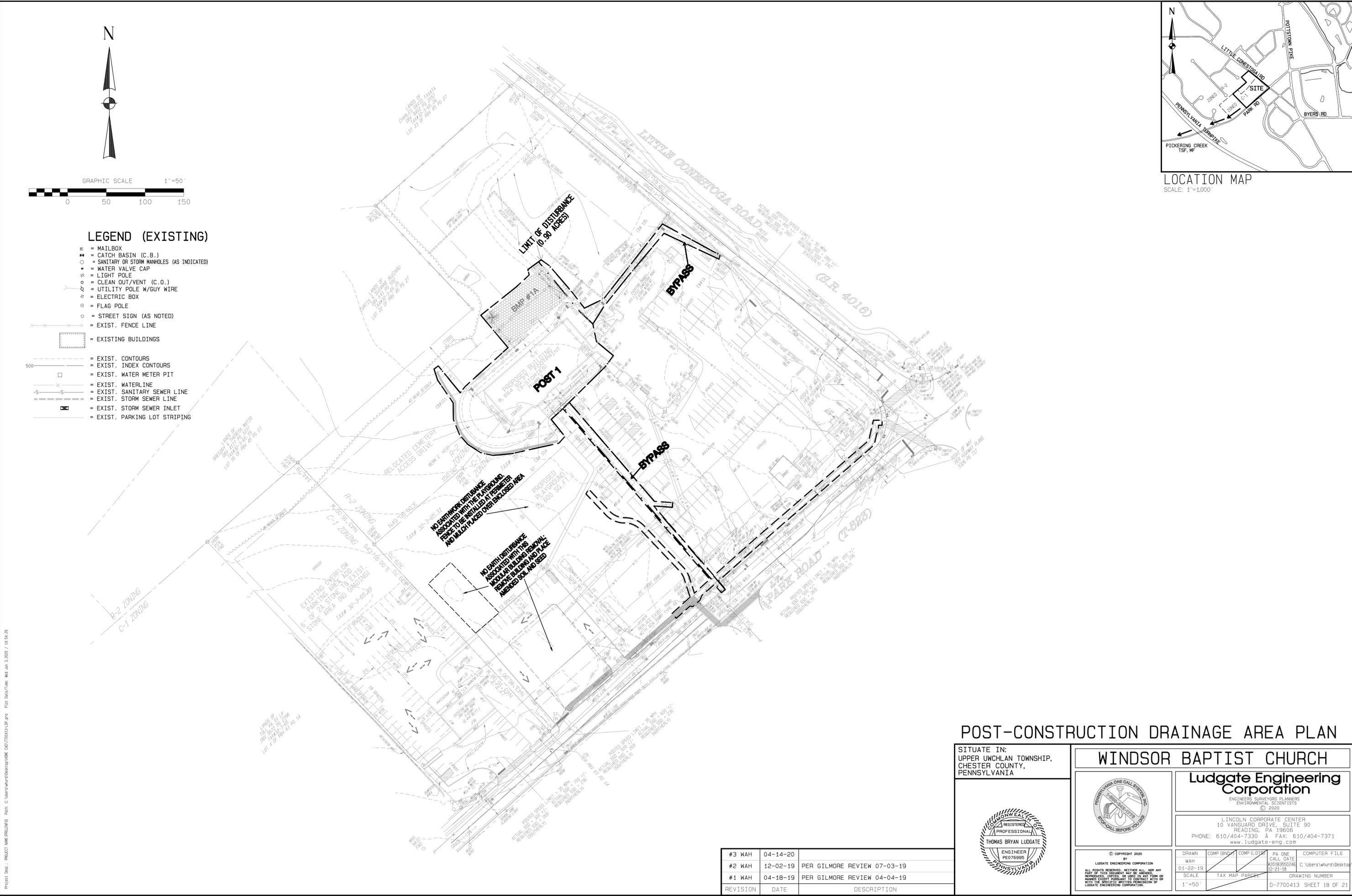


### LEGEND (EXISTING)

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- = EXIST. SANITARY SEWER LINE
- = EXIST. STORM SEWER LINE
- = EXIST. STORM SEWER INLET
- = EXIST. PARKING LOT STRIPING



LOCATION MAP  
SCALE: 1"=1,000'



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## POST-CONSTRUCTION DRAINAGE AREA PLAN

SITUATE IN:  
UPPER UNCHLAN TOWNSHIP,  
CHESTER COUNTY,  
PENNSYLVANIA

## WINDSOR BAPTIST CHURCH



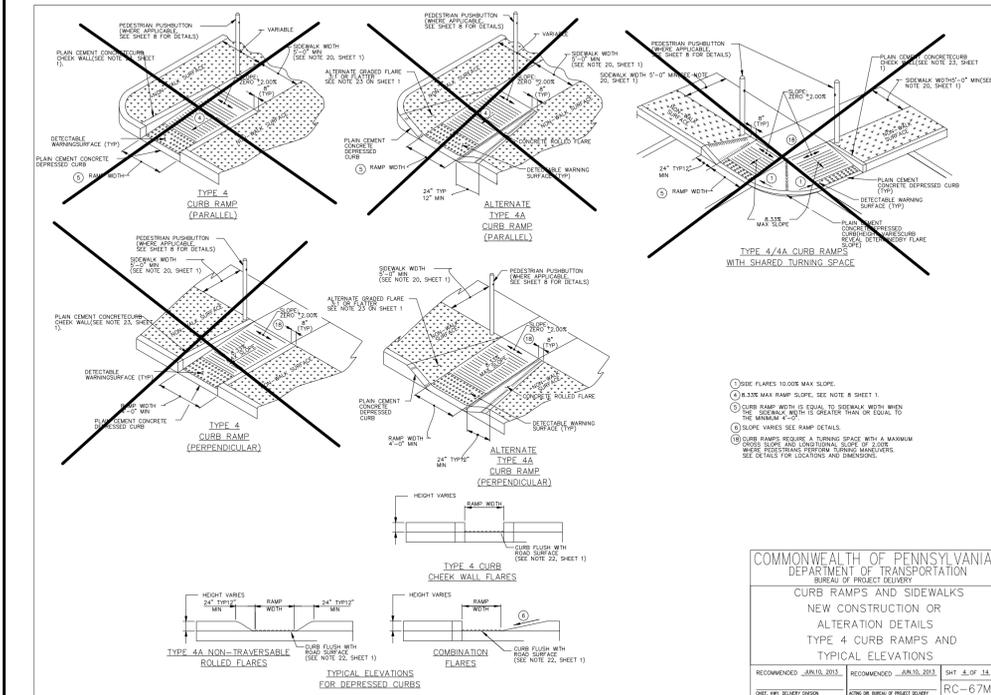
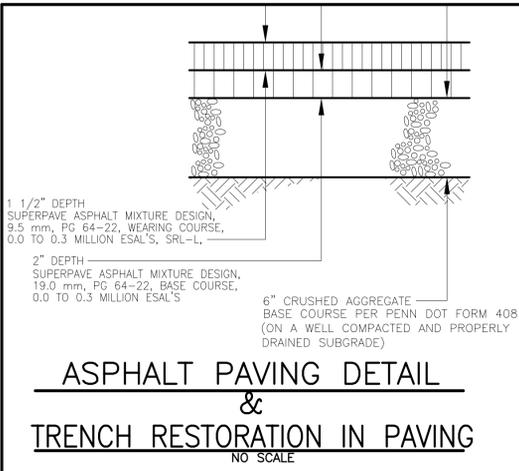
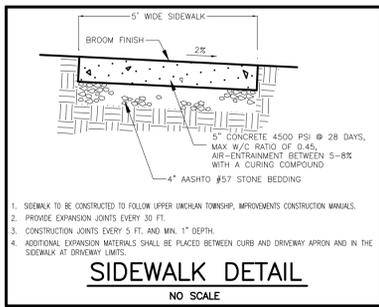
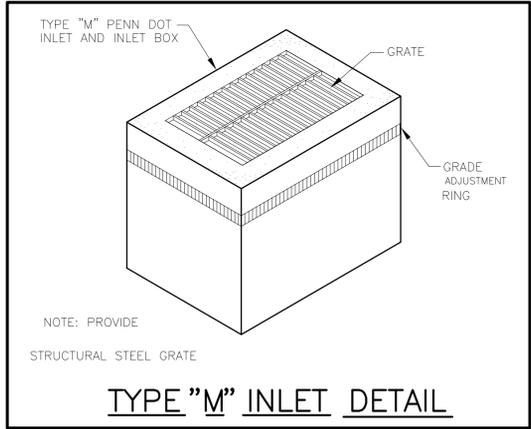
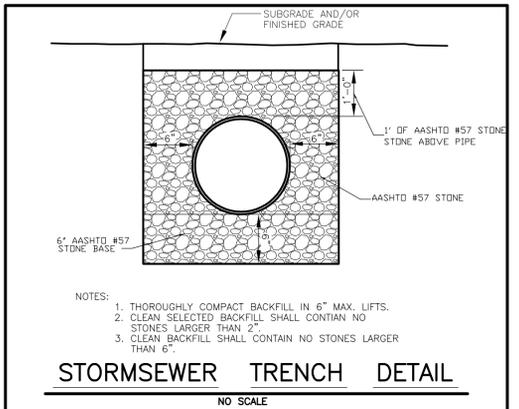
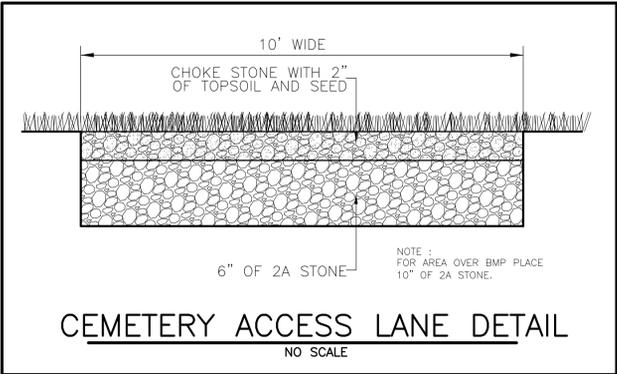
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1"=50'			D-7700413	SHEET 18 OF 21

#3 WAH	04-14-20	
#2 WAH	12-02-19	PER GILMORE REVIEW 07-03-19
#1 WAH	04-18-19	PER GILMORE REVIEW 04-04-19
REVISION	DATE	DESCRIPTION



SITUATE IN:  
UPPER UWCHLAN TOWNSHIP,  
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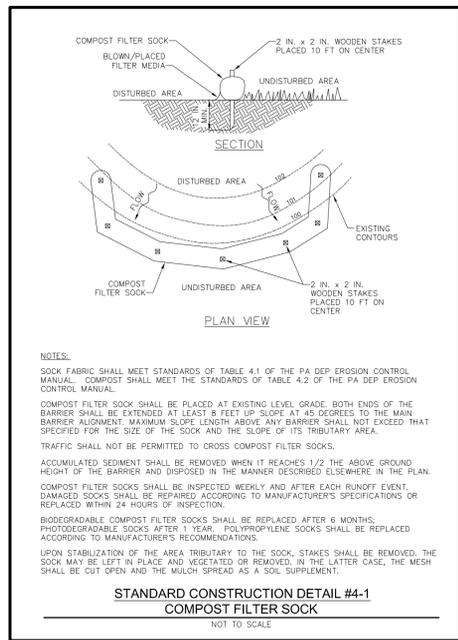
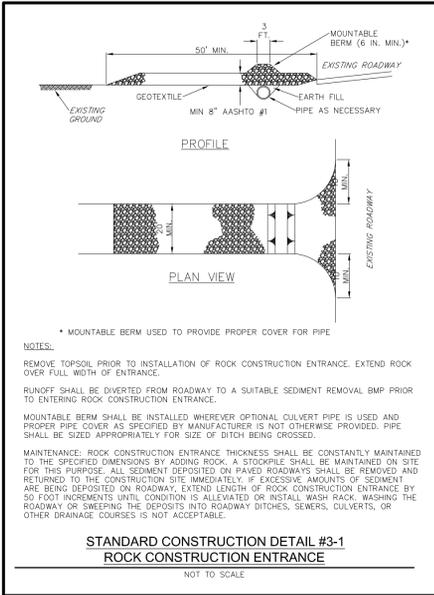
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01-22-19			
SCALE	MAP		DRAWING NUMBER
AS NOTED			D-7700413 SHEET 19 OF 21

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#	WAH	DATE	DESCRIPTION
#3	WAH	04-14-20	
#2	WAH	12-02-19	PER GILMORE REVIEW 07-03-19
#1	WAH	04-18-19	PER GILMORE REVIEW 04-04-19
REVISION	DATE		DESCRIPTION

**DETAIL SHEET**





### COMPOST SOCK FABRIC MINIMUM SPECIFICATIONS

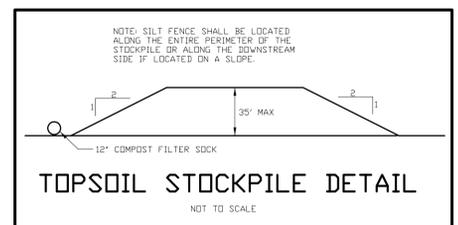
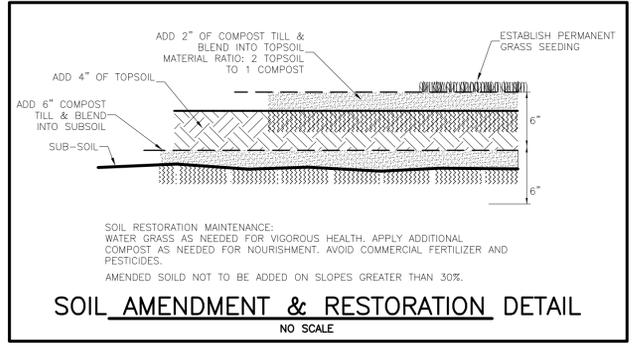
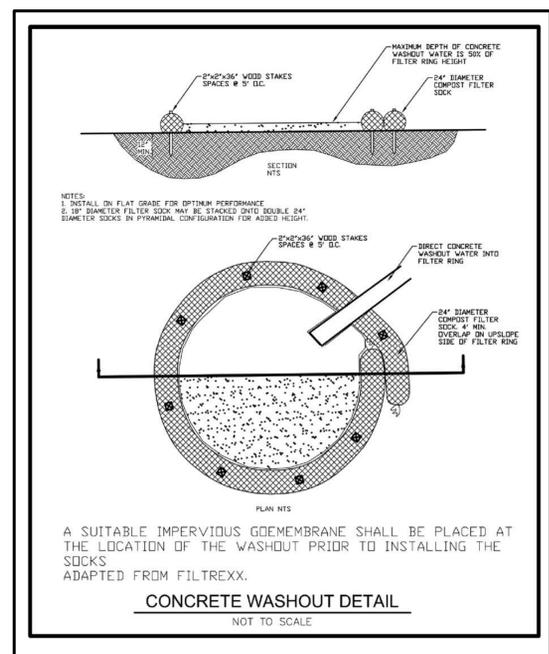
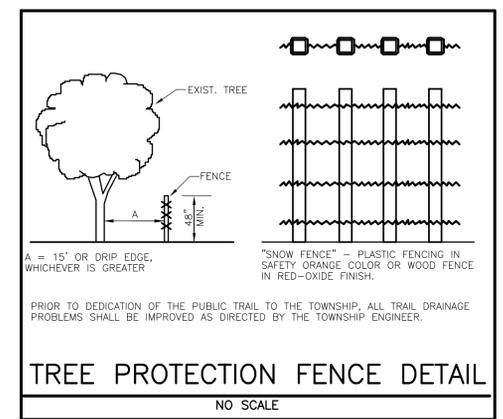
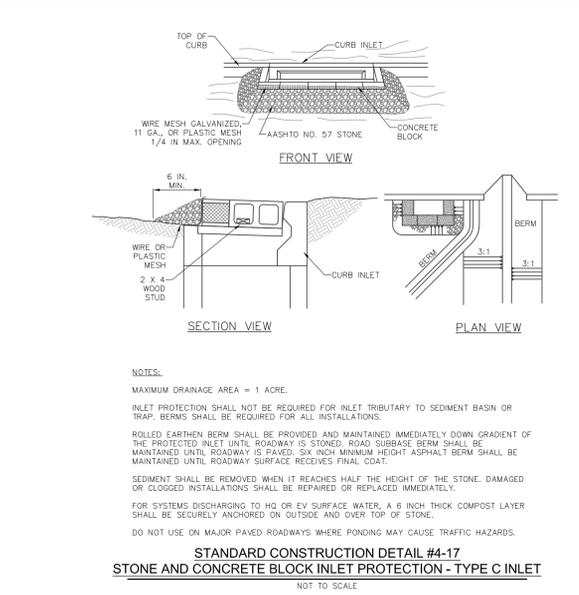
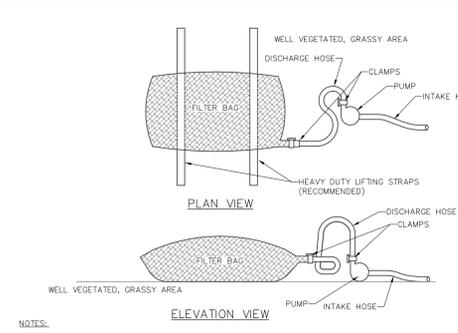
MATERIAL TYPE	3 mil HDPE	5 mil HDPE	5 mil HDPE	MULTI-FILAMENT POLYPROPYLENE (MFPP)	HEAVY DUTY MULTI-FILAMENT POLYPROPYLENE (HDMFPP)
<b>MATERIAL CHARACTERISTICS</b>	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE	BIO-DEGRADABLE	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE
<b>SOCK DIAMETERS</b>	12" 18"	12" 24" 18" 32"	12" 24" 18" 32"	12" 24" 18" 32"	12" 24" 18" 32"
<b>MESH OPENING</b>	3/8"	3/8"	3/8"	3/8"	3/8"
<b>TENSILE STRENGTH</b>		26 psi	26 psi	44 psi	202 psi
<b>ULTRAVIOLET STABILITY % ORIGINAL STRENGTH (ASTM G-155)</b>	23% at 1000 hr.	23% at 1000 hr.		100% at 1000 hr.	100% at 1000 hr.
<b>MINIMUM FUNCTIONAL LONGEVITY</b>	6 months	9 months	6 months	1 year	2 years

### COMPOST STANDARDS

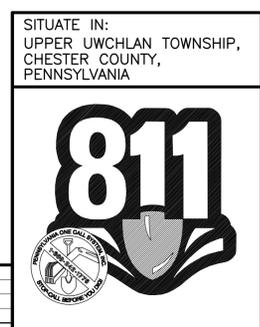
PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. WIDE WIDTH STRENGTH	ASTM D-4864	60 LB/IN
GRAB TENSILE	ASTM D-4632	205 LB
PUNCTURE	ASTM D-4833	110 LB
MILLEN BURST	ASTM D-3786	350 PSI
UV RESISTANCE	ASTM D-4355	70%
ADS % RETAINED	ASTM D-4751	80 SIEVE

### COMPOST STANDARDS

PROPERTY	TEST METHOD	MINIMUM STANDARD
ORGANIC MATERIAL CONTENT		80% - 100% (DRY WEIGHT BASIS)
ORGANIC PORTION		FIBROUS AND ELONGATED
pH		5.5 - 8.0
MOISTURE CONTENT		35% - 55%
PARTICLE SIZE		98% PASS THROUGH 1" SCREEN
SOLUBLE SALT CONCENTRATION		5.0 dS/m (mmhos/cm) MAXIMUM



REVISION	DATE	DESCRIPTION
#3 WAH	04-14-20	
#2 WAH	12-02-19	PER GILMORE REVIEW 07-03-19
#1 WAH	04-18-19	PER GILMORE REVIEW 04-04-19
REVISION	DATE	DESCRIPTION



**E&S DETAIL SHEET**

**WINDSOR BAPTIST CHURCH**

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RDK			Y:7700413D-LDP.DWG
01-22-19			
SCALE	MAP		DRAWING NUMBER
AS NOTED			D-7700413 SHEET 21 OF 21

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GILMORE & ASSOCIATES, INC.  
ENGINEERING & CONSULTING SERVICES

September 8, 2020

File No. 18-11016T

Tony Scheivert  
Upper Uwchlan Township  
140 Pottstown Pike  
Chester Springs, PA 19425

Attention: Tony Scheivert, Township Manager

Reference: Windsor Baptist Church – Proposed School Building  
Final Land Development Review  
Upper Uwchlan Township, Chester County, PA

Dear Tony:

Gilmore & Associates, Inc. (G&A) is in receipt of the following information submitted on behalf of Windsor Baptist Church, the Applicant/Developer:

- Land Development Plan Set titled “Windsor Baptist Church” consisting of twenty (20) sheets, prepared by Ludgate Engineering Corporation, dated January 22, 2019, last revised April 14, 2020.

G&A has completed our first review of the above referenced Final Land Development for compliance with the applicable sections of the Township’s Zoning Ordinance, Subdivision and Land Development Ordinance, and Stormwater Management Ordinance, and wish to submit the following comments for your consideration.

Please note that comments with an **(RW)**, or **(W)** may require relief from the Township Ordinances. An **(RW)** denotes a requested waiver, and a **(W)** denotes a waiver that has not been requested. Comments in *italics* are from our previous preliminary land development review letter, and comments in **bold text** require resolution by the Applicant. Previous comments which have been satisfactorily addressed are not repeated herein.

## I. OVERVIEW

The subject site is comprised of three (3) parcels (TMP 32-3-65.31, 32-3-65.29, and 32-3-66) located at the intersection of Little Conestoga Road and Park Road. The property is located in the C-1 Village Commercial District with a section of TMP 32-3-66 located in the R-2 Residential District with F1 Flexible Development Overlay.

184 West Main Street | Suite 300 | Trappe, PA 19426 | Phone: 610-489-4949 | Fax: 610-489-8447

File No. 18-11016T  
September 8, 2020

The Applicant is proposing to construct an approximately 8,664 square foot (footprint) Building Addition connected to the existing church and a playground measuring approximately 5,600 square feet. The Applicant is also proposing to remove two existing modular buildings on site and replace with topsoil, and relocate the cemetery access drive. There are no existing wetlands on the site, and the site is not located within a FEMA designated Flood Hazard Area.

Stormwater runoff is proposed to be managed by an underground infiltration bed (BMP #1A) located northwest of the proposed building addition.

The Board of Supervisors granted conditional use approval for the project on September 16, 2019 and preliminary land development approval on November 18, 2019.

## II. ZONING ORDINANCE REVIEW

No comments

## III. SUBDIVISION AND LAND DEVELOPMENT ORDINANCE REVIEW

1. §162-9.B.(1)(c) – *Please revise the sheet names and sheet index to be sheets 1 of 21, 2 of 21, etc. Also, please ensure that sheet names match what is provided in the Sheet Index for each sheet (i.e. Existing Conditions vs Existing Features Plan, BMP Plan vs Storm Water BMP #1A Plan & Details, Details vs PCSM Narrative Detail Sheet). There is reference in the Sheet Index provided on Sheet 100, Title Sheet, to a Sheet 901, yet no Sheet 901 is present in the plan set. In addition, there should be a grading or construction plan provided, or the PCSM Plan should be renamed to “Grading/PCSM Plan.”*

**It appears Grading Detail Plan, Sheet 11, as listed in the Sheet Index is not provided. If this sheet has been removed, please update the Sheet Index and renumber all pages accordingly.**

2. §162-9.B.(2)(b)[7] – *It is unclear from the plan set if the intent is to consolidate the three existing parcels, as some plan sheets show the individual property boundary lines, and others do not. Please clarify. We feel this is the appropriate opportunity to consolidate all lots.*

*The Applicant has indicated they do not have an interest in consolidating the lots at this time. If the Applicant chooses not to consolidate, then all property boundary lines shall be shown and labeled with bearings and distances for the three existing parcels on the Land Development Plan and the Existing Features Plan.*

File No. 18-11016T  
September 8, 2020

**Please provide all lot lines, lot line bearings and distances for all three individual lots on the Land Development Plan Sheet 2, and the Existing Features Plan Sheet 12. Currently, the labels and lot lines provided are inconsistent between the two sheets, and should be made consistent between each sheet.**

3. §162-9.C.(2)(a)[1] – Provide a closure calculation for the entire tract with error of closure not to exceed one part per 10,000.

**Please provide a closure calculation which validates General Note #11 on the Title Sheet.**

4. §162-9.C.(2)(a)[11] – Revise the Waivers Granted list on the Title Sheet to the correct ordinance sections of §152-306.I.(2) and §162-57.C.(6).
5. §162-9.C.(2)(a)[12] – Provide a signature block for the Township Engineer review on the Title Sheet. Also, the signature block for the Township Planning “Agency” Certification should be changed to “Township Planning Commission Certification.”
6. §162-39.E. – Provide a detail for the proposed curbing in the plan set.
7. §162-41 – Please revise the sidewalk slopes on the Grading Detail Plan Sheet 8, as some slopes are shown incorrectly, and are steeper than ADA requirements. Also, the graphic scale for the Sidewalk Detail on Sheet 8 is listed incorrectly.

#### **IV. STORMWATER MANAGEMENT ORDINANCE REVIEW**

1. **A revised Stormwater Management Report shall be submitted to verify the below previous comments have been satisfactorily addressed.**
2. §152-402.F. – *The Applicant shall provide an O&M plan, an O&M agreement, and any easement agreements that are needed to ensure access, inspection, maintenance, operation*
- (1) *An O&M plan;*
  - (2) *An O&M agreement*
  - (3) *Any easement agreements that are needed to ensure access, inspection, maintenance, operation, repair and permanent protection of any permanent BMP(s) and conveyances associated with the regulated activity.*
  - (4) *Any written deed, deed amendment or equivalent document (if needed) to be*

*The Applicant indicates they will provide a full O&M Plan and Agreement.*

3. *On pages 26 and 27 of the Stormwater Management Report, please revise the basin elevations, outlet pipe size, length, and slope, and orifice size and elevation to match what is shown on the plans, and recalculate.*

*On page 30 of the Stormwater Management Report, the culvert rise and span should be revised to 18 inches, the length to 33 feet, and the barrel slope to 1.8% to match what is shown on the plans.*

4. The size of the middle cleanouts within the infiltration bed to connect three 18" pipes shall be clarified on the plans. It is unclear if these cleanouts are 4"-6" at the surface or down into the bed, which would be very difficult to connect three 18" pipes together at these locations.
5. Please clarify what the duplicate or erroneous drainage area lines shown on the Pre-Construction Drainage Area Plan Sheet 17 are for. These lines do not match the 0.90 acres Limit of Disturbance lines shown on the Post-Construction Drainage Area Plan Sheet 18.

## **V. GENERAL COMMENTS**

1. *The lot area values provided in the Zoning Data Table Chart on the Title Sheet do not appear to match. Please revise.*

*The Applicant shall reverify the values for each property. In General Note #2, the total area of the three properties listed as 1.13 acres, 6.17 acres, and 1.66 acres is 8.96 acres. However, the total area listed is 8.99 acres. Please clarify.*

This has been corrected as requested. **However, General Note #10 shall be revised to reflect a sum of 8.96 acres. It currently has 6.39 and 2.60, for a total of 8.99 acres.**

2. **The Traffic Sign Chart (On Site) on the Land Development Plan does not appear to reflect the correct number of proposed handicap ADA signs. It appears there are 5 handicap ADA signs shown in plan.**
3. **Sidewalk is now proposed along Park Road from the Park Road Access to Little Conestoga Road. However, no proposed grading has been shown for the sidewalk or the associated retaining wall. Please provide this information. A larger scale detail might be appropriate.**

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**In addition, a note should be placed on the Record plan indicating the Church shall be responsible for maintenance of the retaining wall.**

4. **There is no proposed grading provided for the proposed path connecting the existing macadam walkway along Park Road with the internal walking path. Please provide this detail.**
5. **Provide a revision block on Stormwater BMP #1A Plan & Details Sheet 16.**
6. **Revise the callouts for “Perforated Pipe Inside of Stone” pointing to stone in the Underground Stone Bed Detail on Sheet 16.**

**VI. TOWNSHIP TRAFFIC CONSULTANT COMMENTS**  
**McMAHON ASSOCIATES, INC.**

**Conditional Use Order**

1. Condition 4 – The applicant is required to advise the Township annually in writing regarding the student enrollment, and if the enrollment of the academy exceeds 500 students, or if there are on-site traffic circulation issues which create safety or operational issues at the site accesses or along the public roads, then the applicant is required to complete a traffic study based on a scope agreed upon by the Township. The study should evaluate the need for improvements to mitigate any traffic operational or safety issues, and the applicant is required to implement the recommended improvements.
2. Condition 6 – It is reminded prior to final land development approval, the applicant is required to demonstrate to the Zoning Officer that adequate parking supply is provided for all of the uses on the site based on the ordinance requirements. With regard to this condition, please be aware of the following comments.
  - a) ZO Section 200-73.H(3) - The proposed parking supply for the site includes 138 paved parking spaces, and 60 gravel parking spaces, for a total of 198 parking spaces. This parking supply exceeds the parking supply requirements separately for the Church use (160 spaces required), and the day care/school use (138 spaces required). However, this parking supply does not satisfy the parking needs of both uses (Church and day care/school) at the same time, but that is likely not a concern as the two uses operate on a complementary schedule.
  - b) ZO Section 200-73.C(1) and Section 200.73.H(2) - Subsection C(1) states all parking should consist of a paved surface; however, Subsection H(2) states “for assembly uses, adequate parking (preferably unpaved) subject to the Township

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shall be provided to accommodate overflow parking for special event parking demand.” Of the 160 spaces required for the Church, 22 spaces are within a gravel lot, and therefore the Township should determine whether these spaces should be paved or acceptable as gravel spaces, since these are not technically overflow spaces as they are part of the core ordinance requirement. Our office is comfortable with the gravel parking area, as it may only be used one day a week or during special events if needed. Furthermore, we note that previous plans showed a 24-space gravel overflow parking area on the 250 Park Road property, but those spaces are no longer part of the plan. We question whether those gravel spaces may be needed for special event overflow parking.

### ***Land Development Plans***

3. SALDO Section 162-28.A and 162-28.E – Based on the plans, it appears the 260 Park Road property does not provide an adequate half width right-of-way for a minor collector. As such, the applicant should provide a minimum 25-foot half width right-of-way along Park Road along the 260 Park Road property. This proposed right-of-way should be labeled “Required Right-of-Way (To Be Dedicated to Upper Uwchlan Township).” In addition, the proposed right-of-way along Little Conestoga Road should relabeled from ultimate right-of-way to “Required Right-of-Way (To Be Dedicated to Upper Uwchlan Township).”
4. The proposed walk along Park Road should be revised to provide a six-foot wide asphalt path with a minimum four-foot wide buffer. The pavement section for the asphalt path should be as follows:
  - a) Superpave asphalt mixture design, WMA wearing course, PG 64S-22, < 0.3 million ESALS, 9.5 mm mix, 1.5-inch depth, SRL-L
  - b) Superpave asphalt mixture design, WMA base course, PG 64S-22, < 0.3 million ESALS, 25.0 mm mix, 3.0-inch depth
  - c) Subbase 4.0-inch depth (No. 2A)
3. The sidewalk detail on sheet 8 appears to show a continental crosswalk across the easternmost Park Road driveway. Alternatively, we would also support conventional crosswalk of two six-inch white lines as a lower cost and lower maintenance option at this driveway and the other driveways when appropriate. The plans should show PennDOT’s typical striping detail for either option, and the proposed stop bar should be located four feet in advance of the crosswalk. In addition, all proposed pavement striping should be clearly noted on the plan view on sheet 2.

Reference: Windsor Baptist Church – Proposed School Building  
Final Land Development Review  
Upper Uwchlan Township, Chester County, PA

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4. ADA compliant curb ramps should be provided for pedestrians crossing the easternmost Park Road driveway. Please provide detailed designs of these curb ramps on sheet 8.
5. The following comments pertain to the sidewalk detail provided on sheet 8.
  - a) Additional grading detail should be provided where the asphalt path connects to the existing curb ramps on the northwest corner of the Little Conestoga Road/Park Road intersection to determine whether a five-foot by five-foot turning area is provided. Please note that if an ADA compliant landing area is not provided in this area, the proposed 8.2% grade of the path just west of the Little Conestoga Road/Park Road northwest corner ramps must be revised to be a maximum of 5.0%.
  - b) Please investigate whether the existing concrete retaining wall behind the existing curb ramps on the northwest corner of the Little Conestoga Road/Park Road intersection should be reconstructed to accommodate the new pedestrian path, and provide additional information resulting from the investigation.
6. The plans note a gravity cornerstone wall on the eastern section of the proposed asphalt path between the eastern Park Road driveway and Little Conestoga Road. Please provide a detail of the wall, as well as additional information regarding how this wall will tie in with the existing concrete wall in the vicinity of the curb ramps on the northwest corner of the intersection of Little Conestoga Road and Park Road. We recommend the Township should require a maintenance agreement with the applicant for maintenance of the proposed gravity cornerstone wall, and a note should be added to the plans indicating the maintenance of the wall will be the applicant's responsibility.
7. Please evaluate whether protective fence/railing is required on the northwest corner of the existing driveway to protect pedestrians from the drop-off in the vicinity of the existing stormwater facility.
8. Please extend the 10-foot wide walk easement across the 260 Park Road site frontage. In addition, this walk easement should extend along the jog in the asphalt path in the vicinity of the existing curb ramps on the northwest corner of the Little Conestoga Road/Park Road intersection. Please coordinate with the Township Solicitor with regard to this easement description to ensure it establishes public use of the facility.
9. Sheet 11 is missing from the plan set.
10. Chapter 79-8.C – The proposed redevelopment is located in the Township's Act 209 Transportation Service Area, and is therefore subject to the Transportation Impact Fee

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of \$2,334 per weekday afternoon peak hour new trip. However, the applicant has indicated that the purpose of the expansion is to house the existing preschool and academy, and it is not proposed to expand enrollment for either of these uses, and therefore no new traffic is expected. As such, a traffic impact fee would not be required for this development. Alternatively, if there is the possibility of an enrollment increase and new added weekday afternoon peak hour traffic, then there would be two options: (1) if enrollment increases beyond the 2015-2016 school year enrollment based on the new building, then the added traffic could be determined based on a trip generation calculation according to the Institute of Transportation Engineers, or (2) a before and after site trip generation study could be conducted to confirm the increase in peak hour traffic.

11. Upon resubmission, the applicant's engineer should compose a response letter that describes how each comment has been addressed and where any plan and/or report revisions are located.
12. Additional comments regarding the traffic improvements and/or land development plans may follow upon receipt of future submissions.

## **VII. TOWNSHIP PLANNING CONSULTANT COMMENTS** **BRANDYWINE CONSERVANCY**

### **Sidewalks**

The Final Land Development Plans illustrate a new sidewalk along Park Road, connecting the existing macadam trail to the intersection of Little Conestoga and Park Roads. The plans illustrate a new sidewalk connecting the proposed playground with the existing trail along Park Road, and a new sidewalk along the frontage of the proposed building. We commend the Applicant on making these changes and recommend that one additional sidewalk segment be provided at the time the new playground is installed, to connect the sidewalk in front of the proposed building with playground and the new sidewalk connecting the playground to the existing macadam trail. The addition of this sidewalk segment would result in a continuous and dedicated path for pedestrians between the building entrance and the trail network along Park Road.

### **Parcel Buffer Screening**

The Township's Zoning Ordinance (ZO) specifies screening is required "where a proposed commercial, industrial, or institutional use abuts an existing residential use or district" and that "that the planting strip shall be thirty feet wide, at a minimum." We recommend the Township request the Applicant to update the plans to include a buffer in accordance with these provisions, in particular along the southwestern property line adjacent to the residential property, the Townes at Chester Springs.

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ZO 200-77.B(1)(a) states the planting strip shall include a variety of evergreen species, not exceeding three and SALDO, section 162-57.C(5)(a) states evergreen plantings in screenings shall be “at least seven to eight feet in height.” One type of evergreen is listed on the landscape planting schedule, at five feet in height at time of planting. We recommend the Township request the Applicant to update the landscaping plan to include more than one type of evergreen and at least seven to eight feet in height.

### **Landscaping**

SALDO 162-57.B(1) states “all landscaping and screening shall be installed and maintained in accordance with a landscape plan be prepared by a qualified landscape architect.” A landscape architect’s stamp is not shown on the submitted landscape plan. We request the Applicant update the submission to include the stamp of a landscape architect.

SALDO 162-57.D(1) specifies per 1,000 square feet of gross building area, two deciduous trees, one evergreen tree, and eight shrubs shall be provided. For a building with an 8,664 square foot footprint, 69 shrubs should be provided. The landscape planting schedule lists a total of 19 shrubs. We recommend the Township request the Applicant update the plans to increase the number of shrubs provided to 69.

### **Parking Lot Buffer Screening**

SALDO 162-57.C(7)(b) states that “parking for five or more vehicles on a lot which abuts a residential district or a lot for residential purposes... shall be screened from the adjacent property” by a vegetated screen along the entire length of the parking lot. The Applicant was granted a waiver regarding plantings within parking areas. We recommend that the Township request the Applicant to update the submission to provide screening adjacent to the parking lot on the southwestern side of the property, to screen it sufficiently from the adjacent residential property, the Townes at Chester Springs.

## **VIII. TOWNSHIP SEWER CONSULTANT COMMENTS** **ARRO CONSULTING, INC.**

No comments.

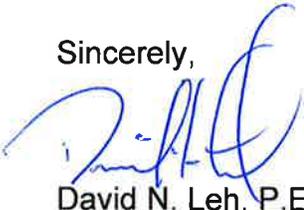
Tony Scheivert, Upper Uwchlan Township Manager  
Reference: Windsor Baptist Church – Proposed School Building  
Final Land Development Review  
Upper Uwchlan Township, Chester County, PA

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September 8, 2020

This concludes our first review of the above referenced Final Land Development Application. We would recommend the plans be revised to address the above referenced comments. If you have any questions, please do not hesitate to contact me.

Sincerely,



David N. Leh, P.E.  
Municipal Services Manager  
Gilmore & Associates, Inc.

cc: Upper Uwchlan Township Planning Commission Members  
Upper Uwchlan Township Board of Supervisors  
Upper Uwchlan Township Historic Commission (via email only)  
Sheila A. Fleming, ASLA – Brandywine Conservancy (via email only)  
Christopher J. Williams, P.E. – McMahon Associates, Inc. (via email only)  
David M. Schlott, Jr., P.E. – ARRO Consulting, Inc. (via email only)  
Kristin Camp, Esq. – Buckley, Brion, McGuire, & Morris LLP (via email only)  
Richard Ruth – Lionville Fire Company (via email only)  
Thomas Ludgate, PE – Ludgate Engineering (via email only)



## Upper Uwchlan Township

November 22, 2019

**VIA EMAIL: [wbc01@comcast.net](mailto:wbc01@comcast.net)**

Windsor Baptist Church  
Attn: Philip E. Marks  
213 Little Conestoga Road  
Downingtown, PA 19335

Re: Preliminary Land Development Approval for Windsor Baptist Church  
Upper Uwchlan Township

Dear Mr. Marks:

I am writing this letter to confirm that at their meeting on November 18, 2019, the Board of Supervisors of Upper Uwchlan Township granted preliminary land development approval for the above-referenced land development plans prepared by Ludgate Engineering Corporation dated January 22, 2019, last revised April 18, 2019 (the "Plans"). The Board also approved waivers from the following sections of the Township's Subdivision and Land Development Ordinance ("SALDO"):

1. A partial waiver from §162-41.B. to not require a sidewalk along Little Conestoga Road due to the presence of burial plots near the right of way. Applicant shall be required to install sidewalk along Park Road.
2. A partial waiver from §162-57.C.(6) to not require street trees along Little Conestoga Road.
3. A waiver from §162-57.C.(6)(c) to allow street trees below a height of 14-16 feet at planting.
4. A waiver from §162-57.C.(7) & §162-57.C.(7)(b) to not require landscaping in the existing parking areas.
5. A waiver from §162-57.D.(4)(a) to allow shade trees with a caliper of approximately 2.5".
6. A waiver from §162-9.H to not require a traffic study at this time. Applicant shall be required to provide a traffic study in accordance with the terms of condition 4 in the Conditional Use Decision and Order dated September 16, 2019.
7. A waiver from §162-27.1 and 162-27.1.F to allow the existing driveways to remain.

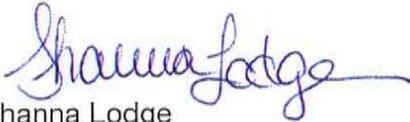
8. A waiver from §152-306.1(2) to not require stormwater infiltration in certain areas where the soils do not allow infiltration based on Applicant's infiltration testing.

The Board's approval was conditioned on Applicant's compliance with the following conditions:

1. The Plans shall be revised to comply with all outstanding comments in Gilmore & Associates, Inc. review letter dated July 3, 2019.
2. Applicant shall comply with all conditions in the Board's September 16, 2019 Conditional Use Decision and Order.
3. Applicant shall continue to work with the Township Planning Commission and Township Historic Commission to approve the architecture for the proposed building addition.

Please advise if you have any questions on the Board's decision.

Sincerely,



Shanna Lodge  
Acting Township Manager

cc: via email  
Thomas Ludgate, PE PLS LEED AP, Applicant's Engineer  
Kristin S. Camp, Esquire, Township Solicitor  
Al Gaspari, Township Zoning Officer  
David N. Leh, P.E., Gilmore & Associates, Inc.  
Shelia A. Fleming, ASLA, Brandywine Conservancy  
Christopher J. Williams, P.E., McMahon Associates, Inc.  
G. Matthew Brown, P.E., ARRO Consulting, Inc.



**GILMORE & ASSOCIATES, INC.**  
ENGINEERING & CONSULTING SERVICES

July 3, 2019

File No. 18-11016T

Cary B. Vargo  
Upper Uwchlan Township  
140 Pottstown Pike  
Chester Springs, PA 19425

Attention: Cary B. Vargo, Township Manager

Reference: Windsor Baptist Church – Proposed School Building  
Preliminary Land Development / Conditional Use Review  
Upper Uwchlan Township, Chester County, PA

Dear Cary:

Gilmore & Associates, Inc. (G&A) is in receipt of the following information submitted on behalf of Windsor Baptist Church, the Applicant/Developer:

- Response letter from Thom Ludgate, P.E., P.L.S. dated May 14, 2019.
- Response memo from Julie Parish, dated May 17, 2019.
- Enrollment and Staffing letter from Windsor Baptist Church dated May 28, 2019.
- Waiver Request Letter dated May 22, 2019.
- Conditional Use Application dated May 9, 2019.
- Land Development Plan Set titled "Windsor Baptist Church" consisting of twenty-two (22) sheets, prepared by Ludgate Engineering Corporation, dated January 22, 2019, last revised April 18, 2019.
- Stormwater Management Report consisting of forty-seven (47) pages, prepared by Ludgate Engineering Corporation, dated February 28, 2019, last revised May 17, 2019.

G&A has completed our second review of the above referenced Preliminary Land Development for compliance with the applicable sections of the Township's Zoning Ordinance, Subdivision and Land Development Ordinance, and Stormwater Management Ordinance, and wish to submit the following comments for your consideration.

184 West Main Street | Suite 300 | Trappe, PA 19426 | Phone: 610-489-4949 | Fax: 610-489-8447

Please note that comments with a **(SE)** or **(CU)**, **(RW)**, or **(W)** may require relief from the Township Ordinances. A **(SE)** denotes a special exception is required, and a **(CU)** denotes that a conditional use is required, a **(RW)** denotes a requested waiver, and a **(W)** denotes a waiver that has not been requested. Comments in *italics* are from our previous review letter, and comments in **bold text** require resolution by the applicant. Previous comments which have been satisfactorily addressed are not repeated herein.

## I. OVERVIEW

The subject site is comprised of three (3) parcels (TMP 32-3-65.31, 32-3-65.29, and 32-3-66) located at the intersection of Little Conestoga Road and Park Road. The property is located in the C-1 Village Commercial District with a section of TMP 32-3-66 located in the R-2 Residential District with F1 Flexible Development Overlay.

The Applicant is proposing to construct an approximately 9,190 square foot (footprint) Building Addition connected to the existing church and two playgrounds measuring approximately 3,872 square feet and 3,844 square feet respectively. The Applicant is also proposing to remove two existing modular buildings on site and replace with a future, stone, overflow parking area, and relocate the cemetery access drive. There are no existing wetlands on the site, and the site is not located within a FEMA designated Flood Hazard Area.

Stormwater runoff is proposed to be managed by an underground infiltration bed (BMP #1A) located northwest of the proposed building addition.

## II. CONDITIONAL USE APPLICATION REVIEW

1. §200-117 – The Applicant has indicated in a memo that they are requesting a waiver from the required impact studies associated with the Conditional Use Application.

## III. ZONING ORDINANCE REVIEW

1. **(CU)** §200-33.B.(1) – *In the C-1 Village District, a building may be erected, altered or used, and a lot may be used or occupied, for Educational or religious principal purposes when authorized as a conditional use by the Board of Supervisors. Therefore, a Conditional Use Application must be submitted.*

The Applicant has submitted a Conditional Use Application. The hearing has been scheduled for Tuesday, August 13<sup>th</sup>.

2. **(CU)** §200-34.H. – *In the C-1 Village District, no individual building shall contain more than 6,000 square feet of total floor area, except where increased square footage above 6,000 is entirely within an additional story or stories above the first floor or*

*where increased square footage above 6,000, and not limited to a 50% increase, is approved subject to conditional use approval and in accordance with all applicable design standards herein. The existing building is approximately 11,645 square feet, and the proposed building addition constitutes an approximately 9,190 square foot "footprint" increase (The increase will actually be greater due to multiple floors), of which, approximately 2,850 square feet of the footprint is within the C-1 Village Commercial District. The Applicant should discuss this with the Township Zoning Officer, but we believe a Conditional Use may be needed.*

The Applicant has submitted a Conditional Use Application. The hearing has been scheduled for Tuesday, August 13<sup>th</sup>.

3. *§200-36.C.(4) – Parking areas within the C-1 Village District shall be designed and landscaped so as to appear broken in mass, in proportion to the scale of structural development. If the proposed overflow parking is constructed, it shall be in conformance with this section. This section also states that to the extent practicable, should be avoided in the front yard. The Planning Commission and Board of Supervisors should determine if front yard parking shall be permitted.*

**The future overflow parking area is still shown located within the 20-foot front yard setback. Whether overflow parking or not, any proposed parking must conform to the design and landscape requirements of this section.**

4. (SE) *§200-103.A.(1) – The existing church building is an existing nonconforming structure due to the floor area exceeding 6,000 square feet. Nonconforming structures may be altered, renovated, or enlarged provided that such alteration, renovation or enlargement does not increase the floor area of the nonconforming structure by more than 25% of the floor area of the structure as it existed on the date when the structure became nonconforming. Such alteration, renovation or enlargement shall be authorized as a special exception by the Zoning Hearing Board and shall not increase any existing nonconforming and shall comply with all area and bulk regulations. In the case of a nonconforming structure which is occupied by a nonconforming use, such alteration, renovation or enlargement shall also meet the requirements of §200-102A of this article. In the case of a nonconforming structure which is located on a nonconforming lot, such alteration, renovation or enlargement shall also meet the requirements of §200-102C of this article. It is noted that the proposed enlargement is greater than 25% of the floor area of the existing structure. The Applicant shall list the total area of all the floors existing and proposed on the plans.*

**The Applicant has indicated they feel they are compliant. We assume the applicants position is based on the consideration of the building footprint**

area. However, the ordinance states this requirement is based on total floor area. The existing church within the C-1 district is 11,648 square feet with two stories, and an existing total floor area of 22,000 square feet (as listed on the Title Sheet). The proposed building addition within the C-1 district is approximately 4,460 square feet and three stories, with an assumed total floor area of 13,380 square feet. This proposed floor area is well over the 25% allowable threshold. The Applicant should discuss this matter with the Township Zoning Officer.

#### IV. SUBDIVISION AND LAND DEVELOPMENT ORDINANCE REVIEW

1. *§162-9.B.(1)(b) – Provide a closure calculation for the entire tract with error of closure not to exceed one part per 10,000.*

**Please provide a closure calculation which validates General Note #11 on the Title Sheet.**

2. *§162-9.B.(1)(c) – Please revise the sheet names and sheet index to be sheets 1 of 21, 2 of 21, etc. Also, please ensure that sheet names match what is provided in the Sheet Index for each sheet (i.e. Existing Conditions vs Existing Features Plan, BMP Plan vs Storm Water BMP #1A Plan & Details, Details vs PCSM Narrative Detail Sheet). There is reference in the Sheet Index provided on Sheet 100, Title Sheet, to a Sheet 901, yet no Sheet 901 is present in the plan set. In addition, there should be a grading or construction plan provided, or the PCSM Plan should be renamed to “Grading/PCSM Plan.”*

**Revise sheet index to be sheets 1 of 22, 2 of 22, etc. as previously requested. Also, current sheets 900 through 902, which should be revalued to sheets 19 through 22 of 22, should be listed in the Sheet Index as the sheets specific name, not “Details”.**

3. *§162-9.B.(2)(b)[7] – It is unclear from the plan set if the intent is to consolidate the three existing parcels, as some plan sheets show the individual property boundary lines, and others do not. Please clarify. We feel this is the appropriate opportunity to consolidate all lots.*

**The Applicant has indicated they do not have an interest in consolidating the lots at this time. If the Applicant chooses not to consolidate, then all property boundary lines shall be shown and labeled with bearings and distances for the three existing parcels on the Land Development Plan and the Existing Features Plan.**

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4. (RW) §162-41.B. – The Applicant is requesting a waiver from the requirement to provide sidewalks along Park Road or Little Conestoga Road. **A Waiver Request Letter shall be provided indicating why relief is requested from this section.**
5. (RW) §162-57.C.(6) – The Applicant is requesting a waiver from the requirement to provide street trees along Park Avenue. **A Waiver Request Letter shall be provided indicating why relief is requested from this section..**
6. (RW) §162-57.C.(6)(c) – The Applicant is requesting a waiver from the requirement to provide street trees at a height of 14-16 feet at planting. **A Waiver Request Letter shall be provided indicating why relief is requested from this section..**
7. (RW) §162-57.C.(7) & §162-57.C.(7)(b) – The Applicant is requesting a waiver from the requirement to provide landscaping at existing parking areas. **A Waiver Request Letter shall be provided indicating why relief is requested from this section..**
8. (RW) §162-57.D.(4)(a) – The Applicant is requesting a waiver from the requirement to provide 3-3.5" caliper shade trees. **A Waiver Request Letter shall be provided indicating why relief is requested from this section.**

#### V. STORMWATER MANAGEMENT ORDINANCE REVIEW

1. *§152-306.I.(2) – Provide field tests such as double-ring infiltrometer or other hydraulic conductivity tests (at the elevation of the proposed infiltration surface) to determine the appropriate hydraulic conductivity rate. Standard septic/sewage percolation tests are not acceptable for design purposes. The Applicant shall provide infiltration testing at the location of the proposed BMP #1A. It is unclear where the ½ in/hr rate used in the Stormwater Management Report is taken from.*

The Applicant has provided Double Ring Infiltration Testing in Section VII of the Stormwater Management Report, and the results yielded an infiltration rate of zero. **The Applicant shall request a waiver from the infiltration requirement. We would be in support of a waiver; however, it must be formally requested.**

2. *§152-402.F. – The Applicant shall provide an O&M plan, an O&M agreement, and any easement agreements that are needed to ensure access, inspection, maintenance, operation*

- (1) *An O&M plan;*
- (2) *An O&M agreement*

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- (3) *Any easement agreements that are needed to ensure access, inspection, maintenance, operation, repair and permanent protection of any permanent BMP(s) and conveyances associated with the regulated activity.*
- (4) *Any written deed, deed amendment or equivalent document (if needed) to be*

The Applicant indicates they will provide a full O&M Plan and Agreement.

- 3. *There is a proposed storm sewer pipe between CB#103 and JB#1 that runs underneath the proposed building. This should be reviewed for acceptability.*

The Applicant has indicated they have reviewed the pipe configuration; **however, the proposed storm sewer pipe between CB#103 and JB#1 is still proposed to run underneath proposed building.** It appears there is an alternative route that would allow the piping around the building which should be considered.

- 4. *On pages 26 and 27 of the Stormwater Management Report, please revise the basin elevations, outlet pipe size, length, and slope, and orifice size and elevation to match what is shown on the plans, and recalculate.*

**On page 30 of the Stormwater Management Report, the culvert rise and span should be revised to 18 inches, the length to 33 feet, and the barrel slope to 1.8% to match what is shown on the plans.**

- 5. Please clarify how stormwater runoff which enters the underground stone bed will get to OS #1A. As shown, there is no connection between the stone bed and the outlet structure inlet box walls. We would like to see the perforated pipe within the basin bed be shown to connect to the outlet structure box.

## **VI. GENERAL COMMENTS**

- 1. *The lot area values provided in the Zoning Data Table Chart on the Title Sheet do not appear to match. Please revise.*

**The Applicant shall reverify the values for each property. In General Note #2, the total area of the three properties listed as 1.13 acres, 6.17 acres, and 1.66 acres is 8.96 acres. However, the total area listed is 8.99 acres. Please clarify.**

- 2. The Traffic Sign Chart (On Site) on the Land Development Plan does not appear to reflect the correct number of proposed stop signs and ADA signs. Also, please indicate the significance of the date of "11-19-13" in the date column.

File No. 18-11016T  
July 3, 2019

**VII. TOWNSHIP TRAFFIC CONSULTANT COMMENTS**  
**McMAHON ASSOCIATES, INC.**

1. SALDO Section 162-9.H – The applicant requests a waiver to not provide a traffic study for the site. Based on information provided by the applicant with the latest submission, the purpose of the proposed building is to provide improved facilities for the existing school operations, and it is not intended for a planned increase in enrollment, and therefore no new added traffic is anticipated. Furthermore, the current enrollment for the preschool is 165 students, and the current enrollment for the academy is 187 students. The applicant also indicated as recently as the 2015-2016 school year, the preschool enrollment was 185 students, and the enrollment for the academy was 232 students. The applicant states they do not anticipate student enrollment for either the preschool or the academy will exceed the enrollment of the 2015-2016 school year. In addition, the applicant indicates the existing pick-up and drop-off procedures will not be modified as part of the proposed building construction.

Since it is not proposed to increase enrollment beyond recent historical enrollment for the preschool or academy, we could support a waiver to not require a traffic study at this time; however, the Township may wish to impose a condition that if future on-site traffic operations create a safety or traffic issue which impacts traffic conditions along Little Conestoga Road or Park Road, then the applicant would be required to conduct a study if requested by the Township, and the applicant would be required to implement any needed solutions to improve traffic operations subject to review by the Township.

2. SALDO Section 162-27.1.F – The ordinance allows only one driveway per property in the C1 District; however, we understand this may not be feasible since this is an existing site. However, at minimum, if there is ever any land development or site modifications to 250 or 260 Park Road in the future beyond providing a gravel, overflow parking lot, then we recommend access consolidation at that time.
3. SALDO Section 162-27.1 – Consistent with the spirit and intent of the Township's access management ordinance, the applicant should explore the feasibility of limiting/consolidating access, such as along Park Road, and providing a cross-access connection between 213 Little Conestoga Road, 250 Park Road, and 260 Park Road. At minimum, this should be addressed in the future if there is ever any land development or site modifications to 250 or 260 Park Road beyond providing a gravel, overflow parking lot, as described above.
4. SALDO Section 162-28.A and 162-28.E – Based on the plans, it appears the 260 Park Road property does not provide an adequate half width right-of-way for a minor

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collector. As such, the applicant should provide a minimum 25-foot half width right-of-way along Park Road along the 260 Park Road property. This proposed right-of-way should be labeled "Required Right-of-Way (To Be Dedicated to Upper Uwchlan Township)." In addition, the proposed right-of-way along Little Conestoga Road should relabeled from ultimate right-of-way to "Required Right-of-Way (To Be Dedicated to Upper Uwchlan Township)."

5. SALDO Section 162-41 –Detailed designs of the reconstructed curb ramp on the north side of Park Road opposite the pedestrian crossing of Park Road should be provided, including separate grading details, and all dimensions for construction, including widths, lengths, and all slopes to assist during construction.
6. ZO Section 200-73.D(5) – The plans should be revised to indicate the new handicap parking space pavement markings are proposed (not existing).
7. ZO Section 200-73.H(3) – The proposed parking supply for the site includes 140 paved parking spaces, and 84 gravel parking spaces, for a total of 224 parking spaces. This parking supply exceeds the parking supply requirements separately for the Church use (160 spaces required), and the combined day care/school use (171 spaces required). However, the paved parking supply (140 parking spaces) does not meet either of these requirements. As such, the Township should determine whether the spaces shown as gravel, overflow spaces at 250 and 260 Park Road should be improved to paved parking spaces.
8. Chapter 79-8.C – The proposed redevelopment is located in the Township's Act 209 Transportation Service Area, and is therefore subject to the Transportation Impact Fee of \$2,334 per weekday afternoon peak hour new trip. However, the applicant has indicated that the purpose of the expansion is to house the existing preschool and academy, and it is not proposed to expand enrollment for either of these uses, and therefore no new traffic is expected. As such, a traffic impact fee would not be required for this development. Alternatively, if there is the possibility of an enrollment increase and new added weekday afternoon peak hour traffic, then there would be two options: (1) if enrollment increases beyond the 2015-2016 school year enrollment based on the new building, then the added traffic could be determined based on a trip generation calculation according to the Institute of Transportation Engineers, or (2) a before and after site trip generation study could be conducted to confirm the increase in peak hour traffic.
9. Upon resubmission, the applicant's engineer should compose a response letter that describes how each comment has been addressed and where any plan and/or report revisions are located.

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10. Additional comments regarding the traffic improvements and/or land development plans may follow upon receipt of future submissions.

### **VIII. TOWNSHIP PLANNING CONSULTANT COMMENTS** **BRANDYWINE CONSERVANCY**

#### **Conditional Use Requirements**

Half of the proposed addition falls in the R-2 Zoning District. The application form is missing a reference to Zoning Ordinance, Section 200-17.B(1), which states, regarding conditional uses, that "A building may be erected, altered or used, and a lot may be used or occupied for any of the following purposes and no other:

- A. Any use permitted by right in the R-1 District.
- B. The following uses when authorized as a conditional use by the Board of Supervisors subject to 200-116 of this chapter:
  - (1) "Educational or religious use."

Zoning Ordinance (ZO), Section 200-33.B(1) states, regarding conditional uses, "In the C-1 Village District, a building may be erected, altered or used, and a lot may be used or occupied, for any of the following principal purposes when authorized as a conditional use by the Board of Supervisors, subject to 200-116 of this chapter. Conditional use approval in the C-1 Village District shall require full compliance with all applicable design standards set forth in 200-36, except where as a specific condition of approval, the Board provides for modification to such standards upon satisfactory demonstration by the applicant that full compliance is not practicable, based upon a preponderance of evidence.

- (1) "Educational or religious use."

Zoning Ordinance (ZO), Section 200-34.H states, regarding building size restrictions, "No individual building shall contain more than 6,000 square feet of total floor area, except where increased square footage above 6,000 is entirely within an additional story or stories above the first floor or where increased square footage above 6,000, and not limited to a 50% increase, is approved subject to conditional use approval and in accordance with all applicable design standards herein. For purposes of this section, an individual building shall be considered as a space or contiguous spaces fully separated from any other building. For purposes of this section, abutting buildings shall be considered as an individual building whether or not separated by permanent walls."

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## Site Context

The three parcels are located in the Village of Eagle. Two Class II Historic Resources are located on the 213 Little Conestoga Road parcel. The Windsor Church Parsonage at the intersection of Little Conestoga and Park Roads is noted in the 2001 PA Historical Resource Survey Form as a vernacular I-type house built in 1875 that is a Class II resource, and is described as “Although relatively intact, this house is not architecturally significant.” Windsor Baptist Church, built between 1869-72, is noted as a Class II resource in the 2001 PA Historical Resource Survey Form, which states that “The resource is relatively intact, and historically significant, yet has several additions.” It has two historic function categories, religion and funerary. The Seabolt House/Windsor Church Parsonage, a neighboring parcel home to the original parsonage for Windsor Baptist Church, is located at 240 Little Conestoga Road. The PA Historical Resource Survey Form indicates that the house and garage/shed building was built in 1830 and is a Class II resource.

## Description of Plot Plans

Applicant should verify the data provided in the Zoning Table on Sheet 100, due to several inconsistencies that we noticed. For example, if the Applicant is submitting a Conditional Use application for all three parcels at 250 Park Road, 260 Park Road, and 213 Little Conestoga Road, the Zoning Data Table should indicate the total acreage for all three parcels that is zoned C-1 Village District as 9.09 acres.

Three buildings exist on the 213 Little Conestoga Road parcel, identified as an existing church, existing two-story building, and existing two-story dwelling, on the plans. The church has a total floor area of 22,000 square feet, the two-story building has total floor area of 1,474 square feet, and the two-story dwelling has a total floor area of 2,102 square feet. The site includes a playground, cemetery, and green house. 222 parking spaces are currently on the site. A sidewalk extends partially along the parcel, along Park Road, to a mid-block crosswalk south and west of Ticonderoga Blvd. A second sidewalk segment is located on the parcel, at the intersection of Little Conestoga and Park Roads. The two parcels to the south and east that are also owned by the Applicant, 250 and 260 Park Road, include trailers, sidewalk, and a two-story building with a total floor area of 4,824 square feet.

The submitted plans and elevation schematics propose removing the trailers from the 250 Park Road parcel and expanding the existing church with a three-story school addition with a total floor area of 27,570 square feet. When combined with the existing church, the new school addition and church building will equal 49,570 square feet in total floor area. The proposed school addition is long and rectangular, with variations in façade massing, rooflines, cladding color, and materiality, in particular along the façade facing Little Conestoga Road. The color scheme is primarily tan, green, and red, with a gray roof. Four street trees are proposed along Little Conestoga Road. 19 shrubs and 27 trees are proposed along portions of the site

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boundaries north and west of the addition, including 15 deciduous trees and 12 evergreen trees. A sidewalk is proposed from the existing sidewalk along Park Road to an existing pathway due south of the proposed playground.

### **Recommended Conditions of Approval**

Of primary concern to the Conservancy is the architectural design of the addition, specifically the overall building height and the design of the northwest facing façade, and its relationship to and site lines from Little Conestoga Road. We recommend the Land Development Plan be revised to reflect the following conditions of Conditional Use.

1. The Applicant shall demonstrate, to the satisfaction of the Township, the height of the proposed addition, by providing dimensioned elevation drawings for all four facades.
2. Due to the close proximity of the northwest facing façade in the R-2 Zoning District to the C-1 Village District, we suggest the Applicant demonstrate that the design of the addition and its relationship to surrounding buildings and landscaped areas mitigates any negative impacts of a long continuous building facade on the character of the C-1 Village District, as specified in Zoning Ordinance (ZO), Section 200-36.B.(1)(a) by: providing a perspective view rendering of the proposed building and site landscaping from Little Conestoga Road, specifically to show the visibility of the northwest facing façade from Little Conestoga Road.
3. Due to the close proximity of the northwest facing façade in the R-2 Zoning District to the C-1 Village District, we suggest the Applicant demonstrate that the design of the addition and its relationship to surrounding buildings and landscaped areas mitigates any negative impacts of a long continuous building facade on the character of the C-1 Village District by: incorporating elements and/or mitigating factors into the design of the northwest facing façade, visible from Little Conestoga Road, as outlined in ZO Section 200-36.B.(1)(a-d). In our opinion, the southeast façade facing Park Road, is a strong representation of the specifications in the Zoning Ordinance and is clearly depicted in the land development plans and renderings submitted by the Applicant.
4. The Applicant shall demonstrate, to the satisfaction of the Township, the roof materiality and wall outlined in ZO 200-36.B(1)(b) and ZO 200-36.B(1)(c). In our opinion, the Applicant has clearly provided a comprehensive representation of the architectural design of the proposed addition through the submitted renderings. We request the Applicant further clarify the materiality that is proposed for the roof and exterior walls.

Applicant has requested waivers from ZO Section 200-117.I for recreation, traffic, fiscal, and historic impact statements. We defer to the Township's traffic engineer, regarding the traffic impact statement waiver request. We support these Applicant's request for a waiver from

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submitting a recreation impact statement, as they are providing a new, 5,600 square foot playground on the site to replace an existing playground, the request for an historic impact statement, and the request to waive the fiscal impact statement. While we support these waivers for the purposes of the Conditional Use Application, the waivers requested on Sheet 100 of the Revised Land Development Plan Set will require further review.

**IX. TOWNSHIP SEWER CONSULTANT COMMENTS**  
**ARRO CONSULTING, INC.**

1. The existing sewer flow capacity for the site is 1,058 gallons per day, utilizing 225 gallons per Day/Equivalent Dwelling Unit (GPD/EDU) the sanitary sewer capacity required 4.7 EDUs. Based on the letter from the Windsor Baptist Church which provides information on the existing and future enrollments of the preschool and academy, this sewer capacity appears acceptable. We recommend that the Township reserve the right to evaluate water usage after the building is opened and require the purchase of additional capacity, if warranted.
2. If kitchen facilities are proposed within the new building, a concrete grease trap / interceptor should be installed on the sewer lateral. A detail of the proposed grease interceptor should be provided on the plans.
3. The sanitary sewer for 260 Park Road is connected to the sanitary lateral which transverses the 250 Park Road property and 213 Little Conestoga Road that generally parallels Park Road. All properties are owned by Windsor Baptist Church.
  - The above information should be duly noted on the Title Sheet, under the general notes.
  - The approximate location of this existing lateral for 260 Park Road should be shown on the Utility Plan.
  - It should be noted on the plans that the care shall be taken during the removal of the existing modular building on 250 Park Road as to not damage the existing service lateral.

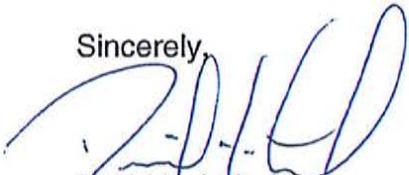
This concludes our second review of the above referenced Preliminary Land Development Application as well as our review of the Conditional Use Application. We would recommend the plans be revised to address the above referenced comments. If you have any questions, please do not hesitate to contact me.

Cary B. Vargo, Upper Uwchlan Township Manager  
Reference: Windsor Baptist Church – Proposed School Building  
Preliminary Land Development Review  
Upper Uwchlan Township, Chester County, PA

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Sincerely,



David N. Leh, P.E.  
Municipal Services Manager  
Gilmore & Associates, Inc.

cc: Upper Uwchlan Township Planning Commission Members  
Upper Uwchlan Township Board of Supervisors  
Upper Uwchlan Township Historic Commission (via email only)  
Sheila A. Fleming, ASLA, Brandywine Conservancy (via email only)  
Christopher J. Williams, P.E., McMahon Associates, Inc. (via email only)  
David M. Schlott, Jr., P.E., ARRO Consulting, Inc. (via email only)  
Kristin Camp, Esq. – Buckley, Brion, McGuire, & Morris LLP (via email only)  
Richard Ruth, Lionville Fire Company (via email only)  
Thomas Ludgate, PE – Ludgate Engineering (via email only)



Section 200–34.H of the Ordinance to allow the building addition to be greater than 6,000 square feet in floor area.

The Board conducted a public hearing on the Application on August 13, 2019 at 6:00 p.m. Applicant appeared at the hearing represented by Phil Marks, an Elder and Chairperson of the Church Building Committee, Dale R. Yoder, AIA, the architect who designed the architectural plans for the new building and Thomas Ludgate, P.E., the civil engineer who designed the site plans. The Board was represented by Township Solicitor, Kristin S. Camp, Esquire. No individuals requested party status.

The Board voted at the September 16, 2019 public meeting to approve the Application with the conditions listed herein.

From the testimony and exhibits presented at the hearings, the Board makes the following:

### **FINDINGS OF FACT**

#### **Procedural Requirements and Description of Property**

1. All facts set forth in the introductory paragraphs above are incorporated herein by reference and are deemed to be factual findings of the Board.
2. The hearing held on August 13, 2019 was advertised in the *Daily Local News* on July 23, 2019 and July 30, 2019. See Exhibit B-3.
3. The Property was posted with a copy of the public notice of the August 13, 2019 hearing on August 2, 2019. See Exhibit B-4.
4. Applicant is the owner of the Property pursuant to three separate deeds recorded in the Office of the Chester County Recorder of Deeds and identified on the title sheet of the land development plans that were admitted as Exhibit A-1.

5. The Property contains a total of approximately 8.99 acres

6. Parcel 32-3-66-E at 213 Little Conestoga Rd. contains a two-story building used as the church which has a building footprint of 11,648 square feet, an existing two-story dwelling with a footprint of 1,051 square feet, an existing two-story dwelling with a footprint of 737 square feet, playground area, greenhouse, parking lots and a cemetery. Parcel 32-3-65.31-E, which abuts Parcel 32-2-66-E to the south, contains two modular classroom buildings and a parking lot. Parcel 32-3-65.29-E, which abuts Parcel 32-3-65.31-E to the south contains a one-story building which has a footprint of 2,414 square feet and a gravel overflow parking area.

7. The existing church building located on Parcel 32-3-66-E at 213 Little Conestoga Rd. was built between 1869-72 and is noted as a Class II Historic Resource in the 2001 Pennsylvania Historical Research Survey. The Windsor Church Parsonage located on the same parcel was built in approximately 1875 and is also identified as a Class II Historic Resource.

8. The uses on the Property include a church, preschool and a school for children ages K through 8<sup>th</sup> grade referred to as the "Academy."

9. Applicant requested conditional use approval to build a new school building which will house the Academy and be attached to the existing church building (the "New School Building").

10. Applicant does not propose any changes to the access driveways from Little Conestoga Road and Park Road to the Property but does propose a new internal access driveway leading to the cemetery on Parcel 32-3-66-E.

11. Applicant intends to relocate the playground and construct a new 5,600 square foot playground on Parcel 32-3-66-E to the south and east of the New School Building.

12. Applicant filed preliminary land development plans prepared by Ludgate Engineering Corporation dated January 22, 2019, last revised April 18, 2019, which plans were admitted at the hearing as Exhibit A-1 (the "LD Plans").

13. The LD Plans depict the existing buildings and parking areas on the Property as well as the proposed New School Building which will be located to the south and west of the existing church approximately 180 feet from Little Conestoga Road and 320 feet from Park Road.

14. Applicant requested a waiver from the requirement to provide a recreation impact statement, a historic impact statement and fiscal impact statement. The Township consultants had no objection to this request given Applicant's representation that it did not propose any significant increase in enrollment at the preschool or Academy.

15. Applicant intends to install additional sidewalks internal to the site to allow safe pedestrian access between the various buildings on the Property and from the parking lot to the existing mid-block crossing on Park Road to allow pedestrians to safely cross Park Road.

16. Applicant also intends to install additional landscaping to buffer the New School Building from residential properties located to the north and west.

17. Applicant testified that it currently has sufficient parking for all of the uses on the Property.

18. Applicant sent correspondence to the Township engineer which explains the current and projected enrollment for the preschool and the Academy. This correspondence was admitted as Exhibit B-9.

19. Applicant indicated that the current preschool enrollment is 165 students with one full-time director and 22 part-time teachers. The current enrollment for the Academy is 187 students with four full-time staff, 13 full-time teachers and seven part-time teachers. The church currently employs three full-time staff, one part-time staff, one on call custodian and two evening custodians.

20. Applicant indicated that the purpose for constructing the New School Building was to consolidate the classrooms for the Academy into one modern classroom wing and not to increase the number of classrooms of students on the campus.

21. Applicant has no intention to increase the enrollment for either the preschool or Academy but does admit that with improved facilities, enrollment may increase to the following: preschool 190 students and Academy 230 students.

22. Applicant requested a waiver from the requirement to provide a traffic study. The Township traffic engineer had no objection to the Board waiving this requirement given that there is no significant anticipated increase in enrollment. The Township traffic engineer suggested that the Board impose a condition that if future on-site traffic operations create a safety or traffic issue which impacts traffic conditions on Little Conestoga Road or Park Road, Applicant should be required to conduct a traffic study at that time and implement traffic improvements necessary to improve traffic operations.

23. Applicant intends to extend public water and public sewer to the New School Building.

24. Applicant introduced various architectural renderings of the New School Building at the hearing which were admitted as Exhibits A-2 through A-5.

25. Applicant prefers to design the New School Building consistent with the design depicted in the rendering that was admitted as Exhibit A-4 which proposed a pitched roof and height that exceeds 35 feet.

26. Applicant intends to use the materials and colors for the exterior façade of the New School Building depicted in the architectural rendering which was admitted as Exhibit A-2 labeled "Phase 1 -Option 1."

27. As funding permits Applicant intends to modify the colors of the exterior façade of the New School Building as depicted in the architectural rendering which was admitted as Exhibit A-3 labeled "Phase 1- Option 2."

28. The Board may modify the maximum height limit of 35-foot height pursuant to Section 200-34.F of the Ordinance which provides that as a condition of conditional use approval, the Board may permit roof structures above the cornice line which exceed the applicable height limit, where the Board agrees that such structures enhance the appearance of the overall design.

29. The Planning Commission reviewed the Application at its meeting on August 8, 2019 and suggested that Applicant be required to annually advise the Township of the enrollment for the preschool and Academy and once the total enrollment for both schools exceeds 500 students, Applicant should be required to conduct a traffic impact study.

30. Applicant stated that they were willing to work with the Historic Commission to develop a design for the architecture of the New School Building so that it is in keeping with the architecture of the other buildings located in the C-1 District and the Village of Eagle.

31. The Board entered the following exhibits, without objection by Applicant:

B-1: Conditional Use Application dated May 9, 2019

B-2: Memorandum from Thom Ludgate, PE, PLS, LEED AP to Upper Uwchlan Township requesting waiver from required studies

B-3: Proof of Publication in the Daily Local News on July 23, 2019 and July 30, 2019

B-4: Affidavit of Posting of Al Gaspari, Township Codes Administrator, dated August 2, 2019

B-5: Letter dated June 10, 2019 from Applicant granting extension to hold hearing

B-6: Summary of Planning Commission recommendation

B-7: Township Engineer review letter dated July 3, 2019

B-8: Prior Conditional Use Decision and Order dated August 3, 2016

B-9: Letter from Phil Marks, Elder and Building Committee Chairperson of Windsor Baptist Church to David N. Leh, P.E., Township Engineer

32. Applicant entered the following exhibits without objection by the Township:

A-1: Preliminary Plan for Windsor Baptist Church, last revision date April 18, 2019

- A-2: Architectural Renderings – Phase 1/Option 1
- A-3: Architectural Renderings – Phase 1/Option 2
- A-4: Architectural Rendering – Higher roof line
- A-5: Architectural Rendering – Lower roof line

### **CONCLUSIONS OF LAW**

1. Applicant has standing to file the Application.
2. The conditional use hearing was duly advertised in accordance with the provisions of the Pennsylvania Municipalities Planning Code (“MPC”) and the Ordinance and the Property was posted in accordance with the requirements of the MPC.
3. The Property is primarily located in the C-1 Village Commercial District with a small portion in the R-2.
4. Section 200–17.B(1) of the Ordinance permits an educational use in the R-2 Residential District by conditional use.
5. Section 200–33.B(1) of the Ordinance permits an educational use in the C-1 Village District by conditional use.
6. Section 200-34.F of the Ordinance allows the Board of Supervisors to approve a building height greater than 35 feet in the C-1 District as part of a conditional use application where the Board agrees that the additional height of the structure enhances the appearance of the overall architectural design.
7. Section 200-34.H of the Ordinance provides that no individual building shall contain more than 6,000 square feet of total floor area, except where increased square footage above 6,000 is entirely within an additional story or stories above the first floor or

where increased square footage above 6,000, and not limited to a 50% increase, is approved subject to conditional use approval and in accordance with all applicable design standards in Section 200-34.

### **DISCUSSION**

A conditional use is a use permitted in a particular zoning district pursuant to the provisions in Article VI of the MPC, 53 P.S. §10603. A conditional use concerns only a proposed use of land, not particular design details of the proposed development. *Joseph v. North Whitehall Township Board of Supervisors*, 16 A. 3d 1209 (Pa. Cmwlth. 2011). A conditional use is a special exception which falls within the jurisdiction of the municipal legislative body rather than the zoning hearing board. 53 P.S. §10603(c). *Id.* The municipal legislative body may grant a conditional use pursuant to the express standards and criteria set forth in the zoning ordinance. *Appeal of Richboro CD Partners, L. P.* 89 A3d. 742 (Pa. Cmwlth. 2014). The fact that a use is permitted as a conditional use, rather than prohibited, reflects a legislative decision that the use is not *per se* adverse to the public interest. *Id.* In order to demonstrate that the applicant is entitled to the conditional use, the applicant initially bears the burden of establishing that the application complies with the objective standards and criteria in the zoning ordinance. *Id.* Once the applicant has satisfied this initial burden, the burden shifts to the objectors to rebut this presumption by establishing that the use will have a detrimental impact on the surrounding community. *Id.*

In granting a conditional use, the Board has the authority to impose reasonable conditions and safeguards if such conditions are necessary to implement the purposes of the Ordinance and to protect the health, safety and welfare of the surrounding property

owners. 53 P.S. §10603(c)(2). Conditions imposed by the Board are designed to protect the public interest of surrounding property owners. *Ford v. Zoning Hearing Bd. Of Caernarvon Twp.*, 616 A.2d 1089, 1092 (Pa. Cmwlth. Ct. 1992).

On August 3, 2016, Applicant obtained conditional use approval pursuant to Section 200-33.B(1) of the Ordinance to construct four classrooms within the existing church building to house an estimate of 60 students plus teachers. In this conditional use Decision and Order, which was admitted as Exhibit B-8, the Board imposed a condition that all modular classrooms shall be removed from the Property upon the completion of the construction and occupancy of the school expansion. As of the date of filing the Application, Applicant still had not removed the modular classrooms. Thus, the Board will impose as a condition of approval the requirement that Applicant remove the modular classrooms within 90 days of obtaining a use and occupancy permit for the New School Building.

The Board is pleased that Applicant is building the New School Building to house the Academy in lieu of the temporary modular classrooms. The Board appreciates Applicant's willingness to design the New School Building in accordance with the design standards for buildings in the C-1 District. The Board is willing to allow the height of the New School Building to exceed 35 feet in order to provide a pitched roof as depicted on the architectural renderings admitted as Exhibit A-4 as such increased height enhances the appearance of the overall design. The Board will require Applicant to continue to work with the Historical Commission and Planning Commission on the architectural design of the New School Building to comply with the standards in Section 200-36.B during the land development approval process.

The Board is willing to waive the requirement that Applicant provide a recreation impact statement, historic impact statement and fiscal impact given the testimony that the School's population will not considerably increase. The Board will defer the requirement to perform a traffic impact study until enrollment of students at the preschool and Academy exceeds 500 students.

### ORDER

AND NOW, this 16<sup>th</sup> day of September, 2019, the Board hereby approves a conditional use pursuant to Sections 200-17.B(1) and 200-33.B(1) to permit the development of the New School Building as an educational use in the R-2 and C-1 Village District subject to the conditions listed below. The Board also approves a conditional use pursuant to Section 200-34.H to allow the New School Building to exceed 6,000 square feet. Pursuant to the authority in Section 200-34.F of the Ordinance, the Board also approves the height of the New School Building to exceed 35 feet to allow a pitched roof design as depicted in the architectural renderings which were admitted as Exhibit A-4. The conditional use approvals are subject to Applicant's compliance with the conditions listed below.

### CONDITIONS OF APPROVAL

1. Applicant shall construct the New School Building in accordance with the testimony and evidence presented at the hearing for the Application, except to the extent that any testimony or exhibits are revised to comply with Code requirements and to obtain final land development approval.

2. The specific design for the architecture for the New School Building shall be discussed with the Planning Commission and Historical Commission as part of their review of the land development plans and ultimately approved by the Board as part of final land development approval.

3. Applicant shall comply with outstanding comments set forth in the Township engineer's review letter dated July 3, 2019 to the satisfaction of the specific Township consultant during the land development approval process.

4. Applicant shall annually advise the Township in writing of the enrollment for the preschool and the Academy. If the enrollment for the preschool and Academy exceed a total of 500 students, Applicant shall be required to conduct a traffic impact study and implement traffic improvements recommended in the traffic study and approved by the Township traffic consultant to improve traffic operations in the vicinity of the Property and surrounding intersections. Also, at any time upon written notice, the Township may require Applicant to conduct a traffic study if there are on-site traffic circulation issues that create safety or traffic operations issue at the site accesses or along the adjacent roads, and in such case Applicant shall be required to implement the improvements recommended in the study to improve traffic conditions and as approved by the Township traffic consultant.

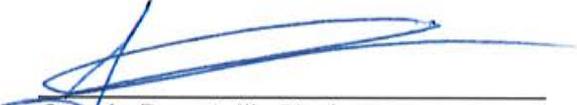
5. If the enrollment for the preschool and Academy exceed a total of 500 students, Applicant shall be required to submit evidence of the sanitary sewage flows from the Property and if the flows exceed the capacity purchased to date, purchase additional sewage capacity in an amount determined by the Township sewer consultant.

6. Applicant shall demonstrate to the Zoning Officer prior to the Board issuing final land development approval that it provides sufficient parking for all of the uses on the Property based on the Ordinance requirements.

7. Applicant shall remove the modular classrooms on the Property within 90 days of obtaining a use and occupancy permit for the New School Building.

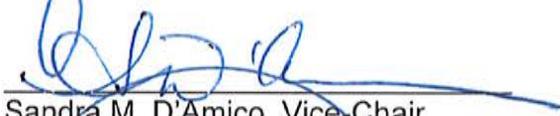
8. Applicant and its successors and assigns in interest to the Property shall be strictly bound by this Decision.

**UPPER UWCHLAN TOWNSHIP  
BOARD OF SUPERVISORS**



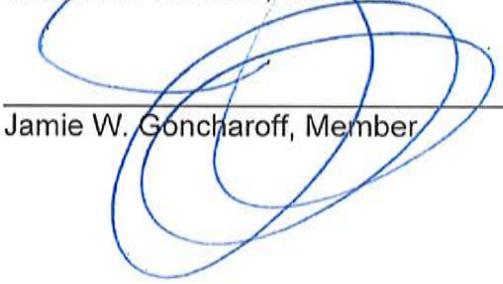
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Guy A. Donatelli, Chair



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Sandra M. D'Amico, Vice Chair



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Jamie W. Goncharoff, Member



SUBDIVISION / LAND DEVELOPMENT APPLICATION

Preliminary Submittal

Final Submittal

The undersigned hereby applies for review of the Plan submitted herewith and described below:

1. Name of Subdivision / Development: UTI/Frontage
2. Plan Dated: September 8, 2020 County Deed Book/Page No. B 6451 P 2111
3. Name of property owner(s): UNI-TECH PA LP

Address: 750 Pennsylvania Drive

State/Zip: PA, 19343-2453 Phone No.: \_\_\_\_\_

Email: \_\_\_\_\_

4. Name of Applicant (If other than owner):  
The Hankin Group (on behalf of Frontage)

Address: 707 Eagleview Boulevard

State/Zip: PA 19381 Phone No.: (610) 458-1900

Email: neal.fisher@hankingroup.com

5. Applicant's interest (If other than owner): DEVELOPER / CONTRACTOR

6. Engineer, Architect, Surveyor, or Landscape Architect responsible for Plan.  
Rick Stratton - Chester Valley Engineers, Inc.

Address: 83 Chestnut Road, P.O. Box 447, Paoli

State/Zip: PA 19301 Phone No.: (610) 644-4623 Ext 103

Email: rstratton@chesterv.com

7. Total acreage: 27.177 Number of Lots: 1

8. Acreage of adjoining land in same ownership: (If any) n/a

9. Describe Type of Development Planned: Site improvements including new loading docks, enclosures for outdoor equipment, and modifications to the existing parking areas to accommodate new tenant

10. This Application shall be accompanied by: the Application Fee as listed below, an aerial image of the property, and the quantity of plans/supporting information as detailed in the Township Code §162-8.B.(1)(b) and/or §162-8.C.(1)(d).  
[One-half of the required plan submissions may be of a reduced size, i.e. 11 x 17]

11. List all subdivision and zoning standards or requirements which have not been met and for which a waiver or change is requested.  
§162-7.B.(2)(b) & (c) – The Applicant is requesting a waiver for concurrent review and approval of preliminary and final land development.

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12. The Applicant or his/her agent shall enter into a Subdivision / Land Development Review Escrow Agreement (attached) and place into escrow with the Township at the time of application an amount estimated by the Township to cover all costs of engineering and professional planning reviews (not including County application fee), legal services and other professional services used by the Township in connection with the application.

Signature of Property ~~Owner~~ or Applicant:

  
By: Neal Fisher V.P. of Development  
Date: Sept 8, 2020

\*Development subject to ACT 209 Impact Fee.

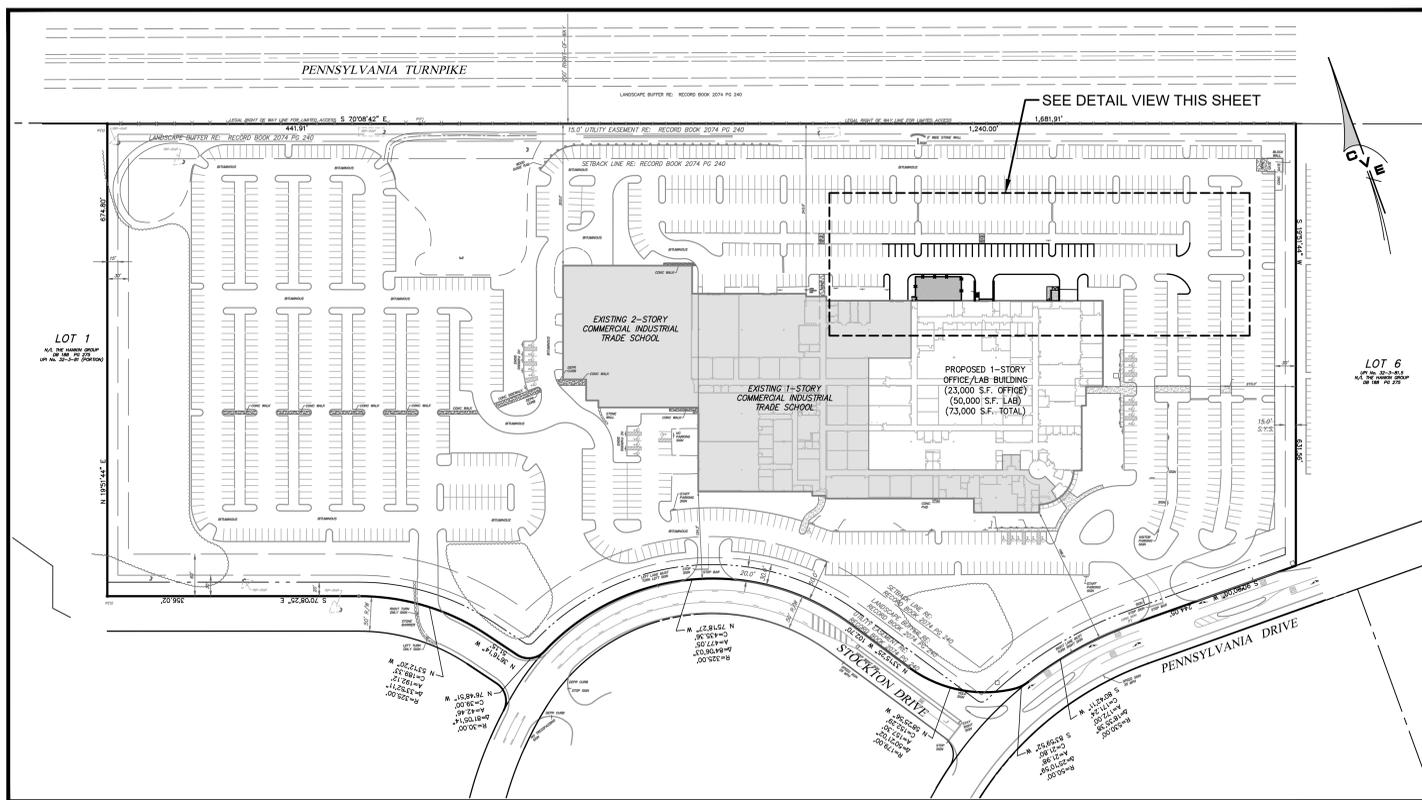
\*Park & Recreation Fee per residence is levied. Contact Township Offices to determine amount.

**SUBDIVISION / LAND DEVELOPMENT APPLICATION FEE**

1-2 Lots .....	\$250
3-5 Lots .....	\$500
Plus \$25 for each Lot over 3	
Over 5 Lots .....	\$1000
Plus \$50 for each Lot over 5	

Form revised January 2015





**GENERAL NOTES:**

- BOUNDARY SURVEY PERFORMED BY HOPKINS AND SCOTT, INC., REGISTERED SURVEYORS, BOX 244, KIMBERTON, PENNSYLVANIA, 19442 (810-933-1754), AS IDENTIFIED ON THE FOLLOWING:  
A. MAP OF PROPERTY MADE FOR HANKIN BUILDERS, DRAWING NO. 1-07-39-018, DATED APRIL 15, 1992.  
B. MAP OF PROPERTY MADE FOR HANKIN BUILDERS, DRAWING NO. 1-07-39-003, DATED OCTOBER 28, 1985, AND  
C. MAP OF PROPERTY MADE FOR HANKIN BUILDERS, DATED SEPTEMBER 16, 1985, LAST REV. SEPTEMBER 5, 1986.
- GROSS TRACT AREA = 27.177 ACRES
- THE TOPOGRAPHY SHOWN ON THE PLANS HAS BEEN PHOTOGRAMMETRICALLY COMPILED, DATUM IS NAVD 1929 AND IS BASED ON PA TURNPIKE COMMISSION BENCHMARK NO. 20 LOCATED ON A SPIKE SET IN B.T. COMPANY PILE, 68 FEET LEFT OF STATION 493+00 OF L.R. 147. INFORMATION TAKEN FROM PLANS PREPARED FOR PA TURNPIKE COMMISSION BY ESHBACK, KALE AND ASSOC. AND GIBCO AND LEAPSON, DATED APRIL 16, 1984, BENCHMARK ELEVATION 458.25
- TOPOGRAPHY IN THE IMMEDIATE AREA OF CONSTRUCTION WAS PROVIDED BY CHESTER VALLEY ENGINEERS, INC. DURING A FIELD SURVEY IN AUGUST 2020. BENCHMARK ELEVATION = 476.56, LOCATED ON A SANITARY SEWER MANHOLE RIM AT THE INTERSECTION OF EAGLEVIEW BOULEVARD AND PENNSYLVANIA DRIVE.
- THIS PLAN REFERENCES LAND DEVELOPMENT PLANS FOR EAGLEVIEW LOT 9, FOR W.P. CAREY AND CO., L.L.C., LAST REVISED 2/19/2005, BY CHESTER VALLEY ENGINEERS, INC. AND SUPPLEMENTED WITH A SURVEY PERFORMED IN AUGUST 2020.
- THE PURPOSE OF THIS PLAN IS FOR SITE IMPROVEMENTS INCLUDING NEW LOADING DOCKS, OUTDOOR STORAGE AREAS FOR EQUIPMENT, MODIFICATIONS TO THE EXISTING PARKING AREAS TO ACCOMMODATE THE NEW TENANT, AND A NEW SANITARY SEWER LATERAL BUILDING CONNECTION.
- SOILS DATA BASED ON INFORMATION CONTAINED IN THE SOILS SURVEY BY CHESTER AND DELAWARE COUNTIES, PA, PREPARED BY THE SOILS CONSERVATION SERVICE, USDA, DATED MAY 1963.
- BY GRAPHIC PLOTTING ONLY, THE PREMISES SHOWN HEREON DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD (SFHA). THE PREMISES LIES WITHIN AN AREA DESIGNATED "ZONE X" AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AS SHOWN ON FLOOD INSURANCE RATE MAP (FIRM) #2029C0090F, MAP REVISED SEPTEMBER 29, 2006, ISSUED BY FEMA.
- ALL UTILITIES LINES, INCLUDING BUT NOT LIMITED TO GAS, ELECTRIC, TELEPHONE, AND CABLE TELEVISION, SHALL BE INSTALLED UNDERGROUND.
- ALL PROPOSED LAND DEVELOPMENT SHALL COMPLY TO THE PERMITTED USES OF INDUSTRIAL OFFICE DISTRICT - PI ZONING DISTRICT OF THE UPPER UWCHLAN TOWNSHIP ZONING ORDINANCE.
- EXISTING CURB TO BE REMOVED SHALL BE SAW CUT OR REMOVED TO THE NEAREST EXPANSION JOINT.
- EXCESS FILL/TOPSOIL MATERIAL SHALL BE TRUCKED OFFSITE.
- HIGH DENSITY POLYETHYLENE (HDPE) PIPE SHALL BE CORRUGATED EXTERIOR/SMOOTH INTERIOR (DOUBLE WALLED) PIPE CONFORMING TO ASTM-F2648
- PROVIDE STEPS WITHIN STORM SEWER STRUCTURES IN ACCORDANCE WITH CURRENT PENNDOT STANDARDS, DETAILS & SPECIFICATIONS.
- PIPE TRENCHES SHALL BE BACKFILLED AND MECHANICALLY COMPACTED TO PROVIDE 95 PERCENT MAXIMUM DRY WEIGHT DENSITY OF THE SOIL.
- EROSION & SEDIMENTATION CONTROL FACILITIES SHALL BE IN ACCORDANCE WITH CHAPTER 102 REGULATIONS.
- THE CONTRACTOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOIL WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 260.1 ET SEQ., 271.1 ET SEQ., AND 287.1 ET SEQ. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP, OR DISCHARGE ANY BUILDING MATERIAL OR WASTES AT THE SITE. CONSTRUCTION WASTES MUST BE RECYCLED TO THE EXTENT PRACTICABLE, AND DISPOSAL METHODS MUST COMPLY WITH FEDERAL, STATE AND LOCAL REQUIREMENTS. ANTICIPATED CONSTRUCTION WASTES FOR THE PROJECT:  
18. THE EXISTING 231,045 S.F. CLASSROOM AND LAB FACILITY, ON EAGLEVIEW LOT 9 IS BEING CONVERTED TO PROVIDE 158,045 S.F. OF EDUCATIONAL USE, 23,000 S.F. OFFICE SPACE AND 50,000 S.F. OF RESEARCH AND DEVELOPMENT
- ALL PROPOSED USES ARE IN COMPLIANCE WITH THE PLANNED INDUSTRIAL/OFFICE ZONING DISTRICT OF THE TOWNSHIP OF UPPER UWCHLAN.
- THE SITE ADDRESS IS 750 PENNSYLVANIA DRIVE, GLENMOORE, PA 19343.

**MINIMUM ZONING REQUIREMENTS**

**PI - PLANNED INDUSTRIAL/OFFICE DISTRICT**

MINIMUM LOT AREA	= 2 ACRE MINIMUM, 3 ACRE AVERAGE
DESIGNATED OPEN SPACE	= FIVE PERCENT (5%) OF THE TOTAL NET TRACT AREA.
FRONT YARD	= 40 FEET MINIMUM, EXCEPT 150 FEET MINIMUM WHEN AN AGRICULTURAL OR RESIDENTIAL USE IS ADJACENT TO THE FRONT YARD.
EACH SIDE YARD	= 15 FEET MINIMUM, EXCEPT WHEN AN AGRICULTURAL USE, RESIDENTIAL DISTRICT OR LOT CONTAINING AN OCCUPIED DWELLING IS ADJACENT TO THE SIDE YARD, THE SETBACK SHALL BE 150 FEET. ON A CORNER LOT THERE SHALL BE A SIDE YARD NOT LESS THAN 40 FEET.
REAR YARD	= 15 FEET MINIMUM, EXCEPT WHEN AN AGRICULTURAL USE, RESIDENTIAL DISTRICT OR LOT CONTAINING AN OCCUPIED DWELLING UNIT IS ADJACENT TO THE REAR YARD, THE SETBACK SHALL BE 150 FEET.

**UPPER UWCHLAN TOWNSHIP ZONING REQUIREMENTS**  
**PI - PLANNED INDUSTRIAL/OFFICE DISTRICT**

	REQUIRED	PROPOSED
MIN. LOT AREA	2 Acres	27.177 AC.
MIN. LOT WIDTH	200 FT.	< 200 FT.
MIN. FRONT YARD	40 FT.	203.0 FT.
MIN. YARD (ABUTTING RESIDENTIAL)	150 FT.	N/A
MIN. SIDE YARD	15 FT.	273.0 FT.
MIN. REAR YARD	15 FT.	123.4 FT.
MAX. BUILDING COVERAGE	35 %	16.52% (4.489 Ac.)
MAX. IMPERVIOUS COVERAGE	60 %	59.70% (16.225 Ac.)
MAX. BUILDING HEIGHT	35 FT. (3 STORES)	2-STORY
DESIGNATED OPEN SPACE	5% (0.923 ACRES)	5.09% (0.942 ACRES)

**LOT 9 PARKING TABULATION**

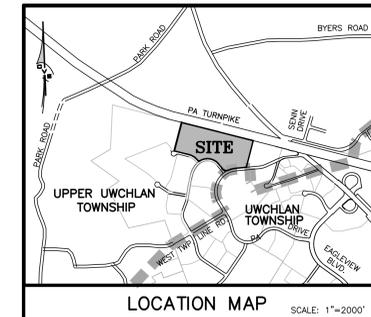
**EXISTING SITE**  
2-STORY CLASSROOM AND LAB FACILITY = 195,520 (BUILDING FOOTPRINT)

**PARKING REQUIREMENT FOR PROPOSED USE**  
COMMERCIAL/INDUSTRIAL TRADE SHOOL: 75 FACULTY AND 850 STUDENTS  
REQUIRED PARKING:  
[1 SPACE/FACULTY X 75 FACULTY] + [1 SPACE/2 STUDENTS X 850 STUDENTS] = [75] + [425] = 500 SPACES  
OFFICE/LAB: 23,000 S.F. OF OFFICE SPACE AND 50,000 S.F. GFA OF THE LAB SPACE  
[5 SPACES/1,000 S.F. GFA X 23,000] + [3 SPACES/1,000 S.F. GFA X 50,000 S.F. GFA] = [115] + [150] = 265 SPACES

500 SPACES  
+265 SPACES  
865 TOTAL REQUIRED SPACES

1,446 TOTAL EXISTING SPACES (INCLUDES 25 ADA)  
-24 SPACES TO BE REMOVED  
1,422 TOTAL SPACES (INCLUDES 25 ADA) PROVIDED.

THE PARKING SPACES SHALL BE NINE (9) FEET WIDE AND EIGHTEEN (18) FEET IN LENGTH.



**LEGEND**

- EXISTING BUILDINGS
- EXISTING ADJOINING LOT LINE
- EXISTING TRACT BOUNDARY
- EXISTING EDGE OF PAVING
- EXISTING RIGHT-OF-WAY
- EXISTING SETBACK LINE
- EXISTING IRON PIN (F.N.D.)
- EXISTING FENCE LINE
- EXISTING EDGE OF PAVING
- EXISTING CURB
- EXISTING EASEMENT
- PROPOSED CURB
- PROPOSED DEPRESSED
- PROPOSED ASPHALT PAVEMENT

On this, the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, before me,  
the undersigned Owner's Agent, personally appeared \_\_\_\_\_  
(Name of Owner's Agent)

(Signature of Owner's Agent)  
who, being duly sworn according to the law, deposes and says that he is the Agent for the Owner of the property shown on this plan, and that he acknowledges the same to be his act and plan and desires the same recorded as such according to law.

Witness my hand and seal the day and date shown above written.  
My Commission Expires: \_\_\_\_\_  
(Notary Public or Other Officer)

**REVIEWED** by the Planning Commission of Upper Uwchlan Twp., Chester Co., Pa., this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

Chairman \_\_\_\_\_  
Vice Chairman \_\_\_\_\_  
Member \_\_\_\_\_

**APPROVED** by the Board of Supervisors of Upper Uwchlan Twp., Chester Co., Pa., this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

Chairman \_\_\_\_\_  
Vice Chairman \_\_\_\_\_  
Member \_\_\_\_\_

**CERTIFICATION OF ACCURACY**  
I hereby certify that the plan shown and described hereon is true and correct to the accuracy required by the Subdivision and Land Development Regulations of the Township of Upper Uwchlan.

\_\_\_\_\_  
Date

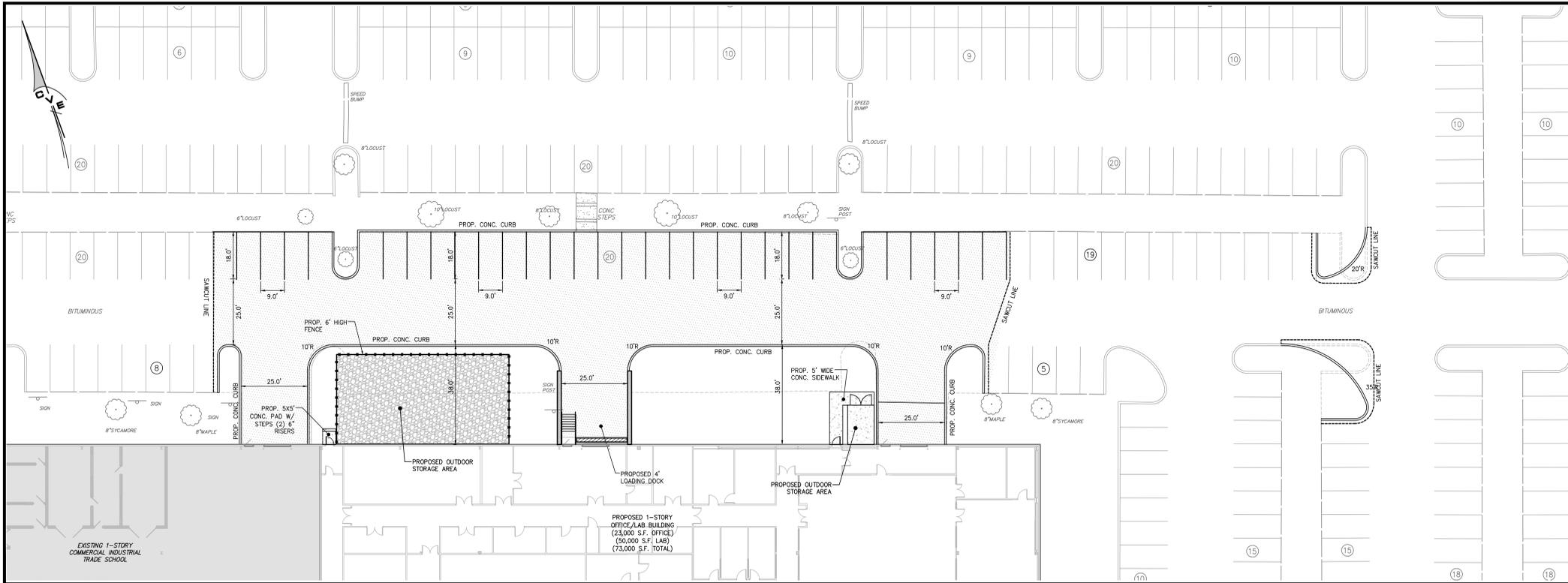
**APPROVED** by the Upper Uwchlan Twp., Engineer  
\_\_\_\_\_  
Date

**REVIEWED** by the Chester County Planning Commission  
this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

Director \_\_\_\_\_  
Secretary \_\_\_\_\_

Recorded in the Office of the Recorder of Deeds of Chester County at West Chester, Pennsylvania in Plan Book \_\_\_\_\_, Page \_\_\_\_\_, on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

(Deputy) Recorder of Deeds \_\_\_\_\_



**NOTE TO USER OF THESE PLANS:**  
WARNING: THE INFORMATION CONTAINED ON THESE PLANS MAY NOT BE CONSIDERED AS A GUARANTEE OF ACCURACY OR AS A CONTRACT. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION CONTAINED ON THESE PLANS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION CONTAINED ON THESE PLANS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION CONTAINED ON THESE PLANS.

**COPYRIGHT:**  
CHESTER VALLEY ENGINEERS, INC., CIVIL ENGINEERS & SURVEYORS, 2019XXXXXXXXXX  
REGISTERED PROFESSIONAL ENGINEER  
1501 W. MARKET STREET, SUITE 200, GLENMOORE, PA 19343  
TEL: 610-458-1900 FAX: 610-458-1901  
WWW.CHESTERVALLEYENGINEERS.COM

**PENNSYLVANIA ACT 181 REQUIREMENTS:**  
UNIFORM PARCEL IDENTIFIER: 32-03-81.7  
POCS SERIAL NUMBER: 2019XXXXXX

**SEE SHEET 1 FOR FACILITY OWNER'S DESIGNATED OFFICE ADDRESS AND TELEPHONE NUMBER.**

**UNIVERSAL TECHNICAL INSTITUTE & FRONTAGE LABORATORIES**  
UPPER UWCHLAN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA

**CHESTER VALLEY ENGINEERS, INC.**  
21372  
83 Chestnut Street, 100 West 41st, Phila, PA 19101  
610-644-4899 | 610-689-9143  
www.cve-engineers.com

**OWNER:**  
UNI-TECH PA, L.P.  
750 PENNSYLVANIA DRIVE  
GLENMOORE, PA 19343

**APPLICANT:**  
THE HANKIN GROUP  
CONTACT: NEAL FISHER  
VICE PRESIDENT OF DEVELOPMENT  
Phone: 610-458-1900  
Email: neal.fisher@hankingroup.com  
707 EAGLEVIEW BOULEVARD  
EXTON, PA 19341

**WAIVER: SECTION 162-7.B.(2)(b) & 162-7.B.(2)(c)**  
FOR CONCURRENT APPROVAL OF PRELIMINARY LAND DEVELOPMENT PLAN AND FINAL LAND DEVELOPMENT PLAN.

**RECORD & SITE LAYOUT PLAN**

NO. DATE REVISION

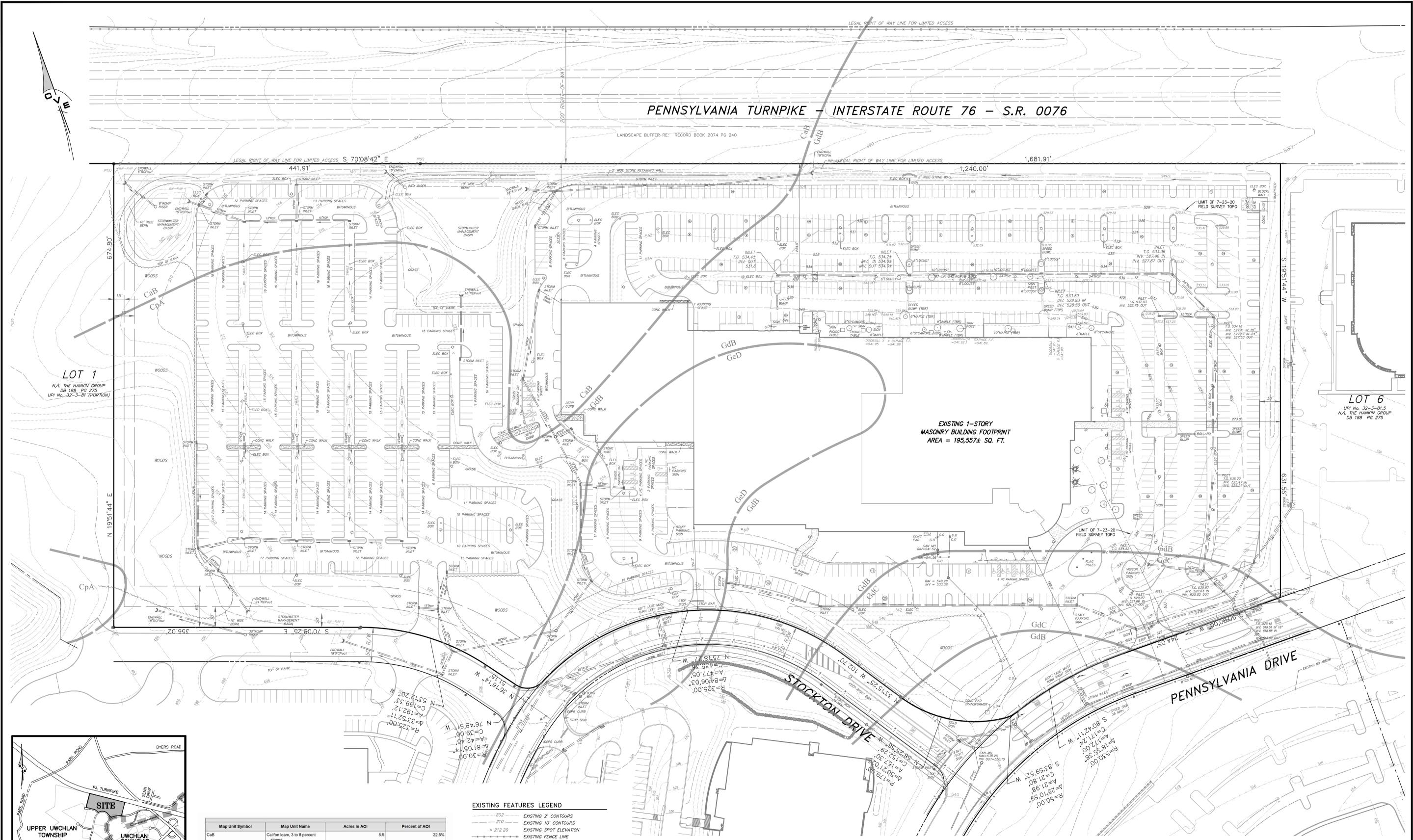
**PRELIMINARY / FINAL LAND DEVELOPMENT PLAN**  
EAGLEVIEW LOT 9  
UNIVERSAL TECHNICAL INSTITUTE & FRONTAGE LABORATORIES  
UPPER UWCHLAN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA

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www.cve-engineers.com

SCALE AS SHOWN DATE 09/18/20 DRAWN BY S.F.D. CHECKED BY R.F.S. DRAWING

PENNSYLVANIA TURNPIKE - INTERSTATE ROUTE 76 - S.R. 0076

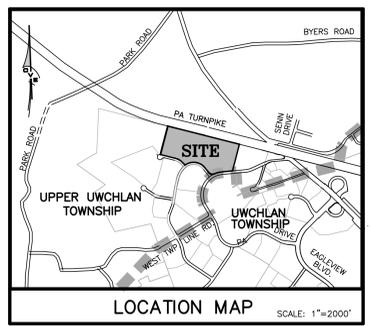
LANDSCAPE BUFFER RE: RECORD BOOK 2074 PG 240



LOT 1  
N/A THE HANCOCK GROUP  
DB 188 PG 275  
UPI No. 32-3-81 (PORTION)

LOT 6  
UPI No. 32-3-81.5  
N/A THE HANCOCK GROUP  
DB 188 PG 275

EXISTING 1-STORY  
MASONRY BUILDING FOOTPRINT  
AREA = 195,557± SQ. FT.



Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
CdB	Calton loam, 3 to 8 percent slopes	8.5	22.5%
CpA	Cokesbury silt loam, 0 to 3 percent slopes	0.0	0.0%
GdB	Gladstone gravelly loam, 3 to 8 percent slopes	23.8	63.6%
GdC	Gladstone gravelly loam, 8 to 15 percent slopes	2.5	6.7%
GeD	Gladstone-Parker gravelly loam, 15 to 25 percent slopes	2.7	7.2%
<b>Totals for Area of Interest</b>		<b>37.5</b>	<b>100.0%</b>

**EXISTING FEATURES LEGEND**

- 202 --- EXISTING 2' CONTOURS
- 210 --- EXISTING 10' CONTOURS
- × 212.20 EXISTING SPOT ELEVATION
- EXISTING FENCE LINE
- EXISTING EDGE OF PAVING
- EXISTING CURB
- Soils Line and Description
- EXISTING STORM INLET AND PIPE
- EXISTING STORM MANHOLE AND PIPE
- EXISTING STORM ENDWALL AND PIPE
- EXISTING SIGN
- EXISTING UTILITY POLE
- EXISTING POST
- EXISTING UNDERGROUND WATER MAIN
- EXISTING UNDERGROUND ELECTRIC
- EXISTING UNDERGROUND GAS LINE
- EXISTING FIRE LINE
- EXISTING DECIDUOUS TREE
- EXISTING CONIFEROUS TREE
- EXISTING TREE & SHRUB LINE
- EXISTING MANHOLE (SAN, STORM, GAS, WATER, WATER, ELECTRIC, TELEPHONE, ETC.)

**SITE ANALYSIS TABLE \***

A.) SLOPES	PRECAUTIONARY SLOPES (15 TO 25%)	0.00 ACRES
	NATURAL SLOPES	0.00 ACRES
	MAN MADE SLOPES	0.00 ACRES
	PROHIBITIVE SLOPES > 25%	0.00 ACRES
	NATURAL SLOPES	0.00 ACRES
	MAN MADE SLOPES	0.00 ACRES
B.) ALLUVIAL SOILS		0.00 ACRES
C.) WETLAND ANALYSIS		0.00 ACRES
D.) FLOODPLAIN LIMITS		0.00 ACRES
E.) NATURAL WATERCOURSES, PONDS AND SWALES		0.00 ACRES
F.) DRAINAGE BASINS AND SUBBASINS		0.90 ACRES
G.) EXISTING PATHS & TRAILS		0.00 ACRES
H.) WOODLAND AREA		2.02 ACRES
I.) THERE ARE NO HISTORIC RESOURCES		

\* THIS PROJECT DOES NOT PROPOSE DISTURBANCE OF ANY OF THE AREAS IN THIS TABLE

**NOTE TO USER OF THESE PLANS:** WARNING: THE INFORMATION CONTAINED ON THIS PLAN MAY BE INCONSISTENT WITH CONDITIONS IN THE FIELD. CONSULTORS AND CONSULTANTS RELYING ON THESE PLANS MUST CONTACT THE ENGINEER OF RECORD FOR VERIFICATION OF THE ACCURACY OF THE INFORMATION CONTAINED HEREON. THE ENGINEER OF RECORD SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY CAUSED BY THE USE OF THESE PLANS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

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**PENNSYLVANIA ACT 181 REQUIREMENTS:** UNIFORM PARCEL IDENTIFIER: 32-03-81.7

**UNIFORM PARCEL IDENTIFIER:** 32-03-81.7

SITE ANALYSIS PLAN

PRELIMINARY / FINAL LAND DEVELOPMENT PLAN  
EAGLEVIEW LOT 9

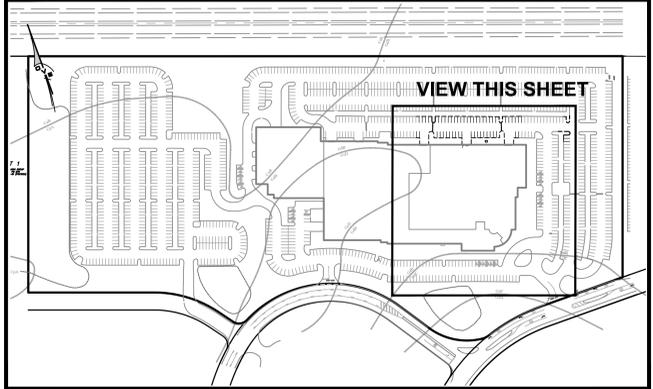
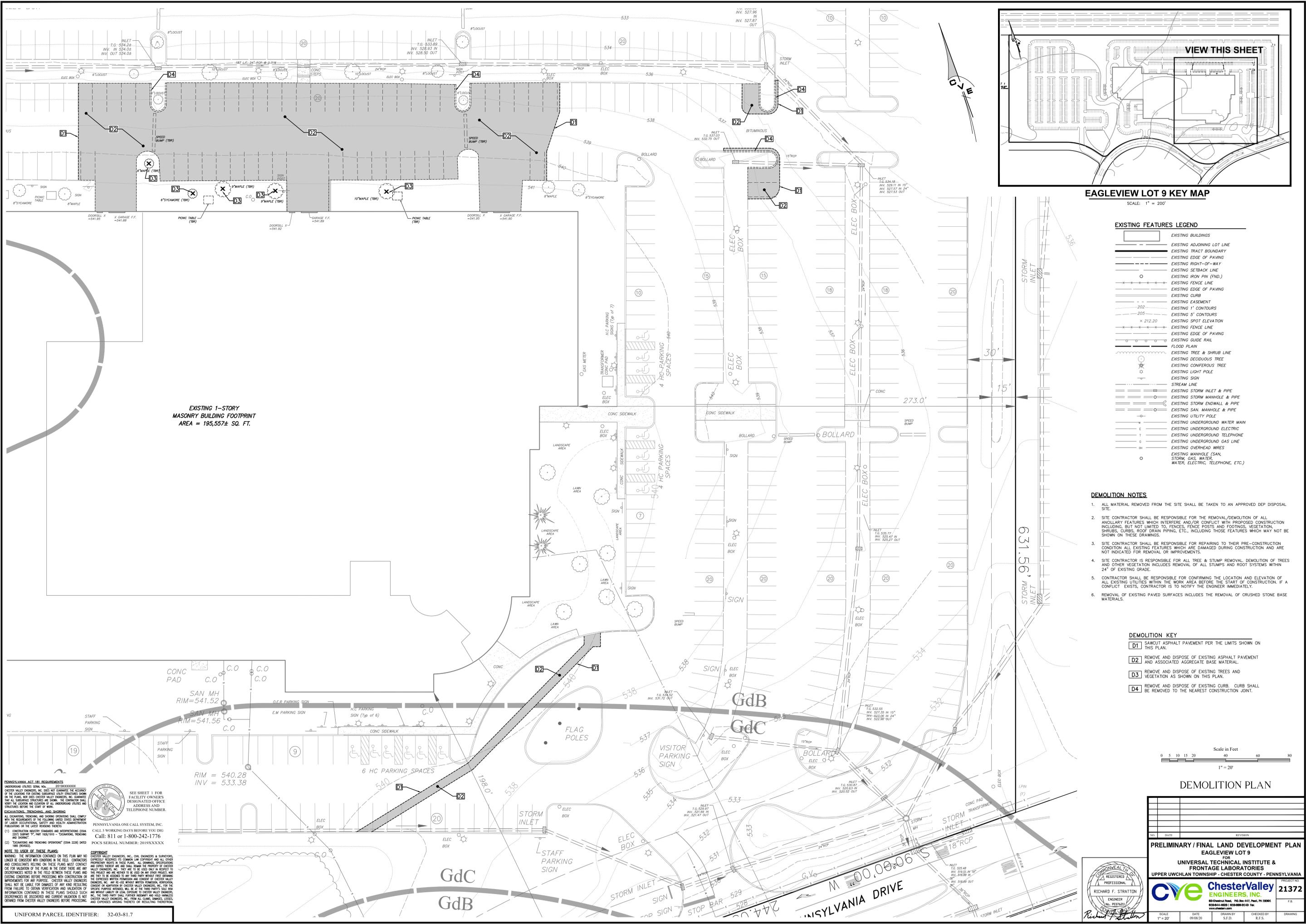
UNIVERSAL TECHNICAL INSTITUTE & FRONTAGE LABORATORIES  
UPPER UWCHLAN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA

**ChesterValley ENGINEERS, INC.** 21372  
83 Chestnut Street, P.O. Box 417, Pott, PA 19001  
610-644-4899 | 610-689-9543 Fax  
www.chestervalley.com

SCALE: 1" = 50'  
DATE: 09/18/20  
DRAWN BY: S.F.D.  
CHECKED BY: R.F.S.  
DRAWING: 21372

Richard F. Stratton  
REGISTERED PROFESSIONAL ENGINEER  
NO. PE072743





**EAGLEVIEW LOT 9 KEY MAP**  
SCALE: 1" = 200'

**EXISTING FEATURES LEGEND**

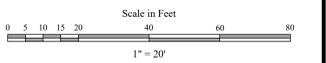
- EXISTING BUILDINGS
- EXISTING ADJOINING LOT LINE
- EXISTING TRACT BOUNDARY
- EXISTING EDGE OF PAVING
- EXISTING RIGHT-OF-WAY
- EXISTING SETBACK LINE
- EXISTING IRON PIN (FND.)
- EXISTING FENCE LINE
- EXISTING EDGE OF PAVING
- EXISTING CURB
- EXISTING EASEMENT
- EXISTING 1' CONTOURS
- EXISTING 5' CONTOURS
- EXISTING SPOT ELEVATION
- EXISTING FENCE LINE
- EXISTING EDGE OF PAVING
- EXISTING GUIDE RAIL
- FLOOD PLAIN
- EXISTING TREE & SHRUB LINE
- EXISTING DECIDUOUS TREE
- EXISTING CONIFEROUS TREE
- EXISTING LIGHT POLE
- EXISTING SIGN
- STREAM LINE
- EXISTING STORM INLET & PIPE
- EXISTING STORM MANHOLE & PIPE
- EXISTING STORM ENDWALL & PIPE
- EXISTING SAN. MANHOLE & PIPE
- EXISTING UTILITY POLE
- EXISTING UNDERGROUND WATER MAIN
- EXISTING UNDERGROUND ELECTRIC
- EXISTING UNDERGROUND TELEPHONE
- EXISTING UNDERGROUND GAS LINE
- EXISTING OVERHEAD WIRES
- EXISTING MANHOLE (SAN, STORM, GAS, WATER, WATER, ELECTRIC, TELEPHONE, ETC.)

**DEMOLITION NOTES**

1. ALL MATERIAL REMOVED FROM THE SITE SHALL BE TAKEN TO AN APPROVED DEP DISPOSAL SITE.
2. SITE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL/DEMOLITION OF ALL ANCILLARY FEATURES WHICH INTERFERE AND/OR CONFLICT WITH PROPOSED CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, FENCES, FENCE POSTS AND FOOTINGS, VEGETATION, SHRUBS, CURBS, ROOF DRAIN PIPING, ETC., INCLUDING THOSE FEATURES WHICH MAY NOT BE SHOWN ON THESE DRAWINGS.
3. SITE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING TO THEIR PRE-CONSTRUCTION CONDITION ALL EXISTING FEATURES WHICH ARE DAMAGED DURING CONSTRUCTION AND ARE NOT INDICATED FOR REMOVAL OR IMPROVEMENTS.
4. SITE CONTRACTOR IS RESPONSIBLE FOR ALL TREE & STUMP REMOVAL. DEMOLITION OF TREES AND OTHER VEGETATION INCLUDES REMOVAL OF ALL STUMPS AND ROOT SYSTEMS WITHIN 24" OF EXISTING GRADE.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES WITHIN THE WORK AREA BEFORE THE START OF CONSTRUCTION. IF A CONFLICT EXISTS, CONTRACTOR IS TO NOTIFY THE ENGINEER IMMEDIATELY.
6. REMOVAL OF EXISTING PAVED SURFACES INCLUDES THE REMOVAL OF CRUSHED STONE BASE MATERIALS.

**DEMOLITION KEY**

- D1** SAWCUT ASPHALT PAVEMENT PER THE LIMITS SHOWN ON THIS PLAN.
- D2** REMOVE AND DISPOSE OF EXISTING ASPHALT PAVEMENT AND ASSOCIATED AGGREGATE BASE MATERIAL.
- D3** REMOVE AND DISPOSE OF EXISTING TREES AND VEGETATION AS SHOWN ON THIS PLAN.
- D4** REMOVE AND DISPOSE OF EXISTING CURB. CURB SHALL BE REMOVED TO THE NEAREST CONSTRUCTION JOINT.



**DEMOLITION PLAN**

NO.	DATE	REVISION

**PRELIMINARY / FINAL LAND DEVELOPMENT PLAN**  
**EAGLEVIEW LOT 9**

UNIVERSAL TECHNICAL INSTITUTE & FRONTAGE LABORATORIES  
UPPER UWCHLAN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA

**CVE ChesterValley Engineers, Inc.** 21372  
83 Chestnut Street, P.O. Box 417, Pott, PA 19361  
610-644-4899 | 610-699-9143 Fax  
www.cve-engineers.com

SCALE: 1" = 20' DATE: 09/18/20 DRAWN BY: S.F.D. CHECKED BY: R.F.S. DRAWING

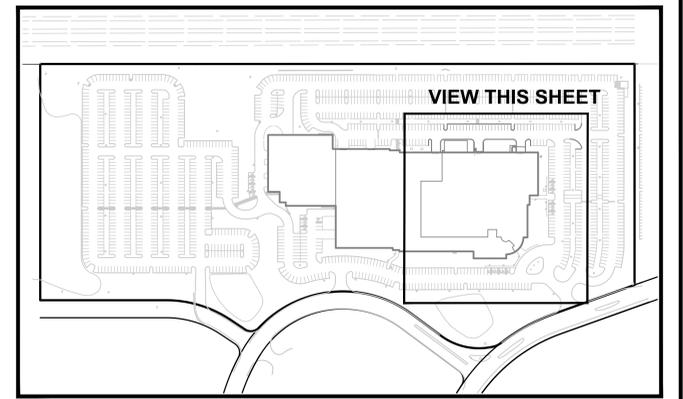
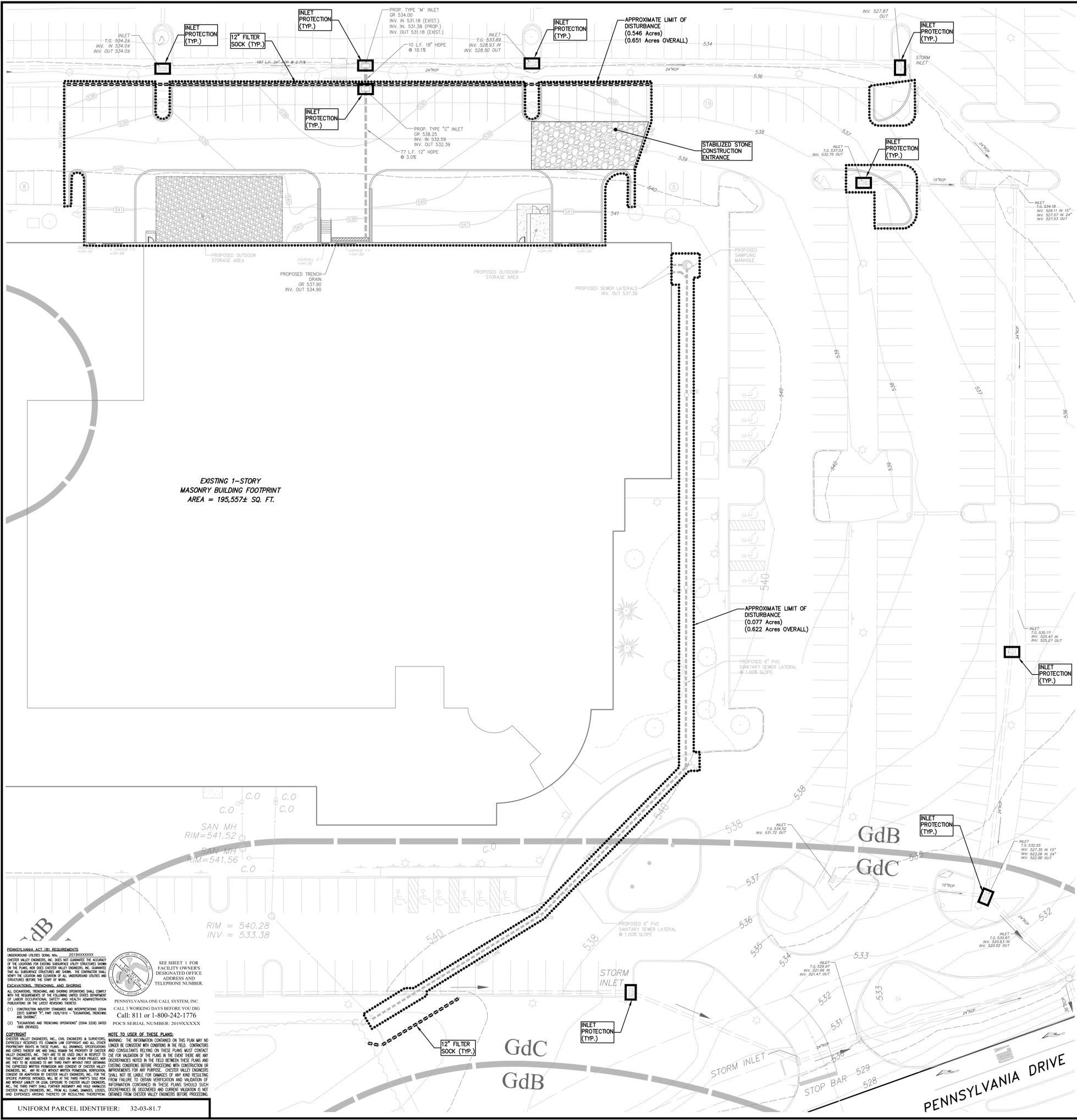
**PENNSYLVANIA ACT 181 REQUIREMENTS**  
UNIVERSAL TECHNICAL INSTITUTE & FRONTAGE LABORATORIES, INC. DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION CONTAINED IN THESE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES BEFORE THE START OF WORK.

**EXCAVATIONS, TRENCHING, AND SHIELDING**  
ALL EXCAVATIONS, TRENCHING, AND SHIELDING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE FOLLOWING UNITED STATES DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS OR THE LATEST REVISIONS THEREOF:  
(1) CONSTRUCTION SAFETY STANDARDS AND IMPLEMENTATION (29 CFR 1926) PART 1926.1100 - "EXCAVATIONS, TRENCHING AND SHIELDING"  
(2) "TRENCHING AND TRENCHING OPERATIONS" (29 CFR 220) DATED 1983 (REVISED)

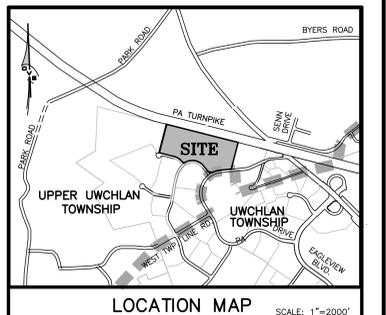
**NOTE TO USER OF THESE PLANS**  
WARNING: THE INFORMATION CONTAINED ON THIS PLAN MAY NO LONGER BE CONSISTENT WITH CONDITIONS IN THE FIELD. CONTRACTORS AND CONSULTANTS RELYING ON THESE PLANS MUST CONTACT CHESTER VALLEY ENGINEERS, INC. IN THE EVENT THERE ARE ANY CHANGES TO THE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES BEFORE THE START OF WORK.

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UNIFORM PARCEL IDENTIFIER: 32-03-81.7



EAGLEVIEW LOT 9 KEY MAP  
SCALE: 1" = 200'



LOCATION MAP  
SCALE: 1" = 2000'

**GENERAL EROSION & SEDIMENTATION CONTROL NOTES**

1. THE WORK AREA IS APPROXIMATELY 0.622 ACRES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER CONSTRUCTION, STABILIZATION, AND MAINTENANCE OF ALL EROSION AND SEDIMENTATION CONTROLS, AND RELATED ITEMS INCLUDED WITHIN THESE PLANS.
3. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN A MANNER SUCH THAT ALL EROSION AND AIR/WATER POLLUTION IS MINIMIZED.
4. EROSION AND SEDIMENTATION CONTROLS MUST BE CONSTRUCTED, STABILIZED AND FUNCTIONAL BEFORE GENERAL SITE DISTURBANCE WITHIN THE TRIBUTARY AREA OF THOSE CONTROLS BEGINS.
5. ACCUMULATED SILT SHALL BE REMOVED ALONG COMPOST FILTER SOCKS, REGRADED, AND STABILIZED ELSEWHERE WITHIN THE LIMITS OF CONSTRUCTION.
6. SHOULD ANY MEASURES CONTAINED WITHIN THIS PLAN PROVE TO BE INCAPABLE OF ADEQUATELY REMOVING SEDIMENT FROM ON-SITE FLOWS PRIOR TO THE DISCHARGE OF OR STABILIZING OF SURFACES INVOLVED, ADDITIONAL MEASUREMENT MUST BE IMPLEMENTED IMMEDIATELY BY THE CONTRACTOR TO ELIMINATE SUCH PROBLEMS.
7. COMPOST FILTER SOCKS ARE TO BE MAINTAINED, AND REPLACED IF NECESSARY, DURING THE ENTIRE CONSTRUCTION PERIOD UNTIL A PERMANENT VEGETATIVE COVER WITHIN THE TRIBUTARY AREA IS ESTABLISHED.
8. PONDED SEDIMENT LADEN WATER OR POTENTIALLY SEDIMENT LADEN WATER SHALL BE PUMPED THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG, DISCHARGED AT A NON-DISTURBED AREA.
9. UPON COMPLETION OF OTHER CONSTRUCTION, THE ENTIRE AMOUNT OF TOPSOIL STRIPPED SHALL BE REPLACED ON THE SITE. NO TOPSOIL SHALL BE DISPOSED OF, BY SALE OR OTHERWISE, OFF THE SITE OF CONSTRUCTION.
10. SEDIMENT MUST BE REMOVED FROM STORMWATER INLET PROTECTION AFTER EACH RUNOFF EVENT.

**CONSTRUCTION SEQUENCE**

ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE. AT LEAST 7 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES THE OPERATOR SHALL INVITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES INCLUDING BUT NOT LIMITED TO: THE LAND OWNER, PROJECT ENGINEER MUNICIPALITY AND ALL APPROPRIATE REGULATORY AGENCIES FOR AN ONSITE PRE-CONSTRUCTION MEETING.

THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIAL AND WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT PA. CODE 260.1 ET SEQ. AND 287.1 ET SEQ., THE CONTRACTOR SHALL NOT BURY, DUMP, OR DISCHARGE ANY UNAPPROVED BUILDING MATERIAL OR WASTES AT THE SITE.

1. INSTALL COMPOST FILTER SOCK, INLET PROTECTION, TREE PROTECTION, AND THE CONCRETE WASHOUT.
2. STRIP TOPSOIL FROM THE WORK AREA AND STOCKPILE ONSITE.
3. REMOVE AND/OR DEMOLISH EXISTING FEATURES IN ACCORDANCE WITH THE DEMOLITION PLAN.
4. EXCAVATE IN THE AREAS OF THE PROPOSED IMPROVEMENTS. ROUGH GRADE TO THE ELEVATIONS SHOWN ON THE GRADING & UTILITY PLAN. EXCESS MATERIAL SHALL BE DISPOSED OF AS NOTED.
5. SAWCUT PAVEMENT, INSTALL STORM SEWER, SANITARY SEWER LATERAL, RESTORE PAVEMENT, AND INSTALL INLET PROTECTION IN NEW INLET.
6. INSTALL CURBING.
7. INSTALL LANDSCAPING.
8. RE-Spread TOPSOIL TO FINAL GRADE IN THE REMAINING DISTURBED LAWN AREAS. STABILIZE ALL DISTURBED AREAS WITH PERMANENT SEEDING AND MULCH.
9. EROSION AND SEDIMENTATION CONTROL (E&S) BMPs SHALL REMAIN IN PLACE AND MAINTAINED UNTIL STABILIZATION OF THE DISTURBED AREAS HAS BEEN ACHIEVED.
10. ONCE PERMANENT STABILIZATION HAS BEEN ACHIEVED, REMOVE ALL E&S BMPs. STABILIZE ALL AREAS DISTURBED DURING THE REMOVAL PROCESS.

**OPERATION AND MAINTENANCE PROCEDURE**

- TEMPORARY EROSION AND SEDIMENT CONTROL BMPs
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER CONSTRUCTION, STABILIZATION AND MAINTENANCE OF ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INSPECTION/MAINTENANCE OF THESE MEASURES, INCLUDING BUT NOT LIMITED TO COMPOST FILTER SOCKS AND INLET PROTECTION SHALL BE CONDUCTED ON A WEEKLY BASIS AND AFTER EVERY MEASURABLE RAINFALL.
  2. THE OPERATION AND MAINTENANCE REQUIREMENTS FOR THE TEMPORARY E&S BMPs FOR THIS PROJECT INCLUDE THE FOLLOWING:
    - A. COMPOST FILTER SOCKS - COMPOST FILTER SOCKS SHALL BE INSPECTED/MAINTAINED TO ENSURE THAT THE FABRIC, COMPOST, AND STAKES CONFORM TO THE STANDARD DETAIL. FABRIC WHICH IS TORN, DISTENDED/DIFORMED OR OTHERWISE COMPROMISED SHALL BE REPLACED. ALL MATERIAL DEPOSITED BEHIND THE COMPOST FILTER SOCKS SHALL BE DISTRIBUTED ON SITE AND IMMEDIATELY STABILIZED USING SEED AND MULCH.
    - B. INLET PROTECTION - SHALL BE CLEARED AND CLEANED AFTER EACH RUNOFF EVENT. SEDIMENT SHALL BE DISTRIBUTED ON SITE AND IMMEDIATELY STABILIZED.

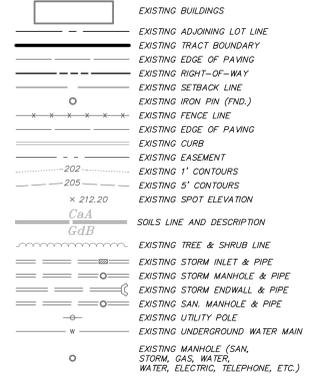
**TRENCH EXCAVATION NOTES:**

1. ALL SOIL EXCAVATED FROM THE TRENCH SHALL BE PLACED ON THE UPHILL SIDE OF THE TRENCH.
2. LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT, PLUG INSTALLATION AND BACKFILLING THAT CAN BE COMPLETED THE SAME DAY.
3. WATER WHICH ACCUMULATES IN THE OPEN TRENCH WILL BE COMPLETELY REMOVED BY PUMPING BEFORE PIPE PLACEMENT AND/OR BACKFILLING BEGINS. WATER REMOVED FROM THE TRENCH SHALL BE PUMPED THROUGH A FILTRATION DEVICE.

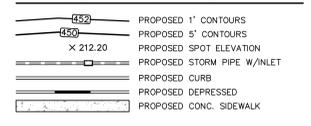
**SPECIAL PROTECTION WATERSHED NOTES:**

1. THIS PROJECT IS IN A SPECIALLY PROTECTED HIGH QUALITY OR EXCEPTIONAL VALUE WATERSHED. EXTREME CARE SHOULD BE EXERCISED IN ALL DISTURBANCE ACTIVITIES TO PREVENT DEGRADATION TO THE WATERS OF THE COMMONWEALTH.
2. THE RECEIVING WATERCOURSE FOR THIS PROJECT IS WITHIN THE SHAMONA CREEK WATERSHED. THE SHAMONA CREEK WATERSHED IS CLASSIFIED AS A HIGH QUALITY (HQ) WATERSHED, WITH TROUT STOCKING FISHERIES (TSF), AND MIGRATORY FISHES (MF). PER CHAPTER 93 OF THE PENNSYLVANIA CODE, THE PENNSYLVANIA INTEGRATED WATER QUALITY AND ASSESSMENT REPORT IDENTIFIES THE SHAMONA CREEK'S ASSESSED USE AS AQUATIC LIFE. CAUSE OF IMPAIRMENTS ARE URBAN RUNOFF/STORM SEWERS - WATER FLOW VARIABILITY AND INTEGRATED RUNOFF/STORM SEWERS - SILTATION, DATED 2016. NO TMDL HAS BEEN ESTABLISHED FOR THE SHAMONA CREEK.
3. BECAUSE THIS PROJECT IS IN A SPECIALLY PROTECTED HIGH QUALITY OR EXCEPTIONAL VALUE WATERSHED, UPON COMPLETION OR TEMPORARY CESSATION OF EARTH DISTURBANCE ACTIVITIES, THE PROJECT SITE MUST BE IMMEDIATELY STABILIZED WITH THE APPROPRIATE TEMPORARY OR PERMANENT STABILIZATION.
4. THE NON-GERMINATING PERIODS ARE FROM JUNE 15 THROUGH AUGUST 15, AND FROM SEPTEMBER 30 THROUGH APRIL 15. AREAS DISTURBED DURING THESE PERIODS MUST BE STABILIZED IMMEDIATELY.
5. IF ANY SIGNIFICANT CHANGES ARE MADE TO THE EROSION & SEDIMENTATION CONTROL PLANS, THE BUILDER OR LANDOWNER MUST CONTACT THE APPROPRIATE REGULATORY AGENCY.

**EXISTING FEATURES LEGEND**



**PROPOSED FEATURES LEGEND**



**EROSION & SEDIMENT CONTROL LEGEND**



**SEEDING SPECIFICATIONS**

- SEEDING SHALL BE 10% KENTUCKY BLUE GRASS, 35% KENTUCKY 31 FESCUE, 25% CHEWINGS FESCUE, 15% PERENNIAL RYE GRASS, AND 10% RECLEANED REDTOP, AT A RATE OF 5 LBS./1000 SQUARE FEET.
- PROVIDE THE NECESSARY QUANTITIES OF LIME, FERTILIZER & MULCH.
- A SEED PURITY AND GERMINATION OF 85%-95% IS REQUIRED FOR ALL SEED MIX.
- IMMEDIATE STABILIZATION SHALL OCCUR FOR ALL AREAS UPON COMPLETION OR TEMPORARY CESSATION OF THE EARTH DISTURBANCE ACTIVITY.

Map Unit Symbol	Map Unit Name	Acres in ADI	Percent of ADI
GaB	Calton loam, 3 to 8 percent slopes	8.5	22.5%
CpA	Cokesbury silt loam, 0 to 3 percent slopes	0.0	0.0%
GaB	Gladstone gravelly loam, 3 to 8 percent slopes	23.8	63.8%
GdC	Gladstone gravelly loam, 8 to 15 percent slopes	2.5	6.7%
GdD	Gladstone-Parker gravelly loams, 15 to 25 percent slopes	2.7	7.2%
Totals for Area of Interest		37.5	100.0%

A COPY OF THESE EROSION AND SEDIMENTATION CONTROL PLANS MUST BE POSTED AT THE CONSTRUCTION SITE IN ACCORDANCE WITH STATE LAW.

**EROSION & SEDIMENT CONTROL PLAN**

UNIVERSAL TECHNICAL INSTITUTE & FRONTLAGE LABORATORIES  
UPPER UWCHLAN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA

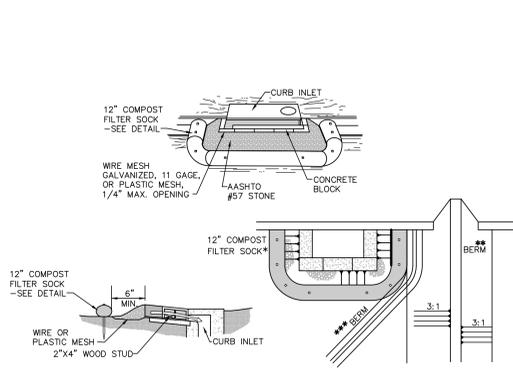
**CYE** **Chester Valley Engineers, Inc.** 21372  
833 Chestnut Street, P.O. Box 417, Pott, PA 19361  
610-644-4899 | 610-688-9143 Fax  
www.cye.com

SCALE: 1" = 20'  
DATE: 09/18/20  
DRAWN BY: S.F.D.  
CHECKED BY: R.F.S.  
DRAWING

PENNSYLVANIA ACT 181 REQUIREMENTS  
UNIVERSAL TECHNICAL INSTITUTE & FRONTLAGE LABORATORIES  
REGISTERED PROFESSIONAL ENGINEER  
RICHARD F. STRATTON  
ENGINEER NO. PE27471

SEE SHEET 1 FOR FACILITY OWNER'S DESIGNATED OFFICE ADDRESS AND TELEPHONE NUMBER.

UNIFORM PARCEL IDENTIFIER: 32-03-81.7



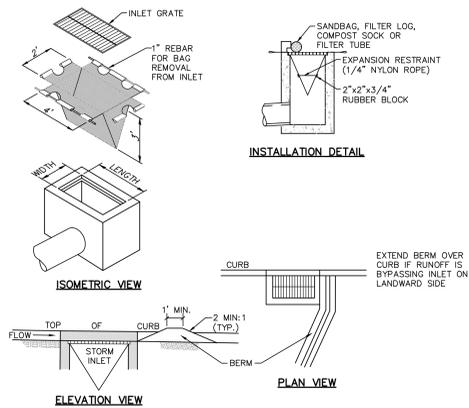
**STONE AND CONCRETE BLOCK INLET PROTECTION - TYPE C INLET DETAIL**  
N.T.S.

\* ANCHOR AT 2 (MIN) LOCATIONS PER EDGE OF INLET

- NOTES:**
1. MAXIMUM DRAINAGE AREA = 1 ACRE.
  2. INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.
  3. ROLLED EARTHEN BERM SHALL BE PROVIDED AND MAINTAINED IMMEDIATELY DOWN GRADIENT OF THE PROTECTED INLET UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. SIX INCH MINIMUM HEIGHT ASPHALT BERM SHALL BE MAINTAINED UNTIL ROADWAY SURFACE RECEIVES FINAL COAT.
  4. SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE HEIGHT OF THE STONE. DAMAGED OR CLOGGED INSTALLATIONS SHALL BE REPAIRED OR REPLACED IMMEDIATELY.
  5. FOR SYSTEMS DISCHARGING TO HO OR EV SURFACE, A 6" THICK COMPOST LAYER SHALL BE SECURELY ANCHORED ON OUTSIDE AND OVER TOP OF STONE.

**DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.**

**TEMPORARY INLET PROTECTION - TYPE 3**



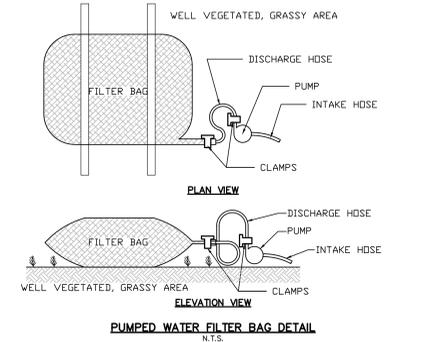
**FILTER BAG INLET PROTECTION - TYPE C INLET DETAIL**  
N.T.S.

**NOTES:**

1. MAXIMUM DRAINAGE AREA = 1/2 ACRE.
2. INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.
3. ROLLED EARTHEN BERM SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. SIX INCH MINIMUM HEIGHT ASPHALT BERM SHALL BE MAINTAINED UNTIL ROADWAY SURFACE RECEIVES FINAL COAT.
4. AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS, A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRIANGULAR TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.
5. INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINGED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED 50 AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED AS SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE OF ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.

**DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.**

**TEMPORARY INLET PROTECTION - TYPE 1**



**PUMPED WATER FILTER BAG DETAIL**  
N.T.S.

**NOTES:**

1. LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH DOUBLE STITCHED "U" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:

PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. WIDE WIDTH STRENGTH	ASTM D-4884	60 LB/IN
GRAB TENSILE	ASTM D-4632	205 LB
PUNCTURE	ASTM D-4833	110 LB
MULLEN BURST	ASTM D-5786	350 PSI
UV RESISTANCE	ASTM D-4355	70%
AOS % RETAINED	ASTM D-4751	80 SIEVE

2. A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 3/4 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL, UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.
3. BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5%. FOR SLOPES EXCEEDING 5%, CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.
4. COMPOST FILTER SOCK SHALL BE INSTALLED BELOW THE OUTLET OF ANY PUMPED WATER FILTER BAG.
5. THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF P.V.C. PIPE IS RECOMMENDED FOR THIS PURPOSE.
6. THE PUMPING RATE SHALL BE NO GREATER THAN 700 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.
7. FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

**SEEDING AND MULCHING SPECIFICATIONS**

**TEMPORARY:**

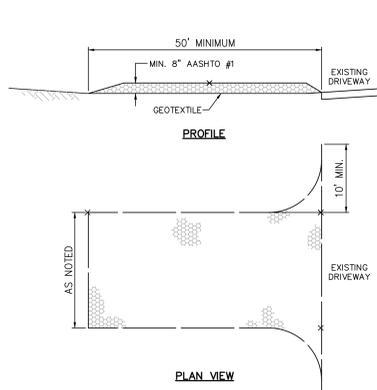
- SEEDING SHALL BE ANNUAL RYE GRASS APPLIED AT 85 LBS. PER ACRE.
- MULCHING TO BE APPLIED AT 1 TON/ACRE.
- 10-10-10 FERTILIZER TO BE APPLIED AT 500 LBS./ACRE.
- HAY OR STRAW MULCH TO BE APPLIED AT 3 TONS/ACRE.

**PERMANENT:**

- MULCHING TO BE APPLIED AT 6 TON/ACRE.
- 10-10-10 FERTILIZER TO BE APPLIED AT 500 LBS./ACRE.
- HAY OR STRAW MULCH TO BE APPLIED AT 3 TONS/ACRE.

**GENERAL:**

1. THE NON-GERMINATING PERIODS ARE BETWEEN JUNE 15 THRU AUGUST 15, AND SEPTEMBER 30 THRU APRIL 15. AREAS DISTURBED DURING THESE PERIODS MUST BE LIMED, FERTILIZED, SEEDED AND MULCHED WITHIN TWENTY (20) DAYS OF THE ENDING OF THOSE PERIODS.
2. ALL SEED MIXTURES SHALL HAVE A MINIMUM LIVE SEED AND GERMINATION PERCENTAGE OF 85% TO 95%.
3. TOPSOIL TAKEN FROM CONSTRUCTION AREAS SHALL BE SEED WITH VEGETATIVE COVER AND STOCKPILED FOR USE IN FINISH GRADING. THERE IS TO BE NO EARTH DISTURBANCE OR VEGETATIVE CLEARING IN AREAS OF STAKED (OR FENCED) WETLANDS. EARTH DISTURBANCE WITHIN THESE AREAS WITHOUT THE REQUIRED PERMITS WILL RESULT IN POTENTIAL VIOLATION OF COMMONWEALTH AND FEDERAL WETLANDS REGULATIONS.
4. ANY DISTURBED AREA ON WHICH ACTIVITY HAS CEASED AND WHICH WILL REMAIN EXPOSED MUST BE SEED AND MULCHED IMMEDIATELY. DISTURBED AREAS WHICH ARE NOT A FINISHED GRADE AND WHICH WILL BE RE-DISTURBED WITHIN ONE (1) YEAR MAY BE SEED AND MULCHED WITH A QUICK GROWING, TEMPORARY SEEDING MIXTURE AND MULCH. DISTURBED AREAS WHICH ARE EITHER AT FINISHED GRADE OR WILL NOT BE RE-DISTURBED WITHIN ONE (1) YEAR MUST BE SEED AND MULCHED WITH A PERMANENT SEED MIXTURE AND MULCH. CHANNELS, SEDIMENTATION TRAPS, BASINS AND STOCKPILES MUST BE SEED AND MULCHED IMMEDIATELY.



**ROCK CONSTRUCTION ENTRANCE DETAIL**  
N.T.S.

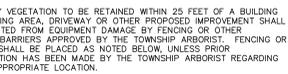
**NOTES:**

1. REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.
2. RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.
3. MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.

**MAINTENANCE:**

- ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

**TREE PROTECTION**  
N.T.S.



ALL WOODY VEGETATION TO BE RETAINED WITHIN 25 FEET OF A BUILDING SITE, PARKING AREA, DRIVEWAY OR OTHER PROPOSED IMPROVEMENT SHALL BE PROTECTED FROM EQUIPMENT DAMAGE BY FENCING OR OTHER EFFECTIVE BARRIERS APPROVED BY THE TOWNSHIP ARBORIST. FENCING OR BARRIERS SHALL BE PLACED AS NOTED BELOW, UNLESS PRIOR DETERMINATION HAS BEEN MADE BY THE TOWNSHIP ARBORIST REGARDING A MORE APPROPRIATE LOCATION.

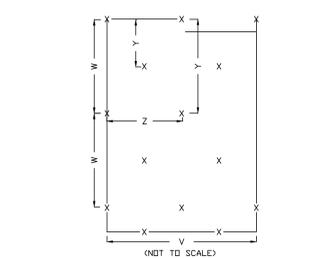
**DESCRIPTION:** TREES ARE OFTEN DAMAGED BY MOVING CONSTRUCTION EQUIPMENT OR BY SEDIMENT BUILDUP AROUND THE ROOTS. TREE PROTECTION FENCING, WHEN PLACED ALONG OR AROUND TREES, SERVES AS A BOUNDARY MARKER TO INDICATE THAT CLEARING AND STOCKPIILING ARE NOT PERMITTED BEYOND THAT POINT.

**WHEN USED:** A TREE PROTECTION FENCE MAY BE USED WHENEVER THERE ARE SPECIFIC TREES OR WOODED AREAS THAT MUST BE PROTECTED.

**REQUIREMENTS FOR INSTALLATION:** THE TREE PROTECTION FENCE IS INSTALLED USING WOOD OR METAL POSTS AND CONNECTING THE FENCING MATERIAL SECURELY TO THE POSTS PER THE MANUFACTURER'S INSTRUCTIONS.

PLACE THE TREE PROTECTION FENCE ALONG THE DRIP LINES OF TREES OR 1 FOOT FROM THE TREE TRUNK FOR EVERY INCH OF TRUNK DIAMETER, WHICHEVER IS GREATER. A DRIFLINE IS AN IMAGINARY LINE EXTENDING DOWN FROM THE OUTER-MOST BRANCHES OF A TREE TO THE GROUND. THIS IS GENERALLY THE OUTER BOUNDARY FOR TREE ROOTS. IF THE SNOW FENCE IS PLACED ANY CLOSER TO A TREE, ITS PURPOSE MAY BE DEFEATED.

**MAINTENANCE:** INSPECT THE TREE PROTECTION FENCING PERIODICALLY DURING CONSTRUCTION TO MAKE SURE THAT IT IS POSITIONED SECURELY.



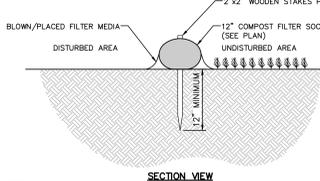
**NORTH AMERICAN GREEN STAPLE PATTERN SCHEDULE**

STAPLE PATTERN	EDGE STAPLES PER SQ.YD		INTERIOR STAPLE SPACING	
	ALONG	ACROSS	ROLL	ROLL
A	1	6 ft	3 ft	6 ft
B	1.5	6 ft	6 ft staggered	6 ft staggered
C	2	4 ft	4 ft staggered	3 ft staggered
D	3	4 ft	2 ft	20 in.
E	3.8	10 in.	40 in. staggered	20 in. staggered

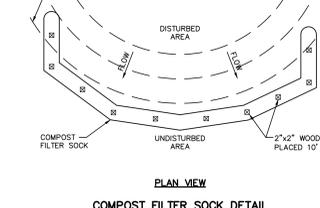
**NOTE:** Use 6 inch, 11 gauge 'U' staples. Staples 8 inch and may be used for loose soils. Staples 9 gauge or heavier may be necessary in hard or rocky soils

**NORTH AMERICAN GREEN STAPLE PATTERN SPECIFICATIONS**

1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF LIME, FERTILIZER, AND SEED.
2. SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS, AND GRASS.
3. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
4. ROLL THE BLANKET DOWN OR ACROSS THE SLOPE. THE BLANKET MUST BE SECURELY FASTENED TO SOIL SURFACE WITH STAPLES.
5. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH A 4" OVERLAP. CONSECUTIVE BLANKETS SPLICED DOWN THE SLOPE MUST BE END OVER END (SHINGLE STYLE) WITH A 4" OVERLAP.
6. THE TERMINAL END OF THE BLANKETS MUST BE ANCHORED IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
7. BLANKET SHALL HAVE GOOD CONTINUOUS CONTACT WITH UNDERLYING SOIL THROUGHOUT ENTIRE LENGTH. LAY BLANKET LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH SOIL. DO NOT STRETCH BLANKET.
8. THE BLANKET SHALL BE STAPLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
9. BLANKETED AREAS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERENNIAL VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA. DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 4 CALENDAR DAYS.



**COMPOST FILTER SOCK DETAIL**  
N.T.S.

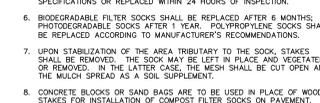


**EROSION CONTROL BLANKET INSTALLATION DETAIL**  
N.T.S.

**NOTES:**

1. SOCK FABRIC SHALL MEET THE STANDARDS OF TABLE 4.1 IN THE PDOP EROSION AND SEDIMENTATION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 THE EROSION AND SEDIMENTATION CONTROL MANUAL.
2. COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE SOCK SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN SOCK ALIGNMENT. STAKES MAY BE INSTALLED IMMEDIATELY DOWNSLOPE OF THE SOCK IF SO SPECIFIED BY THE MANUFACTURER.
3. TRAFFIC SHALL NOT BE PERMITTED TO CROSS FILTER SOCKS.
4. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE ABOVEGROUND HEIGHT OF TECH SOCK AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.
5. SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
6. BIODEGRADABLE FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS. PHOTOGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
7. URON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK. STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE PUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.
8. CONCRETE BLOCKS OR SAND BAGS ARE TO BE USED IN PLACE OF WOODEN STAKES FOR INSTALLATION OF COMPOST FILTER SOCKS ON PAVEMENT.

**ORANGE CONSTRUCTION FENCE DETAIL**  
N.T.S.



FOR GENERAL USE: TENSAR SAFETY FENCE BX 2051, 4' HT., ORANGE FOR EXTRA PROTECTION: TENSAR SAFETY FENCE UX 4250, 4' HT., ORANGE INSTALLATION: ATTACH FENCE TO 2" X 2" PINE STAKES DRIVEN AT LEAST 18" INTO THE GROUND, SPACED 8' ON CENTER, WITH WIRE FASTENERS IN 3 PLACES PER STAKE.

ORANGE CONSTRUCTION FENCING SHALL BE USED WHEREVER TREE PROTECTION FENCING AND STEEP SLOPE PROTECTION FENCING IS SHOWN ON THE EROSION CONTROL PLAN. ORANGE CONSTRUCTION FENCING SHALL BE USED TO DELINEATE THE LIMITS OF DISTURBANCE AS SHOWN ON THE EROSION CONTROL PLAN.

**EROSION & SEDIMENT CONTROL DETAILS**

PRELIMINARY / FINAL LAND DEVELOPMENT PLAN  
EAGLEVIEW LOT 9

UNIVERSAL TECHNICAL INSTITUTE & FRONTAGE LABORATORIES  
UPPER UWCLAN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA

ChesterValley ENGINEERS, INC. 21372

83 Chestnut Street, P.O. Box 417, Pott, PA 19001  
610-644-4899 | 610-699-9149 Fax  
www.chester.com

SCALE: DATE: 09/18/20 DRAWN BY: S.F.D. CHECKED BY: R.F.S. DRAWING

NO. DATE REVISION

UNIFORM PARCEL IDENTIFIER: 32-03-81.7

CALL 3 WORKING DAYS BEFORE YOU DIE  
Call: 811 or 1-800-242-1776

POCS SERIAL NUMBER: 2019XXXX

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REGISTERED PROFESSIONAL ENGINEER  
RICHARD F. STRATTON  
ENGINEER NO. PE000124

**CHESTER VALLEY ENGINEERS, INC.**  
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RICHARD F. STRATTON  
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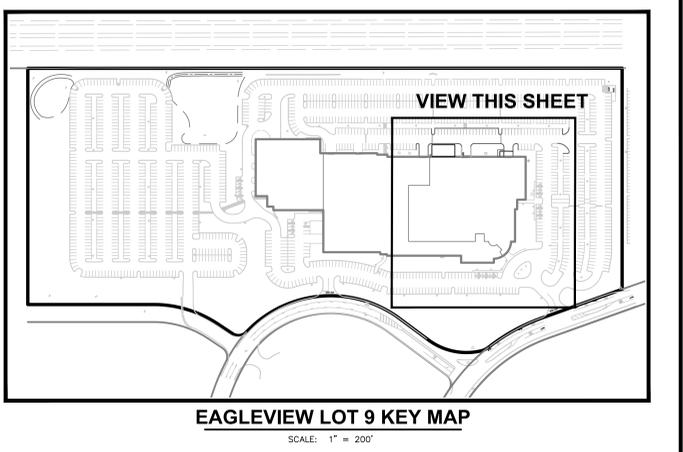
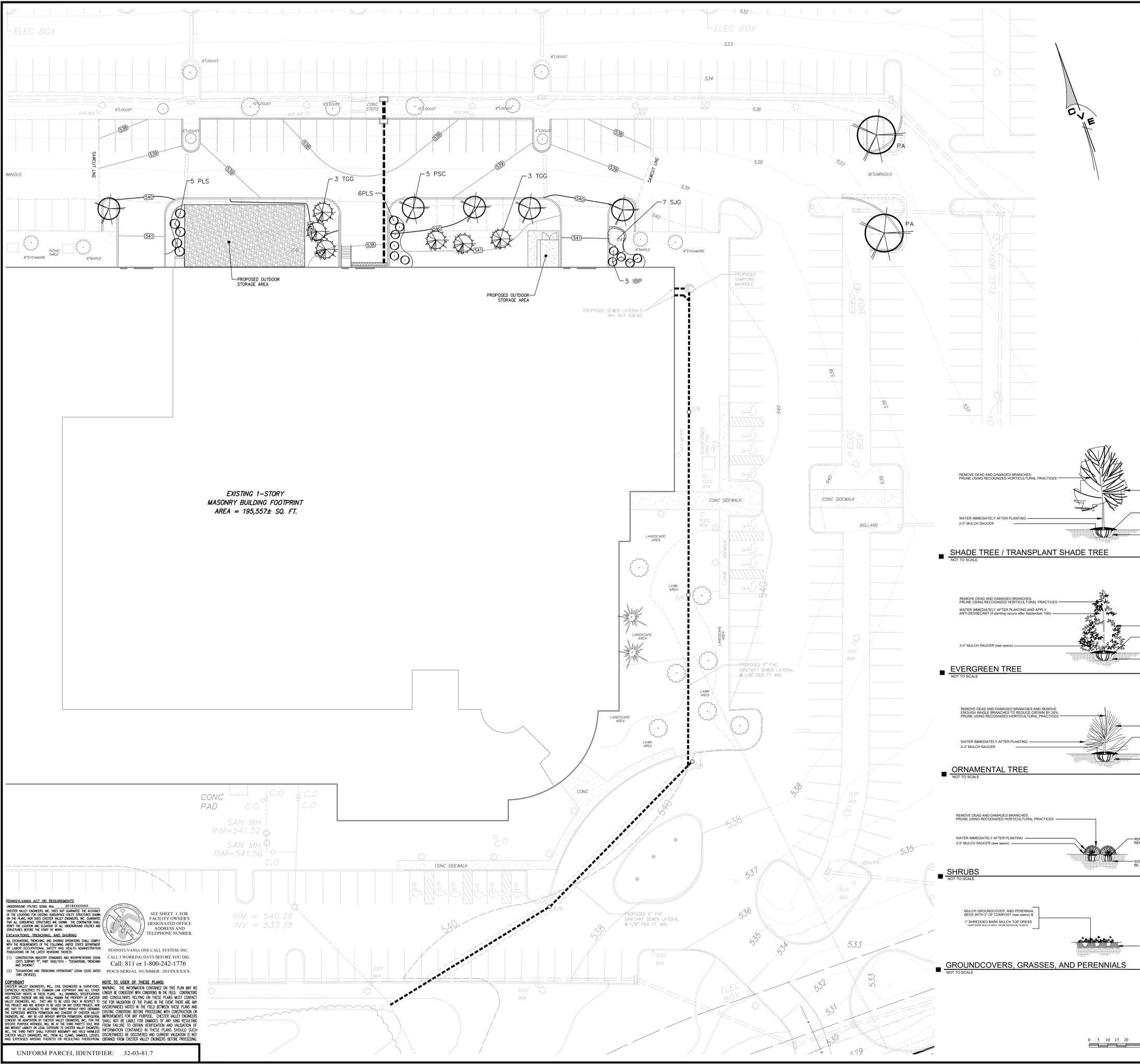
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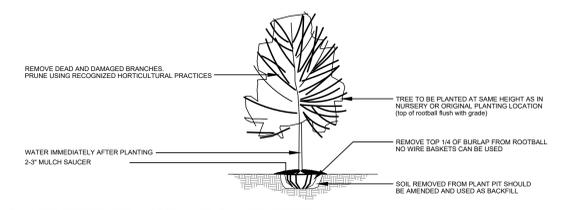
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RICHARD F. STRATTON  
ENGINEER NO. PE000124





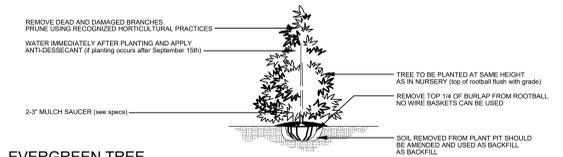
**PLANT LIST**

SYMBOL	QUAN.	Botanical Name	Common Name
IBP	5	Ilex 'Blue Princess'	Blue Princess Holly
PA	2	Platanus x acerifolia	London Plane Tree 'Bloodgood'
PSC	5	Prunus sargentii 'Columnaris'	Columnar Sargent Cherry
PLS	11	Prunus laurocerasus 'Schlipkaensis'	Schlip Laurel
SJC	7	Spirea japonica 'Goldflame'	Goldflame Spirea
TGG	6	Thuja 'Green Giant'	Green Giant Arborvitae



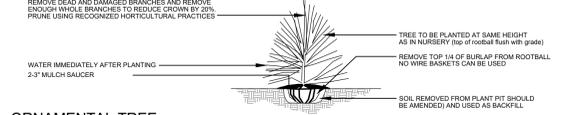
**SHADE TREE / TRANSPLANT SHADE TREE**

NOT TO SCALE



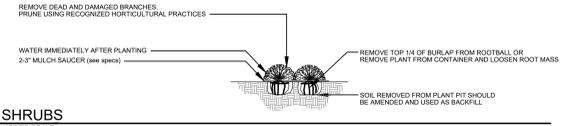
**EVERGREEN TREE**

NOT TO SCALE



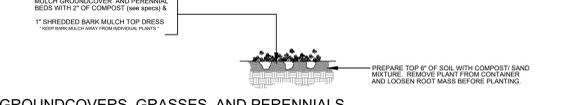
**ORNAMENTAL TREE**

NOT TO SCALE



**SHRUBS**

NOT TO SCALE



**GROUNDCOVERS, GRASSES, AND PERENNIALS**

NOT TO SCALE

**NOTES:**

- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND PIPES, STRUCTURES AND UTILITIES.
- ALL BED AREAS SHALL RECEIVE A 2" LAYER OF TRIPLE GROUND HARD WOOD MULCH.
- GROUNDCOVER SHALL BE PLANTED IN UNIFORM ROWS THROUGHOUT ALL GROUNDCOVER BED AREAS.
- ALL PLANT MATERIAL SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION.
- FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT AND OWNER.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT 48 HOURS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT INSPECTION SCHEDULES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL SHRUBS AND GROUNDCOVER IN A WEED AND DEBRIS FREE CONDITION.
- ANY TREE OR SHRUB WHICH DIES WITHIN EIGHTEEN (18) MONTHS OF THE DEDICATION OF PUBLIC IMPROVEMENTS OR OCCUPANCY SHALL BE REPLACED. ANY TREE OR SHRUB WHICH WITHIN THE AFORESAID TIME PERIOD, IS DEEMED, IN THE OPINION OF AN AGENT AUTHORIZED BY THE TOWNSHIP, NOT TO HAVE SURVIVED OR GROWN IN A MANNER CHARACTERISTIC OF ITS TYPE, SHALL BE REPLACED. ANY SUBSTITUTIONS SHALL BE APPROVED BY THE TOWNSHIP.
- THE OWNER SHALL MAINTAIN VEGETATION AROUND THE LIGHTING FIXTURES SUCH THAT THE LIGHT SOURCE IS NOT OBSTRUCTED AND THAT LIGHT FIXTURES DISTRIBUTE LIGHT AT THE LEVELS SHOWN ON THE LIGHTING PLAN.

**LANDSCAPING, AS INDICATED ON THIS PLAN, WAS DESIGNED BY:**  
**Mary Elisabeth Becker, RLA**

**LANDSCAPE PLAN**

NO.	DATE	REVISION

**PRELIMINARY / FINAL LAND DEVELOPMENT PLAN**  
**EAGLEVIEW LOT 9**

UNIVERSAL TECHNICAL INSTITUTE & FRONTAGE LABORATORIES  
 UPPER UWCHLAN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA

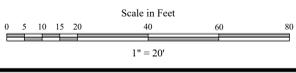
**ChesterValley ENGINEERS, INC.** 21372  
 83 Chevrolet Blvd., P.O. Box 447, Pott., PA 19001  
 610-644-4859 | 610-689-3143 Fax  
 www.chestervalley.com

SCALE: 1" = 20' DATE: 09/18/20 DRAWN BY: S.F.D. CHECKED BY: R.F.S. DRAWING: F.B.

**PENNSYLVANIA ACT 181 REQUIREMENTS**  
 UNDESIGNED: UNDESIGNED SERIAL NO. 2019XXXXXX  
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 EXCAVATIONS, TRENCHING, AND SHORING: EXCAVATIONS, TRENCHING, AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE FOLLOWING UNITED STATES DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION PUBLICATIONS OF THE LATEST REVISIONS THEREOF:  
 (1) CONSTRUCTION INDUSTRY STANDARDS AND RECOMMENDATIONS (CISRS) SERIES 2025, SERIES "P" PART 1000 (SHIELDING, TRENCHING, AND SHORING)  
 (2) "EXCAVATING AND TRENCHING OPERATIONS" (29 CFR 1926.650) SERIES 1986 (REVISED)  
 PENNSYLVANIA ONE CALL SYSTEM, INC. CALL 3 WORKING DAYS BEFORE YOU DIG Call: 811 or 1-800-242-1776 POC'S SERIAL NUMBER: 2019XXXXXX

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 SPECIFIC INFORMATION WILL BE AT THE USER'S RISK. THE USER SHALL NOT BE HELD RESPONSIBLE FOR DAMAGES OF ANY KIND RESULTING FROM FAILURE TO OBTAIN NECESSARY INFORMATION FROM THE APPROPRIATE AGENCIES AND CONSULTED WITH THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION OR ANY OTHER ACTION.  
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UNIFORM PARCEL IDENTIFIER: 32-03-81.7



# **STORMWATER MANAGEMENT NARRATIVE**

FOR

## **UTI/FRONTAGE EAGLEVIEW CORPORATE CENTER – LOT 9**

UPPER UWCHLAN TOWNSHIP  
CHESTER COUNTY, PENNSYLVANIA

prepared for

**THE HANKIN GROUP**  
707 Eagleview Boulevard  
Exton, PA 19341

September 8, 2020

CVE # 21372

Prepared by:

CHESTER VALLEY ENGINEERS, INC.  
83 CHESTNUT ROAD  
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## NARRATIVE

This narrative has been prepared to demonstrate the improvements proposed by this application result in a net decrease in impervious area for the site. The existing site has 709,594 sf of impervious area. The improvements, which include the conversion of existing parking areas to lawn areas, will reduce overall impervious coverage on the site by 2,833 sf.

Therefore, per table 106.1 in § 152-106 of the Upper Uwchlan Township Stormwater management code, this project is exempt from Stormwater Management Requirements.



**UPPER UWCHLAN TOWNSHIP**  
Planning Commission Meeting  
August 13, 2020  
7:00 p.m.  
Minutes  
**DRAFT**

**LOCATION:** This was a virtual meeting, held via Zoom audio/video conferencing, in order to minimize public exposure to COVID-19 and maintain social distancing. The meeting Public Notices instructed those interested in participating in the meeting to email or call the Township Secretary for the link and password to join in the meeting.

In attendance:

Bob Schoenberger, Chair; Sally Winterton, Vice-Chair; Jeff Smith, Jim Shrimp, Chad Adams, Jim Dewees, Brett Hand, Gwen Jonik – Planning Commission Secretary

Bob Schoenberger called the meeting to order at 7:02 p.m. A quorum was present. There were seven citizens in attendance.

Ordinance Amendments

The Commission reviewed a revised draft of the outdoor storage tank ordinance amendments, as requested, proposing the allowance of outdoor storage tanks in the Planned Industrial/Office (PI) Districts and adding 5 more design and safety regulations regarding such tanks. The Commission was asked if they wanted to eliminate outdoor storage tank allowance in the C-3 Highway Commercial District.

Discussion regarding outdoor storage tanks in the C-3 District included: limiting the size instead of eliminating their allowance; propane and natural gas are exempt; continue to allow them which could encourage business uses, such as medical facilities, research and development; increase setback to 100' from property lines; why remove it where it's allowed and add it to a District that abuts residential.

There was discussion about the minimum required setback from property lines and rights-of-way when the lot with an outdoor storage tank abuts a lot zoned residential or with a residential use.

Jeff Smith moved to amend Section 200-80.C.(2).(c)[2] to require a minimum 100' setback in the C-3 and LI Districts and a minimum 150' setback in the PI District when abutting residential lots or residential uses, and on a second by Chad Adams, the Motion carried unanimously.

The Commission is proposing allowing outdoor storage tanks in the PI District as there are several businesses in that District where safety, of employees and neighbors, and efficiency could be enhanced if a tank is filled outside, directly from the delivery truck rather than transferring the product in smaller containers to inside storage. Neal Fisher, of Hankin Group, noted there are several businesses in Eagleview that would like to install outdoor aboveground storage tanks: a brine (saltwater) tank and another a nitrogen tank, for nitrogen blankets. Concern was raised by an attendee that if a material is unsafe inside, it's unsafe outside. Where are the restrictions for hazardous materials.

Discussion returned to the C-3 District and included: allow only by conditional use, which would allow for flexibility; limit size; this section is a small portion of Code Section 200-80, and there are other sections of 200-80 that cover the types of materials that may be stored, tank installation, safety aspects, screening, etc.; it'd be beneficial to see entire Section 200-80 at one time; think about the properties in the C-3 District, current uses and how they might be re-developed, such as the tree farm.

The Commission decided, for the time being, to continue to allow outdoor above-ground storage tanks in the C-3 Highway Commercial District and will discuss with the Township Solicitor requiring it be only by conditional use in this District.

Jeff Smith moved to recommend that the ordinance draft, dated July 23, 2020 -- allowing outdoor above-ground storage tanks in the Planned Industrial/Office District, increasing the minimum setbacks when abutting residential properties as decided earlier this evening, and including the proposed additional regulations to Section 200-80.C.(2).(c). -- be sent to the Board of Supervisors for approval. On a second from Chad Adams, the Motion carried with six (6) in favor and one (1) abstention (Smith).

#### Approval of Minutes

Sally Winterton moved, seconded by Jim Dewees, to approve as presented the minutes of the July 9, 2020 Planning Commission Meeting. The Motion carried unanimously.

Bob Schoenberger announced the next meeting is scheduled for September 10, 2020.

#### Open Session

Sally Winterton asked about the change to the Eagle Tavern business. Brett Hand advised that there is a new owner of the business, and the name of the restaurant is "Bloom Southern Kitchen" and he's proposing decorative changes to the exterior of the building. The new owner plans to attend the Historical Commission August 24 meeting. Gwen Jonik will send the meeting link to the group.

Bob Schoenberger advised that Bob Davidson has resigned from the Planning Commission.

#### Adjournment

Sally Winterton moved, seconded by Brett Hand, to adjourn the meeting at 8:33 p.m. All were in favor.

Respectfully submitted,

Gwen A. Jonik  
Planning Commission Secretary