



UPPER UWCHLAN TOWNSHIP
BOARD OF SUPERVISORS
REGULAR MEETING
AGENDA
APRIL 16, 2018
7:00 p.m.

Packet Page #

- I. CALL TO ORDER
 - A. Salute to the Flag
 - B. Moment of Silence
 - C. Inquire If Any Attendee Plans to Audio or Video Record the Meeting

- II. APPROVAL OF MINUTES: March 19, 2018 Board of Supervisors Meeting 2

- III. APPROVAL OF PAYMENTS 6

- IV. TREASURER'S REPORT 8

- V. SUPERVISORS' REPORT
 - A. Calendar:
 - April 22-25, 2018 Annual Pennsylvania State Association of Township Supervisors (PSATS) Educational Conference in Hershey
 - May 2, 2018 7:00 PM Zoning Hearing Board re: Operating Engineers JATC
 - May 8, 2018 Board of Supervisors Workshop (Time to be determined)
 - May 8, 2018 6:00 PM Conditional Use Hearing re: Gunner Properties 160 Park Road
 - May 21, 2018 7:00 PM Board of Supervisors Meeting
 - May 28, 2018 Office Closed ~ Memorial Day
 - June 16, 2018 10th Annual Upper Uwchlan Township Block Party on Route 100

 - Yard Waste Collections: April 18, April 25, May 2, May 9, May 16, May 23
Do not use plastic bags for yard waste. Place materials curbside the night before to guarantee collection.

- VI. ADMINISTRATION REPORTS
 - A. Township Engineer's Report 20
 - B. Building and Codes Department Report 23
 - C. Police Chief's Report
 - D. Public Works Department Report 25

- VII. LAND DEVELOPMENT
 - A. Marsh Lea Escrow Release Request #2 \$81,582.60 – Consider Approval 28
 - B. Authorize forwarding Planning Modules to PaDEP for review:
 - i. McKee-Milford Associates (Fetters Tract) 33
 - ii. Village at Byers Station (Parcel 5C) Commercial Lot 36
 - iii. Township Act 537 Plan Minor Revision – Component 3M 39

- VIII. ADMINISTRATION
 - A. Park Road Re-Construction and Trail Project – Utility Relocation Design Agreement – Verizon 43
 - B. Authorize Advertisement of Public Works Garage Bid Request 46
 - C. Resolution – Fair Redistricting – Consider Adoption 53

- IX. OPEN SESSION

- X. ADJOURNMENT



TOWNSHIP OF UPPER UWCHLAN
BOARD OF SUPERVISORS
REGULAR MEETING

March 19, 2018
7:00 p.m.
DRAFT

Packet Page 2

In Attendance:

Board of Supervisors

Jamie W. Goncharoff, Chair
Sandra M. D'Amico, Vice-Chair

Township Administration

Cary B. Vargo, Township Manager
Gwen A. Jonik, Township Secretary
John DeMarco, Police Chief
Al Gaspari, Codes Administrator
Mike Heckman, Director of Public Works
Dave Leh, P.E., Township Engineer

Kimberly Venzie, Esq., Township Solicitor

Mr. Goncharoff called the meeting to order at 7:05 p.m., led the Pledge of Allegiance, offered a moment of silence and asked if any attendees planned to record the meeting. There were no responses.

Approval of Minutes

Mrs. D'Amico moved, seconded by Mr. Goncharoff, to approve as presented the minutes of the February 13, 2018 Board of Supervisors Workshop. The Motion carried unanimously.

Mrs. D'Amico moved, seconded by Mr. Goncharoff, to approve as presented the minutes of the February 20, 2018 Board of Supervisors Meeting. The Motion carried unanimously.

Approval of Payments

Mrs. D'Amico moved, seconded by Mr. Goncharoff, to approve the payments to all vendors as listed March 16, 2018. Mrs. D'Amico questioned a payment to the Block Party fireworks vendor, which Mr. Vargo explained was the deposit for this year's Block Party. The Motion carried unanimously.

Treasurer's Report

Cary Vargo reported, on Jill Bukata's behalf, that 926 trash payments and 2,221 sewer payments were processed over the past month; the audit of the 2017 Township funds, Municipal Authority and Pension Plans is underway; the balance sheet remains strong; revenues are at 14.5% of budget and expenses are at 11.3% of the budget.

Supervisor's Report

Mr. Goncharoff announced that an Executive Session was held earlier this evening regarding a legal matter and read the following calendar: March 30, 2018 Office closed – Good Friday; April 10, 2018, 4:00 PM Joint Boards & Commissions Workshop; April 16, 2018 7:00 PM Board of Supervisors Meeting; April 22-25, 2018 Annual Pennsylvania State Association of Township Supervisors (PSATS) Educational Conference in Hershey, PA.

Mrs. D'Amico announced an Electronics Waste Event will be held Saturday, April 14, 2018, 9:00 AM-Noon at the Public Works facility. Most items are free disposal but there are fees for TVs and computer monitors, dependent on size. She also announced the Township's Park and Recreation Board is holding an Easter Egg Hunt March 31, 2018 at Upland Farms Park.

Administration ReportsTownship Engineer's Report

Dave Leh reported that construction is underway on the residential portion of the Village at Byer Station (Parcel 5C) and the Developer has submitted a land development plan for the commercial portion as several tenants have been secured (Kimberton Whole Foods, a coffee shop, a daycare); the Jankowski Tract (Black Horse ELU, LLC) land development plan was reviewed at the March 8 Planning Commission meeting, garnering a recommendation for approval, however they will need subdivision approval from West Vincent Township for one of the parcels involved in the development.

Resident Eric Schier made comment regarding stucco issues.

Building and Codes Department Report

Al Gaspari reported that 43 building permits were issued in February, totaling \$40,684 in permit fees; stucco failure is an issue across all builders and developments in the Region, not just Upper Uwchlan; there are 2 Zoning Hearings soon - March 28 is for JTech and the other is for Operating Engineers, tentatively scheduled for early May; Upland Farms barn interior is being repointed and the floors will be refinished this Spring.

Mr. Goncharoff asked when the barn will be finished, namely indoor restrooms. Mr. Gaspari and Mr. Vargo advised that at this time, renovations are to stabilize and address safety concerns so the main floor of the barn can be utilized this summer. Overall renovation will take 3-5 years, completed incrementally through Capital Fund planning, with permanent indoor restrooms toward the end.

Police Chief's Report

Chief DeMarco reported that the Department responded to 976 calls in February, including issuing 55 traffic citations; Chief DeMarco attended a seminar on autonomous vehicles at the County Township Officials' Spring Conference last week and he believes autonomous vehicles need more work.

Public Works Department Report

Mike Heckman reiterated last month's comment that snow events are straining the budget for salt and overtime – the crews were out 4 times for brining, salting and/or plowing; 126 work orders were received and completed last month; the Department installed a new propane tank at their facility which will be Township-owned and cuts propane costs in half; roadways were swept in between storms; and storm water inlets were cleaned.

Mrs. D'Amico asked if there is a way to detect sink holes before they happen, following the recent occurrence in a nearby Township. Mr. Heckman and Mr. Gaspari advised that they aren't aware of detection measures. If one occurs, it would be investigated and a safety perimeter installed.

Mr. Goncharoff questioned whether Senn Drive and Oscar Way had on-site septic or public sewer. Mr. Vargo advised they are on-site septic and providing public sewer to those businesses isn't included in the current Phases of the Route 100 Plant.

Land Development

Ewing Tract West Vincent Township – Sanitary Sewer Maintenance Bonds. Cary Vargo explained that sanitary sewer infrastructure construction is complete in several Phases of the Ewing Tract in West Vincent Township and the maintenance bond amounts are being determined as part of the pre-dedication activity. ARRO has reviewed and approved the proposed maintenance bond amounts as follows: Ewing Tract West Vincent Sanitary Sewer Phase 1/2A \$696,988.03, which includes force mains and spray irrigation facilities; Phase 2A

\$41,405.55, which includes distribution mains and spray fields; and Phase 2 Carriage Home South \$45,011.33. Mrs. D'Amico moved, seconded by Mr. Goncharoff, to approve the maintenance bonds as detailed above. The Motion carried unanimously.

Eagle Village Park – Construction Bid. Cary Vargo reminded attendees that a small Township Park/trailhead had been designed for the southeast corner of the Route 100/Station Boulevard intersection, Township-owned property. Bids had been requested for demolition of the existing area, installation of a 90' x 90' paver plaza, a stage and amphitheater seating, lighting, trail connections, chess tables, landscaping, etc. The bids received were much higher than estimated, resulting in the decision to remove the stage/amphitheater seating from the project at this point in time. Krisanna Construction was the low bidder at \$432,059 for the reduced scope of the project. References were checked and netted all positive responses. In answer to Supervisors' questions, the reduced scope decreased the project costs by \$175,000; the stage and theater seating can be added in the future; there will be re-mobilization costs (@ \$20,000) and potential increases in material/labor to add those items in the future; there will be the trail, landscaping, and so forth between the roadway and the Park, for safety; there were several change orders that further reduced the costs of the project to \$403,609.00; the plan is to construct the Park for use at that year's Block Party; the additional items will be funded over the next couple of years through Capital planning.

Mrs. D'Amico moved to award the Eagle Park construction contract to Krisanna Construction at the \$432,059 bid amount and approved the change order amount of \$403,609 which is the expected final expenditure. Mr. Goncharoff seconded, there were no comments from the public, and the Motion carried by unanimous vote.

ADMINISTRATION

Ordinance Amendment – Amend Group Home Definition, Regulations. Mr. Vargo advised that this proposed amendment allows group homes as a permitted use in all residential zoned districts and the C-1 Village Commercial District, bringing our zoning code in to compliance with the Federal Fair Housing Act, and amends the definition of a group home. The amendments were reviewed by the Township Solicitor and advertised.

Mrs. D'Amico moved, seconded by Mr. Goncharoff, to adopt Ordinance #2018-05, amending the Group Home definition and allowing the use in all Districts where residential use is already permitted. The County Planning Commission's comments were addressed and consistent with the balance of the Zoning Code and the Federal Fair Housing Act. The Motion carried by unanimous vote.

Chester County Tax Collection Committee Delegate Appointment – Resolution. Mr. Vargo explained that each Municipality is to appoint voting delegates to the County's Tax Collection Committee. Upper Uwchlan Township Resolution #03-19-18-02 appoints voting delegates as follows: Primary Delegate Cary Vargo; Secondary Delegate Jill Bukata; Alternate Delegate Shanna Lodge.

Mrs. D'Amico moved, seconded by Mr. Goncharoff, to adopt Resolution #03-19-18-02 appointing the voting delegates as detailed above. The Motion carried by unanimous vote.

Downingtown Area School District Property Transfer Agreement. Kimberly Venzie, Esq., Buckley Brion McGuire & Morris was in attendance. Mr. Vargo advised that the Downingtown Area School District has worked with the Township to grant the Township a .9 acre strip along our property line with the Pickering Valley Elementary School. The strip runs the length of the property line and from the existing property line to the Elementary School's curb line. The property will be needed for future expansion of the Township Administration building. The existing trail would then be owned and maintained by the Township.

Mrs. D'Amico moved, seconded by Mr. Goncharoff, to approve the Property Transfer Agreement with the Downingtown Area School District (DASD). Mr. Vargo thanked the DASD staff and elected officials for working with the Township on this matter. Mr. Goncharoff noted Mr. Donatelli is not participating in this vote. The Motion carried by unanimous vote.

Settlement Agreement 55 Yarmouth Lane. Mr. Vargo advised that an agreement was drafted by the Municipal Authority and Solicitor regarding the property's lack of connection to the public sewer system, granting compensation from the Municipal Authority's fund in an amount of the estimated cost to connect. Mrs. D'Amico moved to approve execution of the Agreement, Mr. Goncharoff seconded and the Motion carried by unanimous vote.

Open Session

Bob Armstrong, President of Glenmoore/Eagle Youth Association (GEYA) distributed a letter to the Board seeking a reduction by more than half of the fees for Hickory Park use (Field 1, 2, and 50% of 3), citing declining participation due to program costs. The Board thanked Mr. Armstrong for his presentation and would review the request.

Resident Eric Schier distributed information and made comment regarding gerrymandering in Pennsylvania, requesting the Board consider adopting a Resolution in support of legislation in Harrisburg (Senate Bill 22; House Bill 722) for a non-partisan citizens committee to work on drawing new Congressional District lines. The Board thanked Mr. Schier and will review the information. Mrs. D'Amico wasn't a Board member last year when similar information was presented, and at that time the Board believed this to be outside their purview. Mr. Goncharoff questioned what process would be followed for citizens to be elected or appointed to the Redistricting Commission. Mr. Schier will investigate.

Resident Cindy McMahon made comment regarding traffic and safety issues from the estimated crowd of 15,000 that will attend the country music concert in Ludwigs Corner this summer. Mr. Goncharoff and Chief DeMarco explained that numerous local officials, emergency service providers, public works departments and State Park personnel have met to discuss and develop incident action plans for fire, police, ambulance, quality of life issues, parking, etc. Planning meetings will continue and there will be community and business notifications distributed.

Resident Tim McCain commented on Toll Brothers' building methods, namely stucco failures, asking if the Township can assist residents. Cary Vargo and Al Gaspari noted that building codes have changed, most builders no longer use stucco, houses are built so airtight that that is a large part of the stucco problem, the building code is the minimum of what the builder has to do and most of the time they don't go above that, the Township inspects and enforces according to the building code – we have no additional authority. Mr. McCain was curious if the Township can adopt an ordinance that would mandate builders advise residents of all of the warranties, recalls, etc. on the building products used in their homes.

Adjournment

There being no further business to be brought before the Board, Mr. Goncharoff adjourned the meeting at 8:26 p.m.

Respectfully submitted,

Gwen A. Jonik
Township Secretary

Range of Checking Accts: GENERAL to GENERAL Range of Check Ids: 48912 to 48993
Report Type: All Checks Report Format: Super Condensed Check Type: Computer: Y Manual: Y Dir Deposit: Y

Check #	Check Date	Vendor	Amount Paid	Reconciled/Void Ref Num
48912	04/16/18	CARRJ010 JOSEPH CARR	208.54	1759
48913	04/16/18	21ST 21st CENTURY MEDIA PHILLY	835.99	1759
48914	04/16/18	ACEPO010 ACE PORTABLES, INC.	175.00	1759
48915	04/16/18	ADVANO20 ADVANTAGE INDUSTRIAL SUPPLY	66.15	1759
48916	04/16/18	AQUAP010 AQUA PA	243.72	1759
48917	04/16/18	ARROC010 ARRO CONSULTING, INC.	312.00	1759
48918	04/16/18	BARBA010 BARBACANE THORNTON & COMPANY	17,450.00	1759
48919	04/16/18	BEVSMITH BEVERLY SMITH CRAIG	35.00	1759
48920	04/16/18	BRANDWIN BRANDYWINE CONSERVANCY	100.00	1759
48921	04/16/18	BRIANO0E BRIAN OWENS	125.00	1759
48922	04/16/18	BUCKLO10 BUCKLEY, BRION, MCGUIRE, MORRI	3,605.17	1759
48923	04/16/18	CARROENG CARROLL ENGINEERING	480.00	1759
48924	04/16/18	CHARLANG CHARLES LANG	13.84	1759
48925	04/16/18	CHARLHIG CHARLES A HIGGINS & SONS	6,391.44	1759
48926	04/16/18	CHRISFRA FRANTZ, CHRISTOPHER	903.00	1759
48927	04/16/18	CINTA010 CINTAS CORPORATION #287	239.16	1759
48928	04/16/18	CIVIC010 CIVIC PLUS	7,281.39	1759
48929	04/16/18	CJTIRES CJ'S TIRE & AUTOMOTIVE SERVICE	1,463.92	1759
48930	04/16/18	COLLIFL COLLIFLOWER, INC	119.18	1759
48931	04/16/18	COLON010 COLONIAL ELECTRIC SUPPLY CO.,	478.60	1759
48932	04/16/18	COMCA010 COMCAST	751.02	1759
48933	04/16/18	DAVIS010 ROBERT L DAVIS	23.12	1759
48934	04/16/18	DELA030 DVHT	53,743.78	1759
48935	04/16/18	DELTRUST DELAWARE VALLEY PROP&LIA TRST	17,522.38	1759
48936	04/16/18	DOWNTDEZ LINDA JACOBS DOWNTOWN DEZIGN	970.00	1759
48937	04/16/18	DVWCT DELAWARE VALLEY WORKERS COMP	14,469.00	1759
48938	04/16/18	DYNAT010 DYNA TECH INDUSTRIES LTD	440.80	1759
48939	04/16/18	EAGLE130 EAGLE TERMITE & PEST CONTROL	80.00	1759
48940	04/16/18	EAGLHARD EAGLE HARDWARE	70.51	1759
48941	04/16/18	GATHE010 BRIAN E. GATHERCOLE	348.36	1759
48942	04/16/18	GILMO020 GILMORE & ASSOCIATES, INC	15,660.25	1759
48943	04/16/18	HAWEI010 H.A. WEIGAND, INC.	424.95	1759
48944	04/16/18	HELPNOW HELP NOW	3,068.38	1759
48945	04/16/18	HONEYBRO HONEY BROOK OUTDOOR POWER	46.13	1759
48946	04/16/18	INDEPGRA INDEPENDENT GRAPHICS	1,898.00	1759
48947	04/16/18	INTOX010 INTOXIMETERS, INC.	908.30	1759
48948	04/16/18	JONESTOM THOMAS S. JONES	530.00	1759
48949	04/16/18	KEENC010 KEEN COMPRESSED GAS COMPANY	49.57	1759
48950	04/16/18	KEMME010 PAUL E. KEMME	422.63	1759
48951	04/16/18	KONIC010 KONICA MINOLTA BUSINESS SOLUTI	374.05	1759
48952	04/16/18	LINESYST LINE SYSTEMS, LSI	1,026.77	1759
48953	04/16/18	LODGESHA SHANNA LODGE	81.28	1759
48954	04/16/18	LTLCONSU LTL CONSULTANTS, LTD	1,423.14	1759
48955	04/16/18	LUDWIO60 LUDWIG'S CORNER SUPPLY CO.	388.38	1759
48956	04/16/18	MAILFO10 MAIL FINANCE	90.00	1759
48957	04/16/18	MARTIO40 MARTIN'S TIRE & ALIGNMENT	353.66	1759
48958	04/16/18	MCPMAH010 MCPMAHON ASSOCIATES, INC.	7,592.50	1759
48959	04/16/18	MGL00010 MGL PRINTING SOLUTIONS	31.00	1759
48960	04/16/18	MIDATLEE MID-ATLANTIC LEEDS	700.00	1759
48961	04/16/18	MONTA010 MONTAGE ENTERPRISES, INC.	184.78	1759
48962	04/16/18	NAPA0010 NAPA	2,185.42	1759

Check #	Check Date	Vendor	Amount Paid	Reconciled/Void	Ref Num
48963	04/16/18	NEWENT NEW ENTERPRISE STONE & LIME CO	232.00		1759
48964	04/16/18	PECO0010 PECO	2,361.99		1759
48965	04/16/18	PITNEBOW PITNEY BOWES	500.00		1759
48966	04/16/18	PSATS010 PA ASSOCIATES OF TOWNSHIP SUPE	149.00		1759
48967	04/16/18	REAGE010 REAGENT PRINT & IMAGING	19.67		1759
48968	04/16/18	ROBLITTL ROBERT E. LITTLE, INC.	196.61		1759
48969	04/16/18	SAFETYKL SAFETY-KLEEN SYSTEMS, INC.	90.00		1759
48970	04/16/18	SHALLSER SHALLIS SERVICES	530.00		1759
48971	04/16/18	SIRSP010 SIR SPEEDY	38.00		1759
48972	04/16/18	SLOAN010 SLOAN MOTORS, INC.	50.16		1759
48973	04/16/18	SNAPON01 SNAP-ON TOOLS	264.70		1759
48974	04/16/18	STAPLADV STAPLES ADVANTAGE	426.60		1759
48975	04/16/18	STAPLCRP STAPLES CREDIT PLAN	682.28		1759
48976	04/16/18	STRBUSIN STR BUSINESS SOLUTIONS	149.00		1759
48977	04/16/18	STUBB010 STUBBE CONSULTING LLC	60.00		1759
48978	04/16/18	STYER010 STYER PROPANE	1,424.74		1759
48979	04/16/18	SUNBE020 SUNBELT RENTALS	881.32		1759
48980	04/16/18	TASER010 AXON ENTERPRISE	205.00		1759
48981	04/16/18	THERMSAS THERMAL SASH	455.00		1759
48982	04/16/18	TOTAL010 TOTAL RENTAL	376.20		1759
48983	04/16/18	USMUN020 US MUNICIPAL SUPPLY CO.	48.85		1759
48984	04/16/18	VARGO005 VARGO, CARY	155.99		1759
48985	04/16/18	VERIZ010 VERIZON	613.50		1759
48986	04/16/18	VERIZ020 VERIZON WIRELESS	626.62		1759
48987	04/16/18	VERIZOSP VERIZON - SPECIAL PROJECTS	217.14		1759
48988	04/16/18	VERZIPAD VERIZON IPAD	169.46		1759
48989	04/16/18	VILLA010 VILLAGE MEDICAL CENTER	170.00		1759
48990	04/16/18	WGAMERIC WG AMERICA COMPANY	304.85		1759
48991	04/16/18	WIGGISHR WIGGINS SHREDDING	80.00		1759
48992	04/16/18	WOLFI010 WOLFINGTON BODY COMPANY, INC.	24.51		1759
48993	04/16/18	WRHOA WINDSOR RIDGE HOA	325.00		1759

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Report Totals	<u>Paid</u>	<u>Void</u>	<u>Amount Paid</u>	<u>Amount Void</u>
Checks:	82	0	178,213.45	0.00
Direct Deposit:	0	0	0.00	0.00
Total:	<u>82</u>	<u>0</u>	<u>178,213.45</u>	<u>0.00</u>



UPPER UWCHLAN TOWNSHIP

MEMORANDUM

TO: BOARD OF SUPERVISORS
FROM: Jill Bukata, Township Treasurer
RE: Status Update
DATE: April 16, 2018

Finance has worked on the following items during the month

- Received and processed 591 trash and 188 sewer payments (3/16/18 to 4/13/18)
- Barbacane Thornton completed the audit of the Township for 2017 – this included the Township, Municipal Authority, and the pension plans. They will do the Tax Collector audit this summer.
- Filed the Annual Audit and Financial Report with DCED on April 2, 2018.

Projects and goals

- Revise the Accounting Manual in accordance with current procedures and staffing (*in process*)
- Revise and update the Employee Personnel Manual

Highlights of the March, 2018 financial statements

- The balance sheet remains strong with cash of over **\$7.2 million**
- Year to date revenues (combined) are **\$1,958,692 or 24.1%** of the annual budget. Combined expenses are **\$1,342,342 or 19.7%** of the budget. The combined year to date net income - (General Fund and Solid Waste Fund) is **\$616,350**
- Earned income tax revenue YTD March was \$825,155. That is approximately \$34,000 less than the same period last year.

Upper Uwchlan Township
General Fund
Balance Sheet
As of March 31, 2018

ASSETS

Cash			
01-100-000-100	General Checking - Fulton Bank	\$	216,835.45
01-100-000-200	Meridian Bank		2,863,914.26
01-100-000-210	Meridian Bank - Payroll		93,061.32
01-100-000-250	Fulton Bank - Turf Field		278,218.05
01-100-000-300	Petty Cash		300.00
	Total Cash		3,452,329.08

Investments			
01-120-000-100	Certificate of Deposit - 7/2/18		262,245.87
			262,245.87

Accounts Receivable			
01-145-000-020	Engineering Fees Receivable		58,381.77
01-145-000-021	Engineering Fees Receivable-CU		829.02
01-145-000-030	Legal Fees Receivable		4,436.80
01-145-000-040	R/E Taxes Receivable		155,833.52
01-145-000-050	Hydrant Tax Receivable		10,559.56
01-145-000-080	Field Fees Receivables		(13,165.00)
01-145-000-085	Turf Field Receivables		16,320.00
01-145-000-086	EIT Receivable		30,684.80
01-145-000-090	RE Transfer Tax Receivable		55,425.68
01-145-000-095	Misc accounts receivable		66,000.00
	Total Accounts Receivable		385,306.15

Other Current Assets			
01-130-000-001	Due From Municipal Authority		112,026.35
01-130-000-003	Due From Liquid Fuels		-
01-130-000-004	Due from ACT 209 Fund		-
01-130-000-005	Due From Capital Fund		-
01-130-000-006	Due from Solid Waste Fund		-
01-130-000-007	Due from Water Resource Protection Fund		-
01-130-000-008	Due from the Sewer Fund		-
01-130-000-009	Due from Developer's Escrow Fund		4,771.56
01-131-000-000	Suspense Account		-
	Total Other Current Assets		116,797.91

Prepaid Expense			
01-155-000-000	Prepaid expenses		-
	Total Prepaid Expense		-

Total Assets	4,216,679.01
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LIABILITIES AND FUND BALANCE

Accounts Payable			
01-200-000-000	Accounts Payable		595.00
01-252-000-001	Deferred Revenues		76,572.03
	Total Accounts Payable		77,167.03

Upper Uwchlan Township
 General Fund
 Balance Sheet
 As of March 31, 2018

Other Current Liabilities

01-199-000-000	Suspense Account	-
01-210-000-000	Payroll Liabilities	-
01-210-000-001	Federal Tax Withheld	-
01-211-000-000	FICA Tax Withheld	-
01-212-000-000	Earned Income Tax W/H	7,312.39
01-214-000-000	Non-Uniform Pension	-
01-215-000-000	Police Pension Withheld	-
01-216-000-000	Domestic Relation W/H	-
01-217-000-000	State Tax Withheld	(3.00)
01-218-000-000	Police Association Dues	1,550.00
01-219-000-000	LST Tax Withheld	350.00
01-220-000-000	State Unemployment W/H	454.68
01-221-000-000	Benefit Deduction-Aflac	(129.78)
01-222-000-000	457 Contribution Deduction	-
01-223-000-000	Direct Deposit	-
01-224-000-000	Payroll Deduction Adjustments	-
01-239-000-001	Due to Municipal Authority	-
01-239-000-003	Due To Liquid Fuels	-
01-239-000-004	Due to Act 209 Fund	-
01-239-000-005	Due to Capital Fund	-
01-239-000-006	Due to Solid Waste Fund	-
01-239-000-007	Due to Water Resource Protection Fund	-
01-239-000-008	Due to Developer's Escrow Fund	-
01-258-000-000	Accrued Expenses	5,629.63
	Total Other Current Liabilities	15,163.92

	Total Liabilities	92,330.95
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EQUITY

01-272-000-000	Opening Balance Equity	812,921.60
01-272-000-001	Retained Earnings	3,116,716.36
	Current Period Net Income (Loss)	194,710.10
	Total Equity	4,124,348.06

	Total Fund Balance	4,124,348.06
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	Total Liabilities & Fund Balance	4,216,679.01
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Upper Uwchlan Township
General Fund
Statement of Revenues and Expenditures
For the Period Ended March 31, 2018

GL Account #	Account Description	2018 YTD Actual	2018 Budget	Over (Under) Budget	Actual as % of Budget
REVENUES					
01-301-000-010	Current Real Estate Taxes	178,869.71	983,600.00	(804,730.29)	18.2%
01-301-000-013	Real Estate Tax Refunds	-	(25,000.00)	25,000.00	0.0%
01-301-000-030	Delinquent Real Estate Taxes	8.07	30,000.00	(29,991.93)	0.0%
01-301-000-071	Hydrant Tax	10,845.74	65,000.00	(54,154.26)	16.7%
01-310-000-010	Real Estate Transfer Taxes	85,851.36	523,750.00	(437,898.64)	16.4%
01-310-000-020	Earned Income Taxes	835,892.48	3,735,903.00	(2,900,010.52)	22.4%
01-310-000-021	EIT commissions paid	(10,737.16)	(50,808.00)	40,070.84	21.1%
01-320-000-010	Building Permits	93,946.30	490,000.00	(396,053.70)	19.2%
01-320-000-020	Use & Occupancy Permit	2,300.00	8,000.00	(5,700.00)	28.8%
01-320-000-030	Sign Permits	-	100.00	(100.00)	0.0%
01-320-000-040	Contractors Permit	700.00	2,000.00	(1,300.00)	35.0%
01-320-000-050	Refinance Certification Fees	510.00	4,500.00	(3,990.00)	11.3%
01-321-000-080	Cable TV Franchise Fees	60,000.00	250,000.00	(190,000.00)	24.0%
01-331-000-010	Vehicle Codes Violation	9,894.98	50,000.00	(40,105.02)	19.8%
01-331-000-011	Reports/Fingerprints	511.00	2,000.00	(1,489.00)	25.6%
01-331-000-012	Solicitation Permits	-	500.00	(500.00)	0.0%
01-331-000-050	Reimbursable Police Wages	-	1,000.00	(1,000.00)	0.0%
01-341-000-001	Interest Earnings	9,452.05	18,000.00	(8,547.95)	52.5%
01-342-000-001	Rental Property Income	6,000.00	24,000.00	(18,000.00)	25.0%
01-354-000-010	County Grants	-	-	-	#DIV/0!
01-354-000-020	State Grants	-	148,448.00	(148,448.00)	0.0%
01-354-000-030	Police Grants	-	-	-	#DIV/0!
01-355-000-001	PURTA	-	5,000.00	(5,000.00)	0.0%
01-355-000-004	Alcoholic Beverage Tax	-	400.00	(400.00)	0.0%
01-355-000-005	State Aid, Police Pension	-	85,000.00	(85,000.00)	0.0%
01-355-000-006	State Aid, Non-Uniform Pension	-	55,000.00	(55,000.00)	0.0%
01-355-000-007	Foreign Fire Insurance Tax	-	112,000.00	(112,000.00)	0.0%
01-360-000-010	Vehicle Storage Fees	-	1,000.00	(1,000.00)	0.0%
01-361-000-030	Zoning/SubDivision Land Development	5,850.00	4,000.00	1,850.00	146.3%
01-361-000-032	Fees from Engineering	5,068.53	150,000.00	(144,931.47)	3.4%
01-361-000-033	Admin Fees from Engineering	-	8,000.00	(8,000.00)	0.0%
01-361-000-035	Admin Fees from Legal	-	1,500.00	(1,500.00)	0.0%
01-361-000-036	Legal Services Fees	-	3,000.00	(3,000.00)	0.0%
01-361-000-038	Sale of Maps & Books	-	250.00	(250.00)	0.0%
01-361-000-039	Fire Inspection Fees	-	-	-	#DIV/0!
01-361-000-040	Fees from Engineering - CU	-	20,000.00	(20,000.00)	0.0%
01-361-000-042	Copies	-	100.00	(100.00)	0.0%
01-367-000-010	Recreation Donations	-	-	-	#DIV/0!
01-367-000-020	Tennis Fees	-	-	-	#DIV/0!
01-367-000-021	Field Programs	890.00	30,000.00	(29,110.00)	3.0%
01-367-000-025	Turf Field Fees	(585.00)	45,000.00	(45,585.00)	-1.3%
01-367-000-030	Community Events Donations	1,575.00	10,000.00	(8,425.00)	15.8%
01-367-000-040	History Book Revenue	-	200.00	(200.00)	0.0%
01-367-000-045	Upland Farms Barn Rental Fees	375.00	5,000.00	(4,625.00)	7.5%
01-367-000-089	Donations for Park Equipment	-	-	-	#DIV/0!
01-380-000-001	Miscellaneous Revenue	605.41	5,000.00	(4,394.59)	12.1%
01-380-000-010	Insurance Reimbursement	-	3,000.00	(3,000.00)	0.0%
01-392-000-008	Municipal Authority Reimbursement	58,554.75	234,219.00	(175,664.25)	25.0%
01-392-000-020	Transfer from Capital Fund	-	-	-	#DIV/0!
01-392-000-030	Transfer from Solid Waste Fund	-	-	-	#DIV/0!
01-395-000-000	Refund of Prior Year Expenses	-	-	-	#DIV/0!
Total Revenue		1,356,378.22	7,038,662.00	(5,682,283.78)	19.3%

Upper Uwchlan Township
General Fund
Statement of Revenues and Expenditures
For the Period Ended March 31, 2018

GL Account #	Account Description	2018 YTD Actual	2018 Budget	Over (Under) Budget	Actual as % of Budget
GENERAL GOVERNMENT					
01-400-000-113	Supervisors Wages	625.00	5,000.00	(4,375.00)	12.5%
01-400-000-150	Payroll Tax Expense	47.81	383.00	(335.19)	12.5%
01-400-000-320	Telephone	235.09	2,000.00	(1,764.91)	11.8%
01-400-000-340	Public Relations	-	6,500.00	(6,500.00)	0.0%
01-400-000-341	Advertising	1,017.58	7,500.00	(6,482.42)	13.6%
01-400-000-342	Printing	98.01	1,000.00	(901.99)	9.8%
01-400-000-344	Community Notice	-	2,000.00	(2,000.00)	0.0%
01-400-000-350	Insurance-Bonding	2,636.00	4,255.00	(1,619.00)	62.0%
01-400-000-352	Insurance-Liability	4,289.88	15,569.00	(11,279.12)	27.6%
01-400-000-420	Dues/Subscriptions/Memberships	-	2,769.00	(2,769.00)	0.0%
01-400-000-460	Meeting & Conferences	1,685.00	6,000.00	(4,315.00)	28.1%
01-400-000-461	Bank Fees	2,593.06	9,000.00	(6,406.94)	28.8%
01-400-000-463	Misc expenses	36,331.35	2,000.00	34,331.35	1816.6%
		49,558.78	63,976.00	(14,417.22)	77.5%
EXECUTIVE					
01-401-000-100	Administration Wages	98,103.66	461,785.00	(363,681.34)	21.2%
01-401-000-150	Payroll Tax Expense	6,309.80	35,327.00	(29,017.20)	17.9%
01-401-000-151	PSATS Unemployment Compensation	-	567.00	(567.00)	0.0%
01-401-000-156	Employee Benefit Expense	22,718.73	127,351.00	(104,632.27)	17.8%
01-401-000-157	ACA Fees	-	243.00	(243.00)	0.0%
01-401-000-160	Non-Uniform Pension	-	41,078.00	(41,078.00)	0.0%
01-401-000-174	Tuition Reimbursements	-	4,000.00	(4,000.00)	0.0%
01-401-000-181	Longevity Pay	-	5,700.00	(5,700.00)	0.0%
01-401-000-183	Overtime Wages	1,097.68	5,000.00	(3,902.32)	22.0%
01-401-000-200	Supplies	3,986.51	15,000.00	(11,013.49)	26.6%
01-401-000-205	Meals & Meal Allowances	-	200.00	(200.00)	0.0%
01-401-000-215	Postage	812.38	4,500.00	(3,687.62)	18.1%
01-401-000-230	Gasoline & Oil	238.16	2,200.00	(1,961.84)	10.8%
01-401-000-235	Vehicle Maintenance	56.64	500.00	(443.36)	11.3%
01-401-000-252	Repair & Maintenance	-	2,000.00	(2,000.00)	0.0%
01-401-000-316	Training & Seminars	757.59	10,000.00	(9,242.41)	7.6%
01-401-000-317	Parking/Travel	514.77	1,200.00	(685.23)	42.9%
01-401-000-322	Ipad Expenses	94.72	600.00	(505.28)	15.8%
01-401-000-352	Insurance - Liability	-	-	-	#DIV/0!
01-400-000-353	Insurance-Vehicle	45.21	186.00	(140.79)	24.3%
01-401-000-354	Insurance-Workers Compensation	434.04	1,736.00	(1,301.96)	25.0%
01-401-000-420	Dues/Subscriptions/Memberships	5,133.00	3,901.00	1,232.00	131.6%
01-401-000-450	Contracted Services	8,577.44	7,410.00	1,167.44	115.8%
		148,880.33	730,484.00	(581,603.67)	20.4%
AUDIT					
01-402-000-450	Contracted Services	1,650.00	27,100.00	(25,450.00)	6.1%
		1,650.00	27,100.00	(25,450.00)	6.1%
TAX COLLECTION					
01-403-000-100	Tax Collector Wages	4,384.62	19,000.00	(14,615.38)	23.1%
01-403-000-150	Payroll Tax Expense	279.55	1,454.00	(1,174.45)	19.2%
01-403-000-200	Supplies	7.20	500.00	(492.80)	1.4%
01-403-000-215	Postage	1,532.39	2,000.00	(467.61)	76.6%
01-403-000-350	Insurance-Bonding	-	600.00	(600.00)	0.0%
01-403-000-450	Contracted Services	2,645.34	3,000.00	(354.66)	88.2%
		8,849.10	26,554.00	(17,704.90)	33.3%

Upper Uwchlan Township
General Fund
Statement of Revenues and Expenditures
For the Period Ended March 31, 2018

GL Account #	Account Description	2018 YTD Actual	2018 Budget	Over (Under) Budget	Actual as % of Budget
LEGAL					
01-404-000-305	Reimbursable Legal Fees - CU	-	500.00	(500.00)	0.0%
01-404-000-310	Reimbursable Legal Fees	3,286.68	9,500.00	(6,213.32)	34.6%
01-404-000-311	Non Reimbursable Legal	4,932.50	30,000.00	(25,067.50)	16.4%
01-404-000-450	Contracted Services	-	5,000.00	(5,000.00)	0.0%
		<u>8,219.18</u>	<u>45,000.00</u>	<u>(36,780.82)</u>	<u>18.3%</u>
COMPUTER					
01-407-000-200	Supplies	21.19	2,000.00	(1,978.81)	1.1%
01-407-000-220	Software	5,250.00	4,000.00	1,250.00	131.3%
01-407-000-222	Hardware	-	7,000.00	(7,000.00)	0.0%
01-407-000-240	Web Page	-	6,900.00	(6,900.00)	0.0%
01-407-000-450	Contracted Services	30,723.56	73,070.00	(42,346.44)	42.0%
		<u>35,994.75</u>	<u>92,970.00</u>	<u>(56,975.25)</u>	<u>38.7%</u>
ENGINEERING					
01-408-000-305	Reimbursable Conditional Use	1,092.11	25,000.00	(23,907.89)	4.4%
01-408-000-310	Reimbursable Engineering	14,288.23	75,000.00	(60,711.77)	19.1%
01-408-000-311	Traffic Engineering	13,099.78	25,000.00	(11,900.22)	52.4%
01-408-000-313	Non Reimbursable Engineering	9,955.56	20,000.00	(10,044.44)	49.8%
01-408-000-366	Ordinance Update	-	4,500.00	(4,500.00)	0.0%
01-408-000-367	General Planning	4,186.54	10,000.00	(5,813.46)	41.9%
01-408-000-368	MS4 Expenses	-	-	-	#DIV/0!
		<u>42,622.22</u>	<u>159,500.00</u>	<u>(116,877.78)</u>	<u>26.7%</u>
TOWNSHIP PROPERTIES					
<u>Public Works Building</u>					
01-409-001-200	Supplies	128.45	1,000.00	(871.55)	12.8%
01-409-001-231	Propane & heating - PW bldg	14,203.33	13,000.00	1,203.33	109.3%
01-409-001-250	Maint & Repair	585.71	16,150.00	(15,564.29)	3.6%
01-409-001-320	Telephone	1,142.20	1,700.00	(557.80)	67.2%
01-409-001-351	Insurance - property	1,672.80	6,893.00	(5,220.20)	24.3%
01-409-001-360	Utilities	1,525.26	12,000.00	(10,474.74)	12.7%
01-409-001-450	Contracted Services	1,207.40	4,370.00	(3,162.60)	27.6%
<u>Township Building</u>					
01-409-003-101	Employee Cost Allocated	-	-	-	#DIV/0!
01-409-003-200	Supplies	218.06	2,000.00	(1,781.94)	10.9%
01-409-003-231	Propane & Heating Oil	-	5,000.00	(5,000.00)	0.0%
01-409-003-250	Maintenance & Repairs	431.49	8,000.00	(7,568.51)	5.4%
01-409-003-320	Telephone	2,257.90	7,000.00	(4,742.10)	32.3%
01-409-003-351	Insurance Property	1,672.80	6,893.00	(5,220.20)	24.3%
01-409-003-360	Utilities	4,420.50	15,000.00	(10,579.50)	29.5%
01-409-003-450	Contracted Services	5,485.94	25,000.00	(19,514.06)	21.9%
<u>Milford Road</u>					
01-409-004-200	Supplies	-	500.00	(500.00)	0.0%
01-409-004-231	Propane	240.78	1,500.00	(1,259.22)	16.1%
01-409-004-250	Maintenance & Repairs	-	3,000.00	(3,000.00)	0.0%
01-409-004-320	Telephone	647.66	1,600.00	(952.34)	40.5%
01-409-004-351	Insurance - property	334.56	1,379.00	(1,044.44)	24.3%
01-409-004-360	Utilities	184.39	2,000.00	(1,815.61)	9.2%
01-409-004-450	Contracted Services	-	1,100.00	(1,100.00)	0.0%
		<u>36,359.23</u>	<u>135,085.00</u>	<u>(98,725.77)</u>	<u>26.9%</u>

Upper Uwchlan Township
General Fund
Statement of Revenues and Expenditures
For the Period Ended March 31, 2018

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GL Account #	Account Description	2018 YTD Actual	2018 Budget	Over (Under) Budget	Actual as % of Budget
POLICE EXPENSES					
01-410-000-100	Police Wages	261,388.87	1,169,409.00	(908,020.13)	22.4%
01-410-000-150	Payroll Tax Expense	17,689.05	89,460.00	(71,770.95)	19.8%
01-410-000-151	PSATS Unemployment Compensation	56.32	1,170.00	(1,113.68)	4.8%
01-410-000-156	Employee Benefit Expense	79,425.40	319,082.00	(239,656.60)	24.9%
01-410-000-158	Medical Expense Reimbursements	470.31	9,000.00	(8,529.69)	5.2%
01-410-000-160	Pension Expense	-	218,009.00	(218,009.00)	0.0%
01-410-000-174	Tuition Reimbursment	-	12,000.00	(12,000.00)	0.0%
01-410-000-181	Longevity Pay	2,000.00	19,400.00	(17,400.00)	10.3%
01-410-000-182	Education incentive	3,000.00	3,500.00	(500.00)	85.7%
01-410-000-183	Overtime Wages	6,562.56	42,000.00	(35,437.44)	15.6%
01-410-000-187	Courttime Wages	2,308.65	12,000.00	(9,691.35)	19.2%
01-410-000-191	Uniform/Boot Allowances	6,850.00	11,250.00	(4,400.00)	60.9%
01-410-000-200	Supplies	1,542.42	12,000.00	(10,457.58)	12.9%
01-410-000-215	Postage	-	750.00	(750.00)	0.0%
01-410-000-230	Gasoline & Oil	4,830.47	25,000.00	(20,169.53)	19.3%
01-410-000-235	Vehicle Maintenance	2,051.84	30,000.00	(27,948.16)	6.8%
01-410-000-238	Clothing/Uniforms	702.85	5,000.00	(4,297.15)	14.1%
01-410-000-250	Maintenance & Repairs	165.00	2,500.00	(2,335.00)	6.6%
01-410-000-260	Small Tools & Equipment	2,096.49	7,000.00	(4,903.51)	29.9%
01-410-000-311	Non-Reimbursable-Legal	-	3,000.00	(3,000.00)	0.0%
01-410-000-316	Training/Seminar	2,398.94	14,500.00	(12,101.06)	16.5%
01-410-000-317	Parking & travel	-	500.00	(500.00)	0.0%
01-410-000-320	Telephone	542.22	8,000.00	(7,457.78)	6.8%
01-410-000-322	Ipad Expense	74.72	600.00	(525.28)	12.5%
01-410-000-327	Radio Equipment M & R	-	1,000.00	(1,000.00)	0.0%
01-410-000-340	Public Relations	(158.48)	10,000.00	(10,158.48)	-1.6%
01-410-000-342	Police Accreditation	1,930.00	13,500.00	(11,570.00)	14.3%
01-410-000-352	Insurance - Liability	3,621.25	14,921.00	(11,299.75)	24.3%
01-410-000-353	Insurance - Vehicles	1,102.17	4,541.00	(3,438.83)	24.3%
01-410-000-354	Insurance - Workers Compensation	9,404.20	37,619.00	(28,214.80)	25.0%
01-410-000-420	Dues/Subscriptions/Memberships	75.00	750.00	(675.00)	10.0%
01-410-000-450	Contracted Services	11,156.22	17,200.00	(6,043.78)	64.9%
01-410-000-740	Computer/Furniture	-	4,000.00	(4,000.00)	0.0%
		<u>421,286.47</u>	<u>2,118,661.00</u>	<u>(1,697,374.53)</u>	<u>19.9%</u>
FIRE/AMBULANCE					
01-411-000-354	Insurance - Workers Compensation	12,607.27	28,000.00	(15,392.73)	45.0%
01-411-000-420	Dues/Subscriptions/Memberships	-	-	-	#DIV/0!
01-411-000450	Contracted Services	-	-	-	#DIV/0!
01-411-000-451	Hydrant expenses-Aqua	15,642.00	60,000.00	(44,358.00)	26.1%
01-411-001-001	Ludwigs	-	74,160.00	(74,160.00)	0.0%
01-411-001-002	Lionville	2,454.92	74,282.00	(71,827.08)	3.3%
01-411-001-003	Lionville Capital	-	-	-	#DIV/0!
01-411-001-004	Glenmoore	-	8,549.00	(8,549.00)	0.0%
01-411-001-005	E. Brandywine	7,954.00	15,908.00	(7,954.00)	50.0%
01-411-001-006	Reimbursement - Uwchlan Township	-	2,300.00	(2,300.00)	0.0%
01-411-001-007	Reimbursement - East Brandywine Twp.	-	200.00	(200.00)	0.0%
01-411-002-530	Contributions-Fire Relief	-	112,000.00	(112,000.00)	0.0%
		<u>38,658.19</u>	<u>375,399.00</u>	<u>(336,740.81)</u>	<u>10.3%</u>

Upper Uwchlan Township
General Fund
Statement of Revenues and Expenditures
For the Period Ended March 31, 2018

GL Account #	Account Description	2018 YTD Actual	2018 Budget	Over (Under) Budget	Actual as % of Budget
AMBULANCE					
01-412-000-540	Uwchlan Ambulance	-	27,038.00	(27,038.00)	0.0%
01-412-000-544	Minquas Ambulance	-	-	-	#DIV/0!
		-	27,038.00	(27,038.00)	0.0%
CODES ADMINISTRATION					
01-413-000-100	Code Administrator Wages	54,915.38	236,017.00	(181,101.62)	23.3%
01-413-000-150	Payroll Tax Expenses	3,711.94	18,055.00	(14,343.06)	20.6%
01-413-000-151	PSATS Unemployment Compensation	-	270.00	(270.00)	0.0%
01-413-000-156	Employee Benefit Expense	18,314.39	73,618.00	(55,303.61)	24.9%
01-413-000-160	Pension	-	24,445.00	(24,445.00)	0.0%
01-413-000-181	Longevity Pay	3,000.00	6,900.00	(3,900.00)	43.5%
01-413-000-200	Supplies	378.83	1,000.00	(621.17)	37.9%
01-413-000-230	Gasoline & Oil	297.46	3,800.00	(3,502.54)	7.8%
01-413-000-235	Vehicle Maintenance	199.02	1,500.00	(1,300.98)	13.3%
01-413-000-316	Training/Seminar	590.28	3,000.00	(2,409.72)	19.7%
01-413-000-317	Parking/Travel	-	1,000.00	(1,000.00)	0.0%
01-413-000-320	Telephone	470.65	2,000.00	(1,529.35)	23.5%
01-413-000-322	Ipad Expense	74.72	600.00	(525.28)	12.5%
01-413-000-352	Insurance - Liability	-	-	-	#DIV/0!
01-413-000-353	Insurance - Vehicle	90.42	373.00	(282.58)	24.2%
01-413-000-354	Insurance - Workers Compensation	434.04	1,736.00	(1,301.96)	25.0%
01-413-000-420	Dues/Subscriptions/Memberships	2,071.50	7,000.00	(4,928.50)	29.6%
01-413-000-450	Contracted Services	1,453.86	53,760.00	(52,306.14)	2.7%
01-413-000-460	Meetings & Conferences	-	-	-	#DIV/0!
		86,002.49	435,074.00	(349,071.51)	19.8%
PLANNING & ZONING					
01-414-001-116	Compensation	-	-	-	#DIV/0!
01-414-001-200	Supplies	-	500.00	(500.00)	0.0%
01-414-001-301	Court Reporter	-	1,500.00	(1,500.00)	0.0%
01-414-001-315	Legal Fees	-	3,000.00	(3,000.00)	0.0%
01-414-001-365	Comp Plan Update	-	-	-	#DIV/0!
01-414-001-366	Ordinance Update	-	3,000.00	(3,000.00)	0.0%
01-414-001-367	General Planning	-	3,000.00	(3,000.00)	0.0%
01-414-001-368	Advertising	-	500.00	(500.00)	0.0%
01-414-001-451	ACT 209	-	-	-	#DIV/0!
		-	11,500.00	(11,500.00)	0.0%
VILLAGE CONCEPT					
01-414-002-367	General Planning	-	1,000.00	(1,000.00)	0.0%
		-	1,000.00	(1,000.00)	0.0%
ZONING					
01-414-003-100	Compensation	-	800.00	(800.00)	0.0%
01-414-003-301	Court Reporter	60.00	2,000.00	(1,940.00)	3.0%
01-414-003-315	Legal Fees	345.82	6,000.00	(5,654.18)	5.8%
01-414-003-366	Ordinance Update	-	-	-	#DIV/0!
01-414-003-450	Contracted Services	-	1,000.00	(1,000.00)	0.0%
		405.82	9,800.00	(9,394.18)	4.1%
EMERGENCY OPERATIONS					
01-415-000-200	Supplies	-	2,000.00	(2,000.00)	0.0%
01-415-000-260	Small Tools & Equipment	-	1,000.00	(1,000.00)	0.0%
01-415-000-316	Training/Seminar	118.00	1,200.00	(1,082.00)	9.8%

Upper Uwchlan Township
General Fund
Statement of Revenues and Expenditures
For the Period Ended March 31, 2018

GL Account #	Account Description	2018 YTD Actual	2018 Budget	Over (Under) Budget	Actual as % of Budget
01-415-000-317	Parking/Travel	-	400.00	(400.00)	0.0%
01-415-000-320	Telephone	438.84	1,200.00	(761.16)	36.6%
01-415-000-330	Other Services/Charges	240.00	500.00	(260.00)	48.0%
01-415-000-420	Dues/subscriptions/memberships	-	50.00	(50.00)	0.0%
01-415-000-450	Contracted Services	-	500.00	(500.00)	0.0%
01-415-000-740	Computer/Office Equipment	-	1,000.00	(1,000.00)	0.0%
		<u>796.84</u>	<u>7,850.00</u>	<u>(7,053.16)</u>	<u>10.2%</u>
	ANIMAL CONTROL/OTHER				
01-422-000-530	Contributions - SPCA	2,054.85	4,244.00	(2,189.15)	48.4%
01-422-000-601	Contributions - DARC	15,987.00	15,987.00	-	100.0%
	Downingtown Senior Center	-	2,000.00		
		<u>18,041.85</u>	<u>22,231.00</u>	<u>(2,189.15)</u>	<u>81.2%</u>
	SIGNS				
01-433-000-200	Supplies	322.00	5,000.00	(4,678.00)	6.4%
01-433-000-450	Contracted Services	210.00	1,000.00	(790.00)	21.0%
		<u>532.00</u>	<u>6,000.00</u>	<u>(5,468.00)</u>	<u>8.9%</u>
	SIGNALS				
01-434-000-450	Contracted Services	5,227.66	183,300.00	(178,072.34)	2.9%
		<u>5,227.66</u>	<u>183,300.00</u>	<u>(178,072.34)</u>	<u>2.9%</u>
	PUBLIC WORKS				
01-438-000-100	Public Works Wages	81,197.78	337,247.00	(256,049.22)	24.1%
01-438-000-101	Employee cost allocated	-	-	-	#DIV/0!
01-438-000-150	Payroll Tax Expense	6,223.07	25,799.00	(19,575.93)	24.1%
01-438-000-151	PSATS Unemployment Compensation	-	646.00	(646.00)	0.0%
01-438-000-156	Employee Benefit Expense	36,684.19	133,912.00	(97,227.81)	27.4%
01-438-000-160	Pension	-	30,424.00	(30,424.00)	0.0%
01-438-000-181	Longevity	2,850.00	7,050.00	(4,200.00)	40.4%
01-438-000-183	Overtime Wages	9,424.72	19,100.00	(9,675.28)	49.3%
01-438-000-200	Supplies	7,717.84	49,600.00	(41,882.16)	15.6%
01-438-000-205	Meals & Meal Allowances	-	500.00	(500.00)	0.0%
01-438-000-230	Gasoline & Oil	10,621.15	29,100.00	(18,478.85)	36.5%
01-438-000-235	Vehicle Maintenance	2,545.70	13,400.00	(10,854.30)	19.0%
01-438-000-238	Uniforms	2,895.24	3,050.00	(154.76)	94.9%
01-438-000-245	Highway Supplies	1,213.14	10,200.00	(8,986.86)	11.9%
01-438-000-260	Small Tools & Equipment	4,600.75	12,750.00	(8,149.25)	36.1%
01-438-000-316	Training/Seminar	-	4,575.00	(4,575.00)	0.0%
01-438-000-317	Parking & travel	-	600.00	(600.00)	0.0%
01-438-000-320	Telephone	334.81	3,000.00	(2,665.19)	11.2%
01-438-000-322	Ipad Expense	94.76	1,200.00	(1,105.24)	7.9%
01-438-000-341	Advertising	906.50	-	906.50	#DIV/0!
01-438-000-342	Accreditation	-	5,000.00	(5,000.00)	0.0%
01-438-000-352	Insurance - Liability	-	-	-	#DIV/0!
01-438-000-353	Vehicle Insurance	1,272.24	5,242.00	(3,969.76)	24.3%
01-438-000-354	Insurance - Workers Compensation	2,314.88	8,958.00	(6,643.12)	25.8%
01-438-000-360	Heating Oil	-	-	-	#DIV/0!
01-438-000-420	Dues and Subscriptions	640.00	400.00	240.00	160.0%
01-438-000-450	Contracted Services	17,017.81	54,880.00	(37,862.19)	31.0%
01-438-000-463	Miscellaneous	-	-	-	#DIV/0!
01-438-000-720	Road Resurfacing	-	244,222.00	(244,222.00)	0.0%
		<u>188,554.58</u>	<u>1,000,855.00</u>	<u>(812,300.42)</u>	<u>18.8%</u>

Upper Uwchlan Township
General Fund
Statement of Revenues and Expenditures
For the Period Ended March 31, 2018

GL Account #	Account Description	2018 YTD Actual	2018 Budget	Over (Under) Budget	Actual as % of Budget
<i>Public Works - Facilities Division</i>					
01-438-001-100	Wages	23,352.42	185,694.00	(162,341.58)	12.6%
01-438-001-101	Employee Costs Allocated	-	(183,815.00)	183,815.00	0.0%
01-438-001-150	Payroll Tax Expense	1,553.91	14,206.00	(12,652.09)	10.9%
01-438-001-151	PSATS Unemployment Compensation	-	630.00	(630.00)	0.0%
01-438-001-156	Employee Benefit Expense	11,233.71	50,721.00	(39,487.29)	22.1%
01-438-001-160	Pension Expense	-	8,646.00	(8,646.00)	0.0%
01-438-001-174	Tuition Reimbursement	-	-	-	#DIV/0!
01-438-001-181	Longevity	-	1,650.00	(1,650.00)	0.0%
01-438-001-183	Overtime Wages	3,252.01	8,000.00	(4,747.99)	40.7%
01-438-001-230	Gasoline & Oil	-	1,000.00	(1,000.00)	0.0%
01-438-001-235	Vehicle Maintenance	-	4,500.00	(4,500.00)	0.0%
01-438-001-238	Uniforms	-	900.00	(900.00)	0.0%
01-438-001-316	Training & Seminars	-	3,600.00	(3,600.00)	0.0%
01-438-001-352	Insurance - Liability	-	-	-	#DIV/0!
01-438-001-353	Insurance - Vehicles	409.01	1,685.00	(1,275.99)	24.3%
01-438-001-354	Insurance - Workers Compensation	1,157.44	4,934.00	(3,776.56)	23.5%
01-438-001-450	Contracted Services	-	-	-	#DIV/0!
		<u>40,958.50</u>	<u>102,351.00</u>	<u>(61,392.50)</u>	<u>40.0%</u>
ROAD CONSTRUCTION					
01-439-000-752	East West Link	-	-	-	#DIV/0!
		<u>-</u>	<u>-</u>	<u>-</u>	<u>#DIV/0!</u>
PARK & RECREATION					
<i>Parks - General</i>					
01-454-001-101	Park wages allocation	-	183,815.00	(183,815.00)	0.0%
01-454-001-200	Supplies	1,713.01	8,000.00	(6,286.99)	21.4%
01-454-001-201	Park & Rec Special Events	180.00	5,000.00	(4,820.00)	3.6%
01-454-001-202	Community Day	10,122.50	26,000.00	(15,877.50)	38.9%
01-454-001-230	Gasoline & Oil	-	-	-	#DIV/0!
01-454-001-235	Vehicle Maintenance	-	2,500.00	(2,500.00)	0.0%
01-454-001-250	Maintenance & Repairs	-	500.00	(500.00)	0.0%
01-454-001-260	Small Tools & Equipment	-	2,700.00	(2,700.00)	0.0%
01-454-001-316	Training/Seminars	-	5,000.00	(5,000.00)	0.0%
01-454-001-340	Public Relations	-	-	-	#DIV/0!
01-454-001-354	Insurance - Workers Compensation	723.40	2,894.00	(2,170.60)	25.0%
01-454-001-420	Dues/Subscriptions/Memberships	-	-	-	#DIV/0!
01-454-001-427	Waste Disposal	-	-	-	#DIV/0!
01-454-001-450	Contracted Services	-	500.00	(500.00)	0.0%
		<u>12,738.91</u>	<u>236,909.00</u>	<u>(224,170.09)</u>	<u>5.4%</u>
HICKORY PARK					
01-454-002-200	Supplies-Hickory	5.99	2,500.00	(2,494.01)	0.2%
01-454-002-231	Propane	-	2,000.00	(2,000.00)	0.0%
01-454-002-250	Maintenance & Repairs	1,403.18	7,000.00	(5,596.82)	20.0%
01-454-002-351	Insurance-Property	669.12	2,757.00	(2,087.88)	24.3%
01-454-002-360	Utilities	701.67	5,000.00	(4,298.33)	14.0%
01-454-002-450	Contracted Services	-	20,000.00	(20,000.00)	0.0%
		<u>2,779.96</u>	<u>39,257.00</u>	<u>(36,477.04)</u>	<u>7.1%</u>

Upper Uwchlan Township
General Fund
Statement of Revenues and Expenditures
For the Period Ended March 31, 2018

GL Account #	Account Description	2018 YTD Actual	2018 Budget	Over (Under) Budget	Actual as % of Budget
FELLOWSHIP FIELDS					
01-454-003-200	Supplies	322.64	1,000.00	(677.36)	32.3%
01-454-003-250	Maintenance & Repairs	5,901.52	10,000.00	(4,098.48)	59.0%
01-454-003-312	Engineering Fees	-	2,000.00	(2,000.00)	0.0%
01-454-003-320	Telephone	375.14	2,500.00	(2,124.86)	15.0%
01-454-003-351	Insurance Property	1,338.24	5,514.00	(4,175.76)	24.3%
01-454-003-360	Utilities	1,926.80	12,000.00	(10,073.20)	16.1%
01-454-003-450	Contracted Services	-	16,000.00	(16,000.00)	0.0%
		<u>9,864.34</u>	<u>49,014.00</u>	<u>(39,149.66)</u>	<u>20.1%</u>
LARKINS FIELD					
01-454-004-200	Supplies-Larkins	-	1,000.00	(1,000.00)	0.0%
01-454-004-250	Maintenance & Repair	-	5,000.00	(5,000.00)	0.0%
01-454-004-312	Engineering Fee-Larkins	-	-	-	#DIV/0!
01-454-004-450	Contracted Services	350.00	3,000.00	(2,650.00)	11.7%
		<u>350.00</u>	<u>9,000.00</u>	<u>(8,650.00)</u>	<u>3.9%</u>
UPLAND FARMS					
01-454-005-200	Supplies	420.80	5,000.00	(4,579.20)	8.4%
01-454-005-231	Propane & Heating Oil	-	4,500.00	(4,500.00)	0.0%
01-454-005-250	Repairs & Maintenance	-	10,000.00	(10,000.00)	0.0%
01-454-005-351	Insurance - Building	1,003.68	4,136.00	(3,132.32)	24.3%
01-454-005-360	Utilities	499.44	4,000.00	(3,500.56)	12.5%
01-454-005-450	Contracted Services	175.00	5,000.00	(4,825.00)	3.5%
01-454-005-513	Engineering Fees	-	-	-	#DIV/0!
		<u>2,098.92</u>	<u>32,636.00</u>	<u>(30,537.08)</u>	<u>6.4%</u>
	Total Parks and Recreation	27,832.13	366,816.00	(338,983.87)	7.6%
LIBRARY					
01-456-000-530	Contributions	-	5,000.00	(5,000.00)	0.0%
		<u>-</u>	<u>5,000.00</u>	<u>(5,000.00)</u>	<u>0.0%</u>
HISTORICAL COMMISSIONS					
01-459-000-200	Supplies	1,018.00	1,000.00	18.00	101.8%
01-459-000-320	Telephone	-	1,000.00	(1,000.00)	0.0%
01-459-000-450	Contracted Services	220.00	500.00	(280.00)	44.0%
		<u>1,238.00</u>	<u>2,500.00</u>	<u>(1,262.00)</u>	<u>49.5%</u>
	Total Expenditures Before Operating Transfers	1,161,668.12	5,956,044.00	(4,792,375.88)	19.5%
	Excess of Revenues over Expenses Before Operating Transfers	194,710.10	1,082,618.00	(889,907.90)	18.0%

Upper Uwchlan Township
 General Fund
 Statement of Revenues and Expenditures
 For the Period Ended March 31, 2018

GL Account #	Account Description	2018 YTD Actual	2018 Budget	Over (Under) Budget	Actual as % of Budget
OPERATING TRANSFERS					
01-492-000-030	Transfer to Capital Projects Fund	-	950,000.00	(950,000.00)	0.0%
01-492-000-031	Transfer to Solid Waste Fund	-	-	-	#DIV/0!
01-492-000-033	Transfer to Developer's Escrow Fund	-	-	-	#DIV/0!
01-492-000-034	Transfer to Act 209 Fund	-	-	-	#DIV/0!
01-492-000-035	Transfer to Municipal Authority	-	-	-	#DIV/0!
01-492-000-036	Transfer to Water Resource Protection Fund	-	250,000.00	(250,000.00)	0.0%
		-	1,200,000.00	(1,200,000.00)	0.0%
	Total Expenditures after Operating Transfers	1,161,668.12	7,156,044.00	(5,992,375.88)	16.2%
EXCESS OF REVENUES OVER EXPENSES		194,710.10	(117,382.00)	310,092.10	-165.9%



ENGINEER'S REPORT – UPPER UWCHLAN TOWNSHIP

Date: April 13, 2018

To: Cary B. Vargo - Township Manager
Board of Supervisors

From: David Leh, P.E.

The following is an overview of engineering activities for the previous month:

Byers Station (Lot 5C) - An amended land development plan has been submitted for the commercial portion of the site. The plan was reviewed by the Planning Commission at their April 12th meeting, no action was taken.

Eagleview Lot 1B – A Preliminary / Final Land Development Plan has been received for a maintenance facility on the site. The plan was accepted by the Planning Commission at their April 12th meeting and will be formally reviewed at their May 10th meeting.

Eagleview Lot 1C – A Preliminary Land Development Plan has been received for this parcel which is located along Sierra Drive, just south of the office building which has just been recently completed. (Lot 1B) The project proposes a 113,000 SF Flex Office building. The proposed building and amenities appear to be similar to the adjacent office buildings located along Sierra Drive. The plan was accepted by the Planning Commission at their April 12th meeting and will be formally reviewed at their May 10th meeting.

Marsh Lea – We have received Escrow Release # 2 for this project and have provided a recommendation for the release under separate cover.

Eagle Park – Construction has commenced. The contractor does not believe he should have any difficulty completing the project prior to The Block Party.

General:

Meetings / Correspondence with staff regarding various matters.



DEVELOPMENT UPDATE – UPPER UWCHLAN TOWNSHIP

Date: April 13, 2018
To: Board of Supervisors
From: David Leh, P.E.

270-290 Park Road (Townes at Chester Springs) - This is a 40-unit multiple-family townhouse community along Park Road just north of Windsor Baptist Church. Toll Brothers is developing the property. Construction continues and we have received 4 building permit applications (16 total units) to date.

American Tower (780 Dorlan Mills Road) – The Applicant submitted a conditional use application for a proposed cell tower on this property. A Conditional Use was granted by the Board of Supervisors at their July 20th, 2015 meeting. Zoning relief was also required and granted. No further activity has occurred.

Byers Station (Lot 5C) - Construction continues on the residential portion of the development. In addition, an amended land development plan has been submitted for the commercial portion of the site. The plan was reviewed by the Planning Commission at their April 12th meeting, no action was taken.

Byers Station (Lot 6C) – A staff meeting was held on July 10th, 2017 with a potential applicant to discuss a concept plan for a senior living facility. This is the same concept which was brought before the Planning Commission at their February 9th, 2017 meeting. The Board adopted an ordinance to support the proposed use at their January 20th meeting.

Carsense- The Board granted Preliminary / Final Land Development Approval for a 2,253 SF addition onto their existing 10,000 SF Detailing Building at their November 20th, 2017 meeting. Construction is expected to commence very soon.

Eagleview Lot 1B– A Preliminary / Final Land Development Plan has been received for a maintenance facility on the site. The plan will be accepted by the Planning Commission at their April 12th meeting and formally reviewed at their May 10th meeting.

Reference: Development Update

File No. 18-01080T
April 12, 2018

Eagleview Lot 1C– A Preliminary Land Development Plan has been received for this parcel which is located along Sierra Drive, just south of the office building which has just been recently completed. (Lot 1B) The project proposes a 113,000 SF Flex Office building. The proposed building and amenities appear to be similar to the adjacent office buildings located along Sierra Drive. The plan will be accepted by the Planning Commission at their April 12th meeting and formally reviewed at their May 10th meeting.

Fettters Property (McKee Group) - A conditional use was approved on January 17th, 2017 for an active-adult 55-year old and over community consisting of 116 single-family detached dwellings, 154 twin units, 105 triplex units, and associated amenities. The Board granted Final Plan Approval at their October 16th, 2017 meeting.

Jankowski Tract- Conditional Use Approval for this 55-lot, single family home community was granted by the Board at their December 18th, 2017 meeting. A land development plan has now been submitted and the Planning Commission recommended Preliminary / Final Approval at their March 8th meeting.

Marsh Lea – The Board granted Preliminary / Final Plan Approval to this 27-lot, single-family home community at their May 15th, 2017 meeting. Construction continues and we have received a grading plan for their model home.

Reserve at Chester Springs (Frame Property) – Infrastructure construction continues. The road network for the entire development has been completed. Home construction continues at a very brisk pace in the development. Building Permits for 54 of the 63 homes have been applied for.

Struble Trail Extension – Chester County has submitted an application to reopen the Conditional Use Hearing to allow for the continuance of the trail from where it currently terminates to a point on the west side of Dorlan Mill Road. The Planning Commission recommended approval of the Conditional Use at their February 8th meeting. The Conditional Use Hearing previously scheduled for March 13th has been continued to a date uncertain.



UPPER UWCHLAN TOWNSHIP
MEMORANDUM

ADMINISTRATION

TO: The Board of Supervisors
FROM: Kathi McGrath *Kathi*
Administrative Assistant
RE: Codes Department Activity Report
DATE: April 12, 2018

Attached, please find the Codes Department Activity Report for the month of March, 2018.

Attachments:
Activity Report

/km

UPPER UWCHLAN TOWNSHIP
 Permit Analysis
 2015-2018

	2015				2016				2017				2018			
	# of Permits	Fees	YTD Permits	YTD Fees	# of Permits	Fees	YTD Permits	YTD Fees	# of Permits	Fees	YTD Permits	YTD Fees	# of Permits	Fees	YTD Permits	YTD Fees
Jan	58	\$10,390.32	58	\$10,390.32	33	\$19,195.00	33	\$19,195.00	36	\$ 27,889.54	36	\$ 27,889.54	46	\$ 37,719.22	46	\$ 37,719.22
Feb	34	\$ 4,098.54	92	\$ 14,488.86	38	\$ 31,184.74	71	\$ 50,379.74	30	\$ 6,209.00	66	\$ 34,098.54	43	\$ 40,684.68	89	\$ 78,406.90
Mar	59	\$ 9,560.34	151	\$ 24,049.20	38	\$ 9,003.50	109	\$ 59,383.24	62	\$ 61,429.00	128	\$ 95,527.54	43	\$ 36,969.50	132	\$ 115,376.40
Apr	135	\$ 15,230.00	286	\$ 39,279.20	64	\$ 88,297.00	173	\$ 147,680.24	61	\$ 30,429.00	189	\$ 125,956.54				
May	119	\$ 33,693.18	405	\$ 72,972.38	125	\$ 14,112.00	298	\$ 161,792.24	61	\$ 13,118.56	250	\$ 139,075.10				
Jun	154	\$ 21,139.54	559	\$ 94,111.92	109	\$ 9,919.12	407	\$ 171,711.36	117	\$ 107,225.16	367	\$ 246,300.26				
Jul	98	\$ 11,329.56	657	\$ 105,448.48	55	\$ 8,120.56	462	\$ 179,831.92	78	\$ 60,308.00	445	\$ 306,608.26				
Aug	66	\$ 9,531.00	723	\$ 114,979.48	83	\$ 50,103.08	545	\$ 229,935.00	90	\$ 9,532.32	535	\$ 316,140.58				
Sept	41	\$ 6,911.88	764	\$ 121,891.36	57	\$ 8,844.90	602	\$ 238,779.90	86	\$ 29,485.94	621	\$ 345,626.52				
Oct	72	\$ 12,443.02	836	\$ 134,334.38	64	\$ 8,144.42	666	\$ 246,923.42	101	\$ 69,748.73	722	\$ 415,375.25				
Nov	38	\$ 102,941.80	874	\$ 237,276.78	71	\$ 13,717.44	737	\$ 260,640.86	58	\$ 29,023.10	780	\$ 415,404.48				
Dec	51	\$ 6,235.24	925	\$ 243,512.02	42	\$ 9,929.00	779	\$ 270,569.86	28	\$ 17,392.92	808	\$ 432,797.40				



**MARCH/APRIL
2018 REPORT
UPPER UWCHLAN TOWNSHIP
PUBLIC WORKS DEPARTMENT**

The following projects were underway since we last met:

Ongoing:

- Aside from regular routine maintenance, the following work orders were submitted last month.

Tracking of work orders through Munilogic: 138 Submitted – 138 Completed

- **Municipal Authority**
 - 4 Work new orders submitted
 - 4 Completed
 - **PA 1-calls**
 - 71 Work orders submitted
 - 71 Completed
 - **Public Works**
 - 50 Work orders submitted
 - 50 Completed
 - **Parks**
 - 5 Work orders submitted
 - 5 Completed
 - **Solid Waste**
 - 8 Work orders submitted
 - 8 Completed
- Fabricated and installed new metal lid for Seabury Pump Station
 - We were out 3 times for brining, salting and/or plowing.
 - Took trucks to New Holland Auto for recall work
 - Plowed Turf field twice
 - Created Bunny and Chick Easter signs for the Easter Egg Hunt and setup the barn for the event
 - Cleared downed trees on Waterview and on Krauser roads and Byers spray field driveway

- Completed a spring cleanup at the rear of the yards in Marsh Harbour where they back up to MA property. Wind had blown a lot of sticks and brush out of the property into the yards of the adjoining Residents.
- Worked on repairing of minor potholes at various locations
- Worked with PreDoc to complete back flow preventer tests on MA Pump Station facilities
- Fixed fence at the Reserve at Eagle Lagoon area again (needs replaced)
- Mixed salt and anti-skid material
- Completed stump grinding of old pine tree at the Township Building
- Five employees attended a DelChester Public Works Association training meeting
- Installed all salt spreaders and Pre-wet systems on the trucks, and checked all plows for each weather event.
- Inlet cleaning of various inlets throughout the Township with vacuum truck
- Swept roads between snow events with vacuum truck
- Worked on Police cars for minor issues and monthly services
- Toter swaps and deliveries were done as requested.
- Preventive maintenance, repairs, and Pa State Inspections continue on all Township owned vehicles and equipment.
- Minor maintenance issues were handled at the Township Buildings.

Bids:

- None

Road Dedications:

- None

Workforce

- **New Employee, Brian Owens has begun work and is completing DMS testing and becoming familiar with the Township Facilities. He has also begun his LTAP Road Scholar Program courses.**
- **Josh Spangler worked very hard keeping up on all equipment repairs during the snowstorm while keeping his plow route clear. He should be commended on his efforts.**
- **Steve Poley also has done very well with keeping up on materials and scheduling of drivers, and maintaining snow reports during these events. His efforts are appreciated.**
- **All employees are working well and there are no issues to report.**

**Respectfully submitted,
Michael G. Heckman
Director of Public Works
Upper Uwchlan Township**

Marsh Lea 27 LLC

March 13, 2018

Cary Vargo
Upper Uwchlan Township
140 Pottstown Pike
Chester Springs, PA 19425

RE: Marsh Site Improvements

Dear Cary:

Please find enclosed Escrow Release #2 for improvement work completed at the above referenced project. Please release \$83,862.60 from escrow.

If you have any questions, please don't hesitate to call.

Sincerely,
Marsh Lea 27, L.L.C

T.R. Moser
Managing Member

ENCLOSURE



March 20, 2018

File No. 03-0545T

Mr. Cary Vargo
Upper Uwchlan Township Manager
140 Pottstown Pike
Chester Springs, PA 19425

Reference: Marsh Lea Subdivision
Escrow Release Request # 2

Dear Cary:

Gilmore & Associates, Inc. has reviewed Moser Builders March 13, 2018 request associated with release of escrow for the above-referenced project. Based upon our review of the submitted payment request, we recommend release of **\$ \$81,582.60**. Following this release, there will be **\$1,530,625.70** remaining in escrow.

Also enclosed is one (1) copy of the Escrow Status Report summary spreadsheet for this project for the Board's review and consideration. If you have any questions, please do not hesitate to contact me.

Sincerely,

A handwritten signature in blue ink, appearing to read 'David N. Leh', is written over the word 'Sincerely,'.

David N. Leh, P.E.
Municipal Services Manager
Gilmore & Associates, Inc.

Attachment- Escrow Spreadsheet

cc: T.R. Moser Land Developers, LP, Applicant (Via e-mail only)
Shawn Fahr – Gilmore & Associates Inc. (Via e-mail only)

ESCROW STATUS REPORT

GILMORE & ASSOCIATES, INC.
184 WEST MAIN STREET
SUITE 300
TRAPPE, PA 19426

<p>PROJECT NAME: MARSH LEA SUBDIVISION</p> <p>PROJECT NUMBER:</p> <p>PROJECT SPONSOR: T. RICHARD MOSER LAND DEVELOPERS, L.P.</p> <p>MUNICIPALITY: UPPER UWCHLAN TOWNSHIP</p> <p>ESCROW AGENT:</p> <p>TYPE OF SECURITY:</p> <p>AGREEMENT DATE:</p>	<p>SUMMARY OF ESCROW ACCOUNT</p> <p>TOTAL CONSTRUCTION (100%) = \$ 1,397,626.75</p> <p>TOWNSHIP SECURITY (10%) = \$ 139,762.68</p> <p>CONSTRUCTION INSPECTION \$ 132,573.68</p> <p>GRAND TOTAL ESCROWED = \$ 1,669,963.10</p> <p>RELEASE NO.: 2</p> <p>REQUEST DATE: March 13, 2018</p>	<p>AMOUNT OF CURRENT CONST. RELEASE: \$ -</p> <p>AMOUNT OF CURRENT RETAINAGE/SECURITY RELEASE (10%): \$ 6,798.55</p> <p>AMOUNT OF BUILDERS CONTINGENCY RELEASE (5%): \$ 6,798.55</p> <p>AMOUNT OF CURRENT TOTAL RELEASE: \$ 13,597.10</p> <p>TOTAL OF CONST. RELEASES TO DATE: \$ 139,337.40</p> <p>CONSTRUCTION ESCROW REMAINING: \$ 1,281,512.25</p> <p>TOWNSHIP SECURITY REMAINING: \$ 128,151.23</p> <p>CONSTRUCTION INSPECTION REMAINING: \$ 120,962.23</p> <p>TOTAL ESCROW REMAINING: \$ 1,530,625.70</p> <p align="right">8%</p>
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ESCROW TABULATION					CURRENT ESCROW RELEASE		ESCROW RELEASED TO DATE (INCLUDES CURRENT REQUEST)		ESCROW REMAINING (AFTER CURRENT REQUEST)		PERCENT COMPLETE
					QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY
CONSTRUCTION ITEMS	UNITS	QUANTITY	UNIT PRICE	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	PERCENT
A. CLEARING & GRUBBING											
1. CLEARING AND GRUBBING	LS	1	\$ 6,500.00	\$ 6,500.00	1	\$ 6,500.00	1	\$ 6,500.00	0	\$ -	100%
SUBTOTAL ITEM A				\$ 6,500.00	\$ 6,500.00	\$ 6,500.00	\$ 6,500.00	\$ -	\$ -	100%	
B. E&S CONTROL											
1. CONSTRUCTION ENTRANCE	EA	2	\$ 2,500.00	\$ 5,000.00		\$ -	1	\$ 2,500.00	1	\$ 2,500.00	50%
2. ORANGE CONSTRUCTION FENCE	LF	9,700	\$ 1.50	\$ 14,550.00	2,072	\$ 3,108.00	9,700	\$ 14,550.00	0	\$ -	100%
3. 12" SILT SOCK	LF	1,620	\$ 3.50	\$ 5,670.00	225	\$ 787.50	637	\$ 2,229.50	983	\$ 3,440.50	39%
4. 18" SILT SOCK	LF	1,750	\$ 5.00	\$ 8,750.00	263	\$ 1,315.00	938	\$ 4,690.00	812	\$ 4,060.00	54%
5. 24" SILT SOCK	LF	6,265	\$ 8.50	\$ 53,252.50	3,164	\$ 26,894.00	5,552	\$ 47,192.00	713	\$ 6,060.50	89%
6. 32" SILT SOCK	LF	2,975	\$ 12.00	\$ 35,700.00	586	\$ 7,032.00	1,067	\$ 12,804.00	1,908	\$ 22,896.00	36%
7. EROSION CONTROL MATTING	SF	9,900	\$ 0.25	\$ 2,475.00	2,300	\$ 575.00	2,300	\$ 575.00	7,600	\$ 1,900.00	23%
8. INLET PROTECTION	EA	29	\$ 115.00	\$ 3,335.00		\$ -		\$ -	29	\$ 3,335.00	0%
9. SEDIMENT TRAP OUTLET PIPE W/ TEMP RISER	EA	1	\$ 9,750.00	\$ 9,750.00	1	\$ 9,750.00	1	\$ 9,750.00	0	\$ -	100%
10. TEMPORARY DIVERSION SWALE	LF	1,236	\$ 5.75	\$ 7,107.00	1,236	\$ 7,107.00	1,236	\$ 7,107.00	0	\$ -	100%
11. 18" SILT FENCE	LF	1,000	\$ 1.50	\$ 1,500.00		\$ -		\$ -	1,000	\$ 1,500.00	0%
12. TEMP SEED & MULCH	SF	323,000	\$ 0.04	\$ 12,920.00	15,000	\$ 600.00	15,000	\$ 600.00	308,000	\$ 12,320.00	5%
13. ROCK FILTER	EA	2	\$ 375.00	\$ 750.00		\$ -		\$ -	2	\$ 750.00	0%
SUBTOTAL ITEM B				\$ 160,759.50	\$ 57,168.50	\$ 101,997.50	\$ 58,762.00	63%			
C. EARTHWORK											
1. STRIP TOPSOIL	LS	1	\$ 17,050.00	\$ 17,050.00	0.1	\$ 1,705.00	0.1	\$ 1,705.00	0.9	\$ 15,345.00	10%
2. CUT/FILL	LS	1	\$ 9,620.00	\$ 9,620.00	0.1	\$ 962.00	0.1	\$ 962.00	0.9	\$ 8,658.00	10%
3. RETURN TOPSOIL	LS	1	\$ 22,575.00	\$ 22,575.00		\$ -		\$ -	1	\$ 22,575.00	0%
SUBTOTAL ITEM C				\$ 49,245.00	\$ 2,667.00	\$ 2,667.00	\$ 46,578.00	5%			

ESCROW STATUS REPORT

GILMORE & ASSOCIATES, INC.
184 WEST MAIN STREET
SUITE 300
TRAPPE, PA 19426

PROJECT NAME: MARSH LEA SUBDIVISION

SUMMARY OF ESCROW ACCOUNT

PROJECT NUMBER:
PROJECT SPONSOR: T. RICHARD MOSER LAND DEVELOPERS, L.P.
MUNICIPALITY: UPPER UWCHLAN TOWNSHIP

TOTAL CONSTRUCTION (100%) = \$ 1,397,626.75
TOWNSHIP SECURITY (10%) = \$ 139,762.68
CONSTRUCTION INSPECTION \$ 132,573.68

GRAND TOTAL ESCROWED = \$ 1,669,963.10

AMOUNT OF CURRENT CONST. RELEASE: \$ -
AMOUNT OF CURRENT RETAINAGE/SECURITY RELEASE (10%): \$ 6,798.59
AMOUNT OF BUILDERS CONTINGENCY RELEASE (5%): \$ 6,798.59
AMOUNT OF CURRENT TOTAL RELEASE: \$ 13,597.18

TOTAL OF CONST. RELEASES TO DATE: \$ 139,337.40
CONSTRUCTION ESCROW REMAINING: \$ 1,281,512.25

TOWNSHIP SECURITY REMAINING: \$ 128,151.23
CONSTRUCTION INSPECTION REMAINING: \$ 120,962.23

TOTAL ESCROW REMAINING: \$ 1,530,625.70
8%

ESCROW AGENT:
TYPE OF SECURITY:
AGREEMENT DATE:

RELEASE NO.: 2
REQUEST DATE: March 13, 2018

ESCROW TABULATION					CURRENT ESCROW RELEASE		ESCROW RELEASED TO DATE (INCLUDES CURRENT REQUEST)		ESCROW REMAINING (AFTER CURRENT REQUEST)		PERCENT COMPLETE
CONSTRUCTION ITEMS	UNITS	QUANTITY	UNIT PRICE	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	PERCENT
D. STORM SEWER											
1. 15" HDPE	LF	128	\$31.00	\$ 3,968.00		\$ -		\$ -	128	\$ 3,968.00	0%
2. 18" HDPE	LF	37	\$33.00	\$ 1,221.00		\$ -		\$ -	37	\$ 1,221.00	0%
3. 24" HDPE	LF	68	\$40.00	\$ 2,720.00		\$ -		\$ -	68	\$ 2,720.00	0%
4. 15" RCP	LF	816	\$42.00	\$ 34,272.00		\$ -		\$ -	816	\$ 34,272.00	0%
5. 18" RCP	LF	212	\$44.00	\$ 9,328.00		\$ -		\$ -	212	\$ 9,328.00	0%
6. 24" RCP	LF	1,306	\$50.00	\$ 65,300.00		\$ -		\$ -	1,306	\$ 65,300.00	0%
7. STD TYPE C INLET	EA	28	\$1,700.00	\$ 47,600.00		\$ -		\$ -	28	\$ 47,600.00	0%
8. STORM MANHOLE	EA	1	\$2,000.00	\$ 2,000.00		\$ -		\$ -	1	\$ 2,000.00	0%
9. ENDWALLS	EA	1	\$1,250.00	\$ 1,250.00		\$ -		\$ -	1	\$ 1,250.00	0%
10. OUTLET STRUCTURE	EA	1	\$7,500.00	\$ 7,500.00		\$ -		\$ -	1	\$ 7,500.00	0%
11. PIPE STORAGE BED	LS	1	\$250,500.00	\$ 250,500.00		\$ -		\$ -	1	\$ 250,500.00	0%
12. RAIN GARDEN (#19 & #20)	EA	2	\$7,000.00	\$ 14,000.00		\$ -		\$ -	2	\$ 14,000.00	0%
13. WATER STORAGE TANKS	EA	2	\$17,500.00	\$ 35,000.00		\$ -		\$ -	2	\$ 35,000.00	0%
SUBTOTAL ITEM D				\$ 474,659.00		\$ -		\$ -	\$ 474,659.00	0%	
E. PAVING & CURBING											
1. FINE GRADE	SY	10,215	\$0.75	\$ 7,661.25		\$ -		\$ -	10,215	\$ 7,661.25	0%
2. 5" 2A MODIFIED	SY	10,215	\$5.00	\$ 51,075.00		\$ -		\$ -	10,215	\$ 51,075.00	0%
3. 5" 25MM BASE	SY	10,215	\$17.50	\$ 178,762.50		\$ -		\$ -	10,215	\$ 178,762.50	0%
4. 3" 19MM BINDER	SY	10,215	\$10.25	\$ 104,703.75		\$ -		\$ -	10,215	\$ 104,703.75	0%
5. CLEAN & TACK	SY	10,215	\$0.25	\$ 2,553.75		\$ -		\$ -	10,215	\$ 2,553.75	0%
6. 1.5" 9.5MM WEARING	SY	10,215	\$6.50	\$ 66,397.50		\$ -		\$ -	10,215	\$ 66,397.50	0%
7. 4" CONCRETE SIDEWALK W/ 4" STONE BASE	SF	7,138	\$8.75	\$ 62,457.50		\$ -		\$ -	7,138	\$ 62,457.50	0%
8. CONCRETE CURB (EXCAVATE AND INSTALL)	LF	6,662	\$16.00	\$ 106,592.00		\$ -		\$ -	6,662	\$ 106,592.00	0%
9. TEMP STONE DRIVE AT EXISTING RESIDENCE	LS	1	\$1,500.00	\$ 1,500.00		\$ -		\$ -	1	\$ 1,500.00	0%
10. 6" STONE AND 2" WEARING AT EXISTING RESIDENCE	LS	1	\$6,500.00	\$ 6,500.00		\$ -		\$ -	1	\$ 6,500.00	0%
SUBTOTAL ITEM E				\$ 588,203.25		\$ -		\$ -	\$ 588,203.25	0%	
F. SURVEYING											
1. CONSTRUCTION STAKING	LS	1	\$16,500.00	\$ 16,500.00	0.1	\$ 1,650.00	0.3	\$ 4,950.00	1	\$ 11,550.00	30%
2. PROPERTY CORNER PINS	EA	37	\$70.00	\$ 2,590.00		\$ -		\$ -	37	\$ 2,590.00	0%
3. PROPERTY CORNER MONUMENTS	EA	27	\$140.00	\$ 3,780.00		\$ -		\$ -	27	\$ 3,780.00	0%
4. AS-BUILTS	LS	1	\$12,000.00	\$ 12,000.00		\$ -		\$ -	1	\$ 12,000.00	0%
SUBTOTAL ITEM F				\$ 34,870.00		\$ 1,650.00		\$ 4,950.00	\$ 29,920.00	14%	
G. LANDSCAPING											
1. SHADE TREES	EA	28	\$400.00	\$ 11,200.00		\$ -		\$ -	28	\$ 11,200.00	0%
2. STREET TREES	EA	126	\$400.00	\$ 50,400.00		\$ -		\$ -	126	\$ 50,400.00	0%
3. EVERGREEN TREES	EA	49	\$210.00	\$ 10,290.00		\$ -		\$ -	49	\$ 10,290.00	0%
SUBTOTAL ITEM G				\$ 71,890.00		\$ -		\$ -	\$ 71,890.00	0%	

ESCROW STATUS REPORT

GILMORE & ASSOCIATES, INC.
184 WEST MAIN STREET
SUITE 300
TRAPPE, PA 19426

PROJECT NAME: MARSH LEA SUBDIVISION PROJECT NUMBER: PROJECT SPONSOR: T. RICHARD MOSER LAND DEVELOPERS, L.P. MUNICIPALITY: UPPER UWCHLAN TOWNSHIP ESCROW AGENT: TYPE OF SECURITY: AGREEMENT DATE:	SUMMARY OF ESCROW ACCOUNT TOTAL CONSTRUCTION (100%) = \$ 1,397,626.75 TOWNSHIP SECURITY (10%) = \$ 139,762.68 CONSTRUCTION INSPECTION \$ 132,573.68 GRAND TOTAL ESCROWED = \$ 1,669,963.10	AMOUNT OF CURRENT CONST. RELEASE: \$ - AMOUNT OF CURRENT RETAINAGE/SECURITY RELEASE (10%): \$ 6,798.55 AMOUNT OF BUILDERS CONTINGENCY RELEASE (5%): \$ 6,798.55 AMOUNT OF CURRENT TOTAL RELEASE: \$ 13,597.10 TOTAL OF CONST. RELEASES TO DATE: \$ 139,337.40 CONSTRUCTION ESCROW REMAINING: \$ 1,281,512.25 TOWNSHIP SECURITY REMAINING: \$ 128,151.23 CONSTRUCTION INSPECTION REMAINING: \$ 120,962.23 TOTAL ESCROW REMAINING: \$ 1,530,625.70 8%
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ESCROW TABULATION					CURRENT ESCROW RELEASE		ESCROW RELEASED TO DATE (INCLUDES CURRENT REQUEST)		ESCROW REMAINING (AFTER CURRENT REQUEST)		PERCENT COMPLETE	
	CONSTRUCTION ITEMS	UNITS	QUANTITY	UNIT PRICE	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	PERCENT
H. MISCELLANEOUS												
1. SIGNS	EA	16	\$ 250.00	\$	4,000.00							
2. PAVEMENT MARKINGS	LS	1	\$ 7,500.00	\$	7,500.00					16	\$ 4,000.00	0%
				\$						1	\$ 7,500.00	0%
SUBTOTAL ITEM H				\$	11,500.00						\$ 11,500.00	0%
TOTAL IMPROVEMENTS - ITEMS A-H												
I. TOWNSHIP SECURITY (10%)				\$	1,397,626.75		\$ 67,985.50		\$ 116,114.50		\$ 1,281,512.25	8%
J. CONSTRUCTION INSPECTION				\$	139,762.68		\$ 6,798.55		\$ 11,611.45		\$ 128,151.23	8%
				\$	132,573.68		\$ 6,798.55		\$ 11,611.45	\$ -	\$ 120,962.23	9%
NET CONSTRUCTION RELEASE				\$	1,669,963.10		\$ 81,582.60		\$ 139,337.40		\$ 1,530,625.70	8%
SURETY AMOUNT				\$	1,669,963.10		\$ 81,582.60		\$ 139,337.40		\$ 1,530,625.70	8%



UPPER UWCHLAN TOWNSHIP

MEMORANDUM

ADMINISTRATION

TO: Board of Supervisors

FROM: Cary B. Vargo
Township Manager

RE: Sewage Facilities Planning Module
McKee – Fetters Property

DATE: April 12, 2018

Attached for your consideration is a resolution authorizing the submission of a sewage facilities planning module (SFPM) for the McKee Project, located off of Milford Road. Sewage from the project will be treated at the Route 100 Regional Wastewater Treatment Plant. Planning for the project consists of 375 new residential homes with a breakdown as follows: 116 single detached homes, 154 twin homes, 105 triplexes, and one existing home for a total of 376 homes. The SFPM will be available at the public meeting for review.

I would respectfully request that the BOS approve the attached resolution, allowing the SFPM to proceed to the PADEP for review and consideration.

RESOLUTION FOR PLAN REVISION FOR NEW LAND DEVELOPMENT

Packet Page 34

RESOLUTION OF THE (SUPERVISORS) (COMMISSIONERS) (COUNCILMEN) of Upper Uwchlan
(TOWNSHIP) (BOROUGH) (CITY), Chester COUNTY, PENNSYLVANIA (hereinafter "the municipality").

WHEREAS Section 5 of the Act of January 24, 1966, P.L. 1535, No. 537, known as the *Pennsylvania Sewage Facilities Act*, as Amended, and the rules and Regulations of the Pennsylvania Department of Environmental Protection (DEP) adopted thereunder, Chapter 71 of Title 25 of the Pennsylvania Code, require the municipality to adopt an Official Sewage Facilities Plan providing for sewage services adequate to prevent contamination of waters of the Commonwealth and/or environmental health hazards from sewage wastes, and to revise said plan whenever it is necessary to determine whether a proposed method of sewage disposal for a new land development conforms to a comprehensive program of pollution control and water quality management, and

WHEREAS McKee Capital Partners, LP has proposed the development of a parcel of land identified as
land developer

Fetters Tract, and described in the attached Sewage Facilities Planning Module, and
name of subdivision

proposes that such subdivision be served by: (check all that apply), sewer tap-ins, sewer extension, new treatment facility, individual onlot systems, community onlot systems, spray irrigation, retaining tanks, other, (please specify). Connection to existing public sanitary sewer system with treatment at Upper Uwchlan Township WWTP and return of the effluent to Fetters Tract for disposal via drip irrigation.

WHEREAS, Upper Uwchlan finds that the subdivision described in the attached
municipality

Sewage Facilities Planning Module conforms to applicable sewage related zoning and other sewage related municipal ordinances and plans, and to a comprehensive program of pollution control and water quality management.

NOW, THEREFORE, BE IT RESOLVED that the (Supervisors) (Commissioners) (Councilmen) of the (Township) (Borough) (City) of Upper Uwchlan hereby adopt and submit to DEP for its approval as a revision to the "Official Sewage Facilities Plan" of the municipality the above referenced Sewage Facilities Planning Module which is attached hereto.

I _____, Secretary, _____
(Signature)

Township Board of Supervisors (Borough Council) (City Councilmen), hereby certify that the foregoing is a true copy of the Township (Borough) (City) Resolution # _____, adopted, _____, 20_____.

Municipal Address:

Upper Uwchlan Township
140 Pottstown Pike
Chester Springs, PA 19425
Telephone 610-458-9400

Seal of
Governing Body

Fetters Tract Development

Project Narrative

(Following the same format as Section F. in PA DEP's Component 3 Instructions)

- 1. Indicate the nature of the development project. (Residential, Commercial, Institutional, Industrial, etc.) If the project is commercial, institutional or industrial, describe the activity, such as light manufacturing, private hospital, or heavy manufacturing.***

The McKee Capital Partners, L.P. is proposing the Fetters Tract Development to be an age qualified residential development consisting of 375 new residential homes and 1 existing residential structure. The breakdown of homes will be 116 single detached lots, 154 twins, 105 triplexes and the existing residential structure for a total of 376 single family homes. The proposed development will contain one community center which will be utilized by the development property owners only. The Fetters Tract Development is located north of Interstate 76 near the intersection of Milford Road and Krauser Road in Upper Uwchlan Township, Chester County, Pennsylvania.

The proposed method of sewage disposal for the Fetters Tract Development is connection to the Upper Uwchlan Township public sanitary sewer system. The wastewater generated by the proposed development will be conveyed to the Route 100 Regional Waste Water Treatment Plant located along Fellowship Road just west of Route 100 where it will be treated under WQM Permit No. 1500421. Once treated, the effluent will be conveyed back to the Fetters Tract site for disposal via drip irrigation within the delineated fields.

The sewage generated by the Fetters Tract Development will be conveyed to the existing pump station located on the Reserve at Eagle (Pump Station No. 1) by a combination of a low pressure sanitary sewer system that will service approximately two thirds of the development and a gravity sanitary sewer system that will service the remaining one third of the development. The pump station will need to be upgraded to accommodate the increased flows. The pump station will then pump the wastewater through an existing forcemain to the Route 100 Regional Treatment Plant for treatment.

The treated effluent will then be conveyed through an existing forcemain to the Upland Farm Effluent Storage Tank. The treated effluent will then be stored in the storage tank until it is ready to be conveyed to the Fetters Tract drip irrigation fields for disposal. The existing filter at the Upland Farms facility will be utilized to filter the effluent and then if necessary install two new pumps to convey the treated effluent to the Fetters Tract for disposal. The controls and piping for the Uplands Farms Drip irrigation system will be modified to convey the effluent to the Fetters Tract drip irrigation fields.



UPPER UWCHLAN TOWNSHIP

MEMORANDUM

ADMINISTRATION

TO: Board of Supervisors

FROM: Cary B. Vargo
Township Manager

RE: Sewage Facilities Planning Module

DATE: April 12, 2018

Attached for your consideration is a resolution authorizing the submission of a sewage facilities planning module (SFPM) for Phase I of the commercial portion of Parcel 5C, also known as Lot #2. Sewage from the project will be treated at the Route 100 Regional Wastewater Treatment Plant. Planning for Phase I of the commercial portion of this project consists of 9,025 gallons per day = 41 EDU's.

I would respectfully request that the BOS approve the attached resolution, allowing the SFPM to proceed to the PADEP for review and consideration.

RESOLUTION FOR PLAN REVISION FOR NEW LAND DEVELOPMENT

RESOLUTION OF THE (SUPERVISORS) (COMMISSIONERS) (COUNCILMEN) of Upper Uwchlan
(TOWNSHIP) (BOROUGH) (CITY), Chester COUNTY, PENNSYLVANIA (hereinafter "the municipality").

WHEREAS Section 5 of the Act of January 24, 1966, P.L. 1535, No. 537, known as the *Pennsylvania Sewage Facilities Act*, as Amended, and the rules and Regulations of the Pennsylvania Department of Environmental Protection (DEP) adopted thereunder, Chapter 71 of Title 25 of the Pennsylvania Code, require the municipality to adopt an Official Sewage Facilities Plan providing for sewage services adequate to prevent contamination of waters of the Commonwealth and/or environmental health hazards from sewage wastes, and to revise said plan whenever it is necessary to determine whether a proposed method of sewage disposal for a new land development conforms to a comprehensive program of pollution control and water quality management, and

WHEREAS BPG Development Company, LP has proposed the development of a parcel of land identified as
land developer
'The Village at Byers Station' Lot 2 Commercial, and described in the attached Sewage Facilities Planning Module, and
name of subdivision
proposes that such subdivision be served by: (check all that apply), sewer tap-ins, sewer extension, new treatment facility, individual onlot systems, community onlot systems, spray irrigation, retaining tanks, other, (please specify). Public (Gravity)

WHEREAS, Upper Uwchlan Township finds that the subdivision described in the attached
municipality
Sewage Facilities Planning Module conforms to applicable sewage related zoning and other sewage related municipal ordinances and plans, and to a comprehensive program of pollution control and water quality management.

NOW, THEREFORE, BE IT RESOLVED that the (Supervisors) (Commissioners) (Councilmen) of the (Township)
(Borough) (City) of Upper Uwchlan hereby adopt and submit to DEP for its approval as a revision to the
"Official Sewage Facilities Plan" of the municipality the above referenced Sewage Facilities Planning Module which is attached hereto.

I _____, Secretary, _____
(Signature)

Township Board of Supervisors (Borough Council) (City Councilmen), hereby certify that the foregoing is a true copy of the Township (Borough) (City) Resolution # _____, adopted, _____, 20____.

Municipal Address:

Upper Uwchlan Township
140 Pottstown Pike
Chester Springs, PA 19425
Telephone (610) 458-9400

Seal of
Governing Body

Project Narrative

'The Village at Byers Station' Lot 2 Commercial
Graphite Mine Road & Station Boulevard
Upper Uwchlan Township
Chester County, PA
PC1511921
Date: 2/2/18
Revised: 4/3/18

PREVIOUS APPROVAL

This submission is to amend the previously approved Sewer Planning Module for the development. The previous approval was obtained from DEP on August 3, 2017, in which it was noted that Lot #2 would require an additional approval since at the time flows were not known.

PROJECT DESCRIPTION

Executive Land Holdings, L.P. propose to develop the remaining portion of a previously developed 29.79-acre tract at Graphite Mine Road & Station Boulevard. The existing 29.79-acre tract was subdivided into two lots – Lot #1 and Lot #2. Lot #1, which consists of 16.35 acres, contains a 121 unit townhome development previously approved through PADEP (DEP Code No. 1-15954-341-3J).

Lot #2, the subject of this application, consists of 13.44 acres, and will be developed into a commercial development including retail, grocery, daycare, and coffee / fastfood establishments. Public sewer will service the development via a connection to the existing 8" PVC sanitary sewer main at an existing sanitary manhole located southwest of where the Proposed Access Driveway intersects with Station Boulevard. Sanitary sewage will be conveyed to the Route 100 Regional Wastewater Treatment Plant.

SEWAGE FLOW ANALYSIS

Lot #2 consists of two phases of development comprising approximately 82,000 GSF of commercial space. The expected sewerage flows are 9,025 gpd or 41 EDU (where 1 EDU = 225 gpd per Table 7 Upper Uwchlan Township Municipal Authority Route 100 Regional WWTP 2016 Chapter 94 Report.) The sewage flows for Lot 2 are based on uses outlined in the attached "Sanitary Sewerage Flow Calculations"

Usage data was compiled flows from other projects of similar facility size and excerpts from Title 25, Chapter 73, §73.17.(b) of the PA Code.

ALTERNATIVE SEWAGE DISPOSAL INVESTIGATION

Construction of Lot 2 at 'The Village at Byers Station' will require 41 EDUs, or 9,025 gpd. The proposed facilities will connect to the existing 8" PVC sanitary sewer main at an existing sanitary manhole located southwest of where the Proposed Access Driveway intersects with Station Boulevard. The decision to connect to the existing sanitary sewer main is based on the analysis of the site and surrounding conditions. On-lot absorption, treatment and spray irrigation or stream discharge would be less practical due to constraints including stormwater management, the predominance of impervious surface to serve the intended use, and administrative requirements of these alternatives. Therefore, connection to the public sanitary sewer system represents the most practical, environmentally sensitive, and economical alternative.

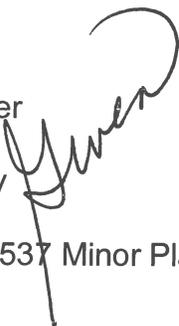


UPPER UWCHLAN TOWNSHIP

MEMORANDUM

ADMINISTRATION

TO: BOARD OF SUPERVISORS
Cary B. Vargo, Township Manager

FROM: Gwen Jonik, Township Secretary 

RE: Resolution – Component 3M Act 537 Minor Plan Revision

DATE: April 13, 2018

As part of Phase II of the Route 100 Wastewater Treatment Facility, the extension of public sanitary sewer service was planned for 16 properties along Byers Road and Eagle Farm Road in Upper Uwchlan Township.

ARRO has prepared a Component 3m Planning Module – for Municipal or Authority Sponsored Minor Sewage Collection Projects. The Module has been reviewed by the Township and County agencies and now requires the Board’s authorization to submit the Module to PaDEP for their review. A printed copy of the Module will be available at the April 16 meeting.

The Board of Supervisors is respectfully requested to adopt the attached Resolution which authorizes submission of the “Byers Road Sewer Extension” Component 3M Act 537 Minor Plan Revision to the Pennsylvania Department of Environmental Protection for review.



UPPER UWCHLAN TOWNSHIP
CHESTER COUNTY, PENNSYLVANIA
RESOLUTION # _____

RESOLUTION FOR PLAN REVISION

RESOLUTION OF THE BOARD OF SUPERVISORS OF UPPER UWCHLAN TOWNSHIP,
CHESTER COUNTY, PENNSYLVANIA (hereinafter "the municipality").

WHEREAS, Section 5 of the Act of January 24, 1966, P.L. 1535, No. 537, known as the "Pennsylvania Sewage Facilities Act," as amended, and the Rules and Regulations of the Department of Environmental Protection (Department) adopted thereunder, Chapter 71 of Title 25 of the Pennsylvania Code, requires the municipality to adopt an Official Sewage Facilities Plan providing for sewage services adequate to prevent contamination of waters and/or environmental health hazards with sewage wastes, and to revise said plan whenever it is necessary to meet the sewage disposal needs of the municipality, and

WHEREAS, ARRO Consulting, Inc. has prepared a 3m Sewage Facilities Planning Module for Minor Act 537 Update Revision which provides for sewage facilities in a portion of Upper Uwchlan Township, and

The alternative of choice to be implemented is expansion of the Route 100 Wastewater Treatment Collection and Conveyance System. The key implementation activities/dates includes the construction of a public sanitary sewer main to provide public sewer service to single-family residential homes along Byers Road and Eagle Farm Road that currently have on-lot disposal systems.

WHEREAS, Upper Uwchlan Township finds that the Facility Plan described above conforms to applicable zoning, subdivision, other municipal ordinances and plans and to a comprehensive program of pollution control and water quality management.

NOW, THEREFORE, BE IT RESOLVED that the Supervisors of the Township of Upper Uwchlan hereby adopt and submit to the Department of Environmental Protection for its approval as a revision to the "Official Plan" of the municipality, the above referenced Facility Plan. The municipality hereby assures the Department of the complete and timely implementation of the said plan as required by law. (Section 5, Pennsylvania Sewage Facilities Act as amended).

I, Gwen A. Jonik, Secretary, Upper Uwchlan Township Board of Supervisors hereby certify that the foregoing is a true copy of Resolution # _____ adopted, April 16, 2018.

AUTHORIZED SIGNATURE

MUNICIPAL SEAL

Gwen A. Jonik, Township Secretary

Project Narrative

An Act 537 Planning Module (Component 3m) is to be prepared for Upper Uwchlan Township (Township) and the Upper Uwchlan Township Municipal Authority (Authority) in accordance with Act 537 entitled the Pennsylvania Sewage Facilities Act, Title 25, Chapter 71 of the Pennsylvania Code and the Pennsylvania Department of Environmental Protection Act 537 Plan Content and Environmental Assessment Checklist. This planning module addresses the planning requirements necessary for the Authority to provide public sanitary sewer service to existing developed properties.

For this planning module, the following pertinent information applies:

1. **Project Name:** Byers Road Sanitary Sewer Service Extension.
2. **Project Description:**
 - Extend public sanitary sewer service from existing sanitary manhole MH 2 located in Eagle Farm Road at the Byers Station Regional Pump Station No. 1 to existing properties in in Eagle Farm Road and Byers Road for sanitary sewer service.
3. **Applicant Name:** Upper Uwchlan Township Municipal Authority
4. **Applicant Contact:** Matthew Brown, P.E., Authority Administrator, ARRO Consulting, Inc., 1450 E. Boot Road, Building 100-B, West Chester, PA 19380
5. **Site Location:** Upper Uwchlan Township on Byers Road and Eagle Farm Road, east of the intersection of Byers Road and Pottstown Pike (SR 100).
6. **Municipality/County:** Upper Uwchlan Township, Chester County

The primary focus of the planning module is to establish the means and methods for providing public sewer service to existing Eagle Farm Road and Byers Road properties.

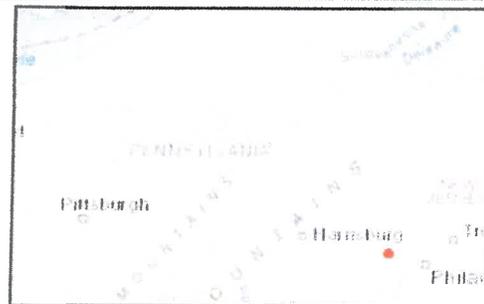
Flow projections identified in the planning module show the ultimate wastewater flow of 3,375 gpd, which encompasses fifteen (15) additional served properties at 225 gpd/EDU. One (1) served property will a reconnection.

Byers Road Sewer Extension

Packet Page 42



- Project Boundary
- Buffered Project Boundary



Service Layer Credits: Sources: Esri, HERE, DeLorme, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), swisstopo, MapmyIndia, OpenStreetMap contributors, and the GIS User Community
Esri, HERE, DeLorme, MapmyIndia, OpenStreetMap contributors, and the GIS user



UPPER UWCHLAN TOWNSHIP

MEMORANDUM

ADMINISTRATION

TO: Board of Supervisors

FROM: Cary B. Vargo
Township Manager

RE: Verizon Utility Re-Location Design Agreement
Park Road Reconstruction and Trail Project

DATE: April 12, 2018

Attached for your review and consideration is an agreement with Verizon authorizing design activities and escrowing \$13,000 (appears on the current bill listing) for design and engineering on the relocation of the existing poles, conduit, copper, cable, and fiber optic cables along Park Road. This work is needed as part of the utility re-location for the Park Road Reconstruction and Trail Project.

I would respectfully request that the BOS approve the attached agreement as presented.



1050 Virginia Dr
Fort Washington, PA 19034

To: Upper Uwchlan Township
Cary B. Vargo
140 Pottstown Pike
Chester Springs, PA 19425
Re: (4A0dw7b)

December 13, 2017

Packet Page 44

Dear Mr. Vargo,

This is in response to your request for Verizon to perform the following work: **relocation of the existing POLES, CONDUIT, COPPER CABLE AND FIBER OPTIC CABLES ALONG Park Road. Once this letter is signed and return with the check, the work orders will be written and the material will be ordered and the work will start approximately 8- 10 weeks after that time..**

We have estimated that the cost of this work effort will be approximate \$13000.00.

You must return this signed agreement before any work can be started. Along with a check for the amount above.

Upon job completion, you will be issued an invoice, for the final actual costs minus the advance payments received. Any unapplied portion of advance payments will be refunded to you within sixty (60) days of the final bill or cancellation of the job.

If you agree to these terms, please sign below and forward this signed letter agreement to:

Verizon
Attn: Ed Battista
Engineering Department
1050 VIRGINIA DR
FORT WASHINGTON,PA 19034

If you are signing for a company or other entity, then by signing below, you warrant that you are authorized to bind the company or entity to the terms of this letter agreement.

Please send a check for the amount above to the address I listed,

Verizon shall not be responsible to the extent its performance is delayed or prevented due to causes beyond its control, including but not limited to acts of God or the public enemy, terrorism, civil commotion, embargo, acts of government, any law, order, ordinance, regulation, or requirement of any government, fires, explosions, weather, quarantine, strikes, labor disputes, lockouts, and other causes beyond the reasonable control of Verizon.

Should you have any questions or concerns regarding these terms, please contact me at **610-613-5112**.

Please be advised that the price estimate quoted above is only valid for sixty (60) days from the date of this letter. If this work request is cancelled after you have signed the agreement, you will be billed for any Engineering and Construction cost incurred after the date of signature that may include the cost to place and/or remove facilities.

If we do not receive this signed agreement and your full advance payment within this sixty (60) day period, we will assume that you do not want the work to be undertaken and the project will be **cancelled**.

Sincerely,

Verizon – Signature



1050 Virginia Dr
Fort Washington, PA 19034

Specialist
Verizon - Title

I agree to the terms of this agreement:
Accepted (Signature): _____

Print Name & Title:

Company:

Billing Address:

Telephone #:

Date:



UPPER UWCHLAN TOWNSHIP

MEMORANDUM

ADMINISTRATION

TO: Board of Supervisors

FROM: Cary B. Vargo
Township Manager

RE: New Public Works Garage – Authorization to Bid

DATE: April 12, 2018

The Public Works Department has budgeted (2018) to construct a new 40'x 80' garage for the storage of vehicles and equipment. The specifications are being completed and are ready for advertisement with an anticipated award at the Boards May 21st meeting.

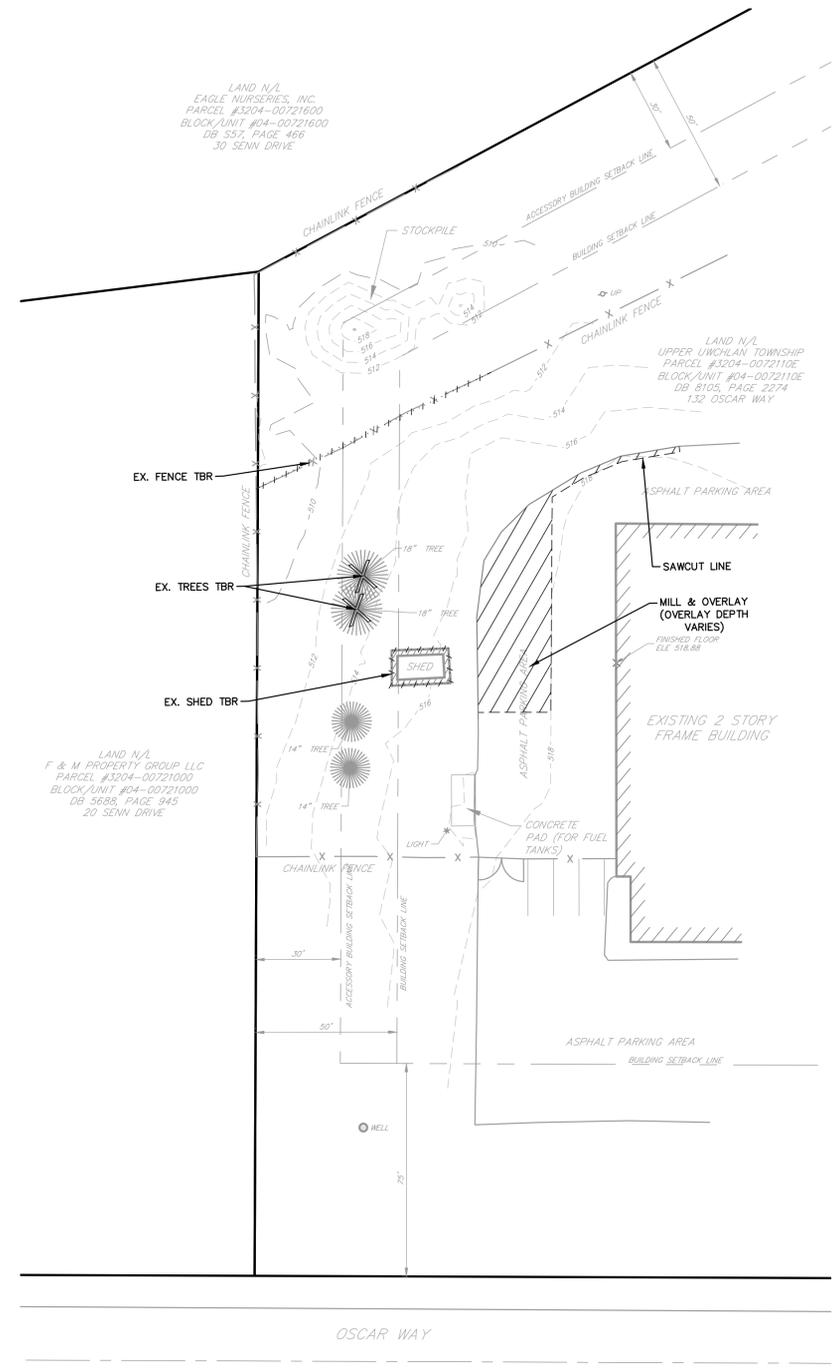
I would respectfully request that the Board of Supervisors authorize advertisement of the Bid Specifications for the project.

Attachments:
Site Plan
Building Plan

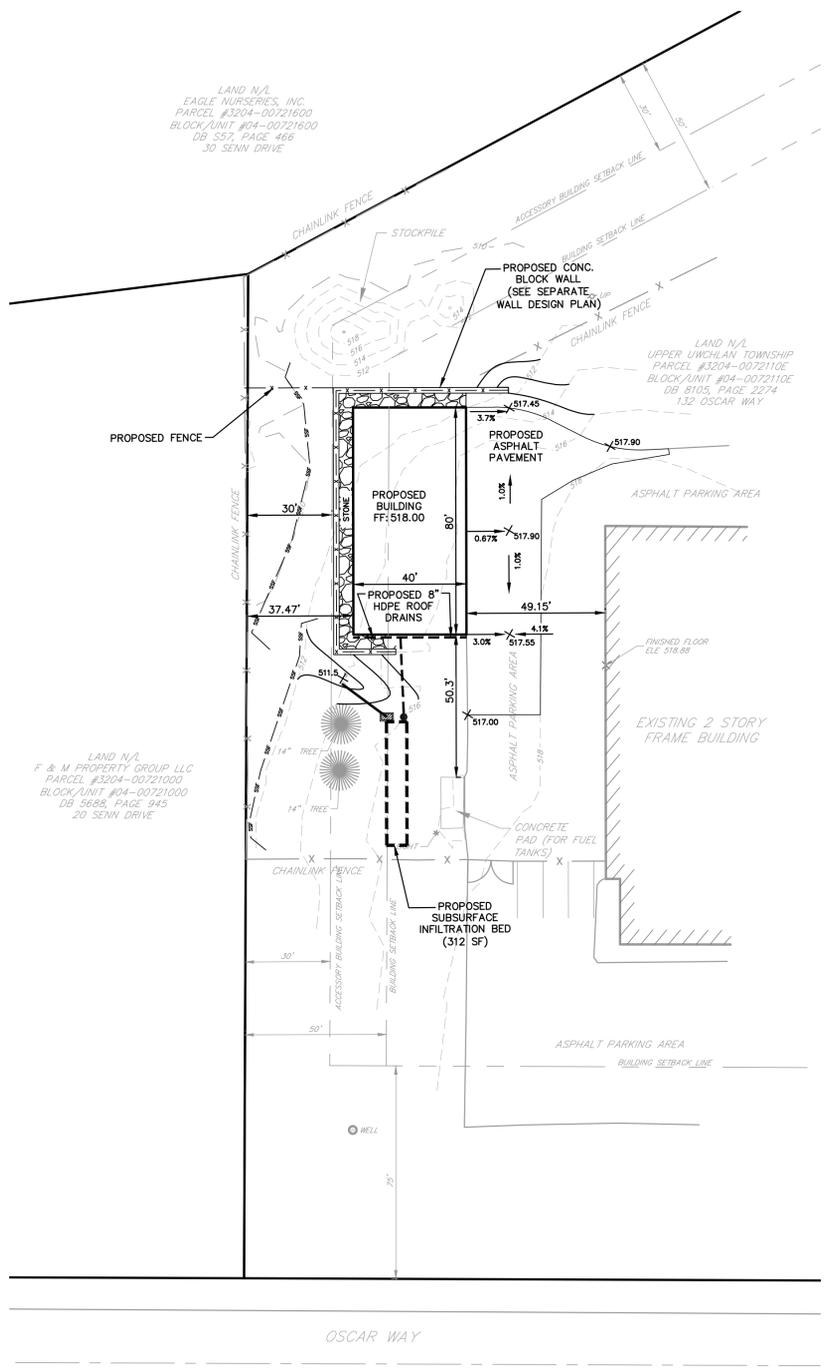
CBV/dnl/gaj

-

L:\DATA\2018\18-022061_Upper_Urban_Vehicla_Storage\5.2 Drawings\5.2 Drawings\18022061 - Proposed Features.dwg Layout: 1 Demolition & Site Improvements Plan Plotted By: aglas, on Tue Mar 20, 2018 at 10:32am



DEMOLITION PLAN
SCALE: 1"=30'



SITE IMPROVEMENTS PLAN
SCALE: 1"=30'



LOCATION MAP
SCALE: 1"=1000'

OVERALL LEGEND

	EXISTING	PROPOSED
CURB	[Symbol]	[Symbol]
EDGE OF PAVING	[Symbol]	[Symbol]
PARKING LOT SETBACK	[Symbol]	[Symbol]
LEGAL RIGHT-OF-WAY LINE	[Symbol]	[Symbol]
PROPERTY LINE	[Symbol]	[Symbol]
2' CONTOUR LINE	[Symbol]	[Symbol]
10' CONTOUR LINE	[Symbol]	[Symbol]
SPOT ELEVATION	[Symbol]	[Symbol]
FENCE LINE	[Symbol]	[Symbol]
TREE LINE	[Symbol]	[Symbol]
GUIDE RAIL	[Symbol]	[Symbol]
SANITARY SEWER LINE	[Symbol]	[Symbol]
FORCE MAIN	[Symbol]	[Symbol]
STORM SEWER LINE	[Symbol]	[Symbol]
OVERHEAD ELECTRIC LINE	[Symbol]	[Symbol]
UNDERGROUND ELECTRIC LINE	[Symbol]	[Symbol]
TELEPHONE LINE	[Symbol]	[Symbol]
WATER LINE	[Symbol]	[Symbol]
GAS LINE	[Symbol]	[Symbol]
FIBEROPTIC LINE	[Symbol]	[Symbol]
SOILS LINE	[Symbol]	[Symbol]
STORM INLET	[Symbol]	[Symbol]
STORM / SANITARY MANHOLES	[Symbol]	[Symbol]
WATER VALVE	[Symbol]	[Symbol]
GAS VALVE	[Symbol]	[Symbol]
SIGN	[Symbol]	[Symbol]
UTILITY POLE	[Symbol]	[Symbol]
FIRE HYDRANT	[Symbol]	[Symbol]
HEADWALL / ENDWALLS	[Symbol]	[Symbol]
IRON PIN	[Symbol]	[Symbol]
CONCRETE/STONE MONUMENT	[Symbol]	[Symbol]
EVERGREEN TREE	[Symbol]	[Symbol]
DECIDUOUS SHADE TREE	[Symbol]	[Symbol]
TREE TO BE REMOVED	[Symbol]	[Symbol]
LIGHT FIXTURE	[Symbol]	[Symbol]
TEST PIT / INFILTRATION TEST LOCATION	[Symbol]	[Symbol]
FEATURE TO BE REMOVED/RELOCATED	[Symbol]	[Symbol]
SUPER SILT FENCE	[Symbol]	[Symbol]
MILL & OVERLAY	[Symbol]	[Symbol]

GENERAL NOTES:

- THE SITE FEATURES AND TOPOGRAPHY AS SHOWN ARE BASED ON A FIELD SURVEY PERFORMED BY GILMORE & ASSOCIATES INC. ON FEBRUARY 5, 2018.
- THE PROPERTY LINES SHOWN ARE BASED ON DEED BOOK 8105, PAGE 2274, AS RECORDED BY THE CHESTER COUNTY RECORDER OF DEEDS ON JANUARY 24, 2011 AND SHOWN ON A PLAN TITLED "SUBDIVISION PLAN: EAGLE INDUSTRIAL PARK", PREPARED BY YERKES ASSOCIATES, INC. OF WEST CHESTER, PENNSYLVANIA, DATED JANUARY 20, 1989 AND LAST REVISED ON JUNE 27, 1990. NO TITLE RESEARCH WAS PERFORMED IN PREPARATION OF THIS PLAN. EASEMENTS, RESTRICTIONS AND/OR COVENANTS MAY APPLY.
- LOCATIONS OF EXISTING UNDERGROUND UTILITIES/FACILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM ABOVE GROUND OBSERVATION OF THE SITE. NO EXCAVATIONS WERE PERFORMED IN PREPARATION OF THIS DRAWING. THEREFORE ALL UTILITIES SHOWN SHOULD BE CONSIDERED APPROXIMATE IN LOCATION, DEPTH AND SIZE. THE POTENTIAL EXISTS FOR OTHER UNDERGROUND UTILITIES/FACILITIES TO BE PRESENT WHICH ARE NOT SHOWN ON THIS DRAWING. COMPLETENESS OR ACCURACY OF UNDERGROUND UTILITIES/FACILITIES ARE NOT GUARANTEED BY GILMORE & ASSOCIATES INC.
- ALL CONTRACTORS WORKING ON THIS PROJECT SHALL VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES/FACILITIES PRIOR TO THE START OF WORK AND SHALL COMPLY WITH THE REQUIREMENTS OF P.L. 852, NO. 287 DECEMBER 10, 1974 AS LAST AMENDED ON NOVEMBER 4, 2004, PENNSYLVANIA ACT 160.

LI AREA & BULK REGULATIONS - LIMITED INDUSTRIAL DISTRICT

	ALLOWED	PROVIDED
LOT SIZE:	THREE ACRES MIN.	3.24± ACS.
LOT WIDTH:	300 FEET MIN.	>300 FEET.
BUILDING SETBACK: FRONT YARD:	75 FEET MIN.	>75 FEET
BUILDING SETBACK: REAR & SIDE YARDS:	50 FEET MIN.	>50 FEET
ROUTE 100 R-O-W SETBACK:	100 FEET MIN.	>100 FEET
BUILDING COVERAGE:	40% MAX.	10.7% (0.35± ACS.)
LOT COVERAGE:	70% MAX.	43.3% (1.40± ACS.)
ACCESSORY BUILDING SETBACK: FRONT YARD:	75 FEET MIN.	75 FEET
ACCESSORY BUILDING SETBACK: REAR & SIDE YARD:	30 FEET MIN.	30 FEET
MAXIMUM BUILDING HEIGHT:	35 FEET MAX.	<35 FEET

PENNSYLVANIA ONE CALL SYSTEM, INC.
925 Iron Run Road
West Mifflin, Pennsylvania
15122 - 1076

BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA CALL 1-800-242-1776
NON-MEMBERS MUST BE CONTACTED DIRECTLY
PA LAW REQUIRES THREE WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL, BLAST OR DEMOLISH
SERIAL NO. 2018XXXXXX

GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES
CORPORATE HEADQUARTERS
65 EAST BUTLER AVENUE, SUITE 100, NEW BRUNSWICK, PA 08901 • (732) 345-0300 • www.gilmore-assoc.com

ONLY THOSE PLANS INCORPORATING THE PROFESSIONAL SEAL SHOULD BE CONSIDERED OFFICIAL AND RELIED UPON BY USER. THIS PLAN IS BEING PREPARED SPECIFICALLY FOR THE CLIENT AND PROJECT DESIGNATED HEREON. CONSENT OF GILMORE & ASSOCIATES, INC. IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF GILMORE & ASSOCIATES, INC. ALL RIGHTS RESERVED © COPYRIGHT 2017 GILMORE & ASSOCIATES, INC.

NOT APPROVED FOR CONSTRUCTION

G&A

PROGRESS PLAN
DEMOLITION & SITE IMPROVEMENTS PLAN
UPPER UWCHLAN TOWNSHIP
PUBLIC WORKS FACILITY
IMPROVEMENTS
UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA

TAX MAP PARCEL NO.: 3204-0072110E
MUNICIPAL FILE NO.: 201802006T
JOB NO.: 201802006T
OWNER: UPPER UWCHLAN TOWNSHIP
140 ROTSTOWN PIKE
UPPER MERION, PA 19425
610-458-9400

TOTAL AREA: 3.24 AC.
TOTAL LOTS: 1
DATE: 03/19/2018
SCALE: 1"=30'

DESIGNED BY: R.L.J.
DRAWN BY: D.J.G.
CHECKED BY: R.L.J.

REV.	DESCRIPTION	DATE	BY

SHEET NO.: 1 OF 3



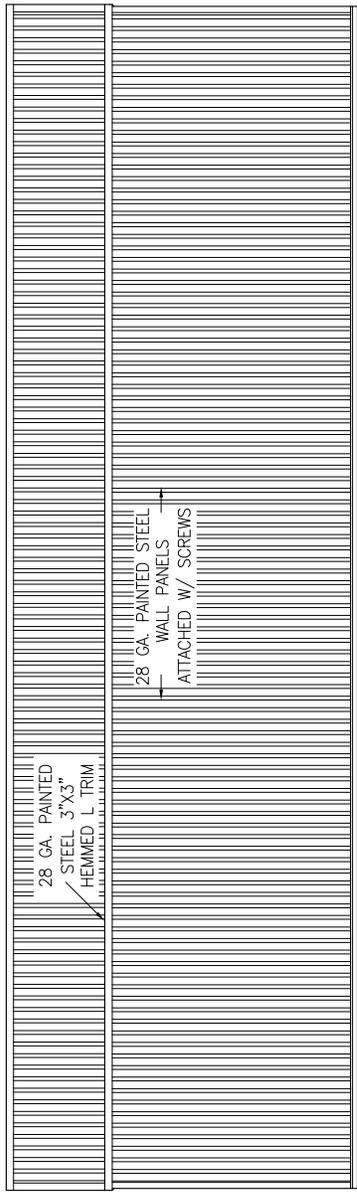
Quoted by Jon Allgyer

NEW BUILDING QUOTE

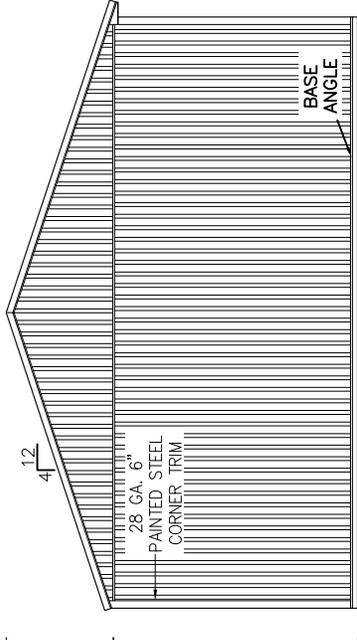
DATE

NAME:	UPPER UWCHLAN TOWNSHIP	12/6/17
STREET:	132 OSCAR WAY	
TOWN:	CHESTER SPRINGS, PA 19425	
PHONE:	610-636-7010 MIKE HECKMAN	
EMAIL:	mheckman@upperuwchlan-pa.gov	
<u>NEW BUILDING SPECIFICATIONS</u>		
SIZE:	40' WIDE X 80' LONG X 16'4" POST & FRAME BUILDING	
EAVES:	12" ROOF OVERHANG ON 1 SIDE W/ VENTED SOFFIT	
GABLES:	FLUSH GABLE WITH 6" X 6" RAKE TRIM	
ROOF:	4/12 PITCH PRE-ENGINEERED ROOF TRUSSES 4' OC.	
ROOFING:	VALSPAR 28 GAUGE G-100 40 YEAR PAINTED STEEL PANELS	
SIDING:	VALSPAR 28 GAUGE G-100 40 YEAR PAINTED STEEL PANELS	
TRIM:	VALSPAR 28 GAUGE 40 YEAR PAINTED STEEL	
DOORS:	1-6' X 6'8" WHITE 9-LITE VINYL & FIBERGLASS DOUBLE DOOR	
DOORS:	4-12' X 14' WHITE COMM. INSULATED OVERHEAD DOORS IN GABLE END	
DOOR TRIM:	SQUARE CORNERS ON OVERHEAD DOOR OPENINGS	
RIDGEVENT:	80' OF CONTINUOUS LOW PROFILE COBRAVENT	
DRAWINGS:	PA ENGINEERED SEALED DRAWINGS	
	<u>TOTAL PRICE</u>	\$36,600.00
	(PRICE INCLUDES MATERIALS, LABOR AND DELIVERY)	
OPTION#1:	PREVAILING WAGES IF REQUIRED	\$15,300.00
OPTION#2:	ADD GLASS IN OVERHEAD DOORS, \$250/DOOR	\$1,000.00
OPTION#3:	INTERIOR INSULATED & FINISHED W/ PAINTED STEEL, \$22,000	
(R-30 BLOWN CELLULOSE CEILING INSULATION, R-19 FIBERGLASS WALL INSULATION)		
OPTION#4:	1" FOILFACED INSULATION PANELS ON ROOF, \$4200	
OPTION#5:	1" FOILFACED INSULATION PANELS ON WALLS, \$5000	
OPTION#6:	6" - 4000 PSI CONCRETE FLOOR W/FIBER & SAWCUTS	\$13,900.00
	ADD \$4000 IF PREVAILING WAGES REQUIRED	
OPTION#7:	5" ALUMINUM SEAMLESS GUTTER AND DOWNSPOUTS	\$1,225.00
	<u>TOTAL PRICE WITH ALL OPTIONS</u>	<u>\$68,025.00</u>
30 DAY QUOTE	TRASH REMOVAL, STONE BASE AND SITE LEVELING NOT INCLUDED	

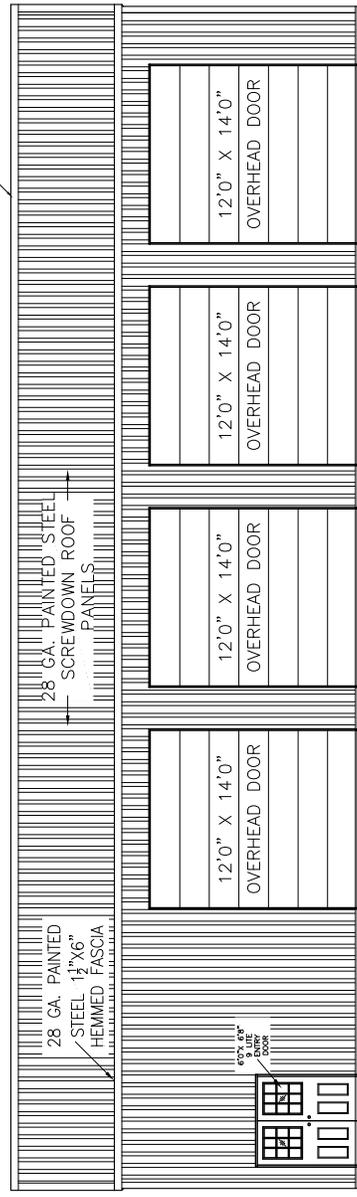
COMMERCIAL - AGRICULTURAL - RESIDENTIAL



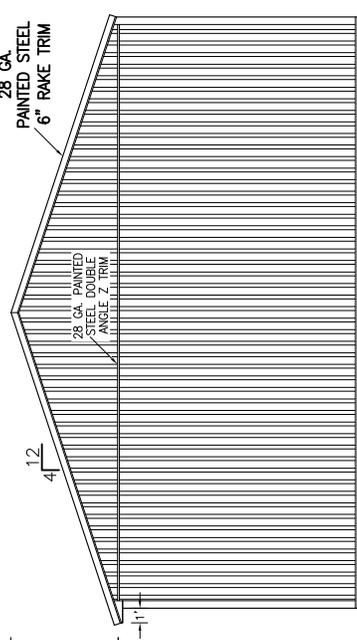
BACK SIDEWALL
SCALE: 1/8" = 10"



LEFT ENDWALL
SCALE: 1/8" = 10"



FRONT SIDEWALL
SCALE: 1/8" = 10"



RIGHT ENDWALL
SCALE: 1/8" = 10"

ELEVATIONS

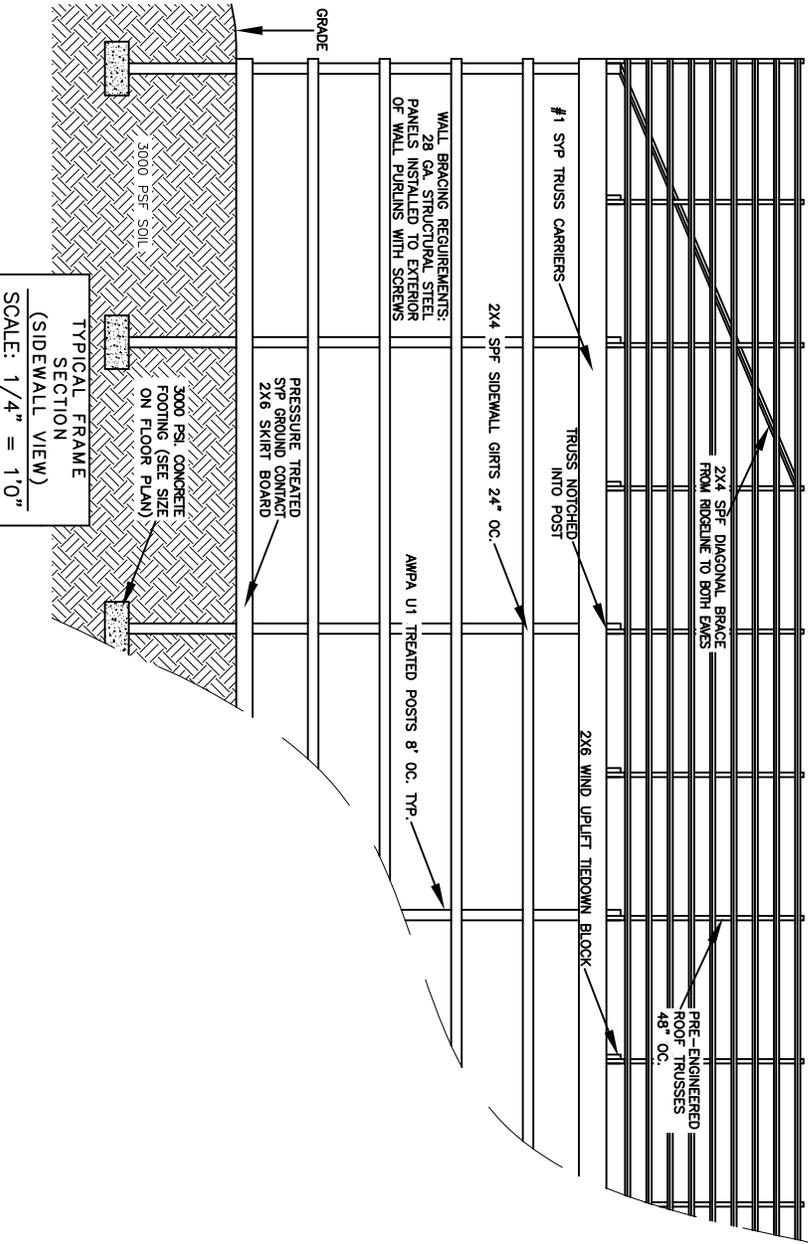
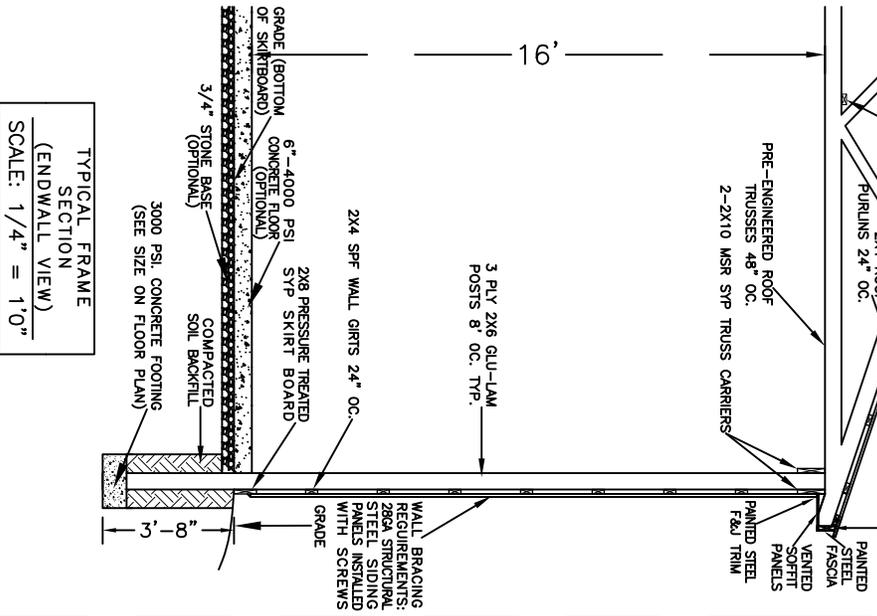
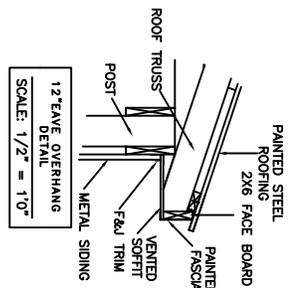
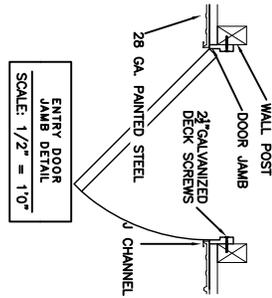
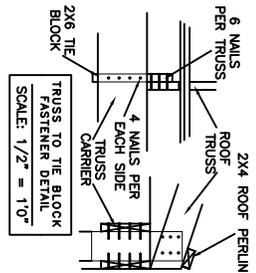
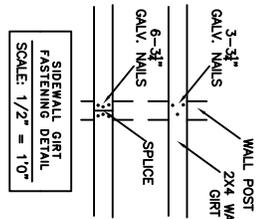
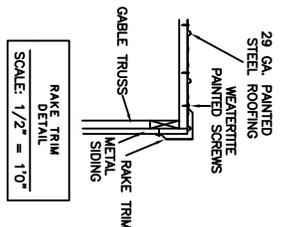
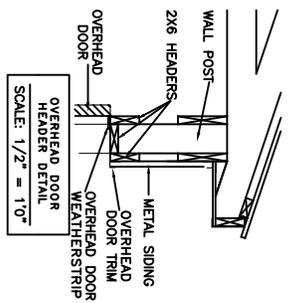
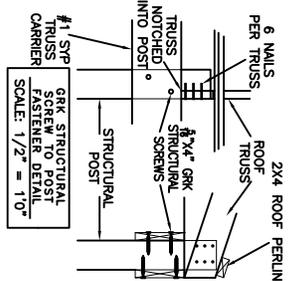
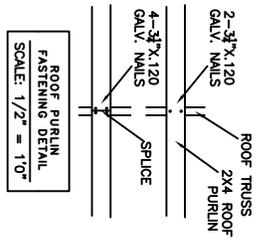
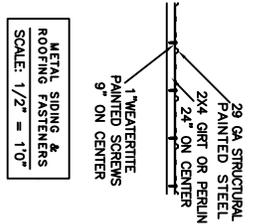
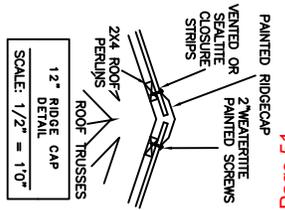
A 2

DRAWN BY: ALS
REVIEW:
REVISIONS:
DATE: 7/27/17
SITE: UWCHLAN

ALL INFORMATION SHOWN ON THIS DRAWING IS THE PROPERTY OF SHIRK POLE BUILDINGS LLC. THIS DRAWING MAY NOT BE REPRODUCED WITHOUT PERMISSION. BUILDER AND OWNER ARE RESPONSIBLE TO VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION.

OWNER
UPPER UWCHLAN TOWNSHIP
132 OSCAR WAY
CHESTER SPRINGS, PA 19425

OWNER
SHIRK
POLE BUILDINGS
Packet Page 50
807 READING ROAD EAST EARL, PA 17519
717-445-6888 FAX 717-445-3001



OWNER
UPPER UWCHLAN TOWNSHIP
132 OSCAR WAY
CHESTER SPRINGS, PA 19425



ALL INFORMATION SHOWN ON THIS DRAWING IS THE PROPERTY OF SHIRK POLE BUILDINGS LLC. THIS DRAWING MAY NOT BE REPRODUCED WITHOUT PERMISSION. BUILDER AND OWNER ARE RESPONSIBLE TO VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION.
DRAWN BY: ALS
REVISIONS:
DATE: 7/27/17
SITE: UWCHLAN SECTIONS
A.3

BUILDING DESIGN NOTES AND DETAILS

29-0000-00000

A4.1

GRADING & EXCAVATION
FINISHED GRADE SHALL BE BELOW FLOOR LEVEL WITH ADEQUATE FALL TO CARRY SURFACE WATER AWAY FROM BUILDING. FOOTINGS SHALL BE CIRCULAR (UNLESS NOTED OTHERWISE) AUGERED TO THE DEPTH AND DIAMETER SPECIFIED, WITH ALL LOOSE FILL REMOVED BEFORE CONCRETE FOOTING MATERIAL IS PLACED.

A4.2

FOOTINGS
STANDARD DEPTH FOR FOOTING EXCAVATION IS 44" FROM FINISH FLOOR HEIGHT FOOTINGS SHALL BE A MINIMUM OF 36" DEPTH FOR FROST PROTECTION OR; LOCAL BUILDING CODE DEPTH REQUIREMENTS FOR FROST PROTECTION WILL BE FOLLOWED. DRY MIX CONCRETE HYDRATED IN-SITU WILL BE USED UNLESS OTHERWISE SPECIFIED.

A4.3

FRAMING
LUMBER FOR SIDEWALL GIRTS AND PERLINS SHALL BE #2 SPRUCE OR COMPARABLE LUMBER FOR SKIRTBOARD. POSTS AND BEAMS SHALL BE #2 OR BETTER SOUTHERN YELLOW PINE. TIMBERVALUES FOR 3 PLY 2X6 GIU-LAM :FB=2150, FC=2050. LUMBER FOR TRUSS CARRIERS SHALL BE #1 OR BETTER SOUTHERN YELLOW PINE. ALL GROUND CONTACT LUMBER SHALL BE TREATED TO AWPA U1-09 (COMMODITY SPECIFICATION A, USE CATEGORY 4B AND SECTION 5.2) AND ASAE(ASABE)FB559, .60 CCA MINIMUM AND SHALL BEAR AN ACCREDITED LABEL USING #1 OR BETTER SYP.

A4.4

ROOF TRUSSES
ROOF TRUSSES SHALL BE PRE-ENGINEERED. GROUND SNOW LOAD, DRIFT LOAD, COLLATERAL LOAD, AND WIND LOAD ARE TO BE IN ACCORDANCE WITH BUILDING CODE. TRUSS ERECTION AND BRACING SHALL BE PROVIDED ACCORDING TO MANUFACTURERS SPECIFICATIONS. BOTTOM CHORD OF TRUSS SHALL HAVE PERMANENT LATERAL BRACING OF 120" OC. OR AS REQUIRED PER ROOF TRUSS DESIGN. THE DESIGN PROFESSIONAL OF RECORD HAS REVIEWED THE PRE-ENGINEERED ROOF TRUSS DRAWINGS AS PER R502.11.1 & IBC 107.3.4.1 AND THEY COMPLY WITH THE STRUCTURAL DESIGN REQUIREMENTS.

A4.5

ROOF TRUSS UPLIFT AND LATERAL CONNECTIONS
PRIMARY ROOF TRUSSES SHALL BE CONNECTED TO THE SIDE OF THE STRUCTURAL POSTS AND INTERMEDIATE ROOF TRUSSES SHALL BE CONNECTED TO THE STRUCTURAL HEADER WITH UPLIFT BLOCKS WITH A SUFFICIENT NUMBER OF FACE NAILS TO OFFSET THE WIND UPLIFT FACTOR AND LATERAL LOADS NOTED ON THE ROOF TRUSS DRAWING IN ACCORDANCE WITH IBC SECTION 2304.9.1, 2308.10.1, AND 2308.10.6

A4.6

FASTENERS AND FRAMING CONNECTIONS STRUCTURE COMPLETES WITH ASAE(ASABE) EP484 DIAPHRAM DESIGNS& ACTIONS FOR METALCLAD BUILDINGS. IBC WIND BRACING REQUIREMENTS. IBC CONSTRAINED/ UNCONSTRAINED POST REQUIREMENTS& POST TO FOOTING CONNECTION. ALL FRAMING CONNECTIONS SHALL BE OF A SIZE AND DESIGN TO MEET DESIGN LOADS SPECIFIED. NAILS USED IN .60 ACQ/CCA TREATED WOOD SHALL BE 12D HOT DIPPED GALVANIZED: ASTM A 153 PLATED 1.2 MIL SCREWS, AND A 65 CLASS G 185 HARDWARE. THE MINIMUM AMOUNT OF 12D NAILS IN 2X4 ROOF PERLINS IS 2. THE MINIMUM AMOUNT OF 12D NAILS IN 2X4 WALL GIRTS IS 3. THE MINIMUM # OF 12D NAILS IN 1 1/2" STRUCTURAL TIMBER IS 1 PER 1/2" BOARD WIDTH. TRUSS CARRIER CONNECTION TO POST: 1/8"x4" GRK RSS STRUCTURAL SCREWS. SCREW VALUES: SHEAR STRENGTH=1328 LB, TENSILE STRENGTH=139,000 PSI, PULLOUT=2644 LBS, HEAD PULL THROUGH=825 LBS, MIN. BENDING ANGLE=35°

A4.7

METAL SIDING AND ROOFING METAL SIDING AND ROOFING SHALL BE INSTALLED WITH #9 WOODGRIP, 1/2" HEX HEAD, METAL AND RUBBER WASHERED GALVANIZED COLOR MATCHING SCREWS. FASTENERS SHALL COMPLY WITH THE ROOFING & SIDING MFG'S REQUIREMENTS. METAL SIDING AND ROOFING SHALL BE WARRANTED #1 GRADE 80,000 PSI MIN. TENSILE STRENGTH CORRUGATED 29 GAUGE PAINTED ABM STEEL PANELS GALVANIZED TO A MINIMUM OF G-100.
METAL SIDING AND ROOFING SHALL BE TRIMMED WITH CORRECT FLASHINGS AT EXPOSED EDGES, ROOF ENDS, CORNERS, DOORS, WINDOWS AND RIDGES, EXCEPT; BOTTOM EDGE OF STANDARD ROOFING MATERIALS.

A4.8

CONCRETE FLOOR (OPTIONAL)
FIBER REINFORCED 4000 PSI CONCRETE SLAB ON GRADE OVER COMPACTED BASE. SLAB WILL BE POURED AGAINST SKIRTBOARD WITH NO TURN DOWN.

A4.9

STRUCTURAL DESIGN PARAMETERS
BUILDING USE= STORAGE
USE GROUP=U
EXPOSURE CATEGORY= C
HEIGHT & AREA LIMITATIONS=5B UNPROTECTED
OCCUPANCY LOAD=AS PER DESIGN
TOTAL NUMBER OF FLOORS= 1
TOTAL FLOOR AREA (SQ FT)=3200
BUILDING VOLUME (CU FT)=63,440
STRUCTURE IS DESIGNED FOR A MAXIMUM WIND LOAD OF 90 MPH (3 SECOND GUST), AND 70 MPH (10 SECOND GUST) UNLESS NOTED OTHERWISE.
SOIL BEARING CALCULATIONS ARE BASED ON SOIL BASE CONDITION 3000 PSF @48" BELOW GRADE UNLESS NOTED OTHERWISE.
30 PSF(LIVE) MIN.SNOW; 5 PSF TOP CHORD & 5 PSF BOTTOM CHORD LOADS.

A4.10

APPLICABLE BUILDING CODES
THESE PLANS ARE DESIGNED IN ACCORDANCE WITH THE FOLLOWING BUILDING CODES:
2009 IBC CODE

A4.11

DESIGN CRITERIA:
DESIGN REFERENCES=NFPA GUIDELINES FOR POST & FRAME CONSTRUCTION& NDS 2005 AMERICAN FOREST & PAPER ASSOCIATION (WFCM& NDS 2005 FOR WOOD CONSTRUCTION) SOUTHERN PINE COUNCIL (JOISTS & RAFTERS/ HEADERS & BEAMS)
THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION (AITC 117--93 AND 2/98 ADDENDUM)
SOUTHERN BUILDING CODE CONGRESS (SSTD10)
MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES (ASCE-7-10)
GEORGIA PACIFIC ENGINEERED LUMBER (EDITION VII)

A4.12

WARRANTY NOTES
ANY DESIGN MODIFICATION OR ANY STRUCTURAL MODIFICATION BEFORE, DURING, OR AFTER CONSTRUCTION TO BUILDING BY ANY PERSON(S) OR COMPANY OTHER THAN WORK PERFORMED OR APPROVED BY SHIRK POLE BUILDINGS LLC WILL VOID ANY AND ALL WARRANTIES PROVIDED BY MANUFACTURERS AND/OR SHIRK POLE BUILDINGS LLC. SUCH DESIGN MODIFICATIONS AND/OR STRUCTURAL MODIFICATIONS INCLUDE:
DRILLING, REMOVING, CUTTING, SAWING, SPLINTERING OR DAMAGING ANY STRUCTURAL MEMBERS INCLUDING FOOTINGS, POSTS, GIRTS, BEAMS, TRUSSES, PERLINS, PANELS, WINDOWS, DOORS, NAILS, SCREWS, AND BOLTS.
SUCH DESIGN MODIFICATIONS AND/OR STRUCTURAL MODIFICATIONS ALSO INCLUDE:
ADDING ADDITIONS, SNOW DRIFT LOAD FROM ADDITIONS, LEAN-TOS, ATTIC STORAGE, CHAIN HOISTS, OPENINGS, SKYLIGHTS, ROOF VENTS, AND LOUVERS.
SHIRK POLE BUILDINGS LLC WILL NOT BE LIABLE FOR ANY FAILURES RESULTING FROM THOSE MODIFICATIONS LISTED ABOVE, OR FROM ANY OTHER MODIFICATIONS NOT APPROVED BY A CERTIFIED ENGINEER.
CONTRACTOR LICENSING
PA OAGHC:004966 VALID UNTIL 7/1/2019

A4.13

UPPER UWCHLAN TOWNSHIP
132 OSCAR WAY
CHESTER SPRINGS, PA 19425



807 READING ROAD EAST EARL, PA 17519
717-445-6888 FAX 717-445-3001

ALL INFORMATION SHOWN ON THIS DRAWING IS THE PROPERTY OF SHIRK POLE BUILDINGS LLC. THIS DRAWING MAY NOT BE REPRODUCED WITHOUT PERMISSION. BUILDER AND OWNER ARE RESPONSIBLE TO VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION.

DRAWN BY: ALS
REVIEW:
REVISIONS:
DATE: 7/27/17
SITE: UWCHLAN
DETAILS

A.4



UPPER UWCHLAN TOWNSHIP

MEMORANDUM

ADMINISTRATION

TO: Board of Supervisors

FROM: Cary B. Vargo
Township Manager

RE: Re-Districting

DATE: April 11, 2018

Attached for your review and consideration is a resolution in support of legislative efforts to amend the Pennsylvania Constitution to assign the decennial task of both legislative and congressional redistricting to an independent citizens' redistricting commission. I have also attached for your reference two current pieces of legislation, HB 722 and SB 22, both of which are co-sponsored by our respective state level law makers.



UPPER UWCHLAN TOWNSHIP
Chester County, Pennsylvania
RESOLUTION # D R A F T

**A RESOLUTION IN SUPPORT OF A CITIZENS COMMISSION FOR
LEGISLATIVE AND CONGRESSIONAL REDISTRICTING**

WHEREAS, the citizens of the Township of Upper Uwchlan and the Commonwealth of Pennsylvania deserve a fair, fully transparent, impartial and depoliticized process of the decennial drawing of state legislature and congressional districts of near equal population; and

WHEREAS, legislative and congressional redistricting has at times resulted in gerrymandered districts that favor one political party over others; and

WHEREAS, such gerrymandering of legislative and congressional districts has worked at times to the detriment of our representative democracy; and

WHEREAS, the creation of a truly independent citizens redistricting commission devoid of political motivation or partisanship will: ensure a fair, transparent, and accurate legislative and congressional redistricting process that respects political subdivisions; prohibit districts from being drawn to favor or discriminate against a political party or candidate; require the use of impartial and sound methodology when setting district boundaries; require public input; and fully comply with the constitutional requirement that “no county, city, incorporated town, borough, township or ward” be divided “unless absolutely necessary,” and

WHEREAS, legislation to amend the Pennsylvania Constitution to reform the decennial legislative and congressional redistricting process with the intent of using fairness and sound methodology in a non-partisan fashion is required to ensure these reforms.

NOW, THEREFORE, BE IT RESOLVED that the Board of Supervisors of Upper Uwchlan Township, Chester County, does hereby support legislative efforts to amend the Pennsylvania Constitution to assign the decennial task of both legislative and congressional redistricting to an independent citizens redistricting commission; and

BE IT FURTHER RESOLVED that that a copy of this Resolution be delivered to the offices of all Commonwealth and County officials representing Upper Uwchlan Township.

RESOLVED and ENACTED this ____ day of _____, 2018.

**UPPER UWCHLAN TOWNSHIP
BOARD OF SUPERVISORS**

Jamie W. Goncharoff, Chair

Sandra M. D'Amico, Vice-Chair

Attest:

Gwen A. Jonik, Township Secretary

Guy A. Donatelli, Member

THE GENERAL ASSEMBLY OF PENNSYLVANIA

HOUSE BILL

No. 722 Session of 2017

INTRODUCED BY SAMUELSON, ROE, DeLISSIO, BARBIN, BERNSTINE, BOBACK, BRIGGS, V. BROWN, BULLOCK, CALTAGIRONE, CEPHAS, COMMITTA, CONKLIN, COOK, D. COSTA, CRUZ, DALEY, DAVIS, DAWKINS, DEAN, DEASY, DeLUCA, DIAMOND, DiGIROLAMO, DONATUCCI, DRISCOLL, ENGLISH, FABRIZIO, FITZGERALD, FRANKEL, FREEMAN, GAINNEY, GALLOWAY, GERGELY, GILLEN, GOODMAN, HANNA, HARKINS, A. HARRIS, J. HARRIS, HILL-EVANS, IRVIN, KAUFER, KAUFFMAN, KAVULICH, W. KELLER, KIM, KINSEY, KIRKLAND, KRUEGER-BRANEKY, KULIK, MADDEN, MALONEY, MARKOSEK, MATZIE, McCARTER, McCLINTON, MCGINNIS, McNEILL, D. MILLER, MULLERY, MURT, NEILSON, O'BRIEN, PASHINSKI, M. QUINN, RABB, RAVENSTAHL, READSHAW, ROEBUCK, ROZZI, SCHEMEL, SCHLOSSBERG, SCHWEYER, SIMMONS, SIMS, SNYDER, SOLOMON, STURLA, TAYLOR, THOMAS, TOOHIL, VAZQUEZ, VITALI, WARREN, YOUNGBLOOD AND WATSON, MAY 8, 2017

REFERRED TO COMMITTEE ON STATE GOVERNMENT, MAY 8, 2017

A JOINT RESOLUTION

1 Proposing an amendment to the Constitution of the Commonwealth
2 of Pennsylvania, further providing for the Legislative
3 Reapportionment Commission for the purpose of reapportioning
4 and redistricting the Commonwealth of Pennsylvania.

5 The General Assembly of the Commonwealth of Pennsylvania
6 hereby resolves as follows:

7 Section 1. The following amendment to the Constitution of
8 Pennsylvania is proposed in accordance with Article XI:

9 That section 17 of Article II be amended to read:

10 § 17. Legislative [Reapportionment] and Congressional
11 Redistricting Commission.

12 (a) [In each year following the year of the Federal

1 decennial census] Not later than December 31 of each year ending
2 in zero, a Legislative [Reapportionment] and Congressional
3 Redistricting Commission shall be constituted for the purpose of
4 [reapportioning] redistricting the Commonwealth. The commission
5 shall [act by a majority of its entire membership.];

6 (1) Conduct an open and transparent process enabling full
7 public consideration of and comment on the drawing of district
8 lines.

9 (2) Conduct itself with integrity and fairness.

10 [(b) The commission shall consist of five members: four of
11 whom shall be the majority and minority leaders of both the
12 Senate and the House of Representatives, or deputies appointed
13 by each of them, and a chairman selected as hereinafter
14 provided. No later than 60 days following the official reporting
15 of the Federal census as required by Federal law, the four
16 members shall be certified by the President pro tempore of the
17 Senate and the Speaker of the House of Representatives to the
18 elections officer of the Commonwealth who under law shall have
19 supervision over elections.

20 The four members within 45 days after their certification
21 shall select the fifth member, who shall serve as chairman of
22 the commission, and shall immediately certify his name to such
23 elections officer. The chairman shall be a citizen of the
24 Commonwealth other than a local, State or Federal official
25 holding an office to which compensation is attached.

26 If the four members fail to select the fifth member within
27 the time prescribed, a majority of the entire membership of the
28 Supreme Court within 30 days thereafter shall appoint the
29 chairman as aforesaid and certify his appointment to such
30 elections officer.

1 Any vacancy in the commission shall be filled within 15 days
2 in the same manner in which such position was originally filled.

3 (c) No later than 90 days after either the commission has
4 been duly certified or the population data for the Commonwealth
5 as determined by the Federal census are available, whichever is
6 later in time, the commission shall file a preliminary
7 reapportionment plan with such elections officer.

8 The commission shall have 30 days after filing the
9 preliminary plan to make corrections in the plan.

10 Any person aggrieved by the preliminary plan shall have the
11 same 30-day period to file exceptions with the commission in
12 which case the commission shall have 30 days after the date the
13 exceptions were filed to prepare and file with such elections
14 officer a revised reapportionment plan. If no exceptions are
15 filed within 30 days, or if filed and acted upon, the
16 commission's plan shall be final and have the force of law.

17 (d) Any aggrieved person may file an appeal from the final
18 plan directly to the Supreme Court within 30 days after the
19 filing thereof. If the appellant establishes that the final plan
20 is contrary to law, the Supreme Court shall issue an order
21 remanding the plan to the commission and directing the
22 commission to reapportion the Commonwealth in a manner not
23 inconsistent with such order.

24 (e) When the Supreme Court has finally decided an appeal or
25 when the last day for filing an appeal has passed with no appeal
26 taken, the reapportionment plan shall have the force of law and
27 the districts therein provided shall be used thereafter in
28 elections to the General Assembly until the next reapportionment
29 as required under this section 17.

30 (f) Any district which does not include the residence from

1 which a member of the Senate was elected whether or not
2 scheduled for election at the next general election shall elect
3 a Senator at such election.

4 (g) The General Assembly shall appropriate sufficient funds
5 for the compensation and expenses of members and staff appointed
6 by the commission, and other necessary expenses. The members of
7 the commission shall be entitled to such compensation for their
8 services as the General Assembly from time to time shall
9 determine, but no part thereof shall be paid until a preliminary
10 plan is filed. If a preliminary plan is filed but the commission
11 fails to file a revised or final plan within the time
12 prescribed, the commission members shall forfeit all right to
13 compensation not paid.

14 (h) If a preliminary, revised or final reapportionment plan
15 is not filed by the commission within the time prescribed by
16 this section, unless the time be extended by the Supreme Court
17 for cause shown, the Supreme Court shall immediately proceed on
18 its own motion to reapportion the Commonwealth.

19 (i) Any reapportionment plan filed by the commission, or
20 ordered or prepared by the Supreme Court upon the failure of the
21 commission to act, shall be published by the elections officer
22 once in at least one newspaper of general circulation in each
23 senatorial and representative district. The publication shall
24 contain a map of the Commonwealth showing the complete
25 reapportionment of the General Assembly by districts, and a map
26 showing the reapportionment districts in the area normally
27 served by the newspaper in which the publication is made. The
28 publication shall also state the population of the senatorial
29 and representative districts having the smallest and largest
30 population and the percentage variation of such districts from

1 the average population for senatorial and representative
2 districts.]

3 (b) The commission shall consist of 11 members, as follows:
4 four who are registered with the largest political party in this
5 Commonwealth based on registration, four who are registered with
6 the second-largest political party in this Commonwealth based on
7 registration and three who are not registered with either of the
8 two largest political parties in this Commonwealth based on
9 registration.

10 (c) The General Assembly shall prescribe by law the
11 qualification to serve as a commission member. Each commission
12 member shall possess all of the following qualifications, in
13 addition to any qualifications prescribed by law:

14 (1) Be a voter who has been continuously registered in this
15 Commonwealth with the same political party or unaffiliated with
16 a political party or political body and whose political
17 affiliation has not changed in the three years immediately
18 preceding the date of appointment to the commission.

19 (2) Has voted in two of the last three Statewide general
20 elections immediately preceding the date of appointment to the
21 commission.

22 (3) Has not held nor has an immediate family member who has
23 held elective public office at the Federal or State level or
24 elective judicial office in this Commonwealth in the five years
25 immediately preceding the date of appointment to the commission.

26 (4) Has not served nor has a spouse who has served as a paid
27 staff member or paid consultant to Congress, the General
28 Assembly or staff appointed by the Governor in the five years
29 immediately preceding the date of appointment to the commission.

30 (5) Has not registered nor has a spouse who has registered

1 as a Federal or State lobbyist in this Commonwealth in the five
2 years immediately preceding the date of appointment to the
3 commission.

4 (6) Has not been nominated nor has a spouse who has been
5 nominated as a candidate for elective office by a political
6 party or political body or served nor has a spouse who has
7 served as a paid staff member or officer of a political party,
8 political body, political committee or political action
9 committee in the five years immediately preceding the date of
10 appointment to the commission.

11 (d) Application and selection of the members of the
12 commission shall be subject to the following:

13 (1) Application to serve as a member of the commission may
14 be filed with, and on a form developed by, the Secretary of the
15 Commonwealth indicating thereon evidence of the applicant's
16 qualifications as provided by this section.

17 (2) The Secretary of the Commonwealth shall verify the
18 qualifications of each applicant. If the Secretary of the
19 Commonwealth finds that an applicant is not qualified, the
20 Secretary of the Commonwealth shall not include the applicant's
21 name in the pool of applicants.

22 (3) The Secretary of the Commonwealth shall separate all
23 qualified applicants into three subpools consisting of those who
24 are:

25 (i) registered with the largest political party in this
26 Commonwealth based on registration;

27 (ii) registered with the second-largest political party in
28 this Commonwealth based on registration; and

29 (iii) not registered with either of the two largest
30 political parties in this Commonwealth based on registration.

1 (4) The Secretary of the Commonwealth shall select, on a
2 random basis, 40 qualified applicants from each of the three
3 subpools provided in paragraph (3). The Majority Leader and
4 Minority Leader of the Senate and the Majority Leader and
5 Minority Leader of the House of Representatives may each strike
6 up to two applicants from each subpool. Each leader shall have
7 no more than six strikes.

8 (5) After the legislative leaders have exercised their
9 strikes under paragraph (4), the Secretary of the Commonwealth
10 shall select for appointment as members of the commission on a
11 random basis from the remaining applicants in each of the three
12 subpools of qualified applicants. In addition to the
13 qualification requirements provided in subsection (c),
14 appointments from each subpool shall reasonably reflect the
15 racial, geographic and gender diversity of this Commonwealth.

16 (6) One of the members shall be selected as chair by a vote
17 of at least six members of the commission.

18 (e) The term of office of each member of the commission
19 shall expire at the same time the commission expires as provided
20 in this section.

21 (f) Removal of a member and vacancies on the commission
22 shall be subject to the following:

23 (1) If a member of the commission fails to attend more than
24 two consecutive meetings at which a vote of the commission is
25 scheduled, the member's position shall be deemed vacant unless
26 the member is absent due to death of an immediate family member,
27 personal illness or illness of an immediate family member.

28 (2) If a member of the commission has been convicted, found
29 guilty or pled guilty or nolo contendere to embezzlement of
30 public money, bribery, perjury or other infamous crime, whether

1 or not sentence has been imposed, the member's position shall be
2 deemed vacant.

3 (3) A vacancy in the commission shall be filled within 14
4 days from the time the commission is notified of the vacancy in
5 the same manner that the position was originally filled and
6 using the same pool of applicants from which the vacating member
7 was chosen. If none of those remaining applicants are available
8 for service, the Secretary of the Commonwealth shall fill the
9 vacancy from a new pool of applicants created from the same
10 voter registration category as the vacating member.

11 (g) A member shall be ineligible to do the following for a
12 period of three years beginning from the expiration of the term
13 for which the member was appointed to the commission:

14 (1) Serve as a paid staff member or paid consultant to
15 Congress, the General Assembly or staff appointed by the
16 Governor.

17 (2) Register as a Federal or State lobbyist in this
18 Commonwealth.

19 (3) Serve as a paid staff member or paid political
20 consultant for a political party, political body, political
21 committee or political action committee.

22 (h) A member and the member's spouse shall be ineligible to
23 do the following for a period of five years beginning from the
24 expiration of the term for which the member was appointed to the
25 commission:

26 (1) Hold an appointed position or elective public office at
27 the Federal or State level in this Commonwealth.

28 (2) Be eligible for nomination as a candidate for elective
29 office by a political party or political body.

30 (3) Hold office for a political party, political body,

1 political committee or political action committee.

2 (i) Seven members of the commission shall constitute a
3 quorum. Seven or more affirmative votes shall be required for
4 any official action. The final redistricting plan must be
5 approved by at least seven affirmative votes that must include
6 at least one vote of a member registered from each of the two
7 largest political parties in this Commonwealth based on
8 registration and one vote from a member who is not registered
9 with either of the two largest political parties.

10 (j) To begin the process of preparing information necessary
11 to the redistricting process, the commission shall:

12 (1) Acquire all necessary and appropriate information,
13 review and evaluate available facilities and develop programs
14 and procedures, that may include the use of software, in
15 preparation for drawing congressional and legislative
16 redistricting plans on the basis of each Federal census. The
17 commission shall make the information available to the public in
18 a manner prescribed by law.

19 (2) As soon as possible after December 31 of each year
20 ending in zero, obtain from the United States Census Bureau the
21 population data needed for legislative redistricting that the
22 Census Bureau is required to provide the Commonwealth under 13
23 U.S.C. § 141 (relating to population and other census
24 information) and use that data to assign a population figure
25 based upon census data to each geographic and political unit
26 described pursuant to subparagraph (i). Upon completing that
27 task, the commission shall begin the preparation of
28 congressional and legislative redistricting plans as required by
29 this subsection and subsection (k). The commission shall use the
30 data obtained to prepare:

1 (i) Necessary descriptions of census blocks, voting
 2 districts, wards, municipalities and counties for which census
 3 data will be reported and which are suitable for use as
 4 components of districts.

5 (ii) Maps of census blocks, voting districts, wards,
 6 municipalities and counties within this Commonwealth, that may
 7 be used to illustrate the locations of district boundaries
 8 proposed in plans.

9 (3) In establishing districts, the commission shall not
 10 consider the following data:

11 (i) Addresses of any individual.

12 (ii) Political affiliations of registered voters.

13 (iii) Previous election results, unless required by Federal
 14 or State law.

15 (k) The commission shall establish congressional and
 16 legislative districts pursuant to a mapping process in
 17 accordance with Federal or State law.

18 (l) Each plan drawn under this section shall provide that
 19 any vacancy in the General Assembly that is filled under the
 20 plan, occurring at a time that makes it necessary to fill the
 21 vacancy at a special election held under section 629 of the act
 22 of June 3, 1937 (P.L.1333, No.320), known as the Pennsylvania
 23 Election Code, shall be filled from the same district that
 24 elected the senator or representative whose seat is vacant.

25 (m) The commission, within 30 days prior to the deadline for
 26 approval of a preliminary plan as set forth in subsection (o)
 27 (1), shall schedule and conduct at least four public hearings in
 28 different geographic regions of this Commonwealth.

29 (n) All commission meetings that are attended or
 30 participated in by a quorum of the members of the commission

1 held for the purpose of deliberating official business of taking
2 official action shall be open to the public.

3 (o) (1) Not later than July 1 of each year ending in one,
4 the commission shall complete and approve a preliminary
5 redistricting plan and maps as required under this section and
6 make the preliminary plan and maps available to the public in a
7 manner prescribed by law.

8 (2) The commission, within 30 days following the deadline
9 for approval of a preliminary plan as provided in paragraph (1),
10 shall schedule and conduct at least four public hearings, in
11 different geographic regions of this Commonwealth, on the
12 preliminary plan.

13 (3) Not later than August 15 of each year ending in one, the
14 commission shall approve a final redistricting plan. Upon
15 approval, the commission shall certify the resulting plan to the
16 Secretary of the Commonwealth, and that plan shall constitute
17 the certified final plan.

18 (4) If the commission fails to approve a final plan in
19 accordance with paragraph (3), the following shall apply:

20 (i) Not later than September 1 of each year ending in one,
21 the commission shall complete and approve a second preliminary
22 redistricting plan and maps prepared in accordance with
23 subsections (j) and (k) and make the second preliminary plan and
24 maps available to the public in a manner prescribed by law.

25 (ii) Within 30 days following the deadline for approval of
26 the second preliminary plan as set forth in subparagraph (i),
27 the commission shall schedule and conduct at least four public
28 hearings, in different geographic regions of this Commonwealth,
29 on the second preliminary plan.

30 (iii) Not later than October 15 of each year ending in one,

1 the commission shall approve a final redistricting plan. Upon
2 approval, the commission shall certify the resulting plan to the
3 Secretary of the Commonwealth, and that plan shall constitute
4 the certified final plan.

5 (p) If the commission does not complete and approve a final
6 redistricting plan by October 16 of each year ending in one, the
7 Secretary of the Commonwealth shall immediately petition the
8 Supreme Court for an order directing the appointment of a
9 special master to develop and complete a final redistricting
10 plan in accordance with the criteria and requirements provided
11 in subsections (j) and (k). The special master must demonstrate
12 expertise in geographic information systems by holding a
13 graduate degree in geographic information systems and currently
14 serving as a faculty member for a geographic information systems
15 program at an institution of higher learning located within this
16 Commonwealth and must meet the qualifications in subsection (c)
17 and be bound by the restrictions in subsections (g) and (h).
18 Upon the Supreme Court's approval of the master's plan, the
19 court shall certify the resulting plan to the Secretary of the
20 Commonwealth, and that plan shall constitute the certified final
21 plan.

22 (q) The commission has the sole legal standing to defend an
23 action regarding a certified final plan and shall inform the
24 General Assembly if it determines that funds or other resources
25 provided for the operation of the commission are not adequate.

26 (r) (1) The Supreme Court has original and exclusive
27 jurisdiction in all proceedings that a certified final plan is
28 challenged or is claimed not to have taken timely effect.

29 (2) An aggrieved person who is a registered voter in this
30 Commonwealth may file a petition with the Supreme Court within

1 30 days after the commission has certified a final plan to the
 2 Secretary of the Commonwealth to bar the Secretary of the
 3 Commonwealth from implementing the plan on the grounds that the
 4 filed plan violates the Constitution of the United States, the
 5 Constitution of Pennsylvania or any Federal or State statute.

6 (s) The Department of State shall provide staff as needed to
 7 support the commission in the performance of its duties.

8 (t) Upon the filing of all redistricting plans required
 9 under this section and the exhaustion of all appeals of a
 10 redistricting plan:

11 (1) the commission shall expire and the commission's
 12 responsibilities shall terminate; and

13 (2) the final plan shall have the force of law and the
 14 districts provided in the plan shall be used thereafter in
 15 elections to the General Assembly until the next redistricting
 16 as required under this section.

17 (u) The General Assembly shall appropriate sufficient funds
 18 for the compensation and expenses of members and staff appointed
 19 by the commission and for other necessary expenses. In addition
 20 to necessary expenses, the members of the commission shall
 21 receive a per diem for each day or part of a day spent
 22 performing their official duties. The per diem shall be the most
 23 recent per diem rate for locations in this Commonwealth as
 24 established and published by the United States General Services
 25 Administration.

26 (v) A district that does not include the residence from
 27 which a member of the Senate was elected whether or not
 28 scheduled for election at the next general election shall elect
 29 a Senator at the election.

30 (w) The following words and phrases when used in this

1 section shall have the meanings given to them in this subsection
2 unless the context clearly indicates otherwise:

3 "Commission." The Legislative and Congressional
4 Redistricting Commission.

5 "Federal census." The decennial census required by Federal
6 law to be conducted by the United States Census Bureau in every
7 year ending in zero.

8 "Immediate family." A parent, spouse, child, brother or
9 sister.

10 "Member." A member of the Legislative and Congressional
11 Redistricting Commission.

12 "Plan." A plan for legislative and congressional
13 redistricting drawn under the requirements of this section.

14 Section 2. (a) Upon the first passage by the General
15 Assembly of this proposed constitutional amendment, the
16 Secretary of the Commonwealth shall proceed immediately to
17 comply with the advertising requirements of section 1 of Article
18 XI of the Constitution of Pennsylvania and shall transmit the
19 required advertisements to two newspapers in every county in
20 which such newspapers are published in sufficient time after
21 passage of this proposed constitutional amendment.

22 (b) Upon the second passage by the General Assembly of this
23 proposed constitutional amendment, the Secretary of the
24 Commonwealth shall proceed immediately to comply with the
25 advertising requirements of section 1 of Article XI of the
26 Constitution of Pennsylvania and shall transmit the required
27 advertisements to two newspapers in every county in which such
28 newspapers are published in sufficient time after passage of
29 this proposed constitutional amendment. The Secretary of the
30 Commonwealth shall submit this proposed constitutional amendment

1 to the qualified electors of this Commonwealth at the first
2 primary, general or municipal election which meets the
3 requirements of and is in conformance with section 1 of Article
4 XI of the Constitution of Pennsylvania and which occurs at least
5 three months after the proposed constitutional amendment is
6 passed by the General Assembly.

THE GENERAL ASSEMBLY OF PENNSYLVANIA

SENATE BILL

No. 22 Session of 2017

INTRODUCED BY BOSCOLA, SCAVELLO, BROWNE, SCHWANK, BLAKE, DINNIMAN, LEACH, WILLIAMS, YUDICHAK AND HAYWOOD, FEBRUARY 27, 2017

REFERRED TO STATE GOVERNMENT, FEBRUARY 27, 2017

A JOINT RESOLUTION

1 Proposing an amendment to the Constitution of the Commonwealth
2 of Pennsylvania, further providing for the Legislative
3 Reapportionment Commission for the purpose of reapportioning
4 and redistricting the Commonwealth of Pennsylvania.

5 The General Assembly of the Commonwealth of Pennsylvania
6 hereby resolves as follows:

7 Section 1. The following amendment to the Constitution of
8 Pennsylvania is proposed in accordance with Article XI:

9 That section 17 of Article II be amended to read:

10 § 17. Legislative [Reapportionment] and Congressional
11 Redistricting Commission.

12 (a) [In each year following the year of the Federal
13 decennial census] Not later than December 31 of each year ending
14 in zero, a Legislative [Reapportionment] and Congressional
15 Redistricting Commission shall be constituted for the purpose of
16 [reapportioning] redistricting the Commonwealth. The commission
17 shall [act by a majority of its entire membership.]:

18 (1) Conduct an open and transparent process enabling full

1 public consideration of and comment on the drawing of district
 2 lines.

3 (2) Draw district lines according to the redistricting
 4 criteria specified in this section.

5 (3) Conduct itself with integrity and fairness.

6 [(b) The commission shall consist of five members: four of
 7 whom shall be the majority and minority leaders of both the
 8 Senate and the House of Representatives, or deputies appointed
 9 by each of them, and a chairman selected as hereinafter
 10 provided. No later than 60 days following the official reporting
 11 of the Federal census as required by Federal law, the four
 12 members shall be certified by the President pro tempore of the
 13 Senate and the Speaker of the House of Representatives to the
 14 elections officer of the Commonwealth who under law shall have
 15 supervision over elections.

16 The four members within 45 days after their certification
 17 shall select the fifth member, who shall serve as chairman of
 18 the commission, and shall immediately certify his name to such
 19 elections officer. The chairman shall be a citizen of the
 20 Commonwealth other than a local, State or Federal official
 21 holding an office to which compensation is attached.

22 If the four members fail to select the fifth member within
 23 the time prescribed, a majority of the entire membership of the
 24 Supreme Court within 30 days thereafter shall appoint the
 25 chairman as aforesaid and certify his appointment to such
 26 elections officer.

27 Any vacancy in the commission shall be filled within 15 days
 28 in the same manner in which such position was originally filled.

29 (c) No later than 90 days after either the commission has
 30 been duly certified or the population data for the Commonwealth

1 as determined by the Federal census are available, whichever is
2 later in time, the commission shall file a preliminary
3 reapportionment plan with such elections officer.

4 The commission shall have 30 days after filing the
5 preliminary plan to make corrections in the plan.

6 Any person aggrieved by the preliminary plan shall have the
7 same 30-day period to file exceptions with the commission in
8 which case the commission shall have 30 days after the date the
9 exceptions were filed to prepare and file with such elections
10 officer a revised reapportionment plan. If no exceptions are
11 filed within 30 days, or if filed and acted upon, the
12 commission's plan shall be final and have the force of law.

13 (d) Any aggrieved person may file an appeal from the final
14 plan directly to the Supreme Court within 30 days after the
15 filing thereof. If the appellant establishes that the final plan
16 is contrary to law, the Supreme Court shall issue an order
17 remanding the plan to the commission and directing the
18 commission to reapportion the Commonwealth in a manner not
19 inconsistent with such order.

20 (e) When the Supreme Court has finally decided an appeal or
21 when the last day for filing an appeal has passed with no appeal
22 taken, the reapportionment plan shall have the force of law and
23 the districts therein provided shall be used thereafter in
24 elections to the General Assembly until the next reapportionment
25 as required under this section 17.

26 (f) Any district which does not include the residence from
27 which a member of the Senate was elected whether or not
28 scheduled for election at the next general election shall elect
29 a Senator at such election.

30 (g) The General Assembly shall appropriate sufficient funds

1 for the compensation and expenses of members and staff appointed
2 by the commission, and other necessary expenses. The members of
3 the commission shall be entitled to such compensation for their
4 services as the General Assembly from time to time shall
5 determine, but no part thereof shall be paid until a preliminary
6 plan is filed. If a preliminary plan is filed but the commission
7 fails to file a revised or final plan within the time
8 prescribed, the commission members shall forfeit all right to
9 compensation not paid.

10 (h) If a preliminary, revised or final reapportionment plan
11 is not filed by the commission within the time prescribed by
12 this section, unless the time be extended by the Supreme Court
13 for cause shown, the Supreme Court shall immediately proceed on
14 its own motion to reapportion the Commonwealth.

15 (i) Any reapportionment plan filed by the commission, or
16 ordered or prepared by the Supreme Court upon the failure of the
17 commission to act, shall be published by the elections officer
18 once in at least one newspaper of general circulation in each
19 senatorial and representative district. The publication shall
20 contain a map of the Commonwealth showing the complete
21 reapportionment of the General Assembly by districts, and a map
22 showing the reapportionment districts in the area normally
23 served by the newspaper in which the publication is made. The
24 publication shall also state the population of the senatorial
25 and representative districts having the smallest and largest
26 population and the percentage variation of such districts from
27 the average population for senatorial and representative
28 districts.]

29 (b) The commission shall consist of 11 members, as follows:
30 four who are registered with the largest political party in this

1 Commonwealth based on registration, four who are registered with
 2 the second-largest political party in this Commonwealth based on
 3 registration and three who are not registered with either of the
 4 two largest political parties in this Commonwealth based on
 5 registration.

6 (c) The General Assembly shall prescribe by law the
 7 qualification to serve as a commission member. Each commission
 8 member shall possess all of the following qualifications, in
 9 addition to any qualifications prescribed by law:

10 (1) Be a voter who has been continuously registered in this
 11 Commonwealth with the same political party or unaffiliated with
 12 a political party or political body and whose political
 13 affiliation has not changed in the three years immediately
 14 preceding the date of appointment to the commission.

15 (2) Has voted in two of the last three Statewide general
 16 elections immediately preceding the date of appointment to the
 17 commission.

18 (3) Has not held or does not have an immediate family member
 19 who has held elective public office at the Federal or State
 20 level or elective judicial office in this Commonwealth in the
 21 five years immediately preceding the date of appointment to the
 22 commission.

23 (4) Has not served or does not have a spouse who has served
 24 as a paid staff member or paid consultant to Congress, the
 25 General Assembly or staff appointed by the Governor in the five
 26 years immediately preceding the date of appointment to the
 27 commission.

28 (5) Has not registered or does not have a spouse who has
 29 registered as a Federal or State lobbyist in this Commonwealth
 30 in the five years immediately preceding the date of appointment

1 to the commission.

2 (6) Has not been nominated or does not have a spouse who has
3 been nominated as a candidate for elective office by a political
4 party or political body or served or does not have a spouse who
5 has served as a paid staff member or officer of a political
6 party, political body, political committee or political action
7 committee in the five years immediately preceding the date of
8 appointment to the commission.

9 (d) Application and selection of the members of the
10 commission shall be subject to the following:

11 (1) Application to serve as a member of the commission may
12 be filed with, and on a form developed by, the Secretary of the
13 Commonwealth indicating thereon evidence of his or her
14 qualifications as provided by this section.

15 (2) The Secretary of the Commonwealth shall verify the
16 qualifications of each applicant. If the Secretary of the
17 Commonwealth finds that an applicant is not qualified, the
18 Secretary of the Commonwealth shall not include the applicant's
19 name in the pool of applicants.

20 (3) The Secretary of the Commonwealth shall separate all
21 qualified applicants into three subpools consisting of those who
22 are:

23 (i) registered with the largest political party in this
24 Commonwealth based on registration;

25 (ii) registered with the second-largest political party in
26 this Commonwealth based on registration; and

27 (iii) not registered with either of the two largest
28 political parties in this Commonwealth based on registration.

29 (4) The Secretary of the Commonwealth shall select, on a
30 random basis, 40 qualified applicants from each of the three

1 subpools provided in paragraph (3). The Majority Leader and
2 Minority Leader of the Senate and the Majority Leader and
3 Minority Leader of the House of Representatives may each strike
4 up to two applicants from each subpool. Each leader shall have
5 no more than six strikes.

6 (5) After the legislative leaders have exercised their
7 strikes under paragraph (4), the Secretary of the Commonwealth
8 shall select for appointment as members of the commission on a
9 random basis from the remaining applicants in each of the three
10 subpools of qualified applicants. In addition to the
11 qualification requirements provided in subsection (c),
12 appointments from each subpool shall reasonably reflect the
13 racial, geographic and gender diversity of this Commonwealth.

14 (6) One of the members shall be selected as chair by a vote
15 of at least six members of the commission.

16 (e) The term of office of each member of the commission
17 shall expire at the same time the commission expires as provided
18 in this section.

19 (f) Removal of a member and vacancies on the commission
20 shall be subject to the following:

21 (1) If a member of the commission fails to attend more than
22 two consecutive meetings at which a vote of the commission is
23 scheduled, the member's position shall be deemed vacant unless
24 the member is absent due to death of an immediate family member,
25 personal illness or illness of an immediate family member.

26 (2) If a member of the commission has been convicted, found
27 guilty or pled guilty or nolo contendere to embezzlement of
28 public money, bribery, perjury or other infamous crime, whether
29 or not sentence has been imposed, the member's position shall be
30 deemed vacant.

1 (3) A vacancy in the commission shall be filled within 14
 2 days from the time the commission is notified of the vacancy in
 3 the same manner that the position was originally filled and
 4 using the same pool of applicants from which the vacating member
 5 was chosen. If none of those remaining applicants are available
 6 for service, the Secretary of the Commonwealth shall fill the
 7 vacancy from a new pool of applicants created from the same
 8 voter registration category as the vacating member.

9 (g) A member shall be ineligible to do the following for a
 10 period of three years beginning from the expiration of the term
 11 for which the member was appointed to the commission:

12 (1) Serve as a paid staff member or paid consultant to
 13 Congress, the General Assembly or staff appointed by the
 14 Governor.

15 (2) Register as a Federal or State lobbyist in this
 16 Commonwealth.

17 (3) Serve as a paid staff member or paid political
 18 consultant for a political party, political body, political
 19 committee or political action committee.

20 (h) A member and the member's spouse shall be ineligible to
 21 do the following for a period of five years beginning from the
 22 expiration of the term for which the member was appointed to the
 23 commission:

24 (1) Hold an appointed position or elective public office at
 25 the Federal or State level in this Commonwealth.

26 (2) Be eligible for nomination as a candidate for elective
 27 office by a political party or political body.

28 (3) Hold office for a political party, political body,
 29 political committee or political action committee.

30 (i) Seven members of the commission shall constitute a

1 quorum. Seven or more affirmative votes shall be required for
2 any official action. The final redistricting plan must be
3 approved by at least seven affirmative votes that must include
4 at least one vote of a member registered from each of the two
5 largest political parties in this Commonwealth based on
6 registration and one vote from a member who is not registered
7 with either of the two largest political parties.

8 (j) To begin the process of preparing information necessary
9 to the redistricting process, the commission shall:

10 (1) Acquire all necessary and appropriate information,
11 review and evaluate available facilities and develop programs
12 and procedures, that may include the use of software, in
13 preparation for drawing congressional and legislative
14 redistricting plans on the basis of each Federal census. The
15 commission shall make the information available to the public in
16 a manner prescribed by law.

17 (2) As soon as possible after December 31 of each year
18 ending in zero, obtain from the United States Census Bureau the
19 population data needed for legislative redistricting that the
20 Census Bureau is required to provide the Commonwealth under 13
21 U.S.C. § 141 (relating to population and other census
22 information) and use that data to assign a population figure
23 based upon census data to each geographic and political unit
24 described pursuant to subparagraph (i). Upon completing that
25 task, the commission shall begin the preparation of
26 congressional and legislative redistricting plans as required by
27 this subsection and subsection (k). The commission shall use the
28 data obtained to prepare:

29 (i) Necessary descriptions of census blocks, voting
30 districts, wards, municipalities and counties that census data

1 will be reported and that are suitable for use as components of
2 districts.

3 (ii) Maps of census blocks, voting districts, wards,
4 municipalities and counties within this Commonwealth, that may
5 be used to illustrate the locations of district boundaries
6 proposed in plans.

7 (3) In establishing districts, the commission shall not
8 consider the following data:

9 (i) Addresses of any individual.

10 (ii) Political affiliations of registered voters.

11 (iii) Previous election results, unless required by Federal
12 or State law.

13 (k) The commission shall establish congressional and
14 legislative districts pursuant to a mapping process in
15 accordance with Federal or State law.

16 (l) Each plan drawn under this section shall provide that
17 any vacancy in the General Assembly that is filled under the
18 plan, occurring at a time that makes it necessary to fill the
19 vacancy at a special election held under section 629 of the act
20 of June 3, 1937 (P.L.1333, No.320), known as the Pennsylvania
21 Election Code, shall be filled from the same district that
22 elected the senator or representative whose seat is vacant.

23 (m) The commission, within 30 days prior to the deadline for
24 approval of a preliminary plan as set forth in subsection (n)
25 (1), shall schedule and conduct at least four public hearings in
26 different geographic regions of this Commonwealth.

27 (m.1) All commission meetings that are attended or
28 participated in by a quorum of the members of the commission
29 held for the purpose of deliberating official business of taking
30 official action shall be open to the public.

1 (n) (1) Not later than July 1 of each year ending in one,
2 the commission shall complete and approve a preliminary
3 redistricting plan and maps as required under this section and
4 make the preliminary plan and maps available to the public in a
5 manner prescribed by law.

6 (2) The commission, within 30 days following the deadline
7 for approval of a preliminary plan as provided in paragraph (1),
8 shall schedule and conduct at least four public hearings, in
9 different geographic regions of this Commonwealth, on the
10 preliminary plan.

11 (3) Not later than August 15 of each year ending in one, the
12 commission shall approve a final redistricting plan. Upon
13 approval, the commission shall certify the resulting plan to the
14 Secretary of the Commonwealth, and that plan shall constitute
15 the certified final plan.

16 (4) If the commission fails to approve a final plan in
17 accordance with paragraph (3), the following shall apply:

18 (i) Not later than September 1 of each year ending in one,
19 the commission shall complete and approve a second preliminary
20 redistricting plan and maps prepared in accordance with
21 subsections (j) and (k) and make the second preliminary plan and
22 maps available to the public in a manner prescribed by law.

23 (ii) Within 30 days following the deadline for approval of
24 the second preliminary plan as set forth in subparagraph (i),
25 the commission shall schedule and conduct at least four public
26 hearings, in different geographic regions of this Commonwealth,
27 on the second preliminary plan.

28 (iii) Not later than October 15 of each year ending in one,
29 the commission shall approve a final redistricting plan. Upon
30 approval, the commission shall certify the resulting plan to the

1 Secretary of the Commonwealth, and that plan shall constitute
2 the certified final plan.

3 (o) If the commission does not complete and approve a final
4 redistricting plan by October 16 of each year ending in one, the
5 Secretary of the Commonwealth shall immediately petition the
6 Supreme Court for an order directing the appointment of a
7 special master to develop and complete a final redistricting
8 plan in accordance with the criteria and requirements provided
9 in subsections (j) and (k). The special master must demonstrate
10 expertise in geographic information systems by holding a
11 graduate degree in geographic information systems and currently
12 serving as a faculty member for a geographic information systems
13 program at an institution of higher learning located within this
14 Commonwealth and must meet the qualifications in subsection (c)
15 and be bound by the restrictions in subsections (g) and (h).
16 Upon the Supreme Court's approval of the master's plan, the
17 court shall certify the resulting plan to the Secretary of the
18 Commonwealth, and that plan shall constitute the certified final
19 plan.

20 (p) The commission has the sole legal standing to defend an
21 action regarding a certified final plan and shall inform the
22 General Assembly if it determines that funds or other resources
23 provided for the operation of the commission are not adequate.

24 (q) (1) The Supreme Court has original and exclusive
25 jurisdiction in all proceedings that a certified final plan is
26 challenged or is claimed not to have taken timely effect.

27 (2) An aggrieved person who is a registered voter in this
28 Commonwealth may file a petition with the Supreme Court within
29 30 days after the commission has certified a final plan to the
30 Secretary of the Commonwealth to bar the Secretary of the

1 Commonwealth from implementing the plan on the grounds that the
 2 filed plan violates the Constitution of the United States, the
 3 Constitution of Pennsylvania or any Federal or State statute.

4 (r) The Department of State shall provide staff as needed to
 5 support the commission in the performance of its duties.

6 (s) Upon the filing of all redistricting plans required
 7 under this section and the exhaustion of all appeals of a
 8 redistricting plan:

9 (1) the commission shall expire and the commission's
 10 responsibilities shall terminate; and

11 (2) the final plan shall have the force of law and the
 12 districts provided in the plan shall be used thereafter in
 13 elections to the General Assembly until the next redistricting
 14 as required under this section.

15 (t) The General Assembly shall appropriate sufficient funds
 16 for the compensation and expenses of members and staff appointed
 17 by the commission and for other necessary expenses. In addition
 18 to necessary expenses, the members of the commission shall
 19 receive a per diem for each day or part of a day spent
 20 performing their official duties. The per diem shall be the most
 21 recent per diem rate for locations in this Commonwealth as
 22 established and published by the United States General Services
 23 Administration.

24 (u) A district that does not include the residence that a
 25 member of the Senate was elected whether or not scheduled for
 26 election at the next general election shall elect a Senator at
 27 the election.

28 (v) The following words and phrases when used in this
 29 section shall have the meanings given to them in this subsection
 30 unless the context clearly indicates otherwise:

1 "Commission." The Legislative and Congressional
2 Redistricting Commission.

3 "Community of interest." A contiguous population that shares
4 common social and economic interests that should be included
5 within a single district for purposes of its effective and fair
6 representation. It shall not include relationships with
7 political parties, incumbents or political candidates.

8 "Federal census." The decennial census required by Federal
9 law to be conducted by the United States Census Bureau in every
10 year ending in zero.

11 "Immediate family." A parent, spouse, child, brother or
12 sister.

13 "Member." A member of the Legislative and Congressional
14 Redistricting Commission.

15 "Plan." A plan for legislative and congressional
16 redistricting drawn under the requirements of this section.

17 Section 2. (a) Upon the first passage by the General
18 Assembly of this proposed constitutional amendment, the
19 Secretary of the Commonwealth shall proceed immediately to
20 comply with the advertising requirements of section 1 of Article
21 XI of the Constitution of Pennsylvania and shall transmit the
22 required advertisements to two newspapers in every county in
23 which such newspapers are published in sufficient time after
24 passage of this proposed constitutional amendment.

25 (b) Upon the second passage by the General Assembly of this
26 proposed constitutional amendment, the Secretary of the
27 Commonwealth shall proceed immediately to comply with the
28 advertising requirements of section 1 of Article XI of the
29 Constitution of Pennsylvania and shall transmit the required
30 advertisements to two newspapers in every county in which such

1 newspapers are published in sufficient time after passage of
2 this proposed constitutional amendment. The Secretary of the
3 Commonwealth shall submit this proposed constitutional amendment
4 to the qualified electors of this Commonwealth at the first
5 primary, general or municipal election which meets the
6 requirements of and is in conformance with section 1 of Article
7 XI of the Constitution of Pennsylvania and which occurs at least
8 three months after the proposed constitutional amendment is
9 passed by the General Assembly.